



AGENDA

SITE VISIT AT 5:00 PM – <i>No action will be taken. Please meet on site.</i>	<i>pg</i>
1450 Park Avenue and 1460 Park Avenue	
MEETING CALLED TO ORDER	
ROLL CALL	
APPROVAL OF MINUTES FOR JULY 20, 2011	<i>5</i>
PUBLIC COMMUNICATIONS – <i>Items not on regular meeting schedule.</i>	
STAFF/BOARD COMMUNICATION & DISCLOSURES	
Informational update of Historic Preservation approvals	<i>19</i>
REGULAR SESSION – <i>Discussion, possible public hearing, and action as outlined below</i>	
Land Management Code – Amendments to add Historic Preservation Board review and approval of all Reconstruction and Disassembly applications of Historic Sites	<i>29</i>
<i>Discussion and possible recommendation to City Council</i>	
1450/1460 Park Avenue – Review of City Owned properties	<i>79</i>
<i>Discussion and possible recommendation to City Council</i>	
WORK SESSION – <i>Discussion items only, no action will be taken.</i>	
• General Plan – Informational update	<i>237</i>
• Brainstorming ideas for community involvement	<i>264</i>
ADJOURN	

Times shown are approximate. Items listed on the Regular Meeting may have been continued from a previous meeting and may not have been published on the Legal Notice for this meeting. For further information, please call the Planning Department at (435) 615-5060.

A majority of Historic Preservation Board members may meet socially after the meeting. If so, the location will be announced by the Chair person. City business will not be conducted.

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

MINUTES OF JULY 20, 2011

PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF JULY 20, 2011

BOARD MEMBERS IN ATTENDANCE: Sara Werbelow, Alex Natt, Puggy Holmgren, Judy McKie, Dave McFawn, Katherine Matsumoto-Gray

EX OFFICIO: Kayla Sintz, Polly Samuels McLean, Patricia Abdullah

Board Member Werbelow presided over the meeting as the Chair Pro Tem until a Chair was elected later in the meeting. The meeting was called to order at 5:02 p.m.

Chair Pro Tem Werbelow welcomed the new Board members and asked each one to provide a brief introduction.

Alex Natt stated that he was happy to be part of the Board. As a new member he would be learning at the beginning, but he intended to be a significant contributor.

Puggy Holmgren stated that she was a returning member. She loves the Historic Preservation Board and was happy to be back.

Katherine Matsumoto-Gray stated that she was a new member to the HPB. She lives at 823 Norfolk Avenue and was excited to contribute to Old Town.

WORK SESSION

Note: The annual Open and Public Meetings Act training scheduled for work session was moved to the end of the regular session.

Presentation of High West Building for the Historic Preservation Award.

Chair Pro Tem Werbelow updated the new members on the awards program that was instituted by the HPB. She understood that the City Council was being asked to consider a resolution to adopt this awards program at their meeting the next evening.

Chair Pro Tem Werbelow explained that the HPB created a subcommittee a year ago comprised of her, Roger Durst, and David White, to devise an awards program from the HPB in tandem with the Historic Society that would highlight residential or commercial projects in town for a variety of different elements. Those elements were highlighted in the minutes from the last meeting. It would be an annual award determined from a list of categories that highlight different aspects of historic preservation in town that are important to the HPB.

Chair Pro Tem Werbelow stated that the High West Distillery project was the first recipient chosen by the HPB, and the theme was exemplary adaptive reuse. On August 18th the Historic Society was having a fundraiser at the Museum and all the Board members were invited. Sandra Morrison would allow the committee to say a few words about the awards program and to present the art piece that was commissioned and the plaque. Chair Pro Tem Werbelow noted that the plaque says "Historic Preservation

Board and Council". She understood that it was envisioned to be a Historic Preservation Award from the HPB.

Planner Kayla Sintz reiterated that the resolution to adopt the awards program was scheduled as the third item on the agenda for the City Council meeting. She invited all the Board members, as well as former members Roger Durst and Ken Martz, to attend. Planner Sintz had copies of the resolution and her report to the City Council available if anyone was interested. She explained that the Staff report contained draft language for the plaque. Once the City Council approves the resolution, the actual language could be fine-tuned before it goes on the plaque.

Chair Pro Tem Werbelow introduced Sid Ostergaard, the artist who was commissioned to do the artwork for the award presented to High West Distillery.

Mr. Ostergaard stated that it was an honor to be the selected artist to do the painting. He has been working in Park City and Summit County for the last 15 years. Professionally he is a land planner/landscape architect and has done a number of illustrations, including the St. Regis. Mr. Ostergaard presented a number of iterations to show the progress he has made, as well as the view, angle and setting that was chosen. The setting was more of a night/winter to show off how warm and inviting the building is today.

Chair Pro Tem Werbelow remarked that in the early stages of discussion, the intent was to show the connection between the two structures because it highlights the adaptive reuse concept. She was pleased with what Mr. Ostergaard had done so far. Board Member Matsumoto Gray agreed.

Chair Pro Tem Werbelow read the six award categories; adaptive reuse, infill development, excellence in restoration, sustainable preservation, embodiment of historical context, and connectivity of site. She felt it was important for the public to understand what the HPB was trying to recognize through these awards. Planner Sintz remarked that the actual resolution leaves it loose and summarizes the process that the subcommittee and the HPB went through in analyzing what might be an applicable award recipient. Therefore, the draft resolution recognizes the importance of an awards program.

Chair Pro Tem Werbelow suggested that the Board members begin thinking of forming a new subcommittee to find a candidate for the award next year.

Roger Durst reported that he had ordered the plaques. One would be placed on the High West Distillery and the second would be mounted on the illustration. He also suggested that the architect for the High West Distillery project be invited to the reception.

Chair Pro Tem Werbelow expressed regret for not being able to attend the City Council meeting. Board members McKie and McFawn would try to attend. It was noted that Roger Durst was very instrumental in bringing the awards program to fruition. Mr. Durst stated that he would attend the City Council meeting the next evening.

REGULAR MEETING – Discussion, Public Hearing and Possible Action

ROLL CALL

All Board Members were present except for David White, who was excused.

ADOPTION OF MINUTES – JUNE 15, 2011

Alex Natt referred to a typo in the motion on page 6 of the minutes and corrected the word POSTIVE to correctly read **POSITIVE**.

MOTION: Board Member McFawn moved to **APPROVE** the minutes of June 15, 2011 as corrected. Board Member Natt seconded the motion.

VOTE: The motion passed unanimously.

PUBLIC COMMUNICATIONS

James Tyler, an architect from Los Angeles, stated that he teaches Architecture and Planning at the University of Southern California. He grew up in Utah and he comes to Park City every summer. Mr. Tyler commented on a number of things that bothered him last year. One was a platform on the street. He was informed that platforms were only temporary, but when he returned this summer, he found two or three more. He was then told that the platforms remain all summer but they are removed during the winter, which makes them temporary. Mr. Tyler pointed out that platforms take up a lot of space on the street. As an architect and planner he was bothered by the fact that the platforms take away the dignity and heritage of Old Town.

Mr. Tyler stated that he went to the Planning Department and they told him to talk to the City Council. Unfortunately he could not attend the Council meeting the next night due to a prior commitment.

Mr. Tyler commented on other reasons why the platforms should not be allowed. They are visually intrusive, they are not handicap assessable, and they increase square footage, which raises the question of parking requirements. He understood that the merchants like the platforms and they generate revenue, but he cares more about the artistic and aesthetics aspects, as well as the heritage and tradition. Mr. Tyler stated that he had come to appeal to the people who care about the same aspects that he does and who protect the heritage and traditions of the community. He asked the HPB to give this matter some consideration and thanked them for all they do.

STAFF/BOARD MEMBERS COMMUNICATIONS AND DISCLOSURES

Election of Chair

MOTION: Board Member McFawn nominated Sara Werbelow as the Chair of the Historic Preservation Board.

Chair Pro Tem Werbelow noted that David White had sent an email nominating Dave McFawn. She had spoken with Board Member McFawn and he would be happy with the Co-Chair position. Planner Sintz noted that the HPB does not have a Co-Chair position. She read from the LMC, "the HPB shall elect one member to serve as Chair for a term of one year, at its first meeting following the expiration of terms and appointment of new members. The Chair may be elected to serve for one consecutive additional term, but not for more than two successive terms. If the Chair is absent from any meeting where a

quorum may otherwise exist, the members may appoint a Chair Pro Tem to act as the Chair solely for that meeting”.

Board Member McFawn restated his motion.

MOTION: Board Member McFawn nominated Sara Werbelow as Chair of the HPB. Judy McKie seconded the motion.

VOTE: The motion passed unanimously.

Liaison selection for the Design Review Team

Chair Werbelow noted that she was the current liaison to the Design Review Team. At the last meeting City Council Member, Liza Simpson, had suggested that she write a report summarizing her thoughts from the standpoint of the liaison. Chair Werbelow handed out copies of her report to the Board members. Since it was lengthy, she summarized the contents prior to the Board selecting a new liaison. She wanted to talk about the process to see if another Board member was interested in being the liaison.

Chair Werbelow stated that the DRT is a weekly meeting and she has been attending since January. She had not attended every meeting. Each meeting is 1-3 hours. It is an incredible opportunity and she wholeheartedly recommended that someone consider the position. Chair Werbelow also acknowledged Roger Durst. It has been a long process and it was very important to Mr. Durst that the HPB have some type of representation on the DRT. Chair Werbelow explained that HPB representation is complex because the HPB is an appeal body. Therefore, many applicants who have gone through Design Review could come back to the HPB on an appeal. The idea of rotating Board members through the DRT meetings is problematic because if an application comes before the HPB, that Board member would need to recuse himself if he were involved in the Design Review. Rotating members creates an issue because they would need to go back and determine which member or members participated. Chair Werbelow remarked that the HPB still has the opportunity to have a liaison on the DRT and she felt they were fortunate to have the ability to participate.

Chair Werbelow commented on the DRT process and its benefits. She noted that page 20 of the Design Guidelines booklet outlines a detailed breakdown of the process for an applicant. As the liaison she saw a very diverse range of applications from major additions to landmark commercial structures on Main Street, and landmark or significant residential structures to small scale types of improvements. The purpose of the Design Review Team is to facilitate and provide direction to the applicant while using the LMC and the Design Review Guidelines to analyze how to adjust the applications.

Chair Werbelow remarked that the DRT meeting is a preliminary stage in the applicant's pursuit of their project and to get general feedback on their plans. Chair Werbelow stated that because she is not an architect, she did not feel there was an appropriate opportunity for her to contribute. Her presence was more of an observation role. She was unsure whether or not the Staff would like more input from the HPB liaison moving forward.

Planner Sintz recalled from a previous discussion that the HPB liaison on the DRT should be more of an observation role based on the appeal authority of the Board.

Assistant City Attorney McLean concurred that the intent was to give the HPB a better sense of how and why the approvals occurred and for the liaison to periodically update the entire Board. She noted that there was an initial fear of disconnect because the HPB would only see Historic District Design Reviews as the appellate in a quasi-judicial manner. There were a number of applications that the HPB was unaware of and the liaison position was a way to keep them informed.

Chair Werbelow referred to the last paragraphs in her report where she indicated that a case study report would be very effective. She understood that it could not be done for every application. However, it would be helpful for the liaison to follow one application and provide a general report to the Board that addresses the specific Codes and Guidelines and follows an application from start to finish. It could possibly be a spreadsheet. Following a project from start to finish would help the Board understand how the guidelines are specifically implemented in a particular project or project type.

Board Member McFawn liked the idea of a case study and following a project from start to finish, but he thought the "finish" should be determined as pulling a building permit. He would want the project to be considered complete without the concern of an appeal that could come before the HPB. Outside of the appeal concern, he could see the merit of a case study.

Assistant City Attorney McLean stated that the Board had two options. An HPB member could find a project and they could wait for it to pull a building permit, or if they preferred, the Staff could put together a presentation of an application that has gone through the process and is already built. The Staff could walk the HPB through how it looked when it first came in, the feedback that was provided, and what occurred throughout the application process. It would allow the Board members to follow the project to approval and how it looked when it was built.

Planner Kayla Sintz noted that 1059 Park Avenue was the only project under construction under the new guidelines. Assistant Attorney McLean pointed out that it would not have to be a complete building. They could also look at minor projects because the HDDR encompasses applications from a new building to new decking.

Board Member Natt felt that Assistant Attorney McLean had talked about a case study that would be educational for everyone. Based on the explanation of the liaison, it appeared that the person who accepts the liaison role on the DRT would be disqualified from participating in an appeal. He questioned whether that was the best use of the time and talent of one of the members. He suggested that a better approach might be to put together an educational module where they could all understand how the process works in broad terms. With that approach they would not have to rely on one person to convey the information with the potential of being disqualified from a particular issue. Board Member Natt was concerned that the liaison report process could contaminate the Board before they hear the matter as an Appeals Board.

Assistant City Attorney McLean explained that the Board made the decision to have a liaison role to the Design Review Team based on their desire to better understand the Historic District Design Review process. She clarified that the Legal Department has always been concerned that having a liaison would disqualify that member. The HPB was also advised that any information that was reported back to the Board must be

general in nature and not specific to a particular house or location, to avoid tainting the Board members.

Chair Werbelow remarked that Roger Durst was passionate about having HPB representation on the DRT. The decision resulted from well-thought discussion and consideration. However, because the HPB has new members, it was worth another discussion to figure out if the liaison is an effective use of the current Board members. Chair Werbelow stated that process is only part of the issue. Another component is that the meetings are Code based. When an application comes in the Land Management Code and Design Guidelines are the only mechanisms used to analyze and approve the projects. There is no aesthetic, peer review dialogue. Chair Werbelow recalled that the reason for having an HPB liaison was to move beyond the Code enforcement and to participate in an analytical, aesthetic type review of these applications.

Planner Sintz remarked that the guidelines talk about being compatible with the whole Historic District, which does speak to aesthetics. She commented on a number of applications that were reviewed when Chair Werbelow was present, and instances when the review was not completed because additional information was required or the proposed project did not meet the criteria. Planner Sintz stated that the DRT looks at criteria first and then discusses aesthetics.

Chair Werbelow felt it was important for the liaison role to go beyond process. The original intent was to get a sense of the bigger picture and context, and she would hate to lose that opportunity. However, if the Board did not believe it made sense for now, it could be revisited in the future.

Assistant City Attorney reiterated that the Board has the ability to make that decision. She reiterated the legal concern that a Board member who could provide valuable feedback during the appeal process may need to be recused. However, that was balanced with the value of having the HPB represented during the DRT review. Ms. McLean suggested that the Staff bring a range of projects to the Board that have already pulled permits so they could see how applications go through the process.

Planner Sintz stated that she had spoken with Dina Blaes, the City Preservation Consultant, about doing some training to update the new members. Planner Sintz noted that the Staff had prepared a recommendation to the City Council and the Planning Commission for the HPB to review all reconstructions and possibly panelizations. The intent was for the Staff to do training for the HPB on reconstructions and panelizations, as well as training overview on the new guidelines. Part of that would include different case sites and how the guidelines would apply. Planner Sintz pointed out that David White and Roger Durst have personally gone through several HDDRs on a professional level. Board Member White had encouraged other Board members to take the opportunity to understand how the process works.

Board Member McKie asked Chair Werbelow if she ever had to recuse herself while being the liaison to the DRT. Chair Werbelow answered no. Board Member McKie thought it would be an interesting learning experience, particularly as a new Board member.

MOTION: Board Member Natt made a motion for Judy McKie to be the new HPB liaison to the Design Review Team. Board Member Werbelow seconded the motion.

VOTE: The motion passed unanimously.

Selection of Liaison to the Planning Commission

Chair Werbelow requested discussion on a liaison to the Planning Commission. It was noted that Ken Martz was the previous liaison from the HPB.

Assistant City Attorney clarified that the liaison role was an effort for the HPB to have a bigger presence. She pointed out that the Planning Commission meets the 2nd and 4th Wednesday of each month, and the liaison should look at the agenda to see if matters concerning the Historic District are scheduled. The liaison could then determine whether or not it was important to attend. Ms. McLean pointed out that the intent of appointing a liaison was to have a representative from the HPB present to provide input or clarification if necessary, and to report back to the Board on the discussion and/or decisions made by the Planning Commission.

Board Member McFawn expressed an interest in being the liaison to the Planning Commission.

MOTION: Board Member Werbelow made a motion for David McFawn to be the HPB liaison to the Planning Commission. Board Member Matsumoto-Gray seconded the motion.

VOTE: The motion passed unanimously.

City Tour 2011 and Leadership

Planner Sintz reported on the City Tour 2011. She noted that the Planning Department had the ability to send two HPB members on City Tour. The Planning Department would cover travel and lodging costs. The members attending would be asked to cover the cost of food and drinks. The 2011 tour would be to Fort Collins and Estes Park. Planner Sintz noted that City Tour is typically a requirement for the related Leadership class for the same year.

Chair Werbelow and Board Member Matsumoto-Gray had attended the City Tour in previous years and thought it was an amazing experience. Board Member Matsumoto-Gray remarked that meetings are scheduled with city leadership and business leadership from the cities visited. It is a great way to learn about other cities that are comparable to Park City and what they have accomplished.

Planner Sintz requested that interested members contact the Planning Department.

TZO in effect

Planner Sintz reported that the next evening at 6:00 p.m. the City Council and Planning Commission would meet in joint session to look at re-development and to discuss plat amendments and lot combinations that directly affect Old Town. She believed the discussion would be applicable to the HPB. Planner Sintz noted that the Planning Commission discussed the TZO on July 13th and that discussion was continued to August 24th.

Treasure Hill Update

Planner Sintz reported that a public update on Treasure Hill was scheduled for July 26th at the High School. The same presentation would be given to the Planning Commission on July 27th. Assistant City Attorney noted that the HPB members could attend on either date; however, she preferred that they attend the presentation at the Planning Commission meeting since that would be a more formal setting and was less likely to cross the line of an outside meeting.

Noticing Signs

Planner Sintz noted that Patricia Abdullah had done fantastic work on the new noticing signs that were spearheaded by the HPB. Patricia stated that 50 signs were ordered, which would provide a good base for when signs need to be left posted through the entire process, including the building permit process for reconstructions. The format allows the signs to be tailored to individual projects.

To update the new Board members, Planner Sintz and Patricia Abdullah explained the benefits of the new signs compared to the old signs. Board Member McFawn remarked that the intent of the new signs was to better notify the public on a reconstruction when they see a building being torn down. Having more information on the sign would hopefully reduce public anxiety, as well as the time Staff spends on explanations.

New Planning Staff

Planner Sintz introduce Matt Evans, a new planner in the Planning Department. Mr. Evans started on July 5th. He came to Park City from the Anaheim area.

Meeting Schedule

Planner Sintz noted that the HPB typically meets on the 1st Wednesday of the month, although the last few months they have met on the 3rd Wednesday. Since the next regular meeting date would be August 3rd, the Staff recommended that the HPB consider keeping the 3rd Wednesday date through August and September. The meetings would be August 17th, and September 21st. Beginning in October, they would return to the 1st Wednesday of each month.

Board Member Matsumoto-Gray noted that she would be out of town on August 17th. Assistant City Attorney McLean suggested that Patricia Abdullah send the Board Members the scheduled dates for the HPB meetings through the end of 2011.

Visioning

Chair Werbelow asked about visioning. Planner Sintz replied that once a year the Staff schedules a visioning session with the HPB once the new members are on the Board. She asked if the Board members had a preference for September or October. The visioning is usually held at a restaurant and anyone can come and listen or participate. Visioning is a loose agenda that allows everyone to get better acquainted, brainstorm ideas, and set goals.

The Board discussed potential visioning dates. They decided on the 3rd weekend in September. If that date does not work, they could move the visioning to October.

Board Member McFawn suggested another joint meeting with the City Council after their visioning session. Assistant City Attorney McLean would inform Director Eddington that they were interested in another joint meeting and ask him to report back to the HPB.

Informational Update of Historic Preservation Approvals

Planner Sintz reported that the matrix in the Staff report was an update of the information the HPB received in April. Any changes were identified in bold. She noted that 525/522 Park Avenue had been pulled by the applicant, 919 Woodside Avenue was denied in regards to the appeal heard by the HPB, and 1144 Woodside Avenue was approved.

Board Member McFawn referred to 64 Chambers and noted that it was a landmark structure that was approved for removal of stairs. Planner Sintz clarified that the stairs were not landmark. The structure had a series of steps that came off the right side and the left side. The proposal was to remove the stairs on the right and rebuild the stairs in a more historic form. Rock work and landscaping was also proposed. The intent was to return the structure to some of the historic tax photos. The railing would be replicated where the stairs were located on the far right side.

Chair Werbelow wanted to know the process when an application expires. Planner Sintz replied that the application would need to be resubmitted and the process would start over. The application would then be subject to whatever codes and guidelines were in place at the time the application was re-submitted. She noted that an HDDR is valid for one year. Board Member McFawn understood that 271 Daly Avenue, which was shown as expired on the matrix, would be subject to the 2009 Guidelines if resubmitted. Planner Sintz replied that it would be subject to the 2009 Guidelines, as well as any Code modifications that have occurred since 2009.

Patricia Abdullah explained that applications shown in blue indicate that the project was approved under the old guidelines but had not yet been completed. White indicates that the application is pending or has been approved under the new guidelines. She explained the timing process for initial applications. Assistant City Attorney McLean stated that people often manipulate the system. For example, if a steep slope CUP is attached to the application it is required to go through the HDDR and the Steep Slope CUP process. A building permit must be pulled within one year of the Steep Slope CUP approval and the HDDR also has an expiration date. She noted that sometimes an applicant will submit for a building permit and then request an extension if construction has not started and the permit is set to expire. For that reason, some applications are quite old. Ms. McLean stated that the new Chief Building Official, Chad Root, is attempting to clean up that process.

WORK SESSION - Continued

Annual Open and Public Meetings Act Training

Assistant City Attorney McLean distributed a handout and provided a brief overview of the Open and Public Meetings Act.

Assistant City Attorney McLean noted that she attends all the HPB meetings and tries to be very responsive. She offered to provide additional legal training or input if requested at either the HPB meetings or on an individual basis. In addition, the City Attorney, Mark Harrington, is well-versed in Land Use and he is a great resource if they have questions. Ms. McLean encouraged the Board members to take advantage of the Legal Department because asking for advice provides them legal protection, even if the advice is wrong.

Assistant City Attorney McLean remarked that State law requires an annual training. She distributed a handout and provided a brief overview of the Open and Public Meetings Act. She noted that the purpose statement talks about conducting the People's business and that it should be done in an open forum. Ms. McLean pointed out that the Open and Public Meetings Act does not always require that the public be allowed to participate, but they should have the ability to observe the process and the deliberations as to how decisions were made. The intent is to provide transparency and instill confidence in the system.

Assistant City Attorney remarked that a meeting is a quorum, which is at least four members for the HPB, and no official business can be conducted without a quorum. She stressed the importance of having Board members notify the Planning Department if they cannot attend a meeting to make sure there would be enough members present for a quorum. She cautioned the Board members to be careful about their conversations if they are congregated with other Board members at a community or social event. Talking about matters related to the HPB could be perceived as conducting business outside of a public meeting. Ms. McLean recommended that the Board members only use email for basic, logistical type matters. Under the Open Public Meetings Act, any discussion via email could be considered a violation of the Act because they would be having private deliberations on actions. Another reason to avoid email was the Government Records Act requirements. Most City business and City communication is open for public review and they would have to pull private emails if someone suspected that HPB business occurred and asked to see all emails involving those discussions.

Assistant City Attorney McLean reported that a new State law specifically allows transmitting electronic messages to other members of the Public Body when the Public Body is not convened in an open meeting. While State Code allows text messaging, Ms. McLean advised against it.

Assistant City Attorney McLean noted that Under the Open and Public Meetings Act all deliberations must be done in public and recorded. A regularly scheduled meeting can only be held at the regular location unless the entire meeting is located elsewhere for a specific reason. Ms. McLean pointed out that the noticing requirement under the Open and Public Meetings Act is 24 hours. Park City has its own requirements within the Code for noticing. Items for Historic District Review are posted ten days in advance. On a basic level, if a Board member would like a discussion with the Board that was not scheduled on the agenda and does not involve administrative matters, they should notify the Planning Department so it can be added to the agenda at least 24 hours prior to the meeting. Regarding public input, Ms. McLean stated that people have the right to speak under the public hearing law, but they do not have the right to take up all the time or to be abusive. It is appropriate to limit the length of individual comments so everyone has the opportunity to speak. Meetings are required to be recorded and written minutes

must be taken. Ms. McLean noted that the minutes reflect the official record of the meeting. She encouraged the Board members to carefully read the minutes and make corrections if necessary.

Assistant City Attorney Mclean stated that violating the Open and Public Meeting Law knowingly or intentionally could be a Class B Misdemeanor. Ms. McLean pointed out that the HPB decides three different types of issues. One is legislative, and the restrictions on legislative decision-making is very broad. The second level is administrative, which is much more restrictive and includes matters such as grants and determinations of significance. Any communication outside of a meeting should be stopped and the person who approached the Board Member should be encouraged to attend a meeting and make their comments for the benefit of everyone. The Board members should also disclose that conversation at the next meeting. Ms. McLean stated that once a decision is made through a motion and vote, it would be acceptable to talk about it; however, they should be cautious about doing that in the event the item may be appealed.

Assistant City Attorney McLean remarked that the third level of decision-making is Appeals, where the HPB acts as judges in a quasi-judicial process. This is the most restrictive level in terms of outside communication.

In response to a question regarding the appropriate way to handle emails, Ms. McLean requested that the Board Members forward the emails to Patricia so they can be included in the record as public comment.

Assistant City Attorney McLean reviewed general ethics standards that the City and State have imposed on public servants and employees. The standards included conflicts of interest, improper use of an official position, rules against representing a private interest before the City, and disclosure and recusal. Ms. McLean noted that the standards indicate that leaving the room when recused is a preferred method, but it is not required. However, from a legal perspective, Park City requests that the recused person leave the room to allow the Board to act without the conflicted member being present. Assistant City Attorney McLean clarified that disclosure requires that a Board member publicly disclose any conflicts of interest before it is discussed in an official proceeding, including conflicts with the City Council or the City in general. She noted that each Board member was given a disclosure form when they were sworn in to be filled out and filed with the City. The Board members have the responsibility to update the disclosure form if changes occur. The Board members could also ask for a written opinion from the Legal Department if they have questions regarding a conflict. She reiterated that asking for legal advice and following that advice affords them protection under the Governmental Immunity Act.

Assistant City Attorney McLean noted that Chapter 3 of the Municipal Code and Chapter 10-3.1301 speaks to the Ethics Code. Ms. McLean also suggested that the Board Members review the HPB Chapter of the LMC, which lists all of their jurisdiction and responsibilities.

The meeting adjourned at 6:54 p.m.

STAFF COMMUNICATION

Historic Preservation Approvals since June, 2006

ADDRESS	PLANNING APPLICATION #	STATUS	BUILDING PERMIT #	STATUS	TYPE	DESIGNATION	IMPACT	DESCRIPTION
6 CHAMBERS AVE	PL-11-01262	Approved			Historic	Landmark	Minor	Removal of stairs and landscaping, work on rock retaining wall
4 DAILY AVE	PL-11-01262	Pending review			Non-Historic	N/A	Minor	Proposed changes to secondary roof form.
6 DAILY AVE	PL-11-01314	Approved			Historic	Landmark	Minor	Repair of windows in Landmark Structure
8 DAILY AVE			BD-04-10066		Historic	Significant	Major	Major panelization; panels located on property; No HDDR formally submitted. Demol'd due to safety issues.
1 DAILY AVE	PL-06-00213	Approved	BD-07-12506	Issued	Historic	Significant	Major	Addition to existing historic structure
17 DAILY AVE	PL-11-01361	Pending review			Historic	Landmark	Minor	Replacement of six windows in disrepair
19 DAILY AVE	PL-07-00192	Approved	BD-07-13137	Issued	Historic	Landmark	Major	Restoration of existing historic structure
20/207 DAILY AVE	PL-10-01044	Approved			Non-Historic	N/A	Minor	Shed Maintenance
20/207 DAILY AVE	PL-10-01007	Approved	BD-10-15510	Issued	Non-Historic	N/A	Minor	Replacement of window in non-historic structure
22 DAILY AVE	PL-10-01067	Approved			Non-Historic	N/A	Minor	Rebuild existing exterior staircase and landing to entrances of 220 & 222 Daily Ave
269 DAILY AVE	PL-10-01003	Pending full HDDR			Historic	Landmark	Minor	Clean, repair, or replace fences, concrete flatwork and landscaping
313 DAILY AVE	PL-07-00234	Approved	BD-09-15118	Issued	Historic		Major	Reconstruction of historic home w/ addition
841 EMPIRE AVE	PL-11-01263	Pending review			Historic	Significant	Minor	Fencing
1003 EMPIRE AVE	PL-10-00966	Approved	BD-10-15506	Issued	Non-Historic	N/A	Minor	Replacement of 2nd story decks at 1003 & 1007 Empire Avenue.
1025 EMPIRE AVE	PL-11-01307	Approved	BD-11-016743	Issued	Non-Historic	N/A	Minor	Removal of spiral staircase and rebuild with alternative access
1110 EMPIRE AVE	PL-07-00015	Approved	BD-08-13456	Final - CO	New Construction	N/A	Major	Demo of non-historic home and construction of a duplex
1159 EMPIRE AVE	PL-10-01055	Approved			Non-Historic	N/A	Minor	Proposed addition of a railing on an existing deck.
1195 EMPIRE AVE	PL-08-00538	Approved	BD-10-15191	Pending	New Construction	N/A	Major	New Single Family Dwelling
210 GRANT AVE	PL-11-01342				Historic	Significant	Minor	Exterior changes to existing historic structure (building to be removed from HSI)
222 GRANT AVE	PL-11-01337	Approved	BD-11-16734	Issued	Historic	Significant	Minor	Exterior changes to existing historic structure (building to be removed from HSI)
136 HEBER AVE	PL-09-00757	Approved			Non-Historic	N/A	Minor	A wing addition to a non historic building
3000 N HWY 224	PL-09-00793	Approved			Historic	Landmark	Minor	ADA access at McPolin Farm Driveway
57 KING RD	PL-11-01263	Pending full HDDR			Non-Historic	N/A	Major	New SFD on a vacant lot.
1103 LOWELL AVE	PL-11-01248	Pending full HDDR			Non-Historic	N/A	Major	Subdivide and create a SFD at the rear portion of the lot.
1610 LOWELL AVE	PL-10-01011	Approved	BD-10-15777	Issued	Historic	Significant	Minor	Silver King Coalition Mine Site - Boarding House PCA-S-98-PCMR
161 MAIN ST	PL-10-00963	Approved	BD-11-16360	Final - CO	Historic	Significant	Minor	Replacement of Siding & Windows on a historic structure
123 MAIN ST	PL-08-00387	Pending full HDDR					Major	New Single Family Dwelling

Historic Preservation Approvals since June, 2006

ADDRESS	PLANNING APPLICATION #	STATUS	BUILDING PERMIT #	STATUS	TYPE	DESIGNATION	IMPACT	DESCRIPTION
1 MAIN ST	PL-10-00983	Pending full HDR			Historic	Landmark		Discussion of development potential
2 MAIN ST	PL-07-00049	Approved			New Construction	N/A	Major	Construction of a 7 unit condominium project
2 MAIN ST	PL-11-01301	Approved	BD-11-16583	Pending	Historic	Landmark	Major	Renovation of Imperial Hotel.
2 MAIN ST	PL-08-00180	Approved	BD-08-12149	Issued	New Construction	N/A	Major	Construction of new commercial building
3 MAIN ST	PL-09-00637	Approved			Non-Historic	N/A	Major	Revision of approval of PL-07-00051
3 MAIN ST	PL-10-01130	Approved			Non-Historic	N/A	Major	Renovation of Main Street Mall
3 MAIN ST	PL-10-00948	Pending review					Major	Retail Shell infill space
3 1/2 MAIN ST	PL-11-01247	Approved	BD-11-16331	Issued	Non-Historic	N/A	Minor	Rebuild the front entry deck and interior remodeling
4 MAIN ST	PL-10-00953	Approved			Historic	Landmark	Minor	cut out section of wall to preserve "Bansky" graffiti
4 MAIN ST	PL-11-01250	Approved	N/A		Historic	Landmark	Minor	Rearrangement of furniture on store front/porch area
4 MAIN ST	PL-11-01251	Approved	BD-11-16429	Issued	Historic	Landmark	Minor	Review of graffiti on side of building.
4 MAIN ST	PL-10-00944	Pending review			Historic	Significant	Minor	Review of awning
4 MAIN ST	PL-11-01353	Pending review			Historic	Landmark	Minor	Screening of mechanical equipment on roof
4 MAIN ST	PL-11-01258	Pending review			Historic	Landmark	Minor	Proposed storage area under existing rear deck off of Swede Alley
4 MAIN ST	PL-11-01267	Approved			Historic	Landmark	Minor	Repair of rotted wood on front facade.
442-444 MAIN ST	PL-10-01091	Pending full HDR			Historic	Significant	Minor	Proposed a small storage unit behind the building. The unit will be separate from the building.
508 MAIN ST	PL-10-00934	Pending full HDR			Historic	Landmark	Major	Proposed rear addition to existing Historic Commercial building
508 MAIN ST	PL-10-01065	Approved			Historic	Landmark	Minor	3 modifications proposed to the exterior of the building to convert to a restaurant
540 & 544 MAIN ST	PL-11-01320	Approved	BD-11-16620	Pending	Historic	Landmark	Minor	Mechanical upgrades on roof and modification/replacement of rear window
541 MAIN ST	PL-11-01255	Approved	BD-11-16336	Issued	Historic	Landmark	Minor	Siding repair
550 MAIN ST	PL-10-01101	Pending review			Historic	Landmark	Minor	Stucco repair of existing Historic Building
562 MAIN ST	PL-06-00132	Approved	BD-07-12870	Issued	Historic	Landmark	Major	Rear addition to a Historic Commercial Building
562 MAIN ST	PL-11-01193	Pending full HDR			Historic	Landmark	Major	Proposed 876 square foot addition on the rear of existing structure of Landmark Structure
573 MAIN ST	PL-07-00019	Approved			Historic	Landmark	Major	Renovation and addition to existing Historic Commercial Building
5 MAIN ST	PL-11-01199	Pending review	BD-11-16240	Pending	Historic	Landmark	Minor	Improvements to exterior windows and repair of masonry. Replaces the earlier approval of PL-07-00019
5 MAIN ST	PL-10-00921	Approved	BD-10-15489	Issued	Non-Historic	N/A	Minor	Addition of second story balcony to a non-historic structure
5 MAIN ST	PL-11-01325	Pending review			Non-Historic	N/A	Minor	Removal of stairs off rear and new deck with access stairs.

Historic Preservation Approvals since June, 2006

ADDRESS	PLANNING APPLICATION #	STATUS	BUILDING PERMIT #	STATUS	TYPE	DESIGNATION	IMPACT	DESCRIPTION
611 MAIN ST	PL-11-01296	Pending full HDR			Non-Historic	N/A	Minor	Remodel of exterior
611 MAIN ST	PL-11-01308	Pending review			Non-Historic	N/A	Major	Addition to a non-historic commercial building
751 MAIN ST	PL-11-01340	Approved			Non-Historic	N/A	Minor	Replacement of seasonal lighting
150 MARSAC AVE	PL-08-00504 to PL-08-00495	Pending review			New Construction	N/A	Major	10 units for Affordable Housing projects
150 MARSAC AVE	PL-08-00435	Approved	BD-11-16456	Issued	New Construction	N/A	Major	Two new single family dwellings
310 MARSAC AVE	PL-10-00939	Approved	BD-10-15729	Issued	Non-Historic	N/A	Minor	Railing repair and siding maintenance
310 MARSAC AVE	PL-11-01200	Approved	BD-11-16064	Issued	Historic	Significant	Minor	Replacement of all exterior windows/doors and addition of pre-existing deck
250 MCHEMRY AVE	PL-09-00693	Approved	BD-10-15548	Issued	Non-Historic	N/A	Major	New garage addition to non-historic structure
310 MCHEMRY	PL-10-01008	Approved	BD-10-15864	Issued	Non-Historic	N/A	Major	New garage addition to non-historic structure
351 MCHEMRY	PL-10-01036	Pending review			Non-Historic	N/A	Minor	Deck expansion off rear and deck addition over garage of existing duplex
201 NORFOLK AVE	PL-08-00582	Approved			Non-Historic	N/A	Major	Addition to an existing structure
259 NORFOLK AVE	PL-10-01027	Pending review			New Construction	N/A	Major	New Single Family Dwelling
261 NORFOLK AVE	PL-11-01319	Pending review			Non-Historic	N/A	Major	Explore development possibilities on a vacant lot
811 NORFOLK AVE	PL-10-01080	Pending review			Historic	Landmark	Major	Possible movement of Landmark Structure. Within appeal period of Denial by Staff.
812 NORFOLK AVE	PL-10-00992	Approved	N/A		Non-Historic	N/A	Minor	Fence repair at a non-historic site
817 NORFOLK AVE	PL-10-01045	Pending review			Historic	Landmark	Minor	Fence at 817 Norfolk along the north side property line
817 NORFOLK AVE	PL-10-01081	Pending review			New Construction	N/A	Major	New Single Family Dwelling on site of Landmark accessory structure (garage) - possible reconstruction proposal, pending review
920 NORFOLK AVE	PL-11-01223	Pending full HDR			New Construction	N/A	Major	New Single Family Dwelling on a vacant lot
927 NORFOLK AVE	PL-10-01088	Approved	BD-11-16373	Issued	Non-Historic	N/A	Minor	partial conversion of an existing 2-car garage into a mudroom, bedroom and bathroom.
946 NORFOLK AVE	PL-11-01275	Pending review			Historic	Landmark	Minor	Remodeling porch roof form on a Landmark Site.
950 NORFOLK AVE	PL-10-00949	Approved			Non-Historic	N/A	Minor	Maintenance of trim on non-historic structure
1030 NORFOLK AVE	PL-07-00082	Approved	BD-07-13238	Issued	New Construction	N/A	Major	New single family dwelling
1035 NORFOLK AVE	PL-11-01363	Pending review			Non-Historic	N/A	Minor	Mechanical on roof
1122 NORFOLK AVE	PL-08-00553	Approved			Historic	Landmark	Major	Rear addition to an existing historic structure
250 ONTARIO AVE	PL-11-01322	Pending review			Non-Historic	N/A	Major	Conversion of garage area into living area
210 ONTARIO AVE	PL-10-01073	Pending full HDR			Non-Historic	N/A	Minor	propose to build a 500 sq ft deck on rear of property with covered roof.

Historic Preservation Approvals since June, 2006

ADDRESS	PLANNING APPLICATION #	STATUS	BUILDING PERMIT #	STATUS	TYPE	DESIGNATION	IMPACT	DESCRIPTION
2 ONTARIO AVE	PL-07-00011	Approved	BD-07-12851	Issued	New Construction	N/A	Major	New single family dwelling
3 ONTARIO AVE	PL-08-00346	Approved	BD-08-14746	Issued	Historic	Significant	Major	Addition to an existing historic structure
3 ONTARIO AVE	PL-10-00905	Pending full HDR			Historic	Significant	Major	Addition to an existing historic structure
3 ONTARIO AVE	PL-11-01360	Pending full HDR			Historic	Significant	Major	Enclosure of rear deck to create more livable area
3 ONTARIO AVE	PL-10-01037	Approved			Non-Historic	N/A	Minor	Addition of solar panels to roof a structure
3 ONTARIO AVE	PL-11-01246	Approved			Historic	Landmark	Minor	Shoring of existing Landmark structure to address drainage issues.
4 ONTARIO AVE	PL-07-00143	Approved	BD-07-13012	Issued	Non-Historic	N/A	Minor	Addition of mudroom at front door of non-historic structure
4 ONTARIO AVE	PL-07-00057	Approved	BD-07-12849	Issued	New Construction	N/A	Minor	New single family dwelling
128 PARK AVE	PL-08-00389	Approved	BD-10-15242	Issued	New Construction	N/A	Minor	New single family dwelling
160 PARK AVE	PL-10-01075	Approved	BD-11-16720	Pending	Non-Historic	N/A	Minor	Landscaping issues
201 PARK AVE	PL-11-01336				Non-Historic	N/A	Minor	Add stone to concrete foundation
263 PARK AVE	PL-11-01243	Approved			Historic	Significant	Major	Proposed underground single car garage
416 PARK AVE	PL-10-01016	Approved			Historic	Landmark	Minor	Soffit repair and venting work on historic structure
421 PARK AVE	PL-11-01362	Pending review			Historic	Landmark	Minor	Add a parking garage
455 PARK AVE	PL-10-00971	Approved	N/A		Historic	Landmark	minor	Repair to fence
505 PARK AVE	PL-10-00935	Pending review			Non-Historic	N/A	Major	Addition to non-historic structure
520-522 PARK AVE	PL-11-01268	Pending full HDR			Non-Historic	N/A	Major	Combination of two vacant lots to build one SFD.
528/526 PARK AVE	PL-09-00745	Approved	N/A		Historic	Landmark	Minor	Modification of front patio of a historic building
539 PARK AVE	PL-11-01324	Pending review			Historic	Landmark	Major	Addition of a garage under an existing Landmark structure.
543 PARK AVE	PL-10-00993	Approved	BD-11-16066	Issued	Historic	Landmark	Minor	Addition of pool on a historic site
553 PARK AVE	PL-07-00033	Approved	BD-10-15905	Issued	Historic	Landmark	Major	Remodel and addition of an existing historic structure
584 PARK AVE	PL-09-00646	Approved			New Construction	N/A	Major	New single family dwelling
614 PARK AVE	PL-11-01316	Pending review			Historic	Landmark	Minor	Repair existing and partial material change of roof
628 PARK AVE	PL-11-01312	Approved			Non-Historic	N/A	Minor	Outdoor dining
657 PARK AVE	PL-08-00329	Approved	BD-10-15451	Issued	Historic	Significant	Major	Reconstruction and relocation of historic building
903 PARK AVE	PL-09-00942	Approved	N/A		Historic	Significant	Major	Preservation Plan for moth baling
903 PARK AVE	PL-11-01219	Pending full HDR			Historic	Significant	Major	Renovation and addition to an existing Significant structure
1169 PARK AVE	PL-09-00774	Approved			Historic	Significant	Major	Addition to existing historic structure - Significant changes proposed created new application PL-10-01059

Historic Preservation Approvals since June, 2006

ADDRESS	PLANNING APPLICATION #	STATUS	BUILDING PERMIT #	STATUS	TYPE	DESIGNATION	IMPACT	DESCRIPTION
149 PARK AVE	PL-10-01059	Pending review	BD-10-15608	Issued	Historic	Significant	Major	Addition to existing historic structure. Structure moved whole - penalty to owners for removing siding.
145 PARK AVE	PL-08-00100	Approved	BD-08-11916	Issued	Historic	Significant	Major	Addition/Remodel of existing historic structure
149 PARK AVE	PL-10-01005	Approved	N/A		Historic	Significant	Minor	Create a parking pad and fence
148 PARK AVE	PL-10-01006	Approved	N/A		Historic	Landmark	Minor	Fence along front yard
140 PARK AVE	PL-10-00904	Approved			Historic	Significant	Major	Remove non-historic garage and build new garage and addition to rear and north elevations of existing historic structure
140 PARK AVE	PL-11-01352	Pending full HDR			Historic	Significant	Major	Exploration of possibilities to reuse properties
140 PARK AVE	PL-11-01354	Pending full HDR			Historic	Significant	Major	Exploration of possibilities to reuse properties
4 PROSPECT ST	PL-10-01048	Pending full HDR			Non-Historic	N/A	Minor	Replacement of shingles and siding on a non-historic structure
6 PROSPECT ST	PL-08-00507	Approved	BD-11-16017	Issued	Historic	Landmark	Major	Reconstruction of historic structure with basement and main level addition
147 RIDGE AVE	PL-09-00853	Approved			Historic	Landmark	Minor	Reconstruction of the wall on the upper part of Ridge Avenue.
158 RIDGE AVE	PL-08-00316	Approved	BD-09-14905	Pending	New Construction	N/A	Major	New single family dwelling
162 RIDGE AVE	PL-08-00317	Approved	BD-09-14907	Pending	New Construction	N/A	Major	New single family dwelling
166 RIDGE AVE	PL-08-00315	Approved	BD-09-14909	Pending	New Construction	N/A	Major	New single family dwelling
525 ROSIE HILL DR	PL-10-01051	Approved	PB-10-00349	Issued	Non-Historic	N/A	Minor	Addition of solar collectors on roof
16 SAMPSON AVE	PL-08-00571	Pending review			Historic	Significant	Major	Addition to an existing historic structure
30 SAMPSON AVE	PL-11-01323	Pending review			Non-Historic	N/A	Major	Building on a vacant lot
40 SAMPSON AVE	PL-10-01015	Pending full HDR	N/A		Historic	Significant	Minor	Proposed parking pad
41 SAMPSON AVE	PL-08-00222	Approved	BD-07-12751	Issued	Historic	Landmark	Major	Addition/Remodel of an existing historic structure
115 SAMPSON AVE	PL-10-01069	Pending review	N/A		Historic	Significant		Preservation Plan
130 SANDRIDGE AVE	PL-08-00297	Approved	BD-09-14554	Issued	Historic	Significant	Major	Addition/Remodel of an existing historic structure - panelization
601 SUNNYSIDE DR	PL-08-00293	Approved	BD-10-15824	Issued	Historic	Landmark	Major	Reconstruction of historic shed/cabin. Applicant chose to panelize and retain some historic materials on front facade
61 SUNNYSIDE DR	PL-10-01119	Approved			Historic	Landmark	Minor	Addition of skylights to historic structure
602 SUNNYSIDE DR	PL-11-01343	Approved			Historic	Landmark	Minor	Addition of a hot tub
11 WOODSIDE AVE	PL-10-01082	Pending full HDR			Historic	Landmark	Minor	Applicant is proposing improvements on a free standing garage - reconstruction proposal - pending review
14 WOODSIDE AVE	PL-08-00171	Approved	BD-09-14976	Expired	New Construction	N/A	Major	New single family dwelling

Historic Preservation Approvals since June, 2006

ADDRESS	PLANNING APPLICATION #	STATUS	BUILDING PERMIT #	STATUS	TYPE	DESIGNATION	IMPACT	DESCRIPTION
121 WOODSIDE AVE	PL-06-00172	Approved	BD-09-14977	Expired	New Construction	N/A	Major	New single family dwelling
211 WOODSIDE AVE	PL-11-01303	Pending review			Non-Historic	N/A	Minor	Railing replacement on second story.
218 WOODSIDE AVE	PL-11-01310	Pending full HDR			Non-Historic	N/A	Major	Renovation of existing structure.
211 WOODSIDE AVE	PL-11-01315	Pending full HDR			Non-Historic	N/A	Major	Repairs to exterior
211 WOODSIDE AVE	PL-09-00849	Approved	BD-10-15565	Issued	Non-Historic	N/A	Minor	Repair of stairs
210 WOODSIDE AVE	PL-11-01368	Pending review			Non-Historic	N/A	Minor	Enclose rear deck to create more livable area
211 WOODSIDE AVE	PL-08-00441	Approved			New Construction	N/A	Major	New single family dwelling
311 WOODSIDE AVE	PL-09-00822	Approved	BD-09-15081	Issued	Historic	Significant	Minor	Repair to stairs of an existing historic structure
311 WOODSIDE AVE	PL-10-00936	Pending review			Historic	Landmark	Major	Renovation of an existing historic structure - proposed rear addition and new foundation
340 WOODSIDE AVE	PL-11-01187	Approved	BD-11-16389	Issued	Non-Historic	N/A	Minor	Deck extension on a non-historic structure
402 WOODSIDE AVE	PL-10-01052	Approved	BD-10-15665	Issued	Non-Historic	N/A	Minor	Replacement of two exterior doors and material change of front door
424 WOODSIDE AVE	PL-11-01215	Pending review			Historic	Significant	Major	Addition to an existing Significant structure
426 WOODSIDE AVE	PL-08-00362	Approved	BD-09-14437	Issued	New Construction	N/A	Major	New single family dwelling
429 WOODSIDE AVE	PL-07-00117	Approved	BD-08-14250	Issued	Historic	Significant	Major	Reconstruction of an existing historic structure
481 WOODSIDE AVE	PL-11-01334	Pending full HDR			Historic	Significant	Major	Convert basement into habitable space
505 WOODSIDE AVE	PL-09-00665	Pending review			Historic	Significant	Major	Renovation and addition to an existing historic structure
515 WOODSIDE AVE	PL-10-01047	Approved	N/A		Non-Historic	N/A	Minor	Proposed new fence
537 WOODSIDE AVE	PL-11-01361	Pending full HDR			Non-Historic	N/A	Major	Hunter Villa condos - remodel and upgrade current building
543 WOODSIDE AVE	PL-11-01284	Pending full HDR			Historic	Significant	Major	Proposed renovation to a Significant site.
568 WOODSIDE AVE	PL-11-01335	Approved	BD-11-16719	Issued	Non-Historic	N/A	Minor	Residing of a non-historic home
572 WOODSIDE AVE	PL-07-00134	Approved			Non-Historic	N/A	Major	Remodel of existing non-historic structure
576 WOODSIDE AVE	PL-07-00133	Approved			Non-Historic	N/A	Major	Remodel of existing non-historic structure
615 WOODSIDE AVE	PL-11-01365	Pending full HDR			Historic	Significant	Major	Create an off street parking area in the front of an existing Significant structure.
619 WOODSIDE AVE	PL-10-01097	Approved	BD-11-16490	Issued	Historic	Significant	Minor	Restoration of existing garage
611 WOODSIDE AVE	PL-10-01046	Approved	BD-11-16195	Pending	New Construction	N/A	Major	New single family dwelling
654 WOODSIDE AVE	PL-08-00574	Approved	BD-09-14541	Issued	New Construction	N/A	Major	New single family dwelling

Historic Preservation Approvals since June, 2006

ADDRESS	PLANNING APPLICATION #	STATUS	BUILDING PERMIT #	STATUS	TYPE	DESIGNATION	IMPACT	DESCRIPTION
8 WOODSIDE AVE	PL-11-01366	Pending full HDDR			Historic	Significant	Major	Remodel of a significant site
9 WOODSIDE AVE	PL-09-00795	Pending full HDDR			Historic	Landmark	Minor	Reconstruct rear deck and construct new carport under deck
9 WOODSIDE AVE	PL-11-01194	Pending full HDDR			Historic	Significant	Major	Addition of a single car garage to a Significant Site
9 WOODSIDE AVE	PL-11-01202	Approved			Historic	Significant	Major	Reconstruction of original historic house w/ two story addition at the rear and full basement with one single car garage
944 WOODSIDE AVE	PL-11-01309	Pending full HDDR			Non-Historic	N/A	Major	Remodel of existing non-historic structure
9 WOODSIDE AVE	PL-07-00040	Approved	BD-10-15174	Issued	Historic	Landmark	Major	Addition to an existing historic structure
1113 WOODSIDE AVE	PL-07-00028	Approved	BD-07-12944	Issued	Historic	Significant	Major	Restoration and Addition to an existing historic structure
1107 WOODSIDE AVE	PL-11-01308	Pending review			Non-Historic	N/A	Minor	Building fence to enclose back yard and create walkway and area for hot tub.
1110 WOODSIDE AVE	PL-08-00418	Approved	BD-10-15965	Pending	Historic	Landmark	Major	Addition to existing historic structure
1144 WOODSIDE AVE	PL-10-01004	Approved	BD-11-16552	Pending	New Construction	N/A	Major	New single family dwelling
1323 WOODSIDE	No HDDR				Historic	Significant	Major	Reconstruction of single family dwelling; demo order by Building Official, Preservation Plan on file, project will be re-built in another location TBD by City

Applications submitted under previous Historic District Design Guidelines.

REGULAR AGENDA

Historic Preservation Board Staff Report



Application #: PL-11-01203
Subject: HPB review of Ordinance regarding Reconstructions and Disassembly of Historic Structures
Author: Kayla Sintz – Architect/Planner
Department: Planning Department
Date: October 5, 2011
Type of Item: Legislative

Summary Recommendations:

Staff recommends the Historic Preservation Board review the proposed Ordinance to amend the Land Management Code adding the HPB's review and approval of all Reconstruction and Disassembly Historic District Design Review (HDDR) applications for Historic Sites and provide input to the City Council.

Background:

On September 15, 2011 the City Council heard the attached (Exhibit A) draft Ordinance for consideration of adding the HPB's review and approval of Reconstruction and Disassembly applications. Public input was also received. Requesting HPB's input on the proposed as well as, awaiting an upcoming site visit to City owned property that may be subject to the proposed change, Council continued the item to October 29, 2011.

Originally discussed with the HPB in the joint visioning session in February, 2011, City Council directed staff to propose LMC changes which would provide additional review and public input opportunities for Reconstruction/Disassembly applications.

The Planning Commission heard the draft Ordinance on August 10, 2011. Meeting minutes are attached (Exhibit B). The Planning Commission forwarded a negative recommendation to Council. As stated in the City Council staff report (Exhibit A):

The Planning Commission heard public comment that generally was against imposing an additional step in the historic review process. Commissioners agreed that additional requirement was both unnecessary and cumbersome to applicants. Commissioners indicated that the 2009 LMC amendments as to the criteria of reconstructions/disassembly didn't have an opportunity to be implemented and they wished to see them be applied. In addition, some Commissioners were concerned that such a move would eliminate the Historic Preservation Board as an appeals body for reconstruction or disassembly projects.

Exhibits:

Exhibit A – City Council Staff Report September 15, 2011 with exhibits

Exhibit B – City Council Meeting Minutes September 15, 2011



City Council Staff Report

Planning Department

Subject: Land Management Code Amendments -
HPB review of Reconstructions and Disassembly of Historic
Structures

Author: Kayla Sintz, Architect/Planner

Project #: PL-11-01203

Date: September 15, 2011

Type of Item: Legislative

Summary Recommendations

Staff recommends the City Council conduct a public hearing and discuss proposed amendments to the Land Management Code for Chapters 1, 11 and 15 which would require the Historic Preservation Board review and approve all Reconstructions and Disassembly of structures on the Historic Sites Inventory.

Topic

Project Name: LMC Amendments

Applicant: Planning Department

Proposal: Revisions to the Land Management Code – HPB review of
Reconstructions and Disassembly of Historic Structures

Background

During the February 3, 2011 joint City Council, Planning Commission and Historic Preservation Board visioning session, concerns in regards to the process by which Reconstruction is permitted as part of a Historic District Design Review were discussed. Much of the discussion revolved around the reconstruction of the structure at 657 Park Avenue which was subject to the requirements of the Land Management Code prior to the 2009 amendments. Public and property noticing, as well as, opportunity for public input were also discussed. Direction was given to Staff to expand the review of all Reconstructions to include a formal, noticed review and approval by the Historic Preservation Board. An excerpt of the Draft visioning minutes are attached (Exhibit D).

On August 10, 2011 the Planning Commission heard this item as part of their regular agenda. Meeting minutes are attached (Exhibit E). The Planning Commission heard public comment that generally was against imposing an additional step in the historic review process. Commissioners agreed that additional requirement was both unnecessary and cumbersome to applicants. Commissioners indicated that the 2009 LMC amendments as to the criteria of reconstructions/disassembly didn't have an opportunity to be implemented and they wished to see them be applied. In addition, some Commissioners were concerned that such a move would eliminate the Historic Preservation Board as an appeals body for reconstruction or disassembly projects. The

Planning Commission unanimously voted to forward a negative recommendation to the City Council for the proposed LMC language.

The current process for a Reconstruction or Disassembly approval (by staff) as updated in the 2009 LMC amendments as part of a Historic District Design Review (HDDR) is as follows:

- Staff reviews application file for completeness within 72 hours of submittal
- Upon completeness staff posts property for 14 days to receive public comment
- Following 14 day noticing the 45 day review period for HDDR starts; Staff reviews public comment and application for compliance with Historic District Guidelines and writes report
- Approval or Denial of application is publically posted at property for 10 days (appeal period). Any appeal would be heard by the Preservation Board.
- HPB's decision may be appealed to the Board of Adjustment (taking up to 45 days)
 - Review time if decision not appealed: up to 69 days
 - If appealed would take up to an additional 45 days with the possibility of an additional appeal to BOA (also taking up to 45 days): up to 159 days

The process for a Reconstruction or Disassembly as part of a Historic District Design Review (HDDR) if the HPB is added for review and approval:

- Staff reviews file for completeness within 72 hours of submittal
- Upon completeness staff posts property for 14 days to receive public comment
- Following 14 day noticing the 45 day review period for HDDR starts; Staff reviews public comment and application for compliance with Historic District Guidelines and writes report
- Staff schedules HPB meeting for reconstruction/disassembly approval; report is routed internally for review, and meeting is publically noticed (estimated 30-45 days)
- HPB reviews and approves/denies Reconstruction/Disassembly request
- Approval or Denial of HPB's decision of application is posted at property for 10 days (appeal period)
- Any appeal would go directly to the Board of Adjustment (taking up to 45 days)
 - Review time if decision not appealed: 99 to 114 days
 - If appealed would take up to an additional 45 days: 144 to 159 days

Staff does not receive a large number of HDDR Reconstruction/Disassembly requests with the adoption of the 2009 Historic District Guidelines and LMC changes. Requests are due to mold and loss of structural stability of many of the wood structures (predominately roofs and lower wall panels). Since the adoption of the 2009 Historic District Guidelines staff has received only two applications involving Reconstructions/Disassembly. Both of those are currently under review by staff. Since June, 2006, the Planning Department has calculated 10 other Reconstruction or Disassembly applications.

The criteria for Reconstruction/Disassembly of a historic structure is not proposed to be changed as part of this ordinance. The same criteria will be applied whether staff reviews the application or the HPB reviews the application.

The LMC criteria for Disassembly 15-11-14 (A) is as follows:

- (1) A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) cannot reasonably be moved intact; or
- (2) The proposed disassembly and reassembly will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or
- (3) The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; or
- (4) The Planning Director and Chief Building Official determine that unique conditions and the quality of the Historic preservation plan warrant the proposed disassembly and reassembly;

Under all of the above criteria, the Historic Structure(s) and or Building(s) must be reassembled using the original materials that are found to be safe and/or serviceable condition in combination with new materials; and the Building(s) and/or Structure(s) will be reassembled in their original form, location, placement, and orientation.

The LMC criteria for Reconstruction 15-11-15 (A) is as follows:

- (1) The Historic Building(s) and/or Structures are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building code; and
- (2) The Historic Building(s) and/or Structure(s) cannot be made safe and/or serviceable through repair; and
- (3) The form, features, detailing, placement, orientation and location of the Historic Building(s) and/or Structure(s) will be accurately depicted, by means of new construction, based on as-built measured drawings, historic records, and/or current or Historic photographs.

Additional definition needed:

Currently, the term disassembly is not defined in the Land Management Code. Staff recommends that the following definition be added to the Code regardless of the outcome of the other proposed amendments.

1.86 DISASSEMBLY. *The act or process of taking apart a Historic Building or Structure in the largest workable components possible for the purpose of accurately reassembling it in its original form, location, and orientation.*

Other Proposed Amendments

If the Land Management Code is amended, the Historic Guidelines will also have to be updated to match those changes. Amendments to the Guidelines are adopted by Resolution by the Council.

Amendments to Chapter 1 – General Provisions

These amendments add the HPB's review of Reconstructions and Disassemblies to the Notice Matrix which include Posting requirements, Courtesy Mailing requirements and Publishing requirements.

Section 15-1-21. Notice Matrix.

Posted: 14 days prior to the hearing before the Historic Preservation Board

Courtesy Mailing: 14 days prior to the hearing before the Historic Preservation Board to Owners within 300 feet

Published: Once 14 days prior to the hearing before the Historic Preservation Board

Amendments to Chapter 11- Historic Preservation

These amendments requires the HPB instead of the Planning Department to review Reconstructions and Disassemblies

Section 15-11-5. Purposes (J)

Section 15-11-14. (A) Criteria for Disassembly and Reassembly of the Historic Building(s) on a Landmark or Significant Site.

Section 15-11-14. (B) Procedure for the Disassembly and Reassembly of a Landmark Site or a Significant Site.

Section 15-11-15. (A) Criteria for Reconstruction of the Historic Building(s) and/or Structure(s) on a Landmark or a Significant Site.

Section 15-11-15. (B) Procedure for the Reconstruction of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site.

Amendments to Chapter 15 – Definitions

These amendments add the term *Disassembly* to Definitions.

Section 15-15-1. Definitions.

Section 15-15-2. List of Defined Terms.

Department Review

These amendments have been reviewed by the Planning, Engineering, and Building Departments as well as the Legal Department.

Process

Amendments to the Land Management Code require Planning Commission recommendation and City Council adoption. City Council action may be appealed to a court of competent jurisdiction per LMC Section 15-1-18.

Notice

Legal notice of a public hearing was posted in the required public spaces and published in the Park Record.

Public Input

Public hearings are required to be conducted by the Planning Commission and City Council prior to adoption of Land Management Code amendments. The public hearing for these amendments was properly and legally noticed as required by the Land Management Code. No public input has been received at the time of this report.

Alternatives

- Conduct a public hearing on the LMC amendments described herein and adopt all changes as presented, or as amended at the hearing.
- Conduct a public hearing on the LMC amendments and only adopt the definition for Disassembly as outlined herein.
- Conduct a public hearing on the LMC amendments described herein and choose not to adopt any amendments as outlined.
- Conduct a public hearing on the LMC amendments described herein and continue action on the LMC amendments to a date certain providing staff with direction for further analysis, modifications and/or changes.

Significant Impacts and Consequences of *not* taking the Suggested Recommendation

With these proposed amendments, owners of Historic Structures proposing Reconstruction or Disassembly as part of their remodeling or renovation project would need approval by the Historic Preservation Board. If the proposed amendments were not approved, Staff would continue the Reconstruction and Disassembly review and approval process administratively which has occurred since the June, 2009 adoption of the Historic Guidelines and associated LMC changes as noted above. The HPB would continue to act as the appeal board in the case a request for a Reconstruction or Disassembly was denied by staff.

Recommendation

Staff recommends the City Council conduct a public hearing, discuss the proposed amendments to the Land Management Code as described in this report and as redlined in the Exhibits, and consider adopting the changes based on the findings of fact and conclusions of law found in the ordinance.

Exhibits

Ordinance

Exhibit A - LMC Chapter One - General Provisions and Procedures

Exhibit B - LMC Chapter Eleven – Historic Preservation

Exhibit C - LMC Chapter Fifteen – Definitions

Exhibit D - Excerpt Draft Joint Visioning Minutes – February 3, 2011

Exhibit E - Excerpt Planning Commission Meeting Minutes – August 10, 2011

Ordinance No. 11-___

AN ORDINANCE APPROVING AMENDMENTS TO THE PARK CITY LAND MANAGEMENT CODE REQUIRING HISTORIC PRESERVATION BOARD REVIEW AND APPROVAL OF RECONSTRUCTIONS AND DISASSEMBLY OF STRUCTURES ON THE HISTORIC SITES INVENTORY AMENDING CHAPTERS 1, 11 AND 15.

WHEREAS, the Land Management Code is designed and enacted to implement the objectives of the Park City General Plan; to protect the general health, safety, welfare of Park City's citizens and property owners; to maintain the quality of life and experience for its residents and visitors; and to preserve the community's unique character and values;

WHEREAS, Staff saw a need to expand the ability of the Historic Preservation Board to review and approve the Reconstruction and Disassembly of historic structures in order to provide more oversight to preserve historic character;

WHEREAS, these amendments were identified during the 2011 City Council Visioning;

WHEREAS, Chapter 15 – Definitions provides clarity of meaning for words used in the Land Management Code and amendments to existing definitions and new definitions are necessary to clarify terms that are not currently defined in the Code. The City desires to clarify these terms to including and/or revising definitions in the Land Management Code.

WHEREAS, Park City was originally developed as a mining community and much of the City's unique cultural identity is based on the historic character of its mining era buildings;

WHEREAS, the City's historic sites are among its most important cultural, educational, and economic assets;

WHEREAS, the Planning Department duly noticed and conducted a public hearing at the regularly scheduled meeting on August 10, 2011, and forwarded a negative recommendation to City Council; and

WHEREAS, the City Council duly noticed and conducted a public hearing at its regularly scheduled meeting on September 15, 2011; and

WHEREAS, it is in the best interest of the residents of Park City, Utah to amend the Land Management Code to be consistent with the Utah State Code and the Park City General Plan, and to be consistent with the values and identified goals of the Park City community to protect health and safety, maintain the quality of life for its residents, and to preserve the community's unique character.

NOW THEREFORE, BE IT ORDAINED by the City Council of the City of Park City, Utah, as follows:

SECTION 1. AMENDMENTS CHAPTER 1 OF THE LAND MANAGEMENT CODE.

Chapter 15-1 is hereby amended as attached hereto as Exhibit A. Any conflicts or cross-references from other provisions of the LMC to Chapter 15-1 shall be resolved by the Planning Director.

SECTION 2. AMENDMENTS TO CHAPTER 11 OF THE LAND MANAGEMENT CODE.

Chapter 15-11 is hereby amended as attached hereto as Exhibit B. Any conflicts or cross-references from other provisions of the LMC to Chapter 11 shall be resolved by the Planning Director.

SECTION 3. AMENDMENTS CHAPTER 15 OF THE LAND MANAGEMENT CODE.

Chapter 15-15 is hereby amended as attached hereto as Exhibit C. Any conflicts or cross-references from other provisions of the LMC to Chapter 15 shall be resolved by the Planning Director.

SECTION 4. EFFECTIVE DATE. This Ordinance shall become effective upon publication.

Dated this ____ day of _____, 2011

PARK CITY MUNICIPAL CORPORATION

Mayor Dana Williams

Attest:

Janet M. Scott, City Recorder

Approved as to form:

Mark D. Harrington, City Attorney

PARK CITY MUNICIPAL CODE - TITLE 15 LMC, Chapter 1 - General Provisions and Procedures 15-1-24

NOTICE MATRIX			
ACTION:	POSTED:	COURTESY MAILING:	PUBLISHED:
<u>Reconstruction and Disassembly of sites on Historic Sites Inventory</u>	<u>14 days prior to the hearing before the Historic Preservation Board</u>	<u>14 days prior to the hearing before the Historic Preservation Board to Owners within 300 feet</u>	<u>Once 14 days prior to the hearing before the Historic Preservation Board</u>
Historic District or Historic Site Design Review	<p>First Posting: The Property shall be posted for a 14 day period once a Complete Application has been received. Other posted legal notice not required.</p> <p>Second Posting: For a 10 day period once the Planning Department has determined the proposed plans comply or does not comply with the Design Guidelines for Historic Districts and Historic Sites. Other posted legal notice not required.</p>	<p>First Mailing: To Owners within 100 feet once a Complete Application has been received, establishing a 14 day period in which written public comment on the Application may be taken.</p> <p>Second Mailing: To Owners within 100 feet and individuals who provided written comment on the Application during the 14 day initial public comment period. The second mailing occurs once the Planning Department determines the proposed plans comply or do not comply with the Design Guidelines for Historic Districts and Historic Sites and no later than 45 days after the end of the initial public comment period. This establishes a 10 day period in which the Planning Department's decision may be appealed.</p>	See appeals from Planning Director, Historic Preservation Board, Planning Commission, including City Council Call-Up. Section 15-1-18.

**PARK CITY MUNICIPAL CODE
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TITLE 15 - LAND MANAGEMENT CODE (LMC)
CHAPTER 11 - HISTORIC PRESERVATION

*Chapter adopted by Ord. No. 02-07;
Chapter Amended in Entirety by Ord. No.
03-34*

**CHAPTER 11 – HISTORIC
PRESERVATION**

**15-11-1. ESTABLISHMENT OF
BOARD.**

Pursuant to the Historic District Act, Section 11-18-1, et seq. of the Utah Code, 1953, and other applicable power, there is hereby created a Park City Historic Preservation Board (HPB). The HPB shall be composed of seven (7) members.

(Amended by Ord. No. 06-69)

**15-11-2. TERMS AND
QUALIFICATIONS OF MEMBERS.**

Members of the HPB shall serve terms of three (3) years. The terms shall be staggered. Terms may expire on May 1, however, members of the HPB shall continue to serve until their successors are appointed and qualified.

(A) The Mayor shall appoint a new HPB member to fill vacancies that might arise

and such appointments shall be to the end of the vacating member's term.

(B) It is the first priority of the City Council that the HPB have technical representation in Historic preservation, therefore, when vacancies occur and if appropriate, it shall be the first consideration of the City Council to ensure that there is a licensed architect, or other professional having substantial experience in rehabilitation-type construction, serving on the HPB, and secondly that there is representation from the Park City Historical Society. After being notified by the City of a vacancy, at least two (2) nominations shall be rendered to the City Council by the Park City Historical Society if it desires to participate in the Application process.

(C) In addition, the HPB should include members with the following qualifications, or representing the following interests:

(1) A member recommended by or associated with the Utah State Historical Society or Utah Heritage Foundation.

(2) A member living in the Historic District with demonstrated

interest and knowledge of Historic preservation.

(3) A member appointed at large from Park City with demonstrated interest and knowledge of Historic preservation.

(4) A member associated with Main Street Business and commercial interests.

15-11-3. ORGANIZATION.

(A) **CHAIR.** The HPB shall elect one of its members to serve as Chair for a term of one (1) year at its first meeting following the expiration of terms and appointment of new members. The Chair may be elected to serve for one (1) consecutive additional term, but not for more than two (2) successive terms. If the Chair is absent from any meeting where a quorum would otherwise exist, the members may appoint a Chair Pro Tem to act as Chair solely for that meeting.

(B) **QUORUM.** No Business shall be conducted without a quorum at the meeting. A quorum shall exist when the meeting is attended by four (4) of the appointed members, including the Chair or Chair Pro Tem.

(C) **VOTING.** All actions of the HPB shall be represented by a vote of the membership. A simple majority of the members present at the meeting in which action is taken shall approve any action taken. The Chair may vote at the meetings.

(Amended by Ord. Nos. 07-34; 09-10; 11-05)

15-11-4. ABSENCE DEEMED RESIGNATION OR GROUNDS FOR REMOVAL.

Any HPB member who is absent from two (2) consecutive regularly scheduled Board meetings, or a total of four (4) regularly scheduled meetings per calendar year may be called before the City Council and asked to resign or removed for cause by the Council. Members of the HPB are not required to reside within the City limits, however, the majority of the members shall reside in Park City.

15-11-5. PURPOSES.

The purposes of the HPB are:

(A) To preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Park City's Historic Districts and Historic Sites;

(B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;

(C) To provide input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or Structures;

(D) To recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;

(E) To communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;

(F) To recommend to the City Council Development of incentive programs, either public or private, to encourage the preservation of the City's Historic resources;

(G) To administer all City-sponsored preservation incentive programs;

(H) To review all appeals on action taken by the Planning Department regarding compliance with the Design Guidelines for Park City's Historic Districts and Historic Sites; and

(I) To review and take action on all designation of Sites to the Historic Sites Inventory Applications submitted to the City.

(J) To review and take action on all Reconstruction and Disassembly of Sites on the Historic Sites Inventory

(Amended by Ord. No. 09-23)

15-11-6. ADDITIONAL DUTIES.

In addition to the powers set forth in Section 15-11-5, the HPB may, at the direction of the City Council:

(A) Participate in the design review of any City-owned projects located within the designated Historic District.

(B) Recommend to the City Council the purchase of interests in Property for purposes of preserving the City's cultural resources.

(C) Recommend to the Planning Commission and the City Council zoning boundary changes for the district to preserve the historical integrity of the Area. Subdivision, Conditional Uses and planned unit Development Applications must continue to be acted upon by the Planning Commission.

(D) Provide advice and guidance on request of the Property Owner or occupant on the construction, restoration, alteration, decoration, landscaping, or maintenance of any cultural resource, Historic Site, and Property within the Historic District, or neighboring Property within a two (2) block radius of the Historic District.

(Amended by Ord. No. 09-23)

15-11-7. LIMITATIONS.

The HPB has no authority to waive or increase any requirement of any ordinance of the City.

15-11-8. STAFF ASSISTANCE.

The City may, subject to the approval of the City Manager, provide staff and/or the HPB with such assistance from:

(A) Utah Heritage Foundation.

(B) National Trust for Historic Preservation.

(C) Utah State Division of History.

- (D) Park City Historical Society.
- (E) American Institute of Architects (AIA).
- (F) The National Alliance of Preservation Commissions.
- (G) American Planning Association (APA)

(Amended by Ord. Nos. 06-35; 09-23)

15-11-9. PRESERVATION POLICY.

It is deemed to be in the interest of the citizens of Park City, as well as the State of Utah, to encourage the preservation of Buildings, Structures, and Sites of Historic Significance in Park City. These Buildings, Structures and Sites are among the City's most important cultural, educational, and economic assets. In order that they are not lost through neglect, Demolition, expansion or change within the City, the preservation of Historic Sites, Buildings, and Structures is required. This section is intended to provide an incentive for identification and preservation of Historic Buildings, Structures or Sites that may occur within the Park City Historic District, as well as those that may be located outside the Historic District.

(A) **HISTORIC PRESERVATION PLAN.** The Planning Department is authorized to require that Developers prepare a Historic Preservation Plan as a condition of approving an Application for a Building project that affects a Historic

Structure, Site or Object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

(B) **GUARANTEE REQUIRED.** The Planning Department is also authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan.

(C) **TERMS OF GUARANTEE.** The Guarantee shall be similar in form to other Guarantees required by this title and shall consist of an Escrow deposit, a cash deposit with the City, a letter of credit or some combination of the above as approved by the City, including but not limited to a lien on the Property.

(D) **AMOUNT OF THE GUARANTEE.** The amount of the Guarantee shall be determined by the Chief Building Official, or his designee. The Building and Planning Departments shall develop standardized criteria to be used when determining the amount of the Historic preservation Guarantee. Such amount may include additional cost or other penalties for the destruction of Historic material(s).

(E) **EFFECT OF NON-COMPLIANCE.** If the Developer does not comply with the terms of the Historic Preservation Plan as determined by the Chief Building Official and the Planning Director, or their designees, the City shall have the right to keep the funds of the Guarantee, including the ability to refuse to grant the Certificate of Occupancy and

resulting in the requirement to enter into a new Historic Preservation Plan and Guarantee. The funds of the Guarantee shall be used, in the City's discretion, for Historic preservation projects within the City.

(F) RELEASE OF GUARANTEE.

The Guarantee shall not be released prior to the issuance of the final Certificate of Occupancy or at the discretion of the Chief Building Official and Planning Director, or their designees, based on construction progress in compliance with the Historic Preservation Plan.

(Amended by Ord. Nos. 09-09; 09-23)

15-11-10. PARK CITY HISTORIC SITES INVENTORY.

The Historic Preservation Board may designate Sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the Preservation of Historic Sites in the community.

(A) CRITERIA FOR DESIGNATING SITES TO THE PARK CITY HISTORIC SITES INVENTORY.

(1) **LANDMARK SITE.** Any Buildings (main, attached, detached, or public), Accessory Buildings, and/or Structures may be designated to the Historic Sites Inventory as a Landmark Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty

(50) years if the Site is of exceptional importance to the community; and

(b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and

(c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

(i) An era that has made a significant contribution to the broad patterns of our history;

(ii) The lives of Persons significant in the history of the community, state, region, or nation; or

(iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman.

(2) **SIGNIFICANT SITE.** Any Buildings (main, attached, detached or public), Accessory Buildings and/or Structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

(i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or

(ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or

(iii) Moving it from its original location to a Dissimilar Location, or

(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

(i) An era of Historic importance to the community, or

(ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used

during the Historic period.

(3) Any Development involving the Reconstruction of a Landmark Site or a Significant Site that is executed pursuant to Section 15-11-15 of this code shall remain on the Park City Historic Sites Inventory and shall be listed as a Significant Site.

(B) PROCEDURE FOR DESIGNATING SITES TO THE PARK CITY HISTORIC SITES INVENTORY.

The Planning Department shall maintain an inventory of Historic Sites. It is hereby declared that all Buildings (main, attached, detached or public), Accessory Buildings, and/or Structures within Park City, which comply with the criteria found in Sections 15-11-10(A)(1) or 15-11-10(A)(2) are determined to be on the Park City Historic Sites Inventory.

Any Owner of a Building (main, attached, detached or public), Accessory Building, and/or Structure, may nominate it for listing in the Park City Historic Sites Inventory. The Planning Department may nominate a Building (main, attached, detached or public), Accessory Building, and/or Structure for listing in the Park City Historic Sites Inventory. The nomination and designation procedures are as follows:

(1) **COMPLETE APPLICATION.** The Application shall be on forms as prescribed by the City and shall be filed with the Planning Department. Upon

receiving a Complete Application for designation, the Planning staff shall schedule a hearing before the Historic Preservation Board within thirty (30) days.

(2) **NOTICE.** Prior to taking action on the Application, the Planning staff shall provide public notice pursuant to Section 15-1-21 of this Code.

(3) **HEARING AND DECISION.** The Historic Preservation Board will hold a public hearing and will review the Application for compliance with the "Criteria for Designating Historic Sites to the Park City Historic Sites Inventory." If the Historic Preservation Board finds that the Application complies with the criteria set forth in Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building (main, attached, detached or public), Accessory Building, and/or Structure will be added to the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

(4) **APPEAL.** The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment pursuant to Section 15-10-7 of this Code. Appeal requests shall be submitted to the Planning Department within ten (10) days of Historic Preservation Board final action. Notice of pending appeals

shall be made pursuant to Section 15-1-21 of this code. Appeals shall be considered only on the record made before the Historic Preservation Board.

(C) REMOVAL OF A SITE FROM THE PARK CITY HISTORIC SITES INVENTORY. The Historic Preservation Board may remove a Site from the Historic Sites Inventory. Any Owner of a Site listed on the Park City Historic Sites Inventory may submit an Application for the removal of his/her Site from the Park City Historic Sites Inventory. The Planning Department may submit an Application for the removal of a Site from the Park City Historic Sites Inventory. The criteria and procedures for removing a Site from the Park City Historic Sites Inventory are as follows:

(1) CRITERIA FOR REMOVAL.

- (a) The Site no longer meets the criteria set forth in Section 15-11-10(A)(1) or 15-11-10(A)(2) because the qualities that caused it to be originally designated have been lost or destroyed; or
- (b) The Building (main, attached, detached, or public) Accessory Building, and/or Structure on the Site has been demolished and will not be reconstructed; or
- (c) Additional information indicates that the Building, Accessory

Building, and/or Structure on the Site do not comply with the criteria set forth in Section 15-11-10(A)(1) or 15-11-10(A)(2).

(2) PROCEDURE FOR REMOVAL.

- (a) **Complete Application.** The Application shall be on forms as prescribed by the City and shall be filed with the Planning Department. Upon receiving a Complete Application for removal, the Planning staff shall schedule a hearing before the Historic Preservation Board within thirty (30) days.
- (b) **Notice.** Prior to taking action on the Application, the Planning staff shall provide public notice pursuant to Section 15-1-21 of this Code.
- (c) **Hearing and Decision.** The Historic Preservation Board will hear testimony from the Applicant and public and will review the Application for compliance with the "Criteria for Designating Historic Sites to the Park City Historic Sites Inventory." The HPB shall review the Application "de novo" giving no deference to the prior determination. The

Applicant has the burden of proof in removing the Site from the inventory. If the HPB finds that the Application does not comply with the criteria set forth in Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building (main, attached, detached, or public) Accessory Building, and/or Structure will be removed from the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

(d) **Appeal.** The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment pursuant to Section 15-10-7 of this Code. Appeal requests shall be submitted to the Planning Department within ten (10) days of the Historic Preservation Board decision. Notice of pending appeals shall be made pursuant to Section 15-1-21 of this Code. Appeals shall be considered only on the record made before the Historic Preservation Board and will be reviewed for correctness.

(Amended by Ord. Nos. 09-05; 09-23)

15-11-11. DESIGN GUIDELINES FOR PARK CITY'S HISTORIC DISTRICTS AND HISTORIC SITES.

The HPB shall promulgate and update as necessary Design Guidelines for Use in the Historic District zones and for Historic Sites. These guidelines shall, upon adoption by resolution of the City Council, be used by the Planning Department staff in reviewing Historic District/Site design review Applications. The Design Guidelines for Park City's Historic Districts and Historic Sites shall address rehabilitation of existing Structures, additions to existing Structures, and the construction of new Structures. The Design Guidelines are incorporated into this Code by reference. From time to time, the HPB may recommend changes in the Design Guidelines for Park City's Historic Districts and Historic Sites to Council, provided that no changes in the guidelines shall take effect until adopted by a resolution of the City Council.

(Amended by Ord. No. 09-23)

15-11-12. HISTORIC DISTRICT OR HISTORIC SITE DESIGN REVIEW.

The Planning Department shall review and approve, approve with conditions, or deny, all Historic District/Site design review Applications involving an Allowed Use, a Conditional Use, or any Use associated with a Building Permit, to build, locate, construct, remodel, alter, or modify any Building, accessory Building, or Structure, or Site located within the Park City Historic Districts or Historic Sites, including fences and driveways.

Prior to issuance of a Building Permit for any Conditional or Allowed Use, the Planning Department shall review the proposed plans for compliance with the Design Guidelines for Historic Districts and Historic Sites, LMC Chapter 15-11, and LMC Chapter 15-5. Whenever a conflict exists between the LMC and the Design Guidelines, the more restrictive provision shall apply to the extent allowed by law.

(A) PRE-APPLICATION CONFERENCE.

(1) The Owner and/or Owner's representative shall be required to attend a pre-Application conference with representatives of the Planning and Building Departments for the purpose of determining the general scope of the proposed Development, identifying potential impacts of the Development that may require mitigation, providing information on City-sponsored incentives that may be available to the Applicant, and outlining the Application requirements.

(2) Each Application shall comply with all of the Design Guidelines for Historic Districts and Historic Sites unless the Planning Department determines that, because of the scope of the proposed Development, certain guidelines are not applicable. If the Planning Department determines certain guidelines do not apply to an Application, the Planning Department staff shall communicate, via electronic or written means, the

information to the Applicant. It is the responsibility of the Applicant to understand the requirements of the Application.

(3) The Planning Director, or his designee, may upon review of a Pre-Application submittal, determine that due to the limited scope of a project the Historic District or Historic Site Design Review process as outlined in LMC Sections 15-11-12(B-E) is not required and is exempt.

If such a determination is made, the Planning Director, or his designee may, upon reviewing the Pre-Application for compliance with applicable Design Guidelines, approve, deny, or approve with conditions, the project. If approved, the Applicant may submit the project for a Building Permit.

Applications that may be exempt from the Historic Design Review process, include, but are not limited to the following:

(a) For Non-Historic Structures and Sites - minor routine maintenance, minor routine construction work and minor alterations having little or no negative impact on the historic character of the surrounding neighborhood or the Historic District, such as work on roofing, decks, railings, stairs, hot tubs and patios, foundations, windows, doors,

trim, lighting, mechanical equipment, paths, driveways, retaining walls, fences, landscaping, interior remodels, temporary improvements, and similar work.

(b) For Significant Historic Structures and Sites - minor routine maintenance, minor routine construction work and minor alterations having little or no negative impact on the historic character of the surrounding neighborhood, the Historic Structure or the Historic District, such as work on roofing, decks, railings, stairs, hot tubs and patios, replacement of windows and doors in existing or to historic locations, trim, lighting, mechanical equipment located in a rear yard area or rear façade, paths, driveways, repair of existing retaining walls, fences, landscaping, interior remodels, temporary improvements, and similar work.

(c) For Landmark Historic Structures and Sites - minor routine maintenance and minor routine construction having no negative impact on the historic character of the surrounding neighborhood,

the Historic Structure, or the Historic District, such as re-roofing; repair of existing decks, railing, and stairs; hot tubs and patios located in a rear yard; replacement of existing windows and doors in existing or historic locations; repair of existing trim and other historic detailing; lighting, mechanical equipment located in a rear yard area or rear façade, repair of paths, driveways, and existing retaining walls; fences, landscaping, interior remodels, temporary improvements, and similar work.

(B) COMPLETE APPLICATION

The Owner and/or Applicant for any Property shall be required to submit a Historic District/Site design review Application for proposed work requiring a Building Permit in order to complete the work.

(C) **NOTICE**. Upon receipt of a Complete Application, but prior to taking action on any Historic District/Site design review Application, the Planning staff shall provide notice pursuant to Section 15-1-12 and 15-1-21 of this Code.

(D) **DECISION**. Following the fourteen (14) day public notice period noted in Section 15-1-21 of this Code. The Planning Department staff shall make, within forty-five (45) days, written findings, conclusions of law, and conditions of approval or

reasons for denial, supporting the decision and shall provide the Owner and/or Applicant with a copy. Staff shall also provide notice pursuant to Section 15-1-21.

(1) Historic District/Site design review Applications shall be approved by the Planning Department staff upon determination of compliance with the Design Guidelines for Park City's Historic Districts and Historic Sites. If the Planning Department staff determines an Application does not comply with the Design Guidelines, the Application shall be denied.

(2) With the exception of any Application involving the Reconstruction of a Building, Accessory Building, and/or Structure on a Landmark Site, an Application associated with a Landmark Site shall be denied if the Planning Department finds that the proposed project will result in the Landmark Site no longer meeting the criteria set forth in 15-11-10(A)(1).

(3) An Application associated with a Significant Site shall be denied if the Planning Department finds that the proposed project will result in the Significant Site no longer meeting the criteria set forth in 15-11-10(A)(2).

(E) **APPEALS.** The Owner, Applicant, or any Person with standing as defined in Section 15-1-18(D) of this Code may appeal any Planning Department decision made on a Historic District/Site design review

Application to the Historic Preservation Board.

All appeal requests shall be submitted to the Planning Department within ten (10) days of the decision. Appeals must be written and shall contain the name, address, and telephone number of the petitioner, his or her relationship to the project, and a comprehensive statement of the reasons for the appeal, including specific provisions of the Code and Design Guidelines that are alleged to be violated by the action taken. All appeals shall be heard by the reviewing body within forty-five (45) days of the date that the appellant files an appeal unless all parties, including the City, stipulate otherwise.

Notice of all pending appeals shall be made by staff, pursuant to Section 15-1-21 of this Code. The appellant shall provide required stamped and addressed notice envelopes within fourteen (14) days of the appeal. The notice and posting shall include the location and description of the proposed Development project. The scope of review by the Historic Preservation Board shall be the same as the scope of review at the Planning Department level.

(1) The Historic Preservation Board shall either approve, approve with conditions, or disapprove the proposal based on written findings, conclusions of law, and conditions of approval, if any, supporting the decision, and shall provide the Owner and/or Applicant with a copy.

(2) Any Historic Preservation Board decision may be appealed to

the Board of Adjustment pursuant to Section 15-10-7 of this Code. Appeal requests shall be submitted to the Planning Department within ten (10) days of the Historic Preservation Board decision. Notice of all pending appeals shall be made by staff, pursuant to Section 15-1-21 f this Code. Appeals shall be considered only on the record made before the Historic Preservation Board and will be reviewed for correctness.

(Amended by Ord. Nos. 09-23; 10-11; 11-05)

15-11-13. RELOCATION AND/OR REORIENTATION OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the relocation and/or orientation of Historic Buildings, Structures, and Sites.

(A) CRITERIA FOR THE RELOCATION AND/OR REORIENTATION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE.

In approving a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the Planning Department shall fine the project complies with the following criteria:

- (1) A portion of the Historic Building(s) and/or Structure(s) encroaches on an adjacent Property and an easement cannot be secured; or
- (2) The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or
- (3) The Planning Director and the Chief Building Official determine that unique conditions warrant the proposed relocation and/or reorientation on the existing Site; or
- (4) The Planning Director and the Chief Building Official determine that unique conditions warrant the proposed relocation and/or reorientation to a different Site.

(B) PROCEDURE FOR THE RELOCATION AND/OR REORIENTATION OF A LANDMARK SITE OR A SIGNIFICANT SITE.

All Applications for the relocation and/or reorientation of any Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site within the City shall be reviewed by the Planning Department pursuant to Section 15-11-12 of this Code.

(Created by Ord. No. 09-23)

15-11-14. DISASSEMBLY AND REASSEMBLY OF A HISTORIC

BUILDING OR HISTORIC STRUCTURE.

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the **Disassembly** and reassembly of Historic Buildings, Structures, and Sites.

(A) CRITERIA FOR DISASSEMBLY AND REASSEMBLY OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR SIGNIFICANT SITE. In

approving a Historic District or Historic Site design review Application involving **Disassembly** and reassembly of the Historic Building(s) and/or Structure(s) on a Landmark Site or Significant Site, the **Planning Department Historic Preservation Board** shall find the project complies with the following criteria:

- (1) A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) cannot reasonably be moved intact; or
- (2) The proposed **Disassembly** and reassembly will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or
- (3) The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; or
- (4) The Planning Director and the Chief Building Official

determine that unique conditions and the quality of the Historic preservation plan warrant the proposed **Disassembly** and reassembly;

Under all of the above criteria, the Historic Structure(s) and or Building(s) must be reassembled using the original materials that are found to be safe and/or serviceable condition in combination with new materials; and

The Building(s) and/or Structure(s) will be reassembled in their original form, location, placement, and orientation.

(B) PROCEDURE FOR THE DISASSEMBLY AND REASSEMBLY OF A LANDMARK SITE OR A SIGNIFICANT SITE. All Applications for

the **Disassembly** and reassembly of any Historic Building(s) and/or Structure(s) on a Landmark Site of a Significant Site within the City shall be reviewed by the **Planning Department Historic Preservation Board** pursuant to Section 15-11-12 of this Code.

If an Application involving the **Disassembly** and reassembly of Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site also includes relocation and/or reorientation of the reassembled Historic Building(s) and/or Structure(s) on the original Site or another Site, the Application must also comply with Section 15-11-13 of this Code.

(Created by Ord. No. 09-23; Amended by Ord. No. 11-05))

15-11-15. RECONSTRUCTION OF AN EXISTING HISTORIC BUILDING OR HISTORIC STRUCTURE.

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the Reconstruction of Historic Buildings, Structures, and Sites.

(A) CRITERIA FOR RECONSTRUCTION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE.

In approving an Application for Reconstruction of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the **Planning Department Historic Preservation Board** shall find the project complies with the following criteria:

- (1) The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; and
- (2) The Historic Building(s) and/or Structure(s) cannot be made safe and/or serviceable through repair; and
- (3) The form, features, detailing, placement, orientation and location of the Historic Building(s) and/or Structure(s) will be accurately depicted, by means of new construction, based on as-built measured drawings, historical records, and/or current or Historic photographs.

(B) PROCEDURE FOR THE RECONSTRUCTION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE.

All Applications for the Reconstruction of any Historic Building and/or Structure on a Landmark Site or a Significant Site within the City shall be reviewed by the **Planning Department Historic Preservation Board** pursuant to Section 15-11-12 of this Code.

If an Application involving the Reconstruction of Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site also includes relocation and/or reorientation of the Reconstructed Historic Building(s) and/or Structure(s) on the original Site or another Site, the Application must also comply with Section 15-11-13 of this Code.

(Created by Ord. No. 09-23; Amended by Ord. No. 11-05)

15-11-16. DEMOLITION OF HISTORIC BUILDINGS, STRUCTURES AND SITES.

It is the intent of this and succeeding sections to preserve the Historic and architectural resources of Park City, through limitations on Demolition of Historic Buildings, Structures and Sites to the extent it is economically feasible, practical and necessary. The Demolition or removal of Historic Buildings, Structures and Sites in Park City diminishes the character of the City's Historic District and it is strongly discouraged. Instead, the City recommends and supports preservation, renovation,

adaptive reuse, Reconstruction, and relocation within the Historic District. It is recognized, however, that economic hardship and other factors not entirely within the control of a Property Owner may result in the necessary Demolition of a Historic Building, Structure or Site.

(A) **DEMOLITION, RECONSTRUCTION, OR REPAIR OF HAZARDOUS BUILDINGS.** If, upon review, the Chief Building Official determines the subject Building, Structure or Site to be structurally unsound, and a hazardous or dangerous Building, pursuant to Section 116.1 of the International Building Code, the Chief Building Official may order its Demolition, Reconstruction, or repair.

(B) **REQUIREMENT FOR STAY OF DEMOLITION.** In the absence of a finding of public hazard, the Application for Demolition shall be stayed for 180 days.

(Amended by Ord. Nos. 09-10; 09-23; 11-05)

15-11-17. CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION (CAD).

With the exception of any Building or Structure falling under the purview of Section 116.1 of the International Building Code or undergoing complete renovation/reconstruction in compliance with this Chapter, no Building, other Structure or Site deemed to be Historic, pursuant to the standards of review set forth in Section 15-11-10(A)(1) or 15-11-10(A)(2) herein, may be Demolished

without the issuance of a Certificate of Appropriateness for Demolition (CAD) by an independent CAD Hearing Board appointed by the City. Application for a CAD shall be made on forms prescribed by the City and shall be submitted to the Planning Department.

(Amended by Ord. Nos. 06-35; 09-10; 09-23)

15-11-18. CAD PRE-HEARING APPLICATION REQUIREMENTS.

Upon submittal of a CAD Application to the Planning Department, a pre-hearing period of forty-five (45) days shall commence, during which time the Owner shall allow the City to post and sustain a visible sign stating that the Property is "threatened." Said sign shall be at least three feet by two feet (3'X2'), readable from a point of public Access and state that more information may be obtained from the Planning Department for the duration of the stay. In addition, the Owner shall conduct negotiations with the City for the sale or lease of the Property or take action to facilitate proceedings for the City to acquire the Property under its power of eminent domain, if appropriate and financially possible.

At the end of the forty-five (45) days, the Application will be scheduled for a hearing before the CAD Hearing Board, upon showing that the above requirements have been met and all economic hardship information required has been submitted. The Applicant must also submit fees in accordance with the Park City Municipal fee schedule. The Planning Department staff shall notify the Owner if any additional

information is needed to complete the Application.

(A) **CAD HEARING BOARD**. Upon confirmation of receipt of a complete CAD Application, the City shall appoint an independent CAD Hearing Board, consisting of three (3) members, for the purpose of reviewing and taking action upon the Application. The City Manager shall appoint the CAD Board as the need might arise, solely for the purpose of reviewing and taking final action on all CAD Applications.

It is the first priority of the City that the CAD Board has substantial experience in finance, real estate, and commercial business interests. Hence, the Board should possess the following qualifications, or represent the following interests:

- (1) A member appointed at large from Park City with demonstrated knowledge of economics, accounting and finance;
- (2) A member appointed at large from Park City who is an attorney at law; and
- (3) A member appointed from the Board of Adjustment.

15-11-19. CAD HEARING.

At the hearing, the CAD Hearing Board will review the Application pursuant to the economic hardship criteria set forth in Section 15-11-19(A) herein, and consider public input. The CAD Hearing Board may only approve Demolition of a Historic

Building, Structure or Site if the Owner has presented substantial evidence that demonstrates that unreasonable economic hardship will result from denial of the CAD Application.

(A) **ECONOMIC HARDSHIP CRITERIA**. In order to sustain a claim of unreasonable economic hardship, the Owner shall provide information pertaining to whether the Property is capable of producing a reasonable rate of return for the Owner or incapable of beneficial Use. The City shall adopt by resolution separate standards for investment or income producing and non-income producing Properties, as recommended by the HPB. Non-income Properties shall consist of Owner occupied Single-Family Dwellings and non-income producing institutional Properties. The information required by the City may include, but not be limited to the following:

- (1) Purchase date, price and financing arrangements;
- (2) Current market value;
- (3) Form of ownership;
- (4) Type of occupancy;
- (5) Cost estimates of Demolition and post-Demolition plans;
- (6) Maintenance and operating costs;
- (7) Costs and engineering feasibility of rehabilitation;
- (8) Property tax information; and

- (9) Rental rates and gross income from the Property.

The CAD Hearing Board, upon review of the CAD Application, may request additional information as deemed appropriate.

(B) CONDUCT OF OWNER EXCLUDED. Demonstration of economic hardship by the Owner shall not be based on conditions resulting from:

- (1) willful or negligent acts by the Owner; or
- (2) purchasing the Property for substantially more than market value at the time of purchase; or
- (3) failure to perform normal maintenance and repairs; or
- (4) failure to diligently solicit and retain tenants; or
- (5) failure to provide normal tenants improvements.

(C) DECISION. The CAD Hearing Board shall make written findings supporting the decision made. The CAD Hearing Board may determine that unreasonable economic hardship exists and approve the issuance of a CAD if one of the following conditions exists:

- (1) For income producing Properties, the Building, Structure or Site cannot be feasibly used or rented at a reasonable rate or return

in its present condition or if rehabilitated and denial of the Application would deprive the Owner of all reasonable Use of the Property; or

- (2) For non-income producing Properties, the Building, Structure or Site has no beneficial Use as a residential dwelling or for an institutional Use in its present condition or if rehabilitated, and denial of the Application would deprive the Owner of all reasonable Use of the Property; and

- (3) The Building, Structure or Site cannot be feasibly Reconstructed or relocated.

(D) APPROVAL. If the CAD Hearing Board approves the Application, the Owner may apply for a Demolition permit with the Building Department and proceed to Demolish the Building, Structure or Site in compliance with other regulations as they may apply. The City may, as a condition of approval, require the Owner to provide documentation of the Demolished Building, Structure or Site according to the standards of the Historic American Building Survey (HABS). Such documentation may include a complete history, photographs, floor plans, measured drawings, an archeological survey or other information as specified. The City may also require the Owner to incorporate an appropriate memorializing of the Building, Structure or Site, such as a photo display or plaque, into the proposed replacement project of the Property. Approval of a CAD shall be valid for one (1) year.

(E) **DENIAL.** If the CAD Hearing Board denies the Application, the Owner shall not Demolish the Building, Structure or Site, and may not re-apply for a CAD for a period of three (3) years from the date of the CAD Hearing Board's final decision, unless substantial changes in circumstances have occurred other than the re-sale of the Property or those caused by the negligence or intentional acts of the Owner. It shall be the responsibility of the Owner to stabilize and maintain the Property so as not to create a structurally unsound, hazardous, or dangerous Building, as identified in Section 116.1 of the International Building Code. The City may provide the owner with information regarding financial assistance for the necessary rehab or repair work, as it becomes available.

(F) **APPEAL.** The City or any Persons adversely affected by any decision of the CAD Hearing Board may petition the District Court in Summit County for a review of the decision. In the petition, the plaintiff may only allege that the Officer's decision was arbitrary, capricious, or illegal. The petition is barred unless it is filed within thirty (30) days after the date of the CAD Hearing Board's decision.

(Amended by Ord. Nos. 09-10; 09-23; 10-11; 11-05)

1.80 DEVELOPMENT AGREEMENT.

A contract or agreement between an Applicant or Property Owner and the City pursuant to the provisions in this Code and used as an implementation document for Master Planned Developments.

1.81 DEVELOPMENT APPROVAL APPLICATION.

Includes any Application for any Development approval including, but not limited to Grubbing, Grading, an alteration or revision to an approved MPD, Conditional Use permit (CUP), zoning or rezoning, Subdivision, or annexation. The term "Development Approval Application" shall not include any Building Permits associated with construction within an approved Subdivision or on an existing platted Lot unless otherwise specified.

1.82 DEVELOPMENT CREDIT. A credit measured in Unit Equivalents that denotes the amount of density on a Sending Site which may be Transferred.

1.83 DEVELOPMENT CREDIT CERTIFICATE. The certificate issued by the Planning Director of Park City that represents the total number of development credits recognized for and derived from the sending site that may be Transferred.

1.84 DEVELOPMENT RIGHT. The right held by a fee simple property owner to build on a legally established parcel of real property. This right is limited by applicable zoning ordinances.

1.85 DISABLED CARE. A long-term care residential facility for disabled Persons, Persons suffering from a physical or mental impairment that substantially limits one (1)

or more of a Person's major life activities, including a Person having a record of such an impairment or being regarded as having such an impairment.

1.86 DISASSEMBLY. The act or process of taking apart a Historic Building or Structure in the largest workable components possible for the purpose of accurately reassembling it in its original form, location, and orientation

1.87 DISSIMILAR LOCATION. A location that differs from the original location in terms of vegetation, topography, other physical features, and proximity of Structures.

1.88 DWELLING.

(A) **Dwelling, Duplex.** A Building containing two (2) Dwelling Units.

(B) **Dwelling, Triplex.** A Building containing three (3) Dwelling Units.

(C) **Dwelling, Multi-Unit.** A Building containing four (4) or more Dwelling Units.

(D) **Dwelling, Single Family.** A Building containing not more than one (1) Dwelling Unit.

1.89 DWELLING UNIT. A Building or portion thereof designed for Use as the residence or sleeping place of one (1) or more Persons or families and includes a Kitchen, but does not include a Hotel, Motel, Lodge, Nursing Home, or Lockout Unit.

1.90 ECONOMIC HARDSHIP.

Facility, Co-Location)	Dwelling, Multi-Unit
Commercial Use	Dwelling, Single Family
Commercial Use, Support	Dwelling Unit
Commercial Use, Resort Support	
Common Area	-E-
Common Ownership	Economic Hardship, Substantial
Compatible or Compatibility	Elder Care
Conditional Use	Elevator Penthouse
Condominium	Equipment Shelter (see Telecommunications Facility, Equipment Shelter
Conservation Activity	Escrow
Conservation Easement	Essential Historical Form
Constitutional Taking	Exterior Architectural Appearance
Construction Activity	
Construction Mitigation Plan	-F-
Construction Plan	Facade, Building
Contributing Building, Structure, Site/Area or Object	Facade, Front
Council	Facade Easement
Cover, Site	Facade Shift
Crawl Space	Fence
Crest of Hill	Filtered Light Fixture
Cul-de-sac	Final Action
	Final Plat
-D-	First Story
Deli or Delicatessen	Flood Plain Area
Demolish or Demolition	Floor Area, Gross Commercial
Density	Floor Area, Gross Residential
Design Guideline	Floor Area, Net Leasable
Detached	Floor Area Ratio (FAR)
Developable Land	Foot Candle
Developer	Foot Candle, Average (afc)
Development	Foot Candle, Horizontal (hfc)
Development Agreement	Foot Candle, Vertical (vfc)
Development Approval Application	Frontage
Development Credit	Fully Shielded
Development Credit Certificate	
Development Right	-G-
Disabled Care	Garage, Commercial
<u>Disassembly</u>	Garage, Front Facing
Dissimilar Location	Garage, Private
Dwelling, Duplex	Garage, Public
Dwelling, Triplex	Geologic Hazard

DRAFT MEETING MINUTES

**PARK CITY COUNCIL MEETING
SUMMIT COUNTY, UTAH
FEBRUARY 3 AND 4, 2011**

ROLL CALL

Mayor Dana Williams called the annual City Council Visioning Session to order at approximately 8:30 a.m. at the Lloyd D. Evans, Jr., Conference Room at the Park City Police Facility on Thursday, February 3, 2011. Members in attendance were Dana Williams, Alex Butwinski, Candace Erickson, Joe Kernan, Cindy Matsumoto, and Liza Simpson. Staff present was Tom Bakaly, City Manager; Mark Harrington, City Attorney; and Michael Kovacs, Assistant City Manager.

CLOSED SESSION

Liza Simpson, "I move to close the meeting to discuss property and personnel". Joe Kernan seconded. Motion carried unanimously. The meeting opened at approximately 11:30 p.m. Candace Erickson, "I move to open the meeting". Liza Simpson seconded. Motion unanimously carried.

Historic Preservation - HPB and Planning Commission Included **HPB members Roger Durst, Ken Martz, Sara Werbelow, David White, and David McFawn.**

Thomas Eddington – role of HPB, they have expressed interest in more proactive role with regard to preservation. Executive summary reviews history of transition from hdc to hpb

Purpose statements of HPB in LMC and staff has made recommendations regarding areas they HPB has expressed to us in various visioning sessions and work sessions. Want to talk about hpb and reconstruction issues in second part of report. Proactive steps we would like to work with HPB on.

DW – Dec 16, Council work session discussion regarding adding independent review/assessment for any proposed reconstruction project. That was talking about independent review with regard to an applicant that comes in requesting reconstruction. We typically left it up to them and their architect to do and have them seal that. There was discussion of having 3rd party architect or structural engineer document that. When staff came forward about 1 ½ years ago and created new historic site inventory there was tremendous amount of discussion that the initial draft had lost a number of houses. We then added significant structures so we had two tiers, landmark and significant. There was discussion at that point that challenges of owning historic home in old town became greater. Restrictions were greater, design review process got longer, added design review team, no doubt we tried to make it more one on one and friendly but it got more detailed, more refined, more black and white. Given that how do we help out these homeowners and one issues was the opportunity to look at additional historic grants, increasing the grants, look into redevelopment area, are there more monies we could devote. Coming back to incentivizing what you want to see. Don't know monetary impact for thorough analysis for detailed preservation plan, 2-6,000.

Labor costs for panelization are high. Owner could save money by reconstruction. Park ave house, total shock and awe, realized, we understand the application was before new guidelines kicked in, based on all HDC guidelines, but – we are all concerned that toughest thing to do in this town is tear down a house in old town.

DW We have heard different things from you about how we should be looking at things. In terms of reading things you sent us, is that reflection of Board? Are you in agreement that this board should be tweaked so that it is in more of regulatory stance than an appeal stance. Have you talked in terms of appeals if you are coming in at different level – seems this is nitty gritty of what we wanted to get to today.

They are mutually exclusive. If we are putting you in position where you are reviewing reconstructions that will involve demolitions, threatened buildings, etc., you are losing ability to be appeal board for it. What are your best thoughts

Roger Durst, would initially defer. Have made my case well known in communications with Council and with Te and his staff and have sent copy to board. My feelings are that the design review process is not don't see in all deference to Tom a vast improvement and before I make any more comments I defer to any of board members here who might like to express themselves about that.

Sarah Werbelow – I have been selected as first board member to participate in design review process. Have ben to one meeting, little early to make definitive comment. Had an epiphany in the meeting and the process I was able to witness was reason I chose to serve. Had a chance to see that guidelines are being utilized and it is too soon to make a judgment as to how these guidelines are going to affect design and the impact on the historic district. Thanked Roger, took me while to understand what you were getting at with whole design review team process but had a sense that there is a process at work, very structured process, guidelines are carefully utilized. Saw how guidelines are being put into practice and design community is going to get sense to see how they need to be factored into the process. Little soon to make judgment. Would love to see each commission member to have chance to see process at work and get sense for how guidelines are translating into reality. Useful and inspiring. Having HPB be involved with determination of historic significance or CAD process or anything pertaining to demolition/reconstruction would be critical role. Don't know how that interacts with appeal scenario. That one specific issue is such a passionate hot button issue for community that being on this board and not having those applications come before doesn't make any sense.

Ken Martz - go along with what Sarah mentioned last. David White and I were both on old historic district commission in the 90s. was chair through establishment of new guidelines that we have. Area of oversight has been issue gone back and forth with and Tom E has outlined issues we have. In favor of new guidelines, they need to have chance to work. Need another year to have most of it go through process. Still want to address reconstruction issue – that was such difficult process, not that anyone made a mistake, in area of reconstruction we need some oversight which acts as PR system to get word out – takes care of issues along the way. Need oversight in this one area. Oversight takes care of issues along the way. We need this oversight just in one area – te outlined cost of having us involved, additional time in process, not asking for panelization, regular areas, in this one area we need oversight. Would help to have us involved in that one area and go through the process and see if all ducks are in row. Other one is inventory – nothing has been mentioned about the inventory. How does this affect the

inventory, are we going to lose properties off inventory the negative feeling it gives to people when backhoes start tearing something down. Needs to be addressed.

DW – do you feel that what was done on redone on panelization works and if that is something. Distillery was done on new guidelines. Reconstruction guidelines came out through national parks.

TE – had reconstruction in old guidelines and when we came to you for the new historic site and expanded it, we at that time had already included reconstruction it got reinforced, reconstruction for significant structures anyway, that got added in as cast net bigger. Department of Interior – method of last resort, listed that way in your guidelines too.

Don't think you are interested in historic preservation if you are going to build and sell for \$2M. not labor of love. We have to watch and maintain inventory there are huge amount of projects under old guidelines that is a donut hole and ambiguous as to how that process works. HPB needs to have oversight on reconstruction under both the old and new guidelines. Something to review that process.

DW Having our eyes open as to what limitations of significant and landmark studies work. Visual representation of each house, not structural ... in terms of moving forward and we have talked about the fact that should we go that next step with significant and landmark houses – it will cost a fortune to do it, or is it the type of thing that if something is coming up with an action associated with it that kicks in certain

David White – one of most important things we need to do right now is include HPB in any applications for demolition. We need to be involved with planning, building depts. In review of CAD process – another set of eyes and ears.

Cindy m – what happened on park avenue was not demolition so I think we have to make sure you don't to just be involved in demolition, you want to be involved with reconstruction.

David – when you have a demolition, theoretically you are going to have a reconstruction.

Cindy – if it comes under classification of reconstruction we are only going to look at demolitions – I want to make sure that we don't want to miss out.

Two go hand in hand. One of the mistakes that were made, they decided to take building down but project wasn't going to start for 6-8 months so they took it down and we end up with vacant lot with for sale sign. That freaked everybody out. If there was going to be demolition it should have been postponed until just before the project was going to start rather than having all this time with vacant lot. Those two things go hand in hand.

David McFawn – process needs a chance to play itself under new rules before we start saying they don't work. We want to look forward to make sure they will work given these circumstances that came into play this time around. Talked about communication, how much time was spent doing damage control educating all of us, council, board, citizens – what happens if there is a sign that explains they are using panelization, restoring project, rendering of what it will look like.

Watts garage panelization project was one of the best preservation projects that we have done.

Liza – bigger concern is properties that are demolition by neglect. That is how we end up with properties that need to be reconstructed rather than restored. We need to set process where HPB reviews all cads and reconstructions, appeal process..... Comes out of your hands..... probably best way to insure – have second set of eyes and Second level of review for this most

extreme last resort option for these buildings happens. Would like to not lose trust with all the other communications tools and ideas that you talk about implementing. Our historic district is in danger partially because of how small it was when it started. Equally important to keeping historic district is making sure infill is contributory. Much better partnership between HPB and Historic Society – should be jointed at hip.

Candy – don't have issue with HPB getting more involved in this one are and maybe that is first step.

Don't think it is bad thing if HPB doesn't act as appeal board on every issue

Cindy having another set of eyes look at reconstruction and demolition very critical – old town is crucial to our town and sense of community, economic drivers, etc. favor giving extra responsibility to HPB. Clarify donut hole – not just things going forward under new guidelines but all inventory that is coming up that will be done under old guidelines over next year or so. Need to look at those also. It will be a cost to homeowners and I think that one you take on buying a historic home. Not burdensome to historic homeowner to get second evaluation as to whether something should be demolished or reconstructed, if you are just relying on homeowner and their architect you aren't getting clear picture. We expect inside of historic homes to be gutted and rearranged, we are looking at outside and face to public and scale and what it adds to existing neighborhood. What was appeals process before when HDC denied something – varied – Council switched to Board of Appeals. Look for ways to incentivize people.

Alex – whole idea of regulation to extreme level bothers me, in order to move forward with restoration versus reconstruction, we need to be very specific. At what point do I have enough information. Specificity – planning commission had discussion about neighborhoods and putting in LMC, raised question of what is neighborhood – is it Old Town, Park Meadows, could be narrower than that it could 16 square block area . tear down reconstruction versus restoration, has to be clear. How many boards do you have to have, how restorable does a place have to be in order to qualify as a reconstruction. Legislative question which goes to, you have a house that everybody recognizes should be torn down and don't have a plan for it yet – catch 22 dilemma of am I forced to tear it down, do I leave it in unsafe condition because I'm not ready to build and know I have a 6 month clock – is that resolved in any of this somewhere.

TE – if you have a house that has been deemed unsafe by the building official you would have to prepare preservation plan outlining exactly what house consists of now, measurements, drawings, materials, and it could be torn down for reconstruction.

Polly – situation like that, either person would have to shore up house if they didn't want to tear it down so that it could remain standing and be safe, or if they were to enter into preservation plan and do all that, we have in language the timeframes by which they have from date of demolition get a CO, lien or guarantee, if they don't the City has the right to pull that money to ensure that it gets rebuilt. Most cost effective, shore it up

Joe – historic homes are important to our character and our branding. We have seen a lot of people build on them and have lost a lot of that value. It is appropriate to ramp things up with both incentives and regulation and review. Willing to look at funding through RDA. Look at smaller grants to help people with reconstruction and look at possibility of other ways such as just giving money from RDA or density transfer to encourage them not to reconstruct at all or minimize it. Additional layer of outside architect if cost is reasonable and fair. Okay with HPB involvement in design review.

Dana – in terms of demolition associated with or a reconstruction, HPB would be required to add another layer in there.

Liza – clarify what Sarah does.

Sarah – HPB doesn't see applications that come into the city for remodel, new construction, or demolition/reconstruction in the historic district idea was to have a member of the board sit in as an observer only to get a sense for what the process looks like.

Just focus on reconstruction section only

If that is going to be the case, and a board member sits in as an observer, should go a step further and that individual should be able to share in some capacity some findings with the board that can be useful. New design guidelines are supposed to be more fluid than original guidelines and that was one of the issues, it wasn't an evolving document and now the way these guidelines are written the purpose is that they can be fluid. So, as things are observed and shared with commission if there are places that those guidelines can be cleaned up or amended to have more use, that could be a way to utilize that observation role. Actually has to be a purpose for what one witnesses to show the commission they can have some kind of impact on guidelines.

DW do you see that as something that
TE guideline specific.

Dana – the goal of the new guidelines, which I think we are all on the same page, was that so someone is buying in Old town they could grab something, sit down and read it, and have some basic understanding. They are not going to know every nuance, the realtor is not going to tell them, but basically what they could do and what they couldn't do.

Thomas E – as well, exactly what Sarah said, they would grow and evolve year after year. We would come back and relook at them. The old guidelines were written in 1983, things have changed.

Gary Kimball - One of things when I was heading up the commission then was that we wanted it to be fluid so we could tweak it every year and Tom has addressed that and

Roger Durst – thanks for opening this dialogue. It's necessary and it is my concern that this historic preservation board is a more proactive entity. Compliment Tom on his commentary and I certainly Those recommendations he just made. It is, I think we are on the right track. I have a much bigger goal and otherwise I wouldn't be so outspoken. Have spent a good deal of my career in historic preservation. Have worked on 3 buildings that were on listing of National Historic Register and I think I understand it. I have also participated in my community, I am an outsider, I live in Salt Lake City in the Avenues, a portion of which is an historic district. I have served on the Board of Utah Heritage Foundation. Having said that, I think there are some, we will make the same mistakes that these other communities have made and will lose our historic sense if we don't go beyond that. I participated in the deliberations, it took a year or more when we talked about these guidelines and I think they are good. They are a wonderful presentation to either an architect or property buyer in the town as to what it is we are looking for. They are guidelines and they should not be dealt with as regulations. I don't have a concern, as an architect I have dealt with the design review team and I understand what they are doing. Unfortunately, these people are regulators, they are controllers, they adjudicate, they prescribe and they regulate. That is their function and there is nothing wrong with that. The problem that I have is the subjective side of this. I have gone through these guidelines and I have listed 42

items of valuation that are subjective. From what I have seen, what has come to the historic preservation board from the DRT, I think they have done a remarkable job. If you don't go beyond those prescriptive remedies and look at these buildings in context, you can't salvage the historic essence, the character, high standards, feasibility ... distinctive, I won't go through all of these but that is the kind of evaluation that I think needs to be made. One of the things about the US Secretary of Interior's Guidelines for Rehabilitation, they deal with buildings individually in an historic sense. What it is to restore this building individually. What we are talking about in this community is retaining the context of history. In another few years, we will have the a-frames and recreational buildings that in fact will become a part of our history and we need to look at that. It is the mining, it is the depression, it's the regeneration. That is the kind of history that is important and I respectfully understand the need not to be excessively subjective. I don't want attorneys designing this town.

Dana – there is a word that you used last year – delight.

Roger Durst – It is that character that we want to sustain because it has such great cultural, social and economic value to us. We are on the right track and because you have opened this dialogue, I would continue to be aggressive beyond these controls. I think there needs to and the start of this is, I think we have a bunch of committed, well-intentioned, bright people on this board. They make judgments about music, food they eat, plays they go to see, movies that they enjoy; there is no reason they can't do that about their town.

Liza – having spent a lot of blood, sweat and tears maintaining an 1880's building in Old Town, I am fairly familiar without being able to make a professional opinion of parts of it that needed to be replaced and milled to match. Currently, per our guidelines and our regulations the building department makes a determination as to whether a building is up for reconstruction or that there is "x" amount of rot, there is "x" amount of ..., the one that struck me that we toured was the one down on Lower Woodside, which I don't think was the raccoon house, not only was in horrible shape but had been remodeled and basically Ron wanted them to tear it down. We do have a professional determination being made by someone in the City.

Thomas E – if a building is deemed unsafe by the building official, that is a more proactive step by the city. If somebody is coming in and buying an old house and they want to submit an historic district design review application, they would come in and we would work them through the DRT process, of which Sarah is a part, and we would see what they are proposing with their architect, work with them, if they said you haven't been out to this house, but let me tell you, this thing is a ... their structural engineer would bring in photographs, documentation, prepare preservation plan that recommends reconstruction. We would generally send the planner and building official out to look at that to basically make a determination that that was true. We are basing it on their architect's or structural engineer's application.

Liza - We are verifying it. We are talking about that extra layer of inspection, that third party inspection, which I don't think that is a bad idea, but I want to be clear that we are currently verifying by a qualified person.

David White – but we are also proposing an extra review from our board.

Liza – I get it, but when we started talking about that third party inspection by a professional, I wanted to make sure that was a different extra layer as opposed to ...

Thomas Eddington – it is already there, this would be in addition

Alex Butwinski In future who is going to know whether I restored, or reconstructed, that house. Driving down the street it looks exactly the same.

Dana - bring this to a close because ...

Jeff Love – Application in for 811 Norfolk – it has been a 10 month process, every historic house has some unique situations and circumstances and part of reason I attended today is hoping at some point, I think there are some things that happened .. streamlined better for future people and I would like to be able at some point to convey that.

Dana – is it possible for you to write that up and send it to us?

Jeff – it would take a long time, I would rather just do it verbally at some point if that is possible. One thing I would like to convey today that I think people have brought up statement that they don't know if the design guidelines were working or not and I have a great example of how I think they are working. Tom Peek owns house at 957 Woodside. It is a landmark house, like my house it is a landmark house, each property consists of 3,000 sf, exactly same lot sizes. In my application, I am proposing a 2,450 sf house; Tom's house has approvals from old guidelines for 3700 sf. His house is essentially the exact historic house, both landmarked, both on same lot size, but his house is 1/3 bigger. Some of things that are working is that 4 stories aren't allowed anymore; there is transitional element from historic house to new house, that reduces square footage, and in my case if I could move the house forward that would allow additional square footage. There are limitations on movements of the house. If I could move it forward that would add square footage. The point is that the design guidelines are working. I personally think the pendulum has swung too far the other way. I have some great examples of flaws, I think, in the design guidelines. My favorite, and I think it is very interpretation neighbors to contest the project but under new construction B1.4 it says "taller portions of buildings should be constructed so as to minimize obstruction of sunlight to adjacent yards rooms". How do you build anything in Old Town and not affect sunlight to an adjacent property? That is so subjective and leaves it wide open for some neighbor to challenge your project. There are a lot of good things in the design guidelines, but there are some things that need to be looked at. There are also a lot of inconsistencies between the design guidelines and the Land Management Code, and I have some great examples. It says that the more restrictive should apply, but there are inconsistencies and conflicting information between the two.

Dana – let's set something up where we can sit down for an hour

Dana – there were some recommendations on page 3 and 4 in terms of an action plan on certain things associated with you guys. Are you okay with moving ahead and adding some of these things to your plate, and (c) specifically ... HPB Action Plan for 2011, the second page starts with c on the top.

I think this goes to what you were saying Sarah is that, this is saying it would be once or twice a year, but maybe that we make that quarterly or as needed if something comes up. I want the dialogue to continue because it seems like where we get sideways at times is at times when we are all so caught up in everything else that we are doing that we don't talk to each other. Are you basically okay with this action plan?

HPB members – yes - other than it doesn't address the old guidelines, the only thing

Liza requested clarity from Mark. Would we be changing the LMC to give HPB review authority over demolitions and reconstructions

Mark Harrington – anything that doesn't currently have an approval, even though if it is pending you are adding ... I think you could probably do that, but if they have already got staff approval you couldn't add another layer of approval.

Liza – but that does make the doughnut hole much smaller

Tom Bakaly – one clarification I had ...

Thomas E –we reviewed old reconstructions for old guidelines and we list the six houses that have actually had been, or will be, reconstructed. These have been demolished and they will be reconstructed. We tried to look back to see if there were others, there may be two, it was unclear in the notes. That doughnut hole is not very big.

....

Dana – basically, we are moving ahead with the action plan for 2011 and we are going to move ahead to try to set this up so that we are adding authority to HPB in terms of demolition, demolition by neglect, reconstruction, and things associated with CAD.

Liza – are we going to add the 3rd party inspection?

Dana – part of that is wanting architects to look at it, or is it structural engineers?

Liza – my thought was structural, but I am certainly okay for at least a while going for

Dana –agreed that they move ahead with it,

Liza – are we increasing due diligence enough by having these go to the HPB when we know that Roger is going out and doing inspections, or do we think in addition to raising the level of vigilance we have to have another.

Thomas E – recommendation, go that way with this level and then as this body also works with you and the planning commission, to look at maybe RDA funds, etc, maybe there is a way to move to that next level that is a little less burdensome.

Dana – as part of their review process couldn't they say we don't have enough information to the applicant and that you need to have a structural engineer go through this house and we are not going to proceed further with this until you do that report.

Mark H – let us come back with clarity. Problem with this element is it is a real hot topic for legislators right now in terms of independent fees that municipalities are utilizing on this. We don't want to give them cause We may already have the ability in terms of existing lmc. Staff will come back with some detailed recommendations.

Joe – although think these guys are totally capable and interested in performing that function to a high degree, that protection in the long run, you never know what is going to happen with this body and these people, nice to have some level of protection from outside

Tom – we will come back as LMC change and you will all have a chance to discuss it

PARK CITY MUNICIPAL CORPORATION
PLANNING COMMISSION MEETING MINUTES
COUNCIL CHAMBERS
MARSAC MUNICIPAL BUILDING
AUGUST 10, 2011

COMMISSIONERS IN ATTENDANCE:

Chair Charlie Wintzer, Mick Savage, Jack Thomas, Nann Worel

EX OFFICIO:

Planning Director, Thomas Eddington; Planner, Kirsten Whetstone Planner, Kayla Sintz, Planner,
Polly Samuels McLean, Assistant City Attorney

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REGULAR MEETING

ROLL CALL

Chair Wintzer called the meeting to order at 5:40 p.m. and noted that all of the Commissioners were present except Commissioners Pettit, Hontz and Strachan who were excused.

ADOPTION OF MINUTES – July 27, 2011

MOTION: Commissioner Thomas moved to APPROVE the minutes of July 27, 2011.
Commissioner Worel seconded the motion.

VOTE: The motion passed unanimously.

PUBLIC INPUT

There were no comments.

STAFF/COMMISSIONER COMMUNICATIONS AND DISCLOSURES

Director Eddington reminded the Planning Commission that the next joint meeting with the City Council was scheduled for August 25th. The Commissioners would be receiving a Staff report and agenda.

Chair Wintzer stated that he would be out of Town for the next regular Planning Commission meeting on August 24th and the joint meeting with the City Council on August 25th.

Commissioner Savage asked if the Planning Commission would hold their regular meeting the night before Thanksgiving. Director Eddington replied that due to the holidays, the Planning Commission typically has one meeting in November and December. He could not foresee canceling any other Planning Commission meetings prior to November.

REGULAR AGENDA - DISCUSSION/PUBLIC HEARINGS/ POSSIBLE ACTION

5. Land Management Code – Amendments to Chapter 1 (General Provisions), Chapter 11 (Historic Preservation), and Chapter 15 (Definitions) – to amend the review process of reconstructions and panelizations to include the Historic Preservation Board (Application #PL-11-01203)

Planner Sintz reported that on September 3, 2011, the City Council, the Planning Commission and the HPB held a joint visioning session. During that session a discussion occurred regarding the process for when a reconstruction is permitted as part of the Historic District Design Review application. Public and property noticing, as well as opportunity for public input were also discussed. Direction was given to Staff to expand the review of all reconstructions to include a formal notice review and approval by the Historic Preservation Board. The Staff would make a recommendation and the application would move forward per the criteria currently outlined in the LMC.

Planner Sintz noted that reconstruction is defined as "The act or process of depicting by means of new construction, the form, features and detailing of a non-surviving site, landscape, building structure or object for the purpose of replicating its appearance at a specific period of time and in its Historic location". She stated that reconstruction is a recognized form of preservation for Park City and industry standards. It is documented in the LMC and in the design guidelines.

Planner Sintz stated that from the Staff review and in preparing the amendments, she recommended adding disassembly to the Historic Preservation Review. The Staff worked with Dina Blaes, the Preservation Consultant, to draft a new definition for disassembly to be included in the Land Management Code. Disassembly would be defined as, "The act or process of taking apart a Historic building or structure in the largest workable components possible for the purpose of accurately reassembling it in its original form, location, and orientation".

Planner Sintz remarked that anyone who has been actively involved in Historic District Design Reviews knows that disassembly is sometimes called panelization. However, panelization is not a historic preservation term. The Staff recommended that the Planning Commission also add disassembly to the Historic Preservation Board review since reconstruction and disassembly are the only times when a site is scrubbed and nothing is on it while work is being done or a foundation is being poured. Planner Sintz stated that if the original intent was in regards to a project on Park Avenue in which the public was not aware of what was going back up, the Staff would recommend that disassemblies be added to that as well.

Planner Sintz stated that the Staff has also been working with the HPB on a new signage system. Therefore, in addition to the possible change to the LMC, there would be increased signage at the disassembled and reconstructed sites.

Planner Sintz reviewed the proposed amendments and identified the applicable chapters. In Chapter 1, they would add a new noticing matrix required for new applications. The Staff

recommended the same noticing that occurs for a conditional use permit. Chapter 11 would add Historic Preservation Board in places where it currently says Planning Staff approval. It would also capitalize the D in disassembly wherever that phrase occurs, since it is a newly defined term. A new definition would be added for Disassembly. Planner Sintz requested input from the Planning Commission as to whether they support including disassembly as part of the amendments.

The Staff recommended that the Planning Commission conduct a public hearing and consider forwarding a positive recommendation to the City Council based on the draft ordinance.

Chair Wintzer asked if the Historic District Guidelines would be changed to match the proposed amendments. Planner Sintz replied that any language in the guidelines that would conflict with the new LMC would be updated.

Commissioner Savage asked about the vetting process between the HPB and the Planning Department associated with how the LMC amendments were created. He assumed the HPB supported the proposed amendments. Planner Sintz explained that the LMC is not reviewed by the Historic Preservation Board. However, the HPB members favored the idea of being more involved in different historic design reviews, and this was deemed to be an appropriate way for the HPB to be involved. Commissioner Savage asked if they could assume that the HPB would embrace these amendments as being satisfactory to address the issues that caused the problem in the first place.

Director Eddington stated that the HPB fully supports the amendment to the LMC. He summarized that the change started with reconstruction and now includes disassembly, formerly known as panelization. Director Eddington noted that the information presented this evening would be given to the HPB as an information update. Planner Sintz remarked that the HPB would have to receive training in terms of how their review and approval would occur.

Commissioner Savage questioned whether they were putting the cart ahead of the horse as it relates to review by the HPB. If this change to the Land Management Code was being driven by their desire, he suggested that it would be better for the Planning Commission to review the amendment with the HPB prior to the City Council process. Planner Sintz understood that the direction came from the City Council in terms of what they deemed to be an appropriate role for the Historic Preservation Board. Director Eddington noted that the City Council gave that direction in conjunction with the joint visioning session with the HPB.

Assistant City Attorney McLean stated that the HPB has appointed a liaison to attend Planning Commission meetings when items on the agenda relate to the Historic District. The Liaison would then report back to the HPB.

Commissioner Thomas appreciated the liaison, but he felt it was one-way communication. He asked if the Planning Commission has ever had a liaison to the HPB to see what they do. Assistant City Attorney McLean stated that the Planning Commission could appoint a liaison if they wished. Commissioner Thomas commented on the number of times situations have occurred in the review process, even with the expertise of Dina Blaes, that he has questioned as an architect involved in historic restorations. Commissioner Thomas suggested an educational process to better

understand how some things are approved in certain conditions. Assistant City Attorney recommended a joint work session with the Planning Commission and the HPB to discuss those issues. Chair Wintzer asked if it was possible to schedule a joint work session with the HPB prior to a Planning Commission meeting. Director Eddington thought the HPB would be amenable to a joint work session. The HPB also has new members and it would be a good opportunity for everyone to get acquainted. Commissioner Thomas suggested that Dina Blaes be invited to attend the work session.

Chair Wintzer opened the public hearing.

Jeff Brille, was concerned about the redundancy of another review body and the potential of creating additional delays. He agreed with the concerns expressed by the Planning Commission regarding the qualifications of the HPB and their ability to streamline the process. He supported reconstruction but he had reservations about disassembly. In a community where they are trying to be sustainable and productive with energy use, disassembly turns into an intensive process, particularly for mobilizing portions of the structure on and off site. If contractors have facilities in the Valley, transporting up and down the canyon creates energy waste, which would be the case with disassembly.

Ruth Meintsma stated that she had spoken with Planner Sintz about adding additional language to the definition of disassembly. Ms. Meintsma remarked that disassembly in itself is a course process typically done by hard labor. She felt that if the definition was not clear, disassembly could involve babysitting by the Planning Staff. Ms. Meintsma read her suggested language to the definition. "...for the purpose of accurately assembling, and for the purpose of accurately reproducing the placement, scale, and dimensions of the historic elements (windows, doors and porch posts). Ms. Meintsma noted that those words are used in the historic design guidelines under B-2, Exterior Walls. She has seen instances where the forms and panels were saved, but the porch posts that were supposed to be saved were lost. In those cases the porch posts were recreated but they were not like the original. Ms. Meintsma remarked that the lost details take away from the historic.

Mike Sweeney echoed the comments regarding a second layer of review. He pointed out that the City already has a knowledgeable Planning Group, and to add another layer that would require a property owner to spend more time going through the process makes no sense. Mr. Sweeney thought the Staff was more than capable of answering the questions and addressing the issues, and he believed the decision would be the same. It would just take longer and cost more money to reach that decision. Mr. Sweeney preferred to see the process streamlined rather than expanded.

Mary Cook stated that she did not want to cause problems for property owners; however, a friend was visiting Park City and they were walking up Park Avenue. Her friend had lived in Park City many years ago and they were talking about building that had been changed or taken down. The very items being discussed, such as trim, porch posts, shape of windows, etc, were the same things her friend immediately noticed had been removed and replaced with plastic or machined trim. Her friend's commented that you cannot have a historic district if you don't preserve those elements that are the hallmark of that historic time period. Ms. Cook could see arguments on both sides of the issue, but she felt it was important for the Planning Commission to hear her story.

Helen Alvarez stated that her comments were not related to historic preservation or elements or disassembly. She agreed with Commissioner Thomas that the City should not be layering on boards. The Planning Staff and the Legal Staff are paid to make decisions, and the Planning Commission volunteers hours and hours discussing those decisions. As a citizen, she did not feel protected when volunteer citizens assemble as a board to make decisions that should be made by the elected officials and their appointed Planning Commission. Ms. Alvarez urged the Planning Commission not to grant the Historic Preservation Board the right to review projects within the Historic District. She strongly favored professional review and she asked them to consider that. The City is surrounded by competent professionals to serve the citizens. She was not opposed to a volunteer Board in an advisory capacity, but she was strongly opposed if they are placed in a decision making capacity. Ms. Alvarez knows of situations where citizen boards, without the benefit of legal counsel, have said things that could be strongly challenged if the decision went to court. She did not want to be unprotected from that kind of legal action. Ms. Alvarez urged the Planning Commission to assume their responsibility as professionals and not grant their authority or the authority of the Planning Staff to a board.

Chair Wintzer closed the public hearing.

Commissioner Savage understood that the amendment being reviewed was mandated by the City Council. In accordance with that mandate, the Planning Staff recommended a modification to the LMC that the Planning Commission was being asked to review and approve. Commissioner Savage assumed that the Planning Commission was not in a capacity to make a decision as to whether or not this was an appropriate decision on behalf of City Council. They could only determine whether the proposed Land Management Code amendment supports the recommendation from City Council.

Assistant City Attorney McLean explained that as part of the joint visioning in February the City Council gave Staff direction to make the proposed changes to the Land Management Code. The Planning Commission is responsible for their own recommendations and if they disagree with the City Council they need to stand behind their opinion. When forwarding their recommendation, it is important for the Planning Commission to articulate why they disagree so the City Council has the benefit of that information. Ms. McLean clarified that direction from the City Council does not abdicate the Planning Commission from their duties.

Commissioner Savage stated that he was emboldened by Ms. Alvarez and her comments. If there is a way to facilitate a more efficient process for construction using the existing Staff and the existing mechanisms, he would support that approach. Commissioner Savage believed the recommended modification was a consequence of one incident that created a tumult, and it did not justify adding another layer to an already cumbersome approval process. Commissioner Savage opposed the amendments to the LMC.

Commissioner Worel concurred. She completely supports streamlined processes. Commissioner Worel stated that the HPB has the opportunity as citizens to attend public hearings and make their opinions known, particularly if they have a liaison to the Planning Commission. She believed adding another layer of review would be difficult.

Assistant City Attorney McLean stated that under the current process, if someone applies for a reconstruction it goes to the Planning Department. If the Staff decision is appealed, it would go to the HPB. Director Eddington clarified that the HPB is an appeal body in their current capacity. Ms. McLean pointed out that in those cases, the decision would not come before the Planning Commission. If the Staff's decision is not appealed, the project would move forward without going to another body. Ms. McLean remarked that the proposed amendment would require a public hearing for those reconstructions. If that was appealed it would go to the Board of Adjustment.

Planner Sintz noted that existing LMC criteria must be met. There are four criteria under disassembly and three criteria under reconstruction. Planner Sintz explained the current approval process for disassembly and reconstruction. She clarified that the only difference was that the proposed amendment takes the approval away from the Planning Department and puts it in the hands of the Historic Preservation Board.

Chair Wintzer asked if the Planning Staff needed another layer of review or if they felt they could handle it on their own. Director Eddington replied that the process works well with the Planning Staff. There were issues with a recent reconstruction; however, he did not believe the City Council or the HPB thought a mistake was made. The problem was a lack of public involvement with the reconstruction on Park Avenue. During visioning the City Council and some HPB members thought a public forum at the HPB level would inform the neighbors of the project and what to expect. Director Eddington stated that the Planning Staff was more than capable of architectural review and/or interpreting the guidelines and City Codes. The proposed amendment provides public opportunity that would not occur in the Staff review process.

City Council Member, Alex Butwinski, stated that the City Council is always concerned about not adding another layer of bureaucracy. He clarified that the issue resulted from 657 Park Avenue and the City Council was interested in finding a better way to keep the public informed. Mr. Butwinski agreed with Ms. McLean that the Planning Commission has the purview to offer a different opinion. However, he asked the Planning Commission to consider the potential in the Historic District for many things falling through the cracks, particularly with regard to reconstruction. The amendment would heighten awareness of the Historic preservation they were striving to maintain in Old Town. Mr. Butwinski remarked that less bureaucracy is generally better, except in this case.

Chair Wintzer stated that having another review board would take the pressure off the Staff from always being the ones to interpret the Code, and it would provide them with back-up. Chair Wintzer favored the amendment.

Commissioner Savage stated that if the Staff wanted to involve the HPB in a given set of decisions, they should have that discretion. However, he was not in favor of compelling the Staff to involve the HPB. Assistant City Attorney McLean thought it was important to have a clear process in place. Ms. McLean pointed out that the HPB is an appeal Board for Staff decisions, and therefore, it would be difficult for the Staff to use the HPB in an advisory capacity. It is not a viable option because of how the Code is structured.

Commissioner Savage reiterated his objection to changing an entire process because of one incident that generated public outcry, particularly since many other applications were successfully reviewed and approved under the same process.

Planner Sintz pointed out that the application on Park Avenue was under the old historic guidelines and was not subject to the new noticing requirements.

Commissioner Thomas agreed with Helen Alvarez. As an architect he was more comfortable with the Staff review procedure and process. He liked the professionalism of the Staff and the fact that the Planning Department has an architect on Staff. He was not comfortable adding another layer to the process. He agreed that there was an obvious hiccup on Park Avenue and they need to consider that in future discussions about the General Plan and the LMC. He believed they could reinforce the design process in the Historic District and he looked forward to having that discussion at a later date. Commissioner Thomas stated that he could not support the recommendation.

MOTION: Commissioner Thomas moved to forward a **NEGATIVE** recommendation to the City Council for approval of the Land Management Code Amendment. Commissioner Worel seconded the motion.

VOTE: The motion passed unanimously.

The Park City Planning Commission meeting adjourned at 7:55 p.m.

Approved by Planning Commission: _____ 3

EXCERPT FROM CITY COUNCIL MEETING
SEPTEMBER 15, 2001

VII NEW BUSINESS (*New items with presentations and/or anticipated detailed discussions*)

1. Consideration of an Ordinance amending the Land Management Code adding Historic Preservation Board review and approval for historic reconstruction and disassembly processes in Park City, Utah – Planner Kayla Sintz displayed a chart comparing noticing requirements for 657 Park Avenue under the old guidelines and current noticing requirements. She explained that this proposed amendment involves adding the Historic Preservation Board to the review process to approve reconstructions and disassemblies of historic sites on the Historic Sites Inventory. Part of this discussion came about from the reconstruction project at 657 Park Avenue, regulated under the old guidelines and the second reason was the February 2011 joint session with the City Council and the HPB. Ms. Sintz relayed that direction was to assign the HPB as the review authority instead of staff for reconstructions and disassemblies. The Planning Commission recommended a definition for disassembly also known as panelizations. *Panelizations* is a common term in Park City but it is not a trade or historic term and using the word disassemblies is encouraged and defined in the Land Management Code regardless of whether or not this amendment is adopted. If reconstructions are reviewed, she recommended considering review of disassemblies because they have the same effect. She referred to her staff report pointing out the time line for an application if the HPB were to review a reconstruction versus staff and the inclusion of criteria for disassembly and criteria reconstruction. Staff is not proposing to change that criteria; it is simply who would be the review authority for these types of applications.

Kayla Sintz stated that staff is recommending that this item be continued so that the HPB can be in attendance. With regard to Planning Commission action, she clarified that Charlie Wintzer was in favor of the LMC amendment but didn't vote as the Chairman but three voted to forward a negative recommendation with two members absent. The 2009 Historic District Guidelines have clear and solid criteria regarding disassembly or reconstruction. Public and Commissioner comments reflect reluctance of putting applicants through an additional step, interest in seeing if the new Guidelines in place will address concerns about noticing, a belief that staff has adequate professional training which members of the HPB do not necessarily have, and a preference for maintaining the HPB's appeal authority.

Ms. Sintz felt that the concerns about the 657 Park Avenue application was that no one really knew what was going on at the site and when the new Guidelines were rewritten, significant steps were put into place to get input from the public before staff conducted a review and to broaden the scope of noticing to not only adjacent neighbors but to owners within 100 feet of the project and any one that provided written comment. She also described the new noticing signs for properties which have been very effective. A sign for reconstructions or significant additions will be on-site for the entire length of the project and the information on the sign will include summary before and after photographs. Ms. Sintz emphasized that these new practices have been working. In response to a question from Dick Peek, she explained that the Board of Adjustment is the appeal authority for HPB decisions.

Cindy Matsumoto believed that demolitions should be carefully monitored to save historic elements and is concerned about broadening the process to disassemblies from panelizations, Thomas Eddington clarified that demolition by neglect is not permitted and the property can be

liened to secure the structure. The actual definition of disassembly is similar to panelization but is consistent with the uniform definition from the Department of the Interior. The act of saving certain panels and/or siding boards remains the same and the process is actually stricter so the City has gone further. He explained that reconstruction could include original elements but is generally considered a new structure.

Ms. Matsumoto believed staff is proposing a broader solution than directed by Council and understands why a number of Planning Commissioners rejected the proposal. Joe Kernan believed that more public input will be received at HPB meetings than during the staff review process. Thomas Eddington explained that notice is sent to owners within 100 feet of a project and adjacent owners seem comfortable coming to the Planning Department to review applications and documents and he didn't necessarily feel that there would be an increase in public participation at HPB meetings. Kayla Sintz added that currently there is an average of about three phone calls and one to two people coming in on an application depending on the scope of a project and its location. The Mayor opened the public hearing.

Jeffrey Riehl, general contractor, stated that he spoke at the Planning Commission hearing and his concern is that adding the HPB review to the process is redundant and lengthy. The Planning and Building Department staff is very competent. He commented that the oldest buildings are not usually the healthiest structures and the HPB could help the community in researching building practices that benefit the historic nature of the community but not necessarily be involved in all decisions.

With no further comments, the public hearing was closed. Liza Simpson felt it would be helpful for the Council to conduct its tour of the City-owned Park Avenue properties before the next public hearing on this matter. She is not convinced that the new requirements are needed with the new practices in noticing. Liza Simpson, "I move that we continue this to the 27th of October". Alex Butwinski seconded. Motion unanimously carried.

Historic Preservation Board Staff Report



Application #: GI-09-00068
Subject: 1450 & 1460 Park Avenue
Author: Kayla Sintz – Architect/Planner
Department: Planning Department
Date: October 5, 2011
Type of Item: Policy

Summary Recommendations:

Staff recommends the Historic Preservation Board review their Purposes (B) and (C) as identified below, discuss, and consider forwarding a recommendation to City Council in regards to the Historic Sites located at 1450 & 1460 Park Avenue in light of those purposes.

Background: The City owns property at 1450 and 1460 Park Avenue. Both sites, are identified as 'Significant' on the Historic Sites Inventory (Exhibits A and B). The two properties had a previous residential use and are located in the HRM district (Historic Residential Medium). The properties have been vacant since the City's purchase in 2008. Physical Condition Reports for both properties have been completed (Exhibits C and D) as well as, a certified survey, as-built drawings and a photograph streetscape. The City, as owner, is currently considering options for these properties and is preparing to issue an RFP to receive proposals for the properties.

As identified in the Land Management Code Section 15-11-5 HPB: the purposes of the HPB are:

(B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;

(C) To provide input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or Structures;

As City Council discusses the potential future use and preservation of these properties on October 13, 2011, and possible future dates, the HPB should consider making a recommendation to Council regarding any "*conflicts between the preservation of cultural resources and alternative land Uses*" and "*safeguarding the heritage of the City in protecting Historic Sites*" and authorizing the Chair of the HPB to write a letter reflecting any such recommendations. Any such recommendation shall not remove the HPB's role as a regulatory body on these locations.

Exhibits:

Exhibit A - 1450 Park Avenue Historic Site Form – Historic Sites Inventory

Exhibit B - 1460 Park Avenue Historic Site Form – Historic Sites Inventory

Exhibit C - 1450 Park Avenue Physical Conditions Report and property analysis

Exhibit D - 1460 Park Avenue Physical Conditions Report and property analysis

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1450 Park Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: RPS-2

Current Owner Name: Lindy Point Properties, LLC

Parent Parcel(s): SA-240 & SA-241

Current Owner Address: c/o VSN Properties, 1567 SW Chandler, Ste 101, Bend, OR 97702

Legal Description (include acreage): 0.21 acres; LOT 2 THE RETREAT AT THE PARK SUBDIVISION.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
Permit #:
 Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" Cottage or "T" Cottage

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November 08

- Good (Well maintained with no serious problems apparent.)
 Fair (Some problems are apparent. Describe the problems.):
 Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
 Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not visible and therefore its material cannot be verified

Walls: Aluminum siding, with porch roofing and supports of aluminum material as well

Roof: Asphalt shingle

Windows/Doors: Aluminum sliding windows, and aluminum screen door

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates—known or estimated—when alterations were made): Form retains its essential character to the earliest tax photo, with the most noticeable changes being in the evolution of materials used. Decorative shingle patterns, porch details, drop-novelty wood siding, and window awning evident in the earliest tax photo have all been altered in material or physical presence by the "unknown date" photo (likely within the mid-20th century) and changes are still evident in later photographs provided. Sheathing and replacement of structure materials by aluminum and metal applications have compromised the character of the original, but still leave hints of essential form. Small side addition to the rear and right of front elevation view is first evident in the "date unknown" photo.

Setting (The physical environment—natural or manmade—of a historic site. Describe the setting and how it has changed over time.): Small building lot on fairly flat terrain, with the structure recessed at least 20-30 feet from the city roadway. Mature trees and shrubs encase the landscape. Most recent photo (2008) shows an unkempt yard with weeds and overgrown grass, and the beginnings of disrepair to the structure, mainly seen in the loose shingles and chimney cap bricks, and chipped aluminum siding. Lillac bush to the left of the front elevation view is also visible in earliest tax photo.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Thought the distinctive elements that define the typical Park City mining era home—simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes—have been altered, the building retains its essential historical form.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1904¹

Builder: Not Known Known: (source:)

¹ Summit County Tax Assessor.

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

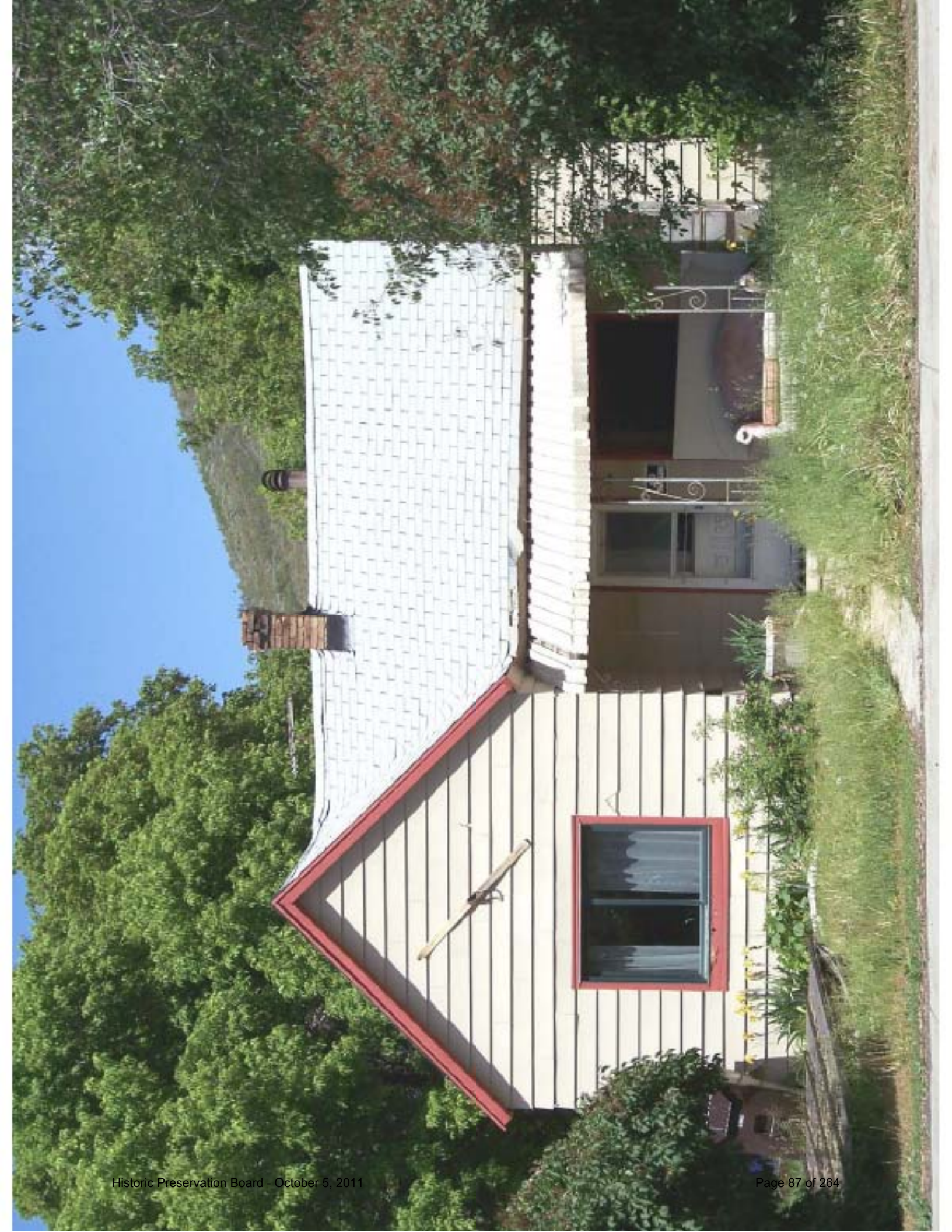
- Photo No. 1:** West elevation (primary façade). Camera facing east, 2006.
- Photo No. 2:** West elevation (primary façade). Camera facing east, 1995.
- Photo No. 3:** West elevation (primary façade). Camera facing east, date unknown.
- Photo No. 4:** West elevation (primary façade). Camera facing east, tax photo.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.









HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1460 Park Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: RPS-1

Current Owner Name: Lindy Point Properties, LLC

Parent Parcel(s): SA-240 & SA-241

Current Owner Address: c/o VSN Properties, LLC, 1567 SW Chandler, Ste 101, Bend, OR 97702

Legal Description (include acreage): 0.21 acres; LOT 1 THE RETREAT AT THE PARK SUBDIVISION.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

- Original Use: Residential
- Current Use: Residential

- *National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

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Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" cottage or "T" cottage

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November 08

- Good (Well maintained with no serious problems apparent.)
 Fair (Some problems are apparent. Describe the problems.):
 Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
 Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not visible and therefore its material cannot be verified.

Walls: Aluminum siding

Roof: Asphalt shingle

Windows/Doors: Aluminum sliding windows, and aluminum screen doors.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates—known or estimated—when alterations were made): Form of "L" cottage type is readily evident, although the materials have been drastically altered from original state. Aluminum in siding, windows, porch roof and supports all suppress the original appearance of this structure. Material alterations were likely made in mid-20th century.

Setting (The physical environment—natural or manmade—of a historic site. Describe the setting and how it has changed over time.): Narrow building lot on fairly flat terrain. House is recessed at least 20 feet from city roadway on the lot. Grounds are surrounded in mature trees and simple grasses with pedestrian access to structure being through a single car width driveway.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Though the distinctive elements that define the typical Park City mining era home- simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes- have been altered, the building retains its essential historical form.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1901¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

¹ Summit County Tax Assessor; appears on the 1907 Sanborn Insurance Map.

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

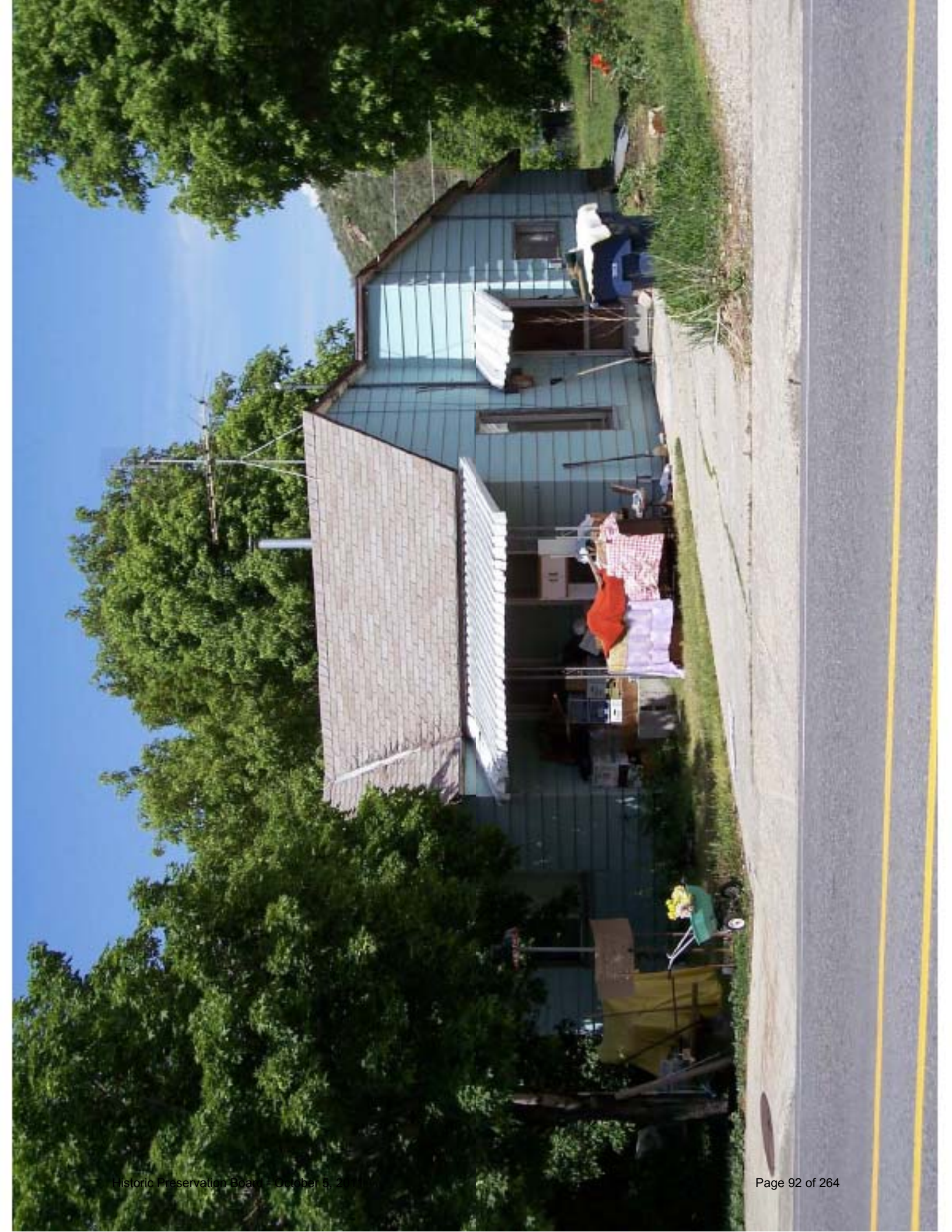
Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Southwest oblique. Camera facing northeast, 2006.

Photo No. 2: Southwest oblique. Camera facing northeast, 1995.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.





PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060 ° (435) 615-4906 FAX



(08-09)

PHYSICAL CONDITION REPORT

For use with the *Historic District/Site Design Review Application*

For Office Use Only

PROJECT PLANNER _____ APPLICATION # _____
DATE RECEIVED _____

PROJECT INFORMATION

HISTORIC SITE? NO YES: LANDMARK SIGNIFICANT DISTRICT: _____

NAME: Doe Residence

ADDRESS: 1450 Park Ave.
Park City, Utah 84040

TAX ID #: RPS-2 OR

SUBDIVISION: _____ OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

CONTACT INFORMATION

NAME: Jack and Jane Doe

PHONE #: _____ FAX #: _____

EMAIL: _____

Instructions for Completing the PHYSICAL CONDITION REPORT

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). If your descriptions require additional space, please attach a continuation sheet OR you may create a separate document by restating each numbered item followed by your full response. Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

PHOTOGRAPHS

Digital photographs must be included with this report. Specifications and a template for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

SITE FEATURES

A.1. TOPOGRAPHY - Describe the topography of the site, including any unusual conditions.

Describe the existing feature(s) and condition:

The topography is basically flat. Changes in topography run north to south. On the north side the topography begins at 6872. There is a one foot, or 6873, change that runs towards the front door on the west elevation and then appears midpoint on the northeast gable addition. The finished floor elevation is designated to be 6873.4. There is a circular area on the southwest corner of the root cellar that is 6874. This increase in elevation appears to be due to an accumulation of debris and fill. There is a 5" elevation change in between the root cellar and the northeast gable on the east elevation.

A.2. LANDSCAPING - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates.

Describe existing feature(s) and condition:

The majority of the landscaping is not historic. The trees and scrubs all appear to be volunteers. There are some nice hollyhocks under the front, west elevation window however it is very unlikely that they originally were part of the landscape. The tax photographs show a couple of lilac bushes on either side of the front façade close to the street(1) (2). The two bushes are still part of the landscape.(3) The front porch is concrete and is elevated 3" above grade. This concrete slab is not original to the house and was probably poured when the metal awning was added in the late 40's early 50's. The slab is cracked and deteriorating. There is no evidence what the original material might have been.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Park City Historic Photo 1



Park City Historic Photo 2

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



3.Lilac bushes

A.3. RETAINING WALL(S) - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

New railroad tie retaining wall on the south property line in the west front yard.(1)



1.Railroad tie retaining wall

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

A.4. EXTERIOR STEPS - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

Not applicable

A.5. FENCE(S) - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

New 6'-0" wood fence along the south property line.(1)

Chain link fence in the rear northeast corner of the lot.(2)



1.South property line wood fence

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



2. Chain link fence rear northeast

A.6. OTHER SITE FEATURES (SPECIFY): _____

Describe the existing feature(s) and condition:

There are no unique site features. Excavation in the rear yard may unearth evidence of a variety of outbuildings. There is an old utility pole in the middle of a volunteer tree just east of the root cellar. (1)(2)



1. Utility pole 1

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



2.Utility pole 2

MAIN BUILDING

B.1. ROOF - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

Describe the existing feature(s) and condition:

The roof is the feature that most clearly describes the progression of additions on the house.

The original (1904) east/west gable and cross north/south gable roofs both with a 12/12 pitch is in the best shape. Materials are determined by looking at the ends. Wood shingles were most likely the original roofing material.(1) The roof was originally sheathed with 1X6 wood. (2) Some metal panels have been added to the eaves particularly noted on the north elevation. Finally, there is a 3-tab asphalt shingle roof (1954). At the ridge on the north side there is a bump and some waviness where the cross gables intersect. This indicates that there probably was no new sheathing applied to the roof when the 3-tab asphalt was installed. The roof of the metal porch awning comes in under the original north/south gable. It can be assumed that the original porch intersected in a similar way.(3) There is one chimney in this original section at the top of this area at the intersection of the two gables. The chimney is varied/blond brick and steps out midpoint. The brick is loose particularly near the top. There is no evidence of this chimney on the interior. After further investigation it was discovered that this chimney stops in the attic and is supported on a framed platform. Without further investigation it is unclear where and how this chimney was used. The chimney is poorly flashed at the roof level but of all the chimneys it is flashed the best.(4)

The first addition appears to be the northeast gabled addition. Interior investigation and the partial exposure of the east/west gable on the east side show the original exterior wall.(5) The roof on this addition is 10/12; slightly less than the original roofs. The similar roofing materials indicate that this was an early addition perhaps 20's or 30's. Most of this roof is in fair condition however,

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the section of overbuilt roofing is patchy and bad. There is a lot of slapped on tar and generally unprofessional leak control.(6)

Part of the kitchen addition could have occurred around the same time as the northeast gable. The entry area may be part of the original house. The chimney located between the dining room and the kitchen is similar to the chimney in the center of the original house. Depending on excavation some part of the kitchen may have been part of the original house. The kitchen addition appears in both tax photos. The roof pitch is 4/12. The roofing from the intersection of the kitchen and the original roofs is really deteriorated with excessive patching and decay from water damage. All the interior spaces from the east wall of the kitchen, the mechanical space, the bathroom, the covered stairs to the root cellar, and the root cellar have significant moisture damage and mold. The soffits and fascias in these areas are rotted and moldy.(7) There is a variety of roofing materials, metal panels and tar piled on in an attempt to stop leaking.(8)

The only roof penetrations on this house are the three chimneys. The one vent pipe seen in the above photo is from the root cellar. The two chimneys: one between the dining room and the kitchen and the other between the kitchen and the mechanical space are in disrepair. There is missing mortar, structural issues, and sloppy, inadequate flashing.(9) Both of the rear chimneys extend through the interior and sit on a 2X4 platform at the floor level.



1.Original wood shingle

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2.Soffit detail northwest corner



3.Original south gable roof and porch roof intersection

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



4.Original roof valley and chimney



5.East elevation original gable

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



6. East elevation overbuild at bathroom



7. Fascia at southeast corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



8. East elevation roof condition and chimneys



9. Chimneys

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

B.2. EXTERIOR WALL - PRIMARY FAÇADE - Describe the exterior façade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The primary façade, front façade, faces to the west. This is the documented façade in the historic tax photos. The house built in 1904 was comprised of the two cross gable structures and a shed porch with decorative columns. All these elements are present on this primary façade although the original porch has been replaced with a metal awning and metal columns.(1)(2) The west facing gable is 13 feet wide and 17 feet high at the ridge. The walls are 9'-7" high. There is one centered aluminum slider window, 5'-0"W X 4'-0" H. (windows will be dealt with separately). This gable projects 4'-11" further west than the cross gable.(3) The porch occupies the space created by this projection. The cross gable which faces south is 12'-10" approx. across facing west; is also 17'-0" high at the ridge and the walls are 9'-7" high. This face includes a beautiful 32"W X 6'-9"H front door (doors will be dealt with separately) and a 4'-4"W X 4'-6"H wood frame picture window.(4) There is a 4'-5" projection 13'-0" east of the southeast corner of the porch. There is an entry door into the kitchen. The wall is 9'-7" high. This projection appears in both historic tax photos and it is possible this is part of the original house. Further demolition would need to be done to determine the date of construction.(5) Modifications have occurred over time 30's, 40's, 50's, and 60's. The wall construction varies throughout the house but the exterior materials in this original section are pretty consistent. The original wood 1X7 lap siding is under a layer of ¾" masonite and ¼" X 73/4" asbestos shingle. In the excavation on the south corner of the west gable does not show any building paper. The condition of the original wood siding looks precarious at this point but appears better in other areas. A complete demolition of the asbestos shingle (hazardous material) and masonite is the only way to really ascertain the condition of the original wood.(6)



1.Park City historic photo 1

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



2.Park City historic photo 2



3.Original west gable

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4. West elevation



5. West kitchen door

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6.Siding detail

B.3. EXTERIOR WALL - SECONDARY FAÇADE 1 - Describe the exterior façade including materials, dimensions, finishes and approximate dates of construction. Describe the existing feature(s) and condition:

The original part of the north elevation extends 30'-4" west to east. The wall height is 9'-7" at the northwest corner and 9'-6" at the intersection with the northeast addition. The ridge is 17'-0" high. (1) There are two windows on the façade. Both are 4'-10" off the ground and are 4'-11"W and 2'-8"H (windows dealt with separately). The exterior wall materials the same as on the primary façade.(2) The siding extends to the ground with little or no signs of the stone foundation. Only complete demolition of the asbestos shingle and masonite will expose the nature of the original siding material. The soffit and fascia are in fair condition. The 1X4 trim is incomplete in sections and the paint is peeling.(3) There is a 10'-2" addition on the northeast end of the north elevation. This addition intersects with the original north section of this façade.(4)(5) The wall height is 8'-2" high and the ridge is at approximately 13'-0".(6) The overhang is larger (10") and the roof framing is larger. This is further evidence that is an addition of not part of the original house.

The corner of the root cellar is visible on the north elevation (root cellar described on the east and south elevation).(7)

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



1. North elevation (chimney and roof of project to the south seen)



2. Siding detail northwest corner

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3.Fascia north elevation



4.Soffit and fascia north elevation intersection original and addition

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5.Soffit and fascia northwest corner



6.Fascia detail northeast corner

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7. Northeast elevation of root cellar

B.4. EXTERIOR WALL - SECONDARY FAÇADE 2 - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The south elevation is difficult to photograph in totality since it is too close to the property line, a fence, and a sizable new residential building. A drawing of this elevation gives a better look at the entire elevation.

The porch and the 4'-11" projection of the main original west gable are on the southwest corner of the south façade. The metal awning sheds from 9'-0" to 7'-0" east to west. The porch awning replaced the original porch in the 1950's or 1960's.(1) The south gable is part of the original house. It is 13'-0" wide and 17'-0" to the ridge. The wall height on the west and east sides of this gable section is 9'-7". There is a 10" overhang and the soffit and fascia are in fair condition. These elements are very simple 1X wood trim. There is quite bit of raw wood.(2) The siding is the same as has been described previously. There is one centered window on this gable end.(3) There are similar windows on the north elevation. (window details will be described separately). The gas meter is on the west corner. The electrical service drop occurs of the east end of the gable. (electrical will be described separately).

At the east end of the south gable there is a 9'-7" high X 4'-5" wide projection which extends further to the south. This forms the west corner of a shed roofed area that extends 16'-0" to the east. The wall height at the west corner is 9'-7" and the wall height at the east end is 5'-4". Interior evidence as well as the location of the chimneys gives some evidence that the first 9'-8" of this area might have been original. Complete demolition of the exterior layers of siding and demolition of layers of interior finishes should provide some conclusive evidence regarding the age of this area. There are two windows: one double hung window over the kitchen sink and one long fixed window in the mechanical room.(4) The fascia is a simple 1X4 that gets progressively more

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damaged west to east. There is significant evidence of the poorly repaired roof in this area. Tar and fiberglass patching material drip over the edges of the fascia.(5)

There is a 4'-7" wide gap between the 5'-2" high east end of the mechanical room and the root cellar. Approximately 9'-8" north of the mechanical room corner is shed connection that internalizes the steps to the root cellar. This area is poorly constructed and the roof is layered with poorly executed patching.(6) While the root cellar is probably original to the house. It was an outbuilding and the connection a much later addition.

The root cellar is 8'-8" wide. It is built of concrete.(7) The side wall height is 1'-6" and ridge is 5'-0" high. There is a small center window. The root cellar will be dealt with later.

All the roofs and there relationship to each other are visible when looking at this south façade. All three chimneys are also visible.



1.Original porch intersection-southwest corner

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2. South gable end



3. South original gable with electrical drop and gas meter

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4. South kitchen window elevation

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5. Southeast corner mechanical room



6. South elevation space between mechanical and root cellar. Covered stairs to root cellar to north.

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7.South elevation root cellar

B.5. EXTERIOR WALL - REAR FAÇADE - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The rear façade faces east. The heights of the walls on this façade are low so the entire progression of roof systems is visible from the east. The above section on the roofs indicates the extent of the roofing issues visible from this elevation.(1) For the sake of clarity the root cellar and the covered stair to the root cellar will be eliminated from the description of the east elevation and will be dealt with separately.

The southeast corner is 5'-2" high and is the end of a long, 16'-1" shed roof.(2) The wall extends north approx. 13'-0" with the last 5'-0" being intersected by the stair cover. There is a long casement window that has been boarded up 30" north of the southeast corner. The wall is covered with the 73/4" asbestos shingle. The shingle is poorly applied; sagging and gapping across the wall. There doesn't appear to be any building paper. This has significant water damage. Just north of the covered stair is a small gable structure that forms the bathroom.(3) The exterior dimension of this little gable is 5'-5" however the roof extends over the shed roof to the south. The wall height at the south end is 5'4" and 5'-7" at the north end. The ridge is 8'-0" high. There is an odd shed roof extension from the ridge of the small gable to the larger gable to the north.(4) There is a boarded up casement window centered on this small gabled structure. The toilet is vented on the outside. This will be dealt with in the plumbing section. The asbestos shingle is in better condition and the moisture issues aren't quite as pronounced as they are on the surfaces to the south. There is a northeast gable structure that projects 6'-6 1/2" to the east of the small bathroom gable. There is a window facing south in this projected area. This northeast gable is 11'-0" wide. The wall height varies from 7'-11" on the south corner to 8'-2" on the north corner. The ridge of the approximately 10/12 pitch is 13'-0".(5) There is a slight built up area between the northeast gable and the root cellar which accounts for the wall height variation. There is a 30"X6'-8" door (boarded) on the south corner, a window similar to the windows on the north elevation (boarded), and a boarded vent or window in the upper gable. This structure has more in common with the original house; the pitched roof has seen less moisture damage and the siding materials and fascia are in similar

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condition.(6) This supports the thinking that the northeast gable is an early addition. The east gable end of the original east/west gable structure is visible above this northeast gable structure. It is the best indication of original siding and fascia detail on the whole house.(7) The television antennae is visible on the northeast gable roof.

The progression of additions on the east elevation seems to be (conjecture without demolition of historic materials) northeast gable, small bathroom gable, mechanical addition to the kitchen shed and the covered stair to the root cellar.



1. East elevation



2. East elevation mechanical room shed

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3. East elevation-small bathroom gable



4. East elevation-extension overbuilt to northeast gable from small gable

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5. Northeast gable-north façade



6. Siding detail-northwest gable north elevation

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7. East elevation- original east/west gable

B.6. FOUNDATION - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

Excavation and investigation of the foundation occurred on the north exterior side of the house and on the corresponding interior space. Another exterior excavation was done on the south side of the house by the kitchen window. The foundation in both of these locations is stone rubble.(1) There is very little stone exposed on the exterior and it only extends about 12 " below the ground. On the interior the exposed floor joists sit directly on the dirt.(2). There is some concrete foundation wall on the rear east additions.(3) Without excavation the extent of the footing/foundation is unclear. A thorough investigation of the foundations will further substantiate the construction history of the house.

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1.Foundation rubble-north elevation



1.Look at interior excavation north wall

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2. East elevation-concrete

B.7. PORCH(ES) - Describe the current porch(es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction.

Describe the existing feature(s) and condition:

The only evidence of a historic porch is the historic tax photo.(1). The existing metal awning porch cover and metal posts have been in place for a long time. It was probably added in the 40's or 50's. The concrete pad 4'-7"X12'-10" was added at the same time. The metal roof is beginning to fail but the posts are in good shape. The 3" concrete is cracked and damaged.(2)(3)(4)

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1. Park City historic photo 1



2. Porch-west elevation

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3. Porch- south elevation



4. Porch roof

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B.8. DORMER(S) / BAY(S) - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition:

Not applicable

B.9. ADDITION(S) - Describe any additions to the original building in a chronological order of development (if known) and include information on the construction methods, materials, finishes, dimensions, condition and approximate dates of each addition. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures.

Describe the existing feature(s) and condition:

Additions and their material finishes and dimensions have been described in the elevation sections. To summarize: The west/east gable structure and the north/south cross gable form the primary elements of the 1904 original house. The kitchen shed east of the north/south gable may have also been part of the original house. The root cellar was probably original and was a stand alone structure with an exterior stair. The northeast gable on the east elevation was an early addition possibly as early as the 1920's. The small bathroom gable and the shed extensions on the southeast side of the east elevation were probably added later in the 30's, 40's and 50's. This later area has significant water damage.

B.10. MECHANICAL SYSTEM

Describe the existing mechanical system and condition:

Heating is provided by a forced air furnace. There are no working fireplaces. The furnace is located next to the chimney in the mechanical room. It is vented through this chimney.(1)(2). The water damage and mold is significant in this room. This type of exposure and the general poor construction makes the heating system unusable. There is nothing historic about the heating system. The return air is located just on the other side of the wall from the furnace which is not the optimal location. The duct work is smashed into areas dug out under the floor joist and sits directly on the ground.(3) There are registers located in most of the rooms. The Honeywell thermostat is located on the east wall of the dining room. This heating system did more damage than good to the historic materials in this house.

The plumbing is equally as disfunctional. The water heater is located next to the furnace. In its present condition and location it is also unusable. The gas connection is questionable. There is no evidence of venting. There are washer and dryer hookups on the east wall of the mechanical room. The plywood floor in the mechanical room is moldy,warped and probably sitting on the ground.

The other two plumbed areas are the kitchen sink and the bathroom. The kitchen sink is a combination of galvanized and pvc piping. The kitchen sink is a metal combination sink and cabinet. It is a 1940's or 50's piece and is in fairly nice and repairable condition.(4) The venting for the sink is located just above the ground outside.(5) The water turnoff for the house is located outside in this same area.(6)

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The bathroom fixtures; a sink, a toilet, and a missing but plumbed tub are all plumbed using galvanized piping. There may also be some lead piping. None of the fixtures are properly vented. The toilet is vented outside through a 4" PVC pipe.(7)

The total lack of venting indicates that plumbing was all added to this house in the 40's, 50's. and never done to meet any building codes.



1.Mechanical room-furnace and water heater

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2. Chimney-furnace vent



3. Duct work in foreground under floor joist

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4. Metal kitchen sink and cabinet unit



5. Sink venting

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6. Water turnoff



7. Toilet plumbing vent.

B.11. ELECTRICAL SYSTEM

Describe the existing electrical system and condition:

The electrical service is 110 and the panel is located on the exterior of the house next to the electrical drop.(1)(2). There is no power to the house at this time so it was not possible to determine whether individual switches or lights were working. Most of the electrical wiring was covered however, it is assumed that there is a lot of combinations of wiring spanning the lifespan of the house. There are no smoke alarms. The ceilings in the east portions of the house are

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significantly water and mold damaged. None of the wiring in this area should be considered safe. Refer to the as-built reflected ceiling plan for existing locations of lights, switches, and outlets.



1. Electrical service



2. Closeup electrical service

B.12. STRUCTURAL SYSTEM

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

Describe the existing structural system and condition:

Since there was limited demolition of the existing structure there have been educated assumptions made about the structural framing members.

For most of the structural members on the framing plans are specified as the percentage of the members capacity to meet current building code requirements-2006 International Building Code (2006 IBC). This gives a good indication of the strength of the existing framing materials. This building is a historic building and based on the historic building code if the framing member has more than 50% of capacity of what the 2006 IBC requires than the member is considered okay.

1. The existing building does not have any footings. There is some rubble stone under the exterior walls. There are some concrete foundations on the rear additions. See section on foundations for photos.
2. The existing floor is 2-1/8"X6" Douglas Fir @ 24"o.c. The analysis shows this framing to be at 52.7% capacity and according to the historic code this meets the structural criteria.
3. The exterior wall construction varies in the house. There are areas where there is only 1X12 vertical planks and siding material.(1) Most of the walls are 2X2 Douglas Fir#2@16" o.c. with the 1x12 vertical planks and siding. These walls are not strong enough for wind, seismic, or gravity loads.
4. The existing headers are inadequate.
5. The east/west front gable roof is framed with 2X4's @ 28"o.c. The roof framing for the north/south gable is 2X10's @ 48" o.c. The rest of the house is 2X4 framing @ 24"o.c. Only the roof framing for the north/south gable meets the 50% capacity of the code.
6. The existing roof sheathing is 1X6 wood planks installed perpendicular to the existing joists. It does not have any capacity for shear diaphragm value.

The framing members in the original areas, with high pitched roofs, are dry and intact (from what is visible). The roof framing particularly in the rear shed area is water saturated and failing. A 2X8 beam in the existing kitchen is completely bowed. In time this structure will completely fail.



1. 1X12 wall construction. 2 1/8"X6" floor joist.

B.13. HAZARDOUS MATERIALS

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:

The exterior siding is an asbestos shingle. Asbestos in this application is pretty encapsulated, there isn't much airborne asbestos. The siding will need to be removed using approved techniques for hazardous materials removal. Testing for asbestos needs to be done before the demolition of the roofing materials. There is such a build up of materials particularly on the east elevations, the rear of the house that it should be assumed that there are some potentially hazardous materials.

All the old painted surfaces in the house probably contain lead paint. This is particularly true of the wood exterior siding. There may also be some lead piping in the house. This piping may not be in use but may be buried under the floor system. Proper care needs to be taken to remove and dispose of these materials.

Mold is a significant issue in this house. The smell of mold is strong. When it rains the roof over the east section of the kitchen, the mechanical room, and the stair to the root cellar leaks. The ceiling and roof joist in this area are water logged. The ceiling is collapsing and black mold is every where. These areas are not salvagable and should be removed. The bathroom ceiling is also collapsing and there is some mold. There is carpeting in every room. It should be removed immediately if any part of this house is going to be saved. This carpeting retains moisture and in the areas mentioned above it is contributing to the type of damage in the floor seen in the ceiling.

B.14. OTHER (SPECIFY): _____

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing feature(s) and condition:

MAIN BUILDING - DETAILS

C.1. WINDOWS - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:



The front, west elevation is an aluminum slider. It is 3'-31/2" off the ground and is 5'-0"W X 4'-0" H. This window replaced historic windows. The frame has also been altered. Interior investigation shows that there was originally two windows and the windows were 6" taller, closer to the ground. The evidence is a sawed off 6" wood piece at the sill. There is an awning over the window in the older tax photograph so it is hard to tell if the windows were intact at that time. The second historic tax photograph shows that the window has been altered although the sill hasn't been raised. The change from double wood window to aluminum slider took place in the 50's or 60's. The present window was added in the 70's or early 80's.

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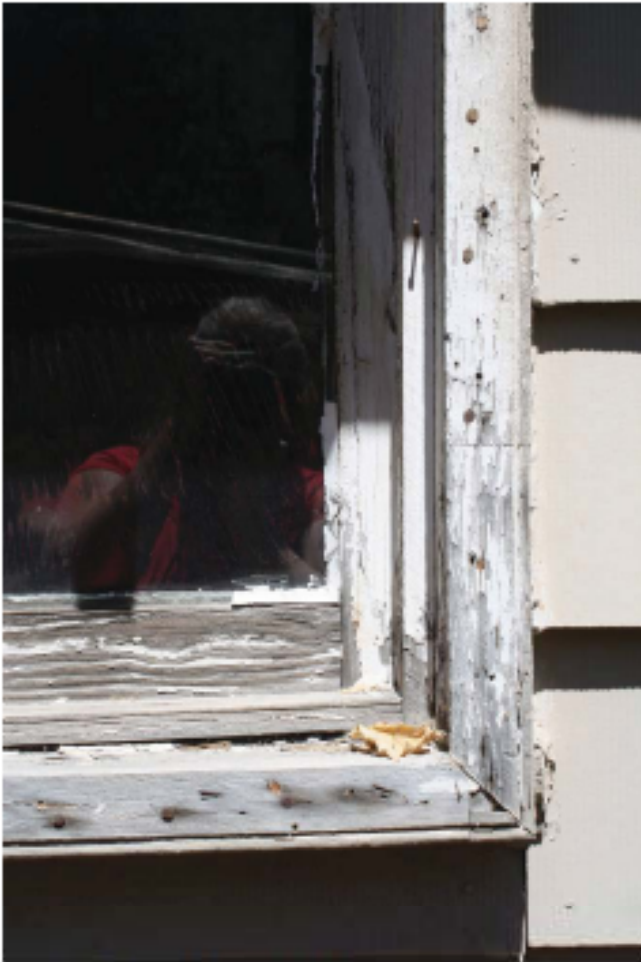


The west elevation picture window is under the porch adjacent to the front door. There is the same evidence as the front window that this was originally two windows. These would have been original windows. This window is a single fixed pane 2'-21/2" off the porch floor and 4'-41/2"W X 4'-6" H. The paint on the wood frame is peeling. The detailing of the frame matches that of other windows in the house.



Typical wood frame details.

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Typical window frame details.



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South facing window in north/south cross gable. Three fixed panes of glass 4'-4" off the ground 4'-11" W X 2'-3" H. The side windows might have originally opened although there is no present evidence. The small side panes of glass are 11" wide and the divider between the window is 5" wide. The larger center pane of glass is 2'-3" wide.

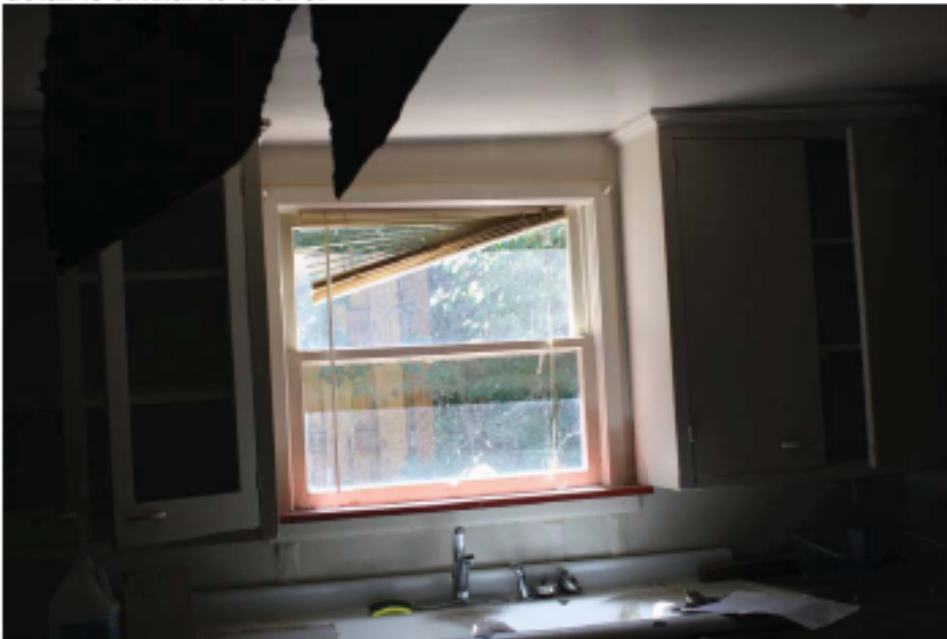


Interior of window detail.

This style of window appears on the north side of the house and in the northeast gable on the east rear elevation. There are a total of 4 similar windows. These may be original windows. The south window is the only window that isn't boarded up. Without interior light photos are hard to get.



The kitchen window is a wood, single-pane, double hung window. This window is 3'-8 1/2" off the ground and is 3'-0"W X 2'-8"H. The paint is peeling and there is some raw wood. The window detail is similar to above.



Interior of kitchen window with surrounding cabinets. Note ceiling damage.

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There is a large fixed single pane window in the mechanical room. It is 3'-3" off the ground and 4'-8" W X 2'-2" H. It has similar jamb and sill detail shown above.



This is a double hinged, single pane window manual casement window on the east side of the mechanical room. It is 2'-10" off the ground and is 4'-6" W (2@ 2'-3" each) X 1'-5"H. There is a similar window in the small east bathroom gable.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



This window 3'-8" off the ground and is 5'-0"W (2@ 2'-5" ea.) X 13"H



Window at stair to root cellar.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



These two small windows are opposite each other in the space between the root cellar stairs and the northeast gable. The window in the root cellar stair area is a fixed window 3'-1" off the ground and 2'-4"W X 13"H. The window in the northeast gable structure faces south and is 3'-10" off the ground and is 1'-8"W X 2'-1"H. This window appears to swing open. All these windows are single pane and have same exterior jamb and sill detail.

C.2. DOORS- Describe the number of doors, dimensions, types, and whether they are original to the building and approximate dates.

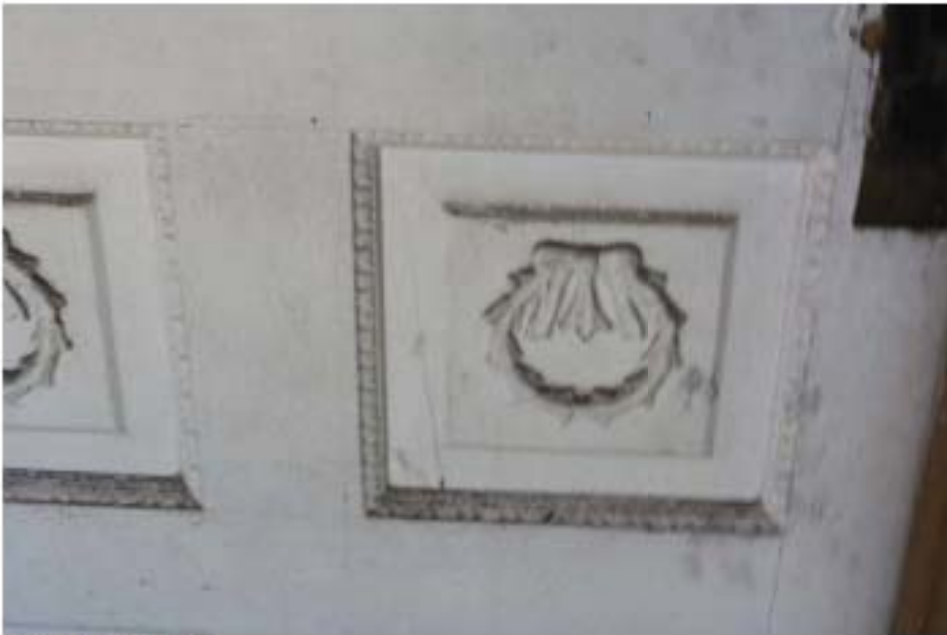
Describe the existing feature(s) and condition:

There are three doors on the house. The front west entry door. The west kitchen entry door. And a door in the northeast gable on the rear, east elevation.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



The west facing, wood front door is one of the nicest features on this house. It is 32"W X 6'-9"H. It has Victorian detailing typically found in the 1904. It has a 34"H single pane glass panel in the upper section of the door. There is an aluminum screen. The door hardware is missing and a new deadbolt locks the door. This door's detail is in good condition and could be restored.



Front door detail.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



Front door detail.



Kitchen door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

The kitchen door is 2'-4"W X 6'-8"H. It is a wood, 3 recessed panel, and 1/3 single pane glass window. It is a door that might have been found in a 1904 house. There is new hardware. The wood is pretty chewed up. This is not a remarkable door.



This wood door is the northeast gable in the east rear elevation. It is 30"W X 6'-8" H. It is an unremarkable door and appears to be a later addition to this elevation. It is sandwiched tightly against the window and the window casing forms the casing of the door.

C.3. TRIM - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.

Describe the existing feature(s) and condition:

The trim on this house is very simple and functional. The structure is expressed and straight forward. Locations, dimensions, and dates are dealt with in other areas of this report.

C.4. ARCHITECTURAL ORNAMENTATION - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition:

No ornamentation other than the front door.

C.5. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

ACCESSORY BUILDING(S)

D.1. ACCESSORY BUILDING(S) - Mark all the boxes below that apply to your property. Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s): Garage Root Cellar Shed Other (specify):

Describe existing accessory building(s) and condition:

The root cellar is located in the rear yard on the east side of the house. The walls are concrete and the roof is 2X4 wood framing. The side walls are 18" off the ground. There is a small boarded window centered on the south elevation. This structure was probably original to the property and the stairs were outside and not internalized. The roofing is a mess and there is water damage. The ceiling height inside is about 6'-6". There is a dirt floor.



South elevation-root cellar

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5080.



Root cellar roof in foreground.

STRUCTURE(S)

E.1. STRUCTURE(S) - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s): Tram Tower Animal Enclosure Other (specify):

Describe existing structure(s) and condition:

Not applicable

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: _____ Date: _____

Name of Applicant: _____

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

PHYSICAL CONDITION REPORT - PHOTOS

CONTACT SHEETS (sample shown at right)

Digital photographs illustrating the descriptions provided in this report must be presented on contact sheets that accommodate two photos with captions per page. A template of the contact sheet is provided on the following page.

- Each feature described in this report must include *at least* one corresponding photograph. More than one photograph per description is encouraged.
- Contact sheets should be printed in color on high-quality paper (photo paper is preferred).
- To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the contact sheets.
 - Microsoft offers a free download of Image Resizer for Windows XP at www.microsoft.com.
 - iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
 - Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at www.vso-software.fr
- The photograph contact sheets should be organized in the same order as the written descriptions above; beginning with TOPOGRAPHY, LANDSCAPING, RETAINING WALLS, continuing with each of the features listed and finally ending with STRUCTURES.



IMAGES ON DISC

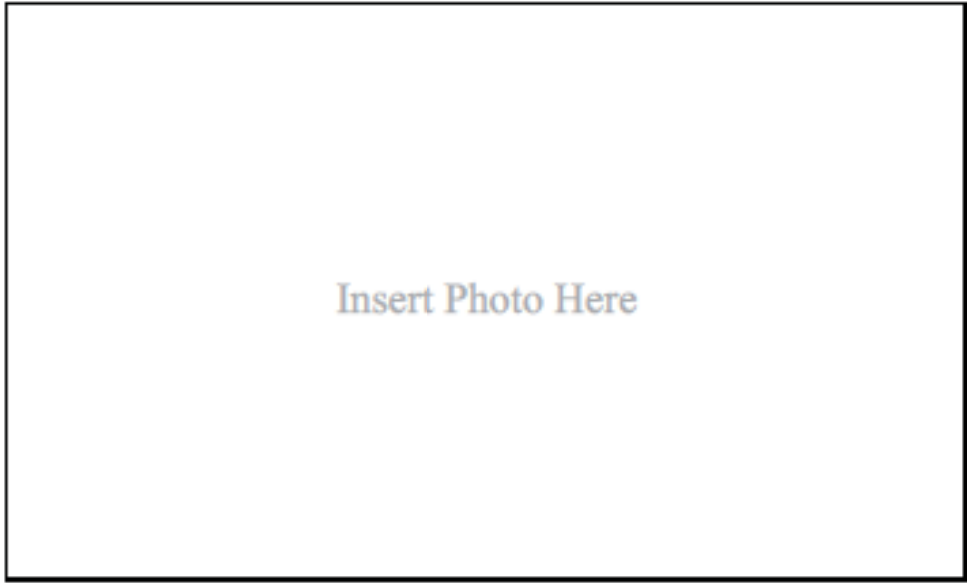
Digital copies of photographs used in the contact sheets that accompany this report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: **PCR Form "Property Address" "Date"**.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

PHYSICAL CONDITION REPORT - PHOTOS

<FEATURE NAME>



<FEATURE NAME>



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

JOHN W. FRANCON & ASSOCIATES
LAND SURVEYORS
 SURVEYING, ENGINEERING & CONSULTING SERVICES
 1000 PARK AVENUE
 FARM CITY, OHIO 43024
 PHONE: 614-725-1111
 FAX: 614-725-1112
 WWW.FRANCON.COM

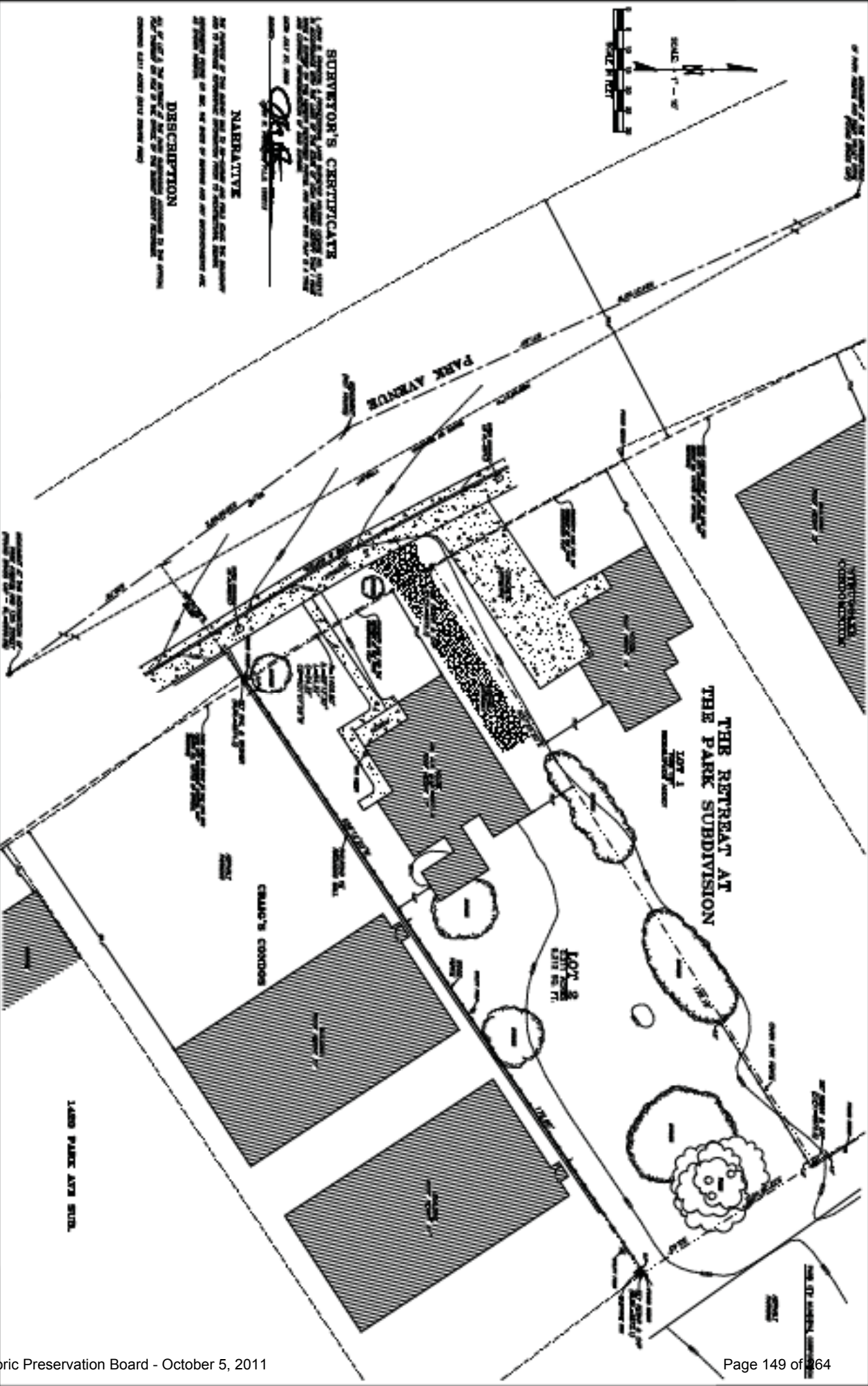


PARK CITY REDEVELOPMENT AGENCY
 DIVISION OF PLANNING AND DEVELOPMENT
 1000 PARK AVENUE
 FARM CITY, OHIO 43024
 PHONE: 614-725-1111
 FAX: 614-725-1112
 WWW.PARKCITYOHIO.COM

DATE	DESCRIPTION
10/11/11	ISSUED FOR RECORD
09/28/11	REVISED TO SHOW
09/28/11	REVISED TO SHOW
09/28/11	REVISED TO SHOW
09/28/11	REVISED TO SHOW

BOUNDARY & TOPOGRAPHIC SURVEY

1
ONE



SURVEYOR'S CERTIFICATE
 I, JOHN W. FRANCON, LAND SURVEYOR, DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY RECORD AS FILED IN MY OFFICE ON OCTOBER 11, 2011.

John W. Francon
 SURVEYOR

NARRATIVE
 THE PURPOSE OF THIS SURVEY WAS TO SURVEY THE BOUNDARIES OF THE LOTS AND TO SHOW THE LOCATION OF THE EXISTING BUILDINGS AND DRIVEWAYS. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1965 AND THE RULES OF PRACTICE FOR SURVEYORS.

DESCRIPTION
 THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF SURVEYING THE BOUNDARIES OF THE LOTS AND TO SHOW THE LOCATION OF THE EXISTING BUILDINGS AND DRIVEWAYS. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1965 AND THE RULES OF PRACTICE FOR SURVEYORS.

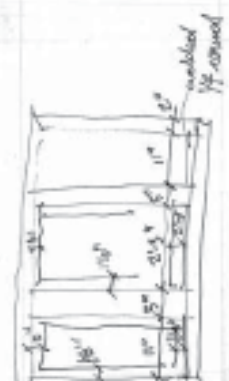
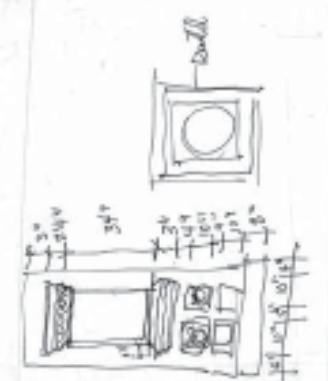
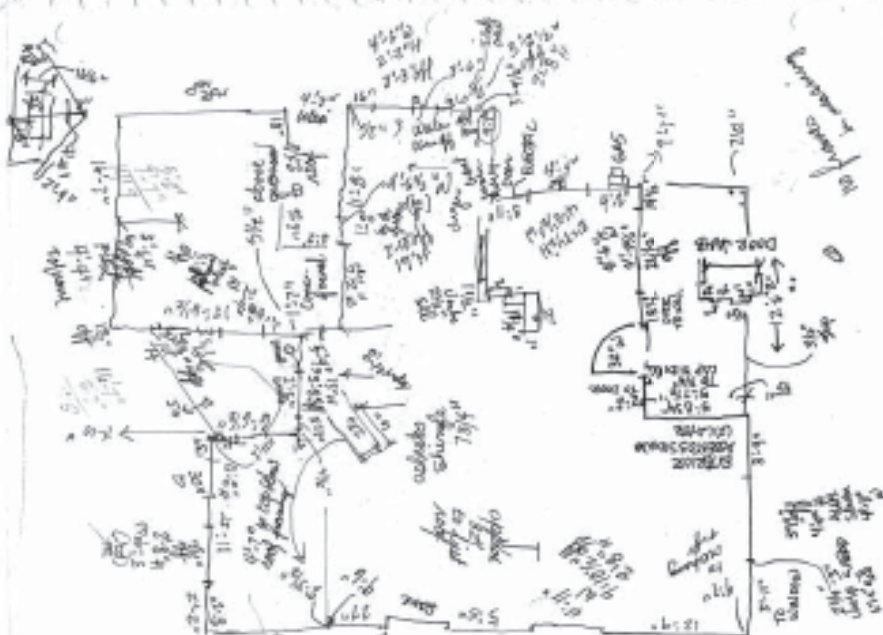
AS-BUILT FIELD NOTES

AS-BUILT DRAWINGS FOR
 208 RESIDENCE
 1430 PEARL AVE.
 PAPER CITY, OMAHA
 68104

PREPARED BY
 LICENSED ARCHITECT



NOTES
 FIELD NOTES HAVE PROVIDED ORIGINAL MEASUREMENTS
 SPECIFICATIONS TO COMPLETE AS-BUILTS.

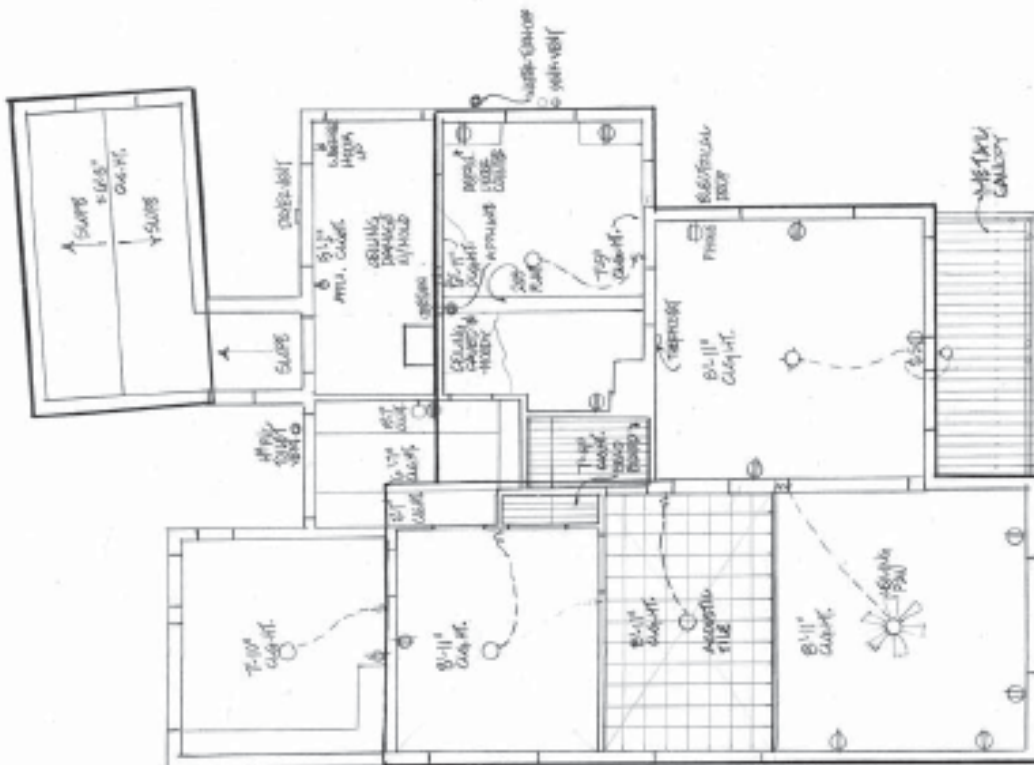


EXISTING PEPECTED CEILING
ELECTRICAL PLAN

AN-BLUE DRAWINGS
P.P.S.
208 PERS. DENISE
-1490 PERRY AVE.
BETHLEHEM PAH
242010

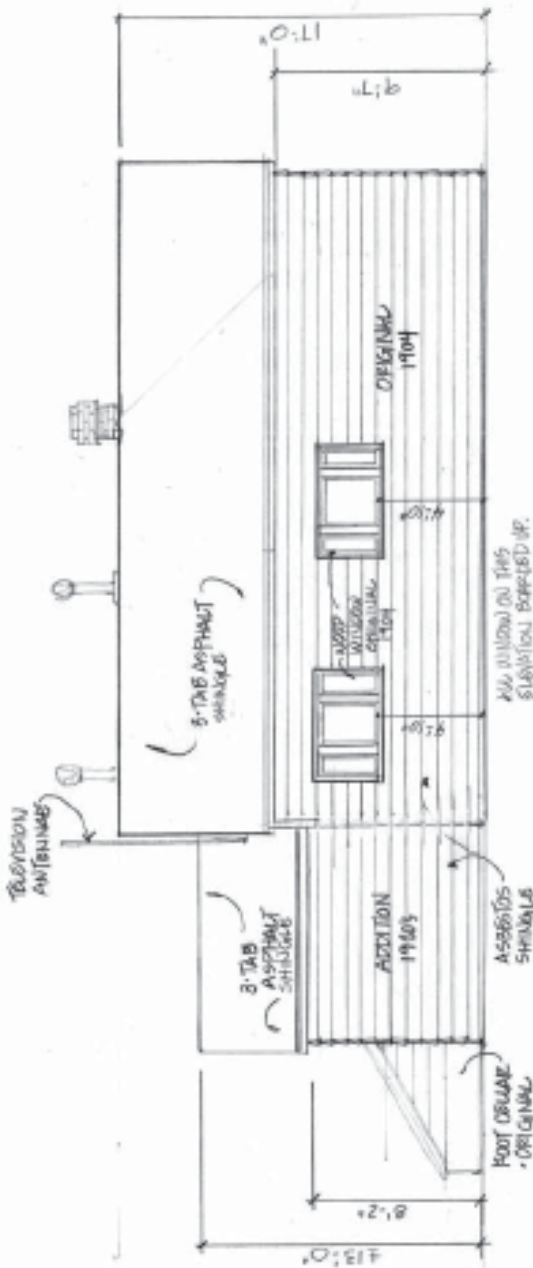
PREPARED BY
LHREN-60 ARCHITECT

7

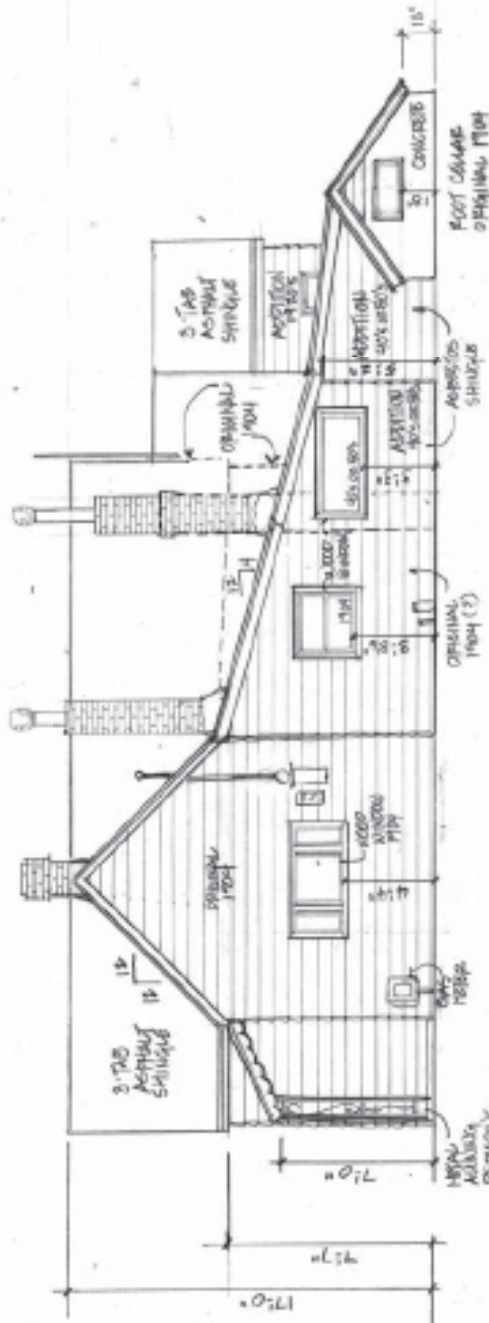


EXISTING PEPECTED CEILING ELECTRICAL PLAN
1/4" = 1'-0"

— DARK LINE INDICATES ORIGINAL 1904



EXISTING NORTH ELEVATION
14*10



EXISTING SOUTH ELEVATION
14*10

EXISTING
ELEVATIONS

2011 BLM DRAWINGS
1995
DORIS PRESIDENTS
14000 BRAYS AVE
SWEETCITY, UTAH
84040

PREPARED BY
LUCAS & ARCHITECT

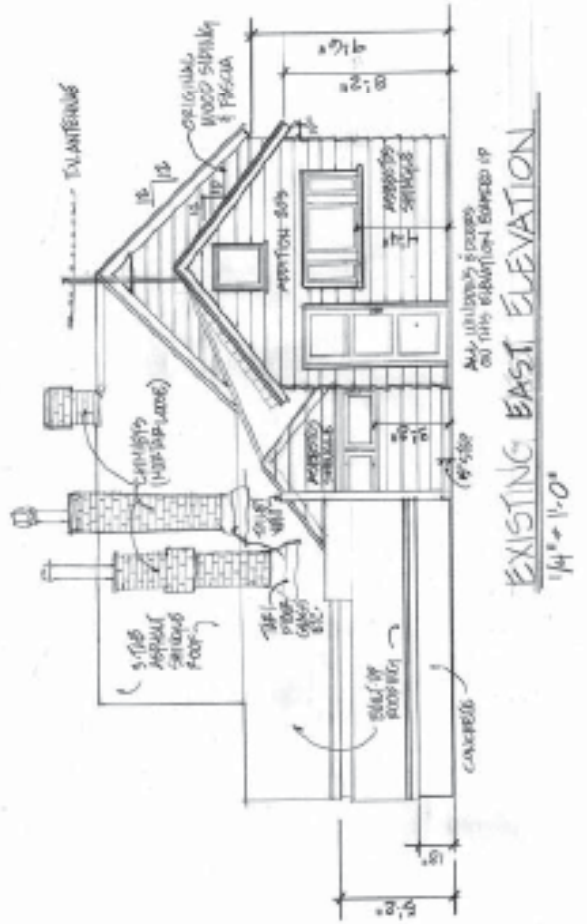
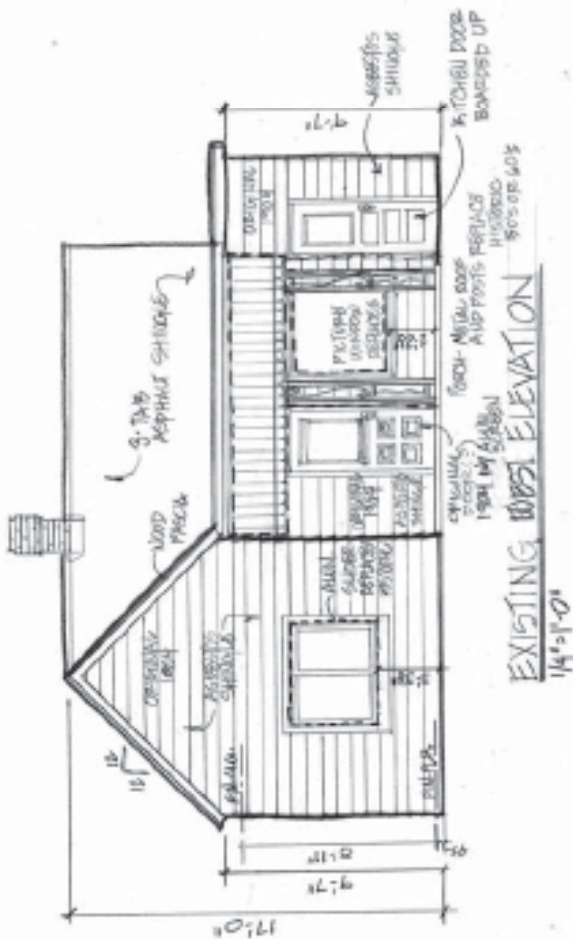
6

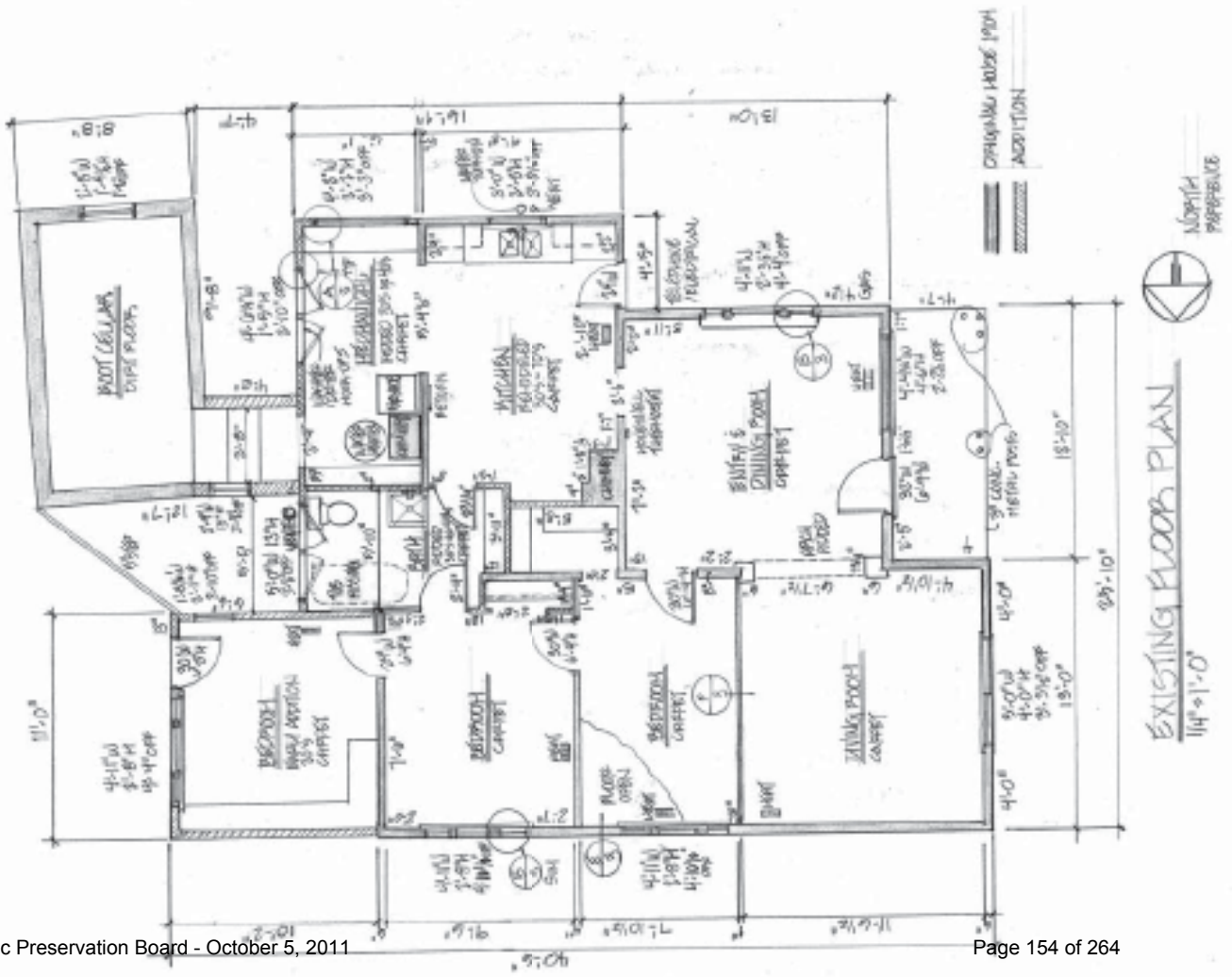
EXISTING ELEVATIONS

AS-BUILT DRAWING
FROM
2011 PERIODIC
1400 PARK AVE.
BIRMINGHAM, ALA
35203

PREPARED BY
KIMBERLY ANTONIO

5



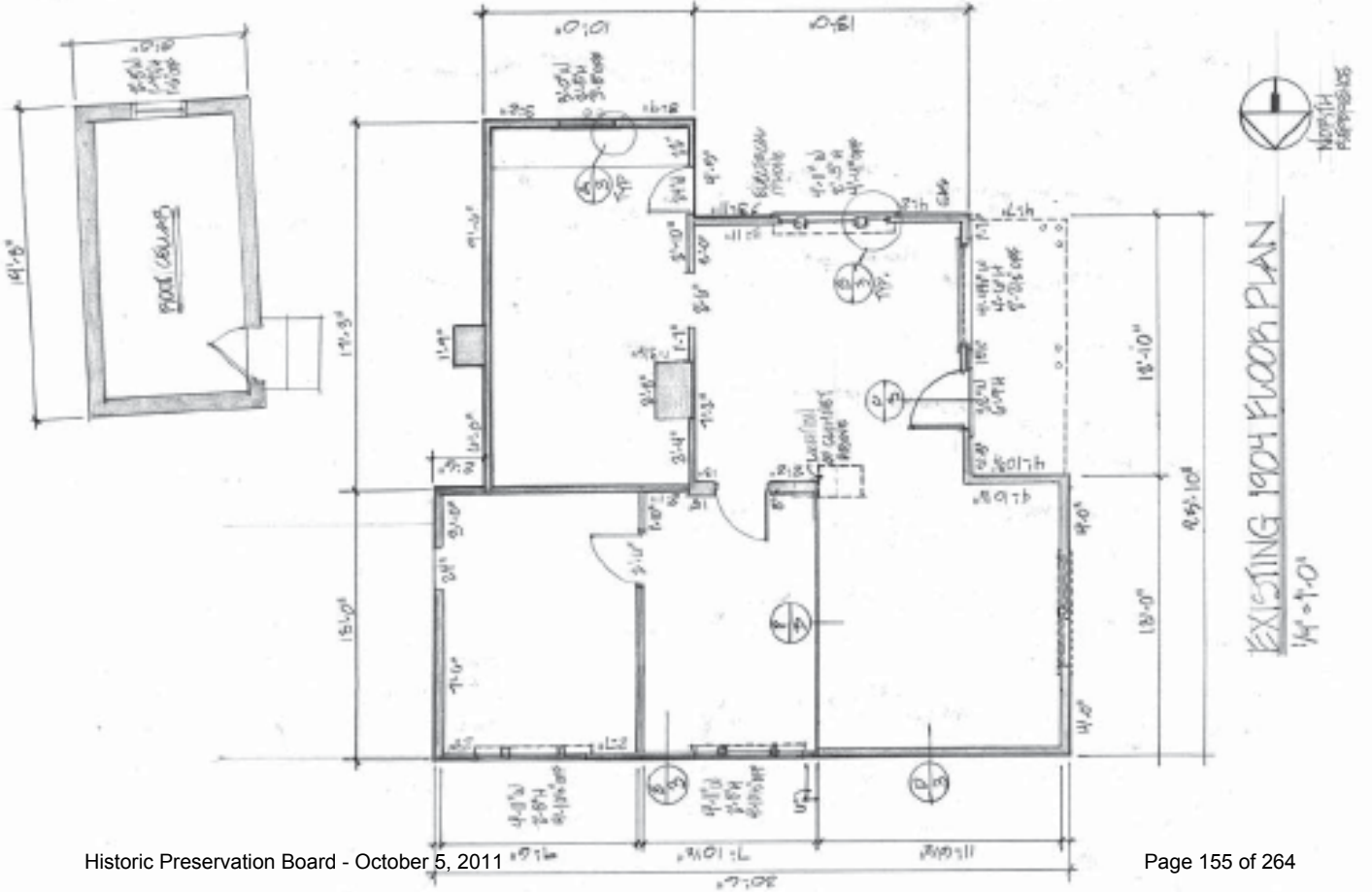


EXISTING 1904 FLOOR PLAN & DETAILS

ADULT DRAWING
 FOR
 THE PRESERVE
 1450 PARK AVE.
 BUREAU CITY, IOWA
 51404

PREPARED BY
 LICENSED ARCHITECT

3



EXISTING 1904 FLOOR PLAN
 1/4" = 1'-0"



↑
HPO BERMANE.

EXISTING STREETSCAPE

NO SOURCE-SEE CERTIFIED SURVEY FOR ADDITIONAL INFORMATION

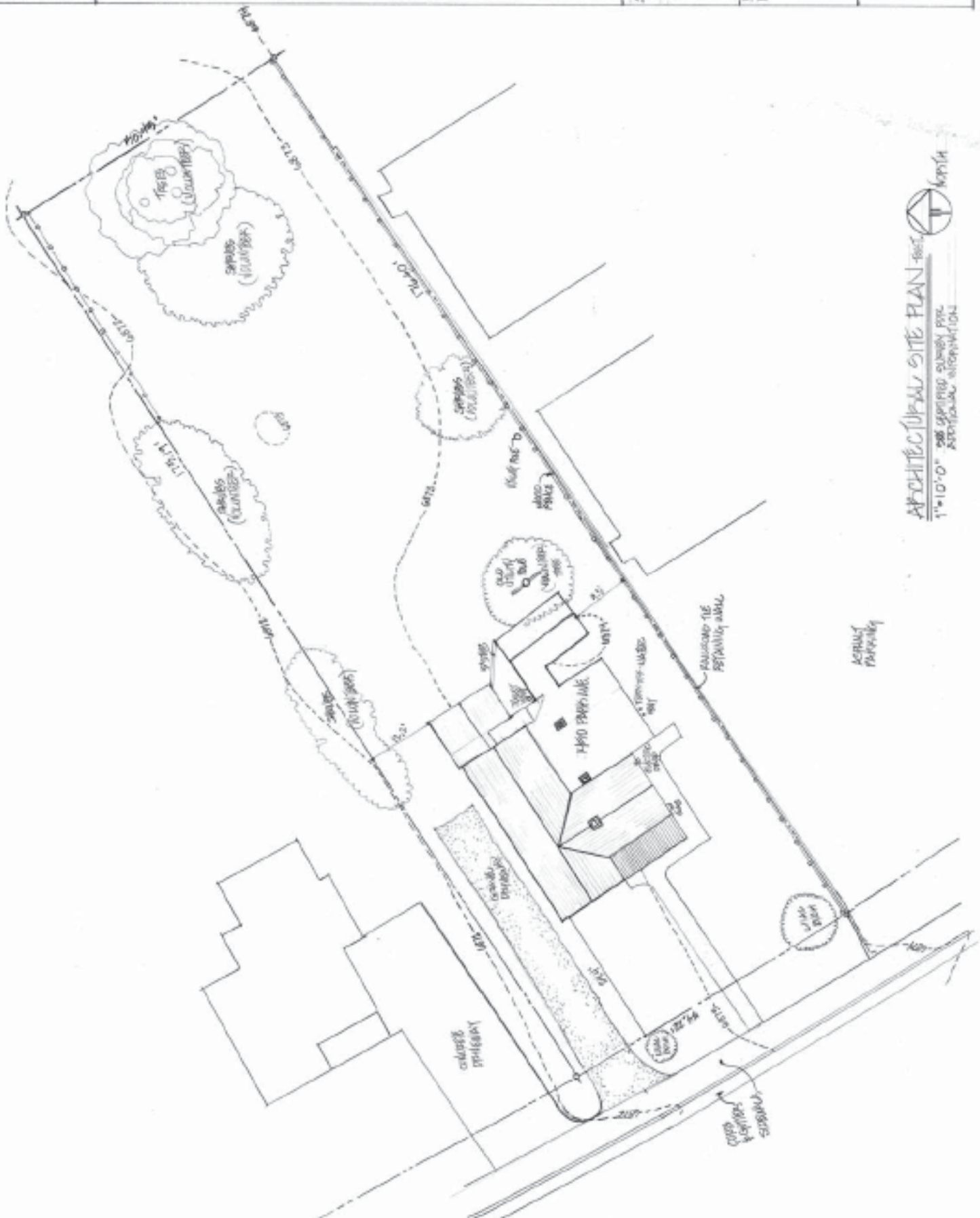
	<p>AS-BUILT DRAWINGS PREPARED BY LUCYBIRD ARCHITECT</p>	<p>2</p>
	<p>FOR THE RESIDENCE 1150 PARK AVE. PARK CITY, UTAH 84300</p>	<p><u>EXISTING STREETSCAPE</u></p>

ARCHITECTURAL SITE PLAN - EXISTING

25-5017 DRAWING
NO. 001
D&B ARCHITECTS
1450 BERRY AVE.
SAN FRANCISCO, CA 94104
847-4110

PREPARED BY
LUCAS WOODS

1



ARCHITECTURAL SITE PLAN - EXISTING
 1"=10'-0" SEE GENERAL NOTES FOR ADDITIONAL INFORMATION
 KORTA

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060 ° (435) 615-4906 FAX



PHYSICAL CONDITION REPORT

For use with the *Historic District/Site Design Review Application*

For Office Use Only

PROJECT PLANNER _____ APPLICATION # _____
DATE RECEIVED _____

PROJECT INFORMATION

HISTORIC SITE? NO YES: LANDMARK SIGNIFICANT DISTRICT: _____

NAME: John Doe

ADDRESS: 1460 Park Ave.
Park City, Utah

TAX ID #: RPS-1

OR

SUBDIVISION: _____ OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

CONTACT INFORMATION

NAME: _____

PHONE #: _____ FAX #: _____

EMAIL: _____

Instructions for Completing the PHYSICAL CONDITION REPORT

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings, and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

PHOTOGRAPHS

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Digital photographs must be included with this report. Low-resolution digital photographs should be inserted into the document to illustrate the written descriptions and high-resolution photographs should be submitted on a disk. Specifications for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

SITE FEATURES

A.1. TOPOGRAPHY - Describe the topography of the site, including any unusual conditions.

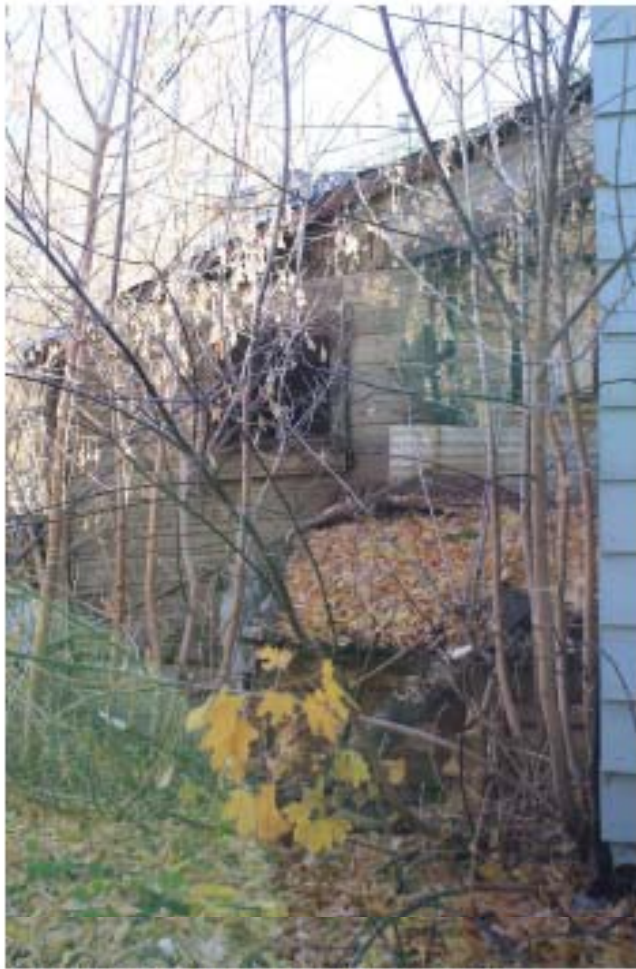
Describe the existing feature(s) and condition:

The site is relatively flat. The finished floor elevation is approximately 2-3" above grade. The northeast corner of the house and the yard has been dug out to provide access to a mechanical crawlspace. This hole begins at grade on the east and northeast corner of the house and drops to 6". There is a lot of vegetation in this corner and a photograph is difficult to show this artificial topographical condition.



Northeast corner hole

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Topographical change at northeast corner



Relatively flat topography

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

A.2. LANDSCAPING - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates.

Describe existing feature(s) and condition:

Unfortunately there are no historic photos of this property. The only photos available show the exterior modifications already present. This is particularly true of the paths and patios. There are many trees and bushes on this property. These landscape features exist on predominantly the north side of the property however, there are some bushes and trees on the south side of the property as well. There is a beautiful big tree in the front, west yard. The center of the property is flat, open and grassy. There is a concrete driveway. Without changing elevation the concrete extends to form the porch and a path to the side kitchen door. All these landscape features don't seem to be historic. The house to the south at 1450 Park Ave. is similar to this house at 1460 Park Ave. They were most likely built at the same time. There is more historic information about 1450 Park Ave. and this information can be used to analyze 1460.



Older photo showing vegetation and concrete areas

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



1958 photograph shows immature tree in front and driveway is not finished.



West elevation mature trees and vegetation-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East and north side vegetation

A.3. RETAINING WALL(S) - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

There are no retaining walls on the site.

A.4. EXTERIOR STEPS - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

No exterior steps.

A.5. FENCE(S) - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing feature(s) and condition

There is a chain link fence at the rear of the property.



Chain link fence rear and partial north and south sides of the property.

A.6. OTHER SITE FEATURES (SPECIFY): _____

Describe the existing feature(s) and condition:

None

MAIN BUILDING

B.1. ROOF - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

Describe the existing feature(s) and condition:

The roof form is a typical cross gable with an intersecting shed roof. There is a west to east gable with 12/12 pitch. The construction of this gable is visible through the attic access on the east end. There are 2X4 rafters at 24" o.c. with 1X6 skip sheathing. The roof was originally a wood shingle roof. Now it has a red, asphalt shingle roof. The asphalt shingle roofing is losing its granules and needs to be replaced.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

The north to south gable has a 12/12 pitch on the west side and a 4.5/12 pitch on the east side. It is assumed the roof framing construction is the same as the east to west gable. At the intersection of two gable forms on the west front elevation is an aluminum porch roof supported by two, wrought iron, decorative posts. This roof shows on the 1958 photo of the house. Since the adjacent property is so similar and there is a older photo of 1450 Park Ave. showing an original porch structure; for purposes of restoration this porch design can be replicated on 1460 Park Ave.

The rest of the roof sheds to the east-rear with a 4.5/12 pitch from 16 feet at the ridge of the north-south gable to 6 feet at the east-rear elevation. The roof extends 4 feet to the south to form the kitchen door entrance. There is an aluminum roof over this side door.

The east shed portion of the roof shows some damage. The asphalt shingle is missing on southeast corner and replaced haphazardly with a membrane and sheet metal. The northeast section of the shed roof waves and sags indicating structural problems. This area may be an addition and have inadequate connection to the original structure and inadequate foundation support. (See foundation)

The only roof penetrations are an electrical mast, a plumbing vent, a t.v. antennae, and the furnace vent. There are no chimneys and no evidence there ever were any chimneys.

Soffit and fascias are all formed from extension of 2X4 framing. They are in various stages of disrepair and all need attention.



East-west gable roof

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East-west gable framing



Intersecting cross gable roof with aluminum shed porch roof

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Intersection-valley east-west gable and north-south gable



Historic front porch structure on 1450 Park Ave.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Shed roof forms from 16 foot ridge to 6 foot rear



Damage on east-rear portion of shed roof. Roof penetrations.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Damaged roof.



Soffit and fascia at northwest corner.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Original soffit and fascia on east side of north-south gable. Intersecting shed roof and soffit and fascia has water damage and layers of makeshift repairs.



Original soffit, fascia and trim. Sheet metal drip edge.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Soffit and fascia south elevation



Soffit and fascia southeast corner kitchen/bathroom

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Soffit and fascia east- rear elevation. Roof penetrations.



Detail soffit and fascia corner southeast 10"

B.2. EXTERIOR WALL - PRIMARY FAÇADE - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

The west, primary, front façade runs 25'-1 ½" north to south. The wall height is 9'-4". The ridge height is 16'-0". Beginning at the northwest corner gable end moving 3'-7" to the south is a 4'10"W X 3'-11"H aluminum slider window 4'-3" off the ground. The primary gable ends 3'-10" south of the window. The entire gable end is 12'-7" long. The elevation is covered to the ground with ¼" x 8" blue, pressed, artificial siding. Testing is required to ascertain the asbestos content in this siding. Undereath this siding is the original 1X8 wood lap siding. The artificial siding is shown in a 1958 photograph.

The soffit-overhang is 6" and the fascia is a wood 1X4 reflecting the 2X4 roof framing. The roof is asphalt shingle.

The façade drops to the east 4'-6" and then extends 12'-2 ½" to the south to form the front porch. This porch is covered with an aluminum awning type roof supported by two, wrought iron, decorative posts. The porch floor is concrete.

The entry wall, under the porch roof is formed by the 9'-4" side wall of the north-south gable. The 2'-6"W X 6'-7"H front entry door is located 12 ½" south of the intersecting corner of the two gables. 2'-11" to the south of the door is a 2'-7"W X 5'-8"H fixed window. The end of this wall is 3'-4" south of the window.

12'-2" east of the southwest corner of the porch is a 4'-2" projection with the 2'-6"W X 6'-8"H kitchen door. This is a 13'-0" high wall.

Although the materials and fenestration on this façade have been modified the basic historic 1901 form has not changed.



1958 Photograph-shows many of the modifications made to the historic house
West primary façade

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



West primary façade 2006 photograph



West primary façade- 2010 photograph

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

B.3. EXTERIOR WALL - SECONDARY FAÇADE 1 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The north façade extends west to east 24'-5", drops 11'-10 ½" to the south, and continues east with a shed roof 12'-4". The 24'-5" wall is 9'-4" high and is covered with 8" blue artificial siding that extends soffit to ground. The red asphalt shingle roof ridge with sheet metal drip edge is 16'-0" above the ground. There are no windows on this section. There is a gas meter on the northwest corner.

The area formed by the intersection of the east-west gable and the shed roof is a difficult area to get accurate measurements from and is a precarious area to work around because debris covers holes. Most of the measurements were taken from the inside or squaring up the house. This area has been excavated to provide access to the mechanical space under this corner of the house. An awkward shed covers the access. It is built out of lap siding, scrap wood and metal and corrugated metal. The mechanical area has probably evolved over time however it is a contemporary addition to this house. This corner elevation is interesting to study because it is the only place that the original wood, lap siding hasn't ever been covered. It is a good example of the original construction of the cross-plan house.

Starting at the northwest corner of the shed is a 1X wood batten that covers the intersection of the east-west gable and the shed. 1'-4" east of the corner is a 1'-5"W X 2'-3"H fixed window in an unpainted wood frame. This window is 4'-4" off the finished floor. 1'-3" east of the window there is an unpainted 1X6 vertical batten. This appears to be a division between two different shed sections. The northwestern shed that was just described is at a right angle to the east-west gable and the remainder of the shed section 8'-4" to the west is at a slightly different angle from the northwestern section. This area appears to have been problematic for water damage. Corrugated metal was installed from the edge of the roof to just over the window to help divert water focused to the corner from the valley created by the east-west gable and the shed roof. There is mold on the interior wall at the intersection of the two shed sections.

There is a window 3'-3" east of the previously described window. The window is 2'-8"W X 2'-2"H and is 3'-8" off the floor. This window is boarded up.

The lower section the shed wall is covered with unpainted horizontal 1X8" lap siding and the upper section is covered with siding applied vertically. The north elevation ends at the northeast corner 6'-0" off the ground.

The east-west gable structure and the first 4'-0" of the shed structure are part of the original 1904 house. The 8'-4" section of the shed and the mechanical access appear to have been added at a later date.



North façade



North elevation-shed access to mechanical

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Corner- original 4'-0" shed structure



Mechanical shed roof- original siding material- north elevation

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Intersection-sheds north elevation

B.4. EXTERIOR WALL - SECONDARY FAÇADE 2 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The south elevation extends west to east 37'-2 1/4". Starting at the southwest corner and 12'-2 1/2" to the north is a 4'-6 1/4" section of the east-west gable with a 9'-4" wall height and roof ridge at 16'-0". The wall is covered with the 8" blue, artificial siding typical of this house. South of this wall and visually bisecting this area is the aluminum porch awning roof with wrought iron posts.

The façade continues east with a 12'-2" modified gable wall. The western part of this wall has a 12/12 pitch reaching 16'-0". The eastern section extends from the ridge at a 4.5/12 pitch. The entire south façade is covered with the 8" of blue, artificial siding. 4'-8" east of southwest corner is a fixed window 2'-3"W X 5'-8"H and 24" off the ground. The wire for a television antenna extends up the wall on the east side of the window. The wall continues east 4'-11" from the window. The electrical service and meters occur in this section. There is an aluminum awning over the kitchen door.

The next section of the south façade begins 4'-2" south of the wall described above. It extends east 12'-2" and begins at a height of 13'-0" at the southwest corner and ends at a height of 9'-0" on the southeast corner. This area forms the kitchen. The telephone drop occurs on the southwest corner. 2'-10" east of the corner is an aluminum slider window 4'-11"W X 2'-0"H and 3'-7" off the ground. Below this window are a hose bib and the water turn off for the house. At the east corner of the window is an exterior vent for the kitchen sink. Some of the original siding has been exposed under the window illustrating the original exterior wall construction. The wall ends 4'-5" east of the window.

If the evidence on the north elevation of an 8'-4" addition is accurate; the original house possibly ended at the east end of the kitchen wall. There is a 1'-4" turn to the north at the east side

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

of the kitchen wall and the shed wall continues 8'-4" to the east corner of the south elevation. There is a change from a 6" overhang to a 10" overhang as the kitchen wall turns the corner to the bathroom south wall. The southeast end of this facade is 6'0" off the ground.



South facade



Transition from 6" overhang to 10" overhang

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Exposed original wood lap siding, building paper, masonite, siding



Overhang at west end of kitchen wall-south elevation

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B.5. EXTERIOR WALL - REAR FAÇADE - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The rear east façade is characterized by the short end of a long shed form terminating a wide expanse of roof and the east side of the east-west gable. At the south end of this elevation the 1'-4" corner of the kitchen is visible. The rear 6'-0" high wall extends south to north 15'-2". 1'-1" north of the south corner is an aluminum slider window 3'-1"W X 12"H and 4'-0" off the ground. Adjacent to the north corner of the window is a cast iron vent for the bathroom. This area does not have the stability of the rest of the house and appears to be an addition.

The rear-east gable end is 12'-4" west of the rear shed form. This area was discussed extensively above in the north façade section. The exposed gable has a dimension of 11'-10 ½". Interior inspection shows a 3 ½" jog in the wall of the closet off the kitchen. This dimension plus the wall depth makes the entire actual horizontal dimension 12'-7". The shed structure laps the gable structure 8 ½". The wall is covered with unpainted, wood 1X8 lap siding. The siding is trimmed at the roof with 1X trim which appears to be original. There is a rectangular wood attic access door centered on the gable. The shed access to the mechanical area makes it difficult to obtain the exterior measurements. The window on this elevation has been altered but the original is still visible and has been boarded up. The existing aluminum slider window is 4'-4" from the southeast corner of the bedroom. It is 2'-11"W X 2'-0"H and 6'-1" off of the floor. The historic window is 2'-8"W X 5'-0"H and 2'-5" off the floor.



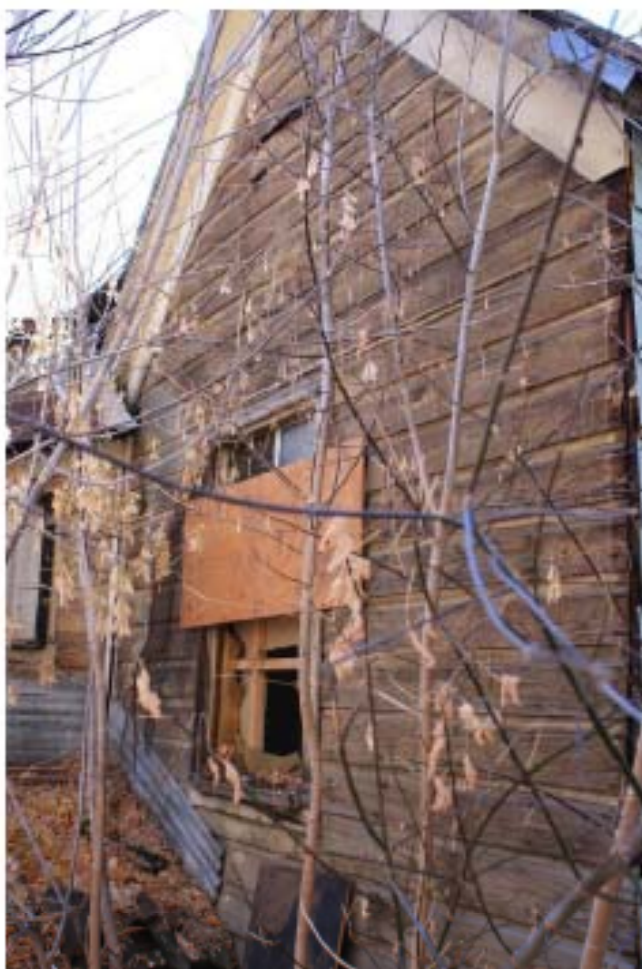
East-rear facade

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Northeast corner- roof damage and different wood siding

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East elevation gable end

B.6. FOUNDATION - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

The siding extends to the ground on every elevation with the exception of the excavated area in the northeast corner of the house. There is one open area in the house which shows rubble stone foundation with the 2 1/8" X 6" floor joist resting on this stone or resting on the dirt.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

When the northeast area under the house was excavated to accommodate mechanical equipment and duct work a lot of damage was done to the foundation. No thought went into replacement of bearing points 2/3 of the east gable wall has no foundation. The corner intersection between the east gable and the perpendicular shed has no support. Excavation for the duct work is haphazard. This is a potentially dangerous situation and should be stabilized before any other work is done on the house.



Dirt and rubble foundation-typical

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Foundation excavation



Unsupported corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Unsupported corner



Excavation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Damage to existing foundation-rubble fallen

B.7. PORCH (ES) - Describe the current porch (es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction. Describe the existing feature(s) and condition:

There is very little other than position that is original about the existing porch. The 4'-6 1/4" X 12'-2 1/2" area is located similarly to the porch on the adjacent property 1450 Park Ave. There is a historic photo of that porch and it can be assumed that the porch at 1460 Park Ave. was similar. The earliest photo available of 1460 is from 1958 and the present materials were seen in this photo. The aluminum awning roof and the wrought iron decorative posts were all present in 1958.



West porch-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Concrete slab porch floor



West front porch-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



West front porch-1958



1450 Park Ave. Historic porch

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

B.8. DORMER(S) / BAY(S) - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition:

No dormers or bays on this house.

B.9. DEVELOPMENT HISTORY - Briefly describe the development history of the site in a chronological order of development including changes to the site, original building, accessory buildings, and structures. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures:

There is very little primary documentation for this house. The best information comes from comparing this house to other cross plan houses in Park City. The site inventory states that the house was originally built in 1901. The historic form is still evident as is the fenestration pattern (even though the actual windows have been modified). There is a 12/12 pitch gable structure with the gable end facing the front elevation. A window is centered on the gable wall. Historically this was typically a pair of windows. A single fixed window is shown in the 1958 photograph and the height was not modified. In the 1995 photograph the sill of the window has been raised and in the 2006 the aluminum slider replaced the fixed window. All these photos show the placement of the blue artificial siding over original wood lap siding.

4'-6" back from this gable form is a perpendicular modified gable that has a 12/12 pitch on the first half and a 4.5/12 pitch on the second. In the space formed by the intersection of the two cross gables is the covered porch. Only the location of this porch is original; the aluminum roof, wrought iron posts and the concrete slab have replaced the historic materials. This alteration occurred on or before 1958.

The modified gable turns 4'-0" to form a 13'-0" wall that contains the kitchen door. The rest of the house consists of a shed form that terminates at the rear of the house. These are forms found in other cross plan houses and are original to house. Variations occur in the additions that occur on the rear of the house. This is true of 1460 Park Ave.

The northeast corner of the house has an interesting development history. The original wood lap siding hasn't been covered. Other than the windows this corner has the feeling that it hasn't changed since 1901. Someone dug a huge hole underneath this area to accommodate mechanical probably sometime in the 1960's.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



House in 1958



House in 1995

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



House in 2006



House-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Northeast corner

B.10. MECHANICAL SYSTEM

Describe the existing mechanical system and condition:

Mechanical area location is under the northeast corner of the home. An 8'X8' hole was dug under the house with 2 trenches about 30" X 30" both 8-10 feet long running in two directions for heating and plumbing. The heating unit set on a concrete pad and the water heater is not on a pad and is sinking into the dirt. There is a 2 sided shed with a roof and no insulation. The condition of the equipment is very poor. The duct work lies haphazardly on the ground.

The plumbing supply lines are galvanized iron pipe and drains are cast iron. The vents are on the exterior of the house. The fixtures are varying ages and it can be assumed that nothing is code complying. It should be assumed that there is some lead piping given the age of the structure.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Gas-northwest corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Water heater and furnace in excavated crawl space



Duct work-exposed no insulation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Duct work through excavated dirt



Hot water heater-venting?

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Return air

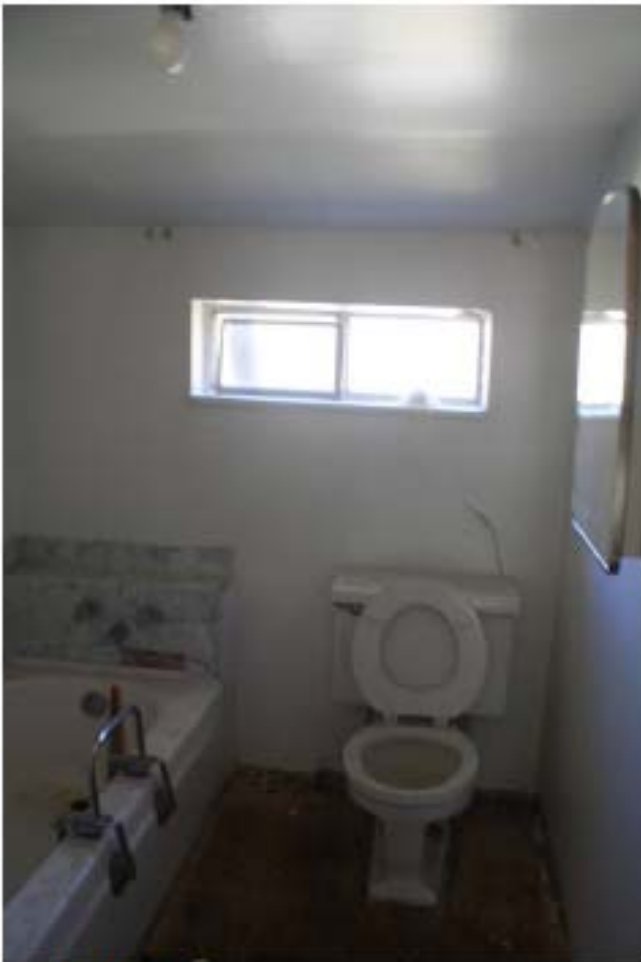


Kitchen sink south wall

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Water turn off, hose bib, and sink venting



Tub and toilet

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Bathroom-sink

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Toilet vent

B.11. ELECTRICAL SYSTEM

Describe the existing electrical system and condition:

The supply lines are cloth wire. There is no inside breaker panel. The service panel is on the outside with two fuse boxes. The electrical system is not grounded. It will require complete replacement.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Electrical service-south elevation



Knob and tube cloth wire-typical

B.12. STRUCTURAL SYSTEM

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing structural system and condition:

Based on the historic building code , if the framing member has more than 50% of the capacity of what the code requires than it is structural adequate. Most of the existing roof joists (except the 12/12 pitch framing) are less than 50% capacity of the code. They need to be upgraded by either sistering them with additional roof joist or replacing them with new.

The existing roof deck is 1X wood plank installed perpendicular to the existing joists. This roof decking doesn't have any capacity of shear diaphragm value.

The existing headers over windows and doors are inadequate to transfer roof loads to the ground.

The exterior walls consist of ¼" artificial siding, masonite, 1X8 wood, horizontal lap siding, 1X12 vertical planking, and 2X2 or 2X4 flats @ roughly 16" o.c. installed for gyp.bd. attachment. None of the walls are mechanically fastened to the foundation and floor or to the roof structure. The walls are not strong enough for wind, seismic or gravity loads.

The original ceiling framing is 2x4 framing @ 24" o.c. with perpendicular 1X12 planks. The ceiling has been lowered throughout the house.

The existing building doesn't have any footings. The floor joists sit on a small pile of rubble stone or directly on the dirt. The house has been even further compromised by the type of excavation that has occurred under the house.



Foundation-floor joist on rubble stone

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wall structure- wallpaper on 1X12 vertical plank typical



Wall structure

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wall structure



Roof Framing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Roof and ceiling framing



Ceiling lowered throughout house

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

B.13. HAZARDOUS MATERIALS

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:



Test materials siding and roofing for asbestos. Assume age of house there will be lead paint.



Possible lead piping

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Visible mold-probably hidden mold

B.14. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

MAIN BUILDING - DETAILS

C.1. WINDOWS - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing feature(s) and condition:

All windows have been altered. They appear in their original location. They have been replaced with aluminum sliders and fixed single pane. 2" exterior wood casing or modified is a typical detail. This may be an original casing. All the interior casing has been recently modified to stock 1/2"X2" casing.



Front west window-aluminum slider 4'-10"W X 3'-11" and 4'3" off ground. Head and jamb original 2" wood. Sill new. 1958 window sill was lower and fixed. 1995 window sill raised.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Front-west window interior-casing modified

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

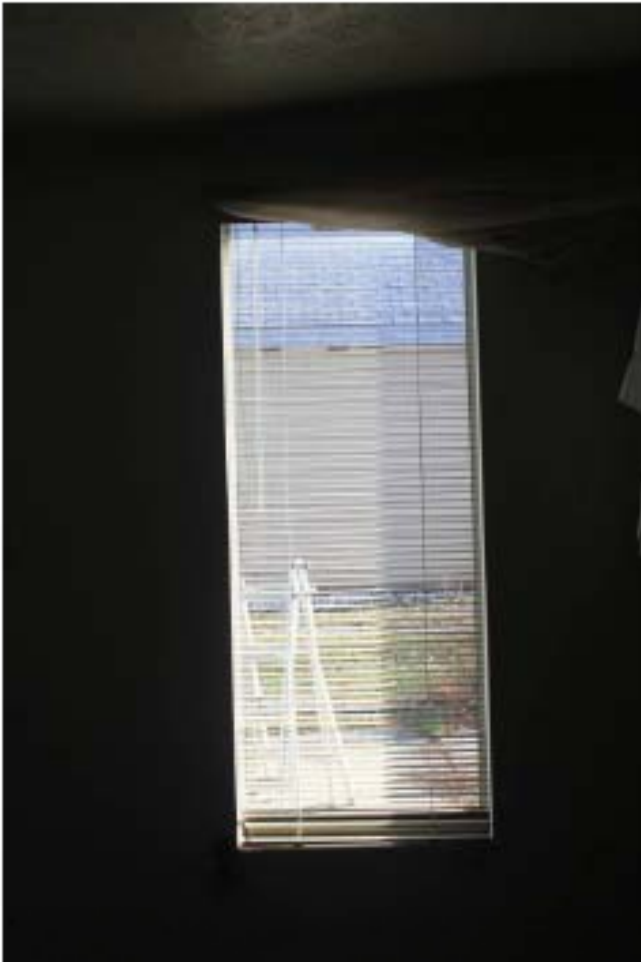


West porch window-2'-7"W X 5'-8"H fixed 24" off porch 2" historic wood casing exterior, interior modified



South windows-southwest 2'-7"W X 5'-8"H fixed 24"off slab. Center kitchen window 4'-11"W X 2'-0"H aluminum slider 3'-7" off ground. 2" historic wood casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior southwest window- casing modified



Typical 2" historic wood casing. This particular one is on the kitchen window.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior kitchen window casing modified



East bathroom aluminum slider 3'-1\"W X 12\"H and 48\" off the ground-patched together casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East bathroom window-modified casing



**Northeast window fixed 2'-8"W X 2'-2"H 3'-8" off floor-casing unknown
Northwest window fixed 1'-5"W X 2'3"H 4'-4" off floor-casing 1X4 wood**

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Northeast window-modified frame



Interior northwest window

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East bedroom window-existing aluminum slider 2'11"W X 2'-0"H and 6'-0" off floor
Casing unknown. Historic window 2'-8"W X 5'-0"H 2'-5" off the floor- window style and casing
unknown.



Interior east bedroom window

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

C.2. DOORS - Describe the doors including materials, dimensions, types, whether the doors are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:

There are two exterior doors. The front door is a wood door with a third light and three raised panels. It is 32"W X 6'-7"H and has the typical 2" casing. It has an aluminum screen door. This door may be original and shows on the 1958 photograph. The interior casing like all the interior trim has been changed. The kitchen door is not original. It is a 30"W X 6'-8" H and is a solid core wood door with three small lights stepped along the upper half of the door. The exterior casing is the typical 2" casing to interior is stock 1/2" wood trim.

None of the interior doors are historic. They are all hollow core wood doors with stock 1/2" casing.



Front door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior front door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

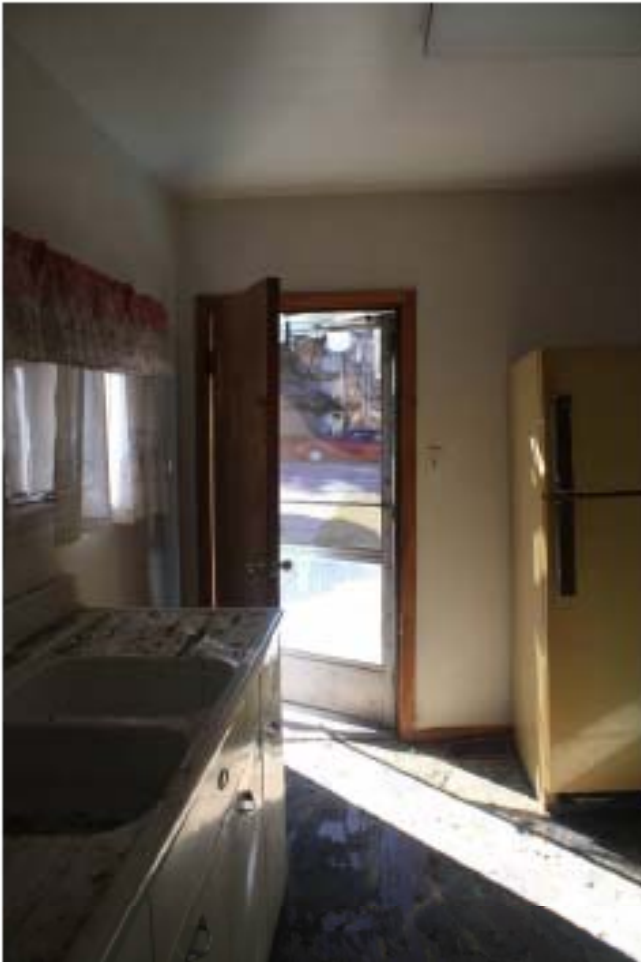


1958 photograph showing existing front door-possibly showing kitchen door as well



Kitchen door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior kitchen door



Typical interior door and casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

C.3. TRIM - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.

Describe the existing feature(s) and condition:

The only original trim on this house would be the 2" window and door exterior trim and the 1x10 trim on the east elevation in the northeast corner of the house. Trim is generally functional and simple.



Typical 2" wood casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wood 1X trim on east elevation



Typical soffit and fascia-functional and simple

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

C.4. ARCHITECTURAL ORNAMENTATION - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition:

No architectural ornamentation. Detailing is simple and functional.

C.5. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

ACCESSORY BUILDING(S)

D.1. ACCESSORY BUILDING(S) - Mark all the boxes below that apply to your property. Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s): Garage Root Cellar Shed XOther (specify):

Describe existing accessory building(s) and condition:

Although the accessory building no longer exists it does show up in older photographs.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



1958 photograph showing accessory building

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

STRUCTURE(S)

E.1. STRUCTURE(S) - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s): Tram Tower Animal Enclosure Other (specify):

Describe existing structure(s) and condition:

No additional structures.

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: _____ Date: _____

Name of Applicant: _____

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

PHYSICAL CONDITION REPORT - PHOTOS

Low Resolution Photos Inserted into the Body of the Report:

Digital photographs illustrating the descriptions must be included with this report.

Each feature described in this report must include *at least* one corresponding photograph. More than one photograph per description is encouraged.

To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the report.

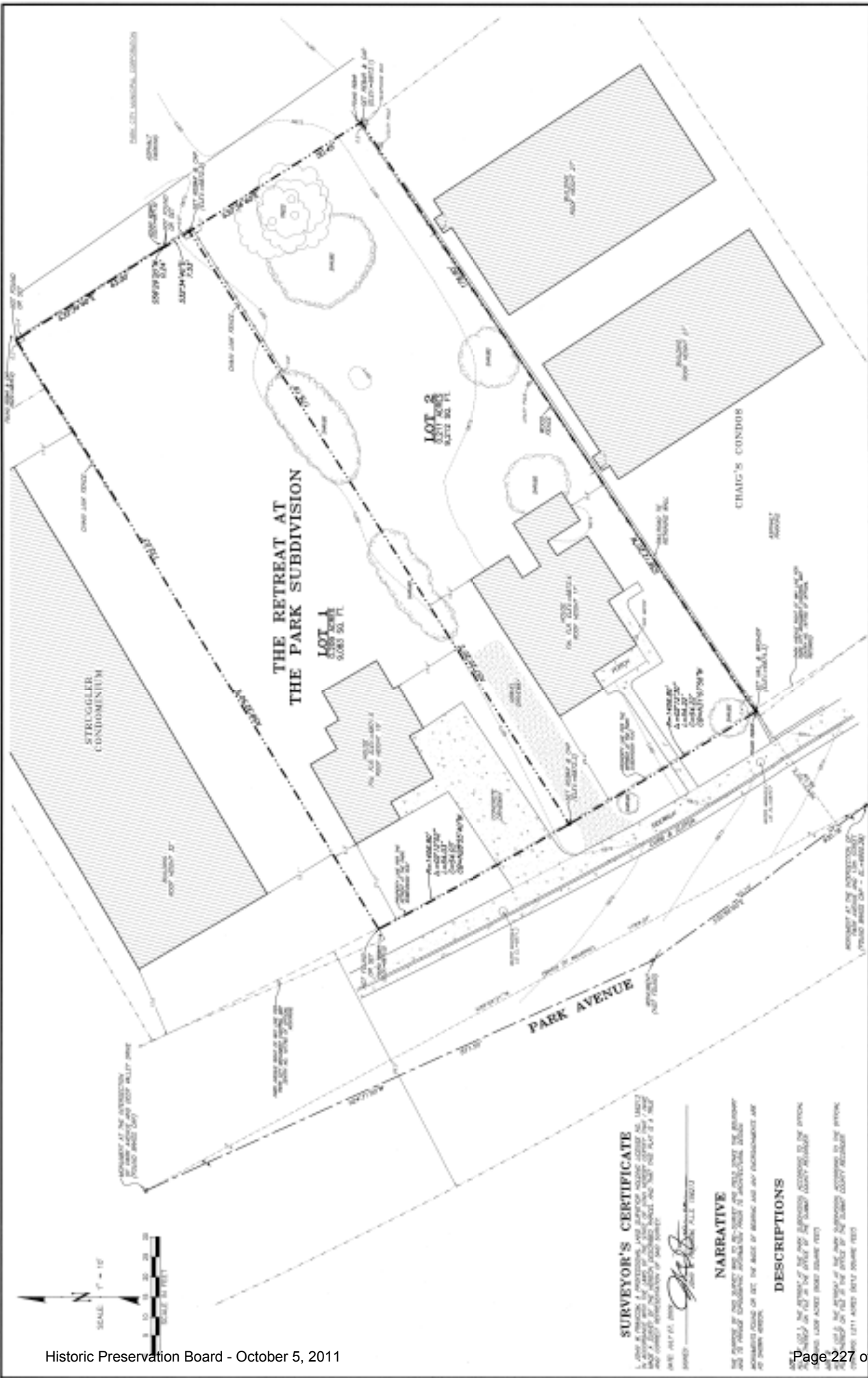
- Microsoft offers a free download of Image Resizer for Windows XP at www.microsoft.com.
- iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
- Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at www.vso-software.fr

High Resolution Photos Submitted on a Disc:

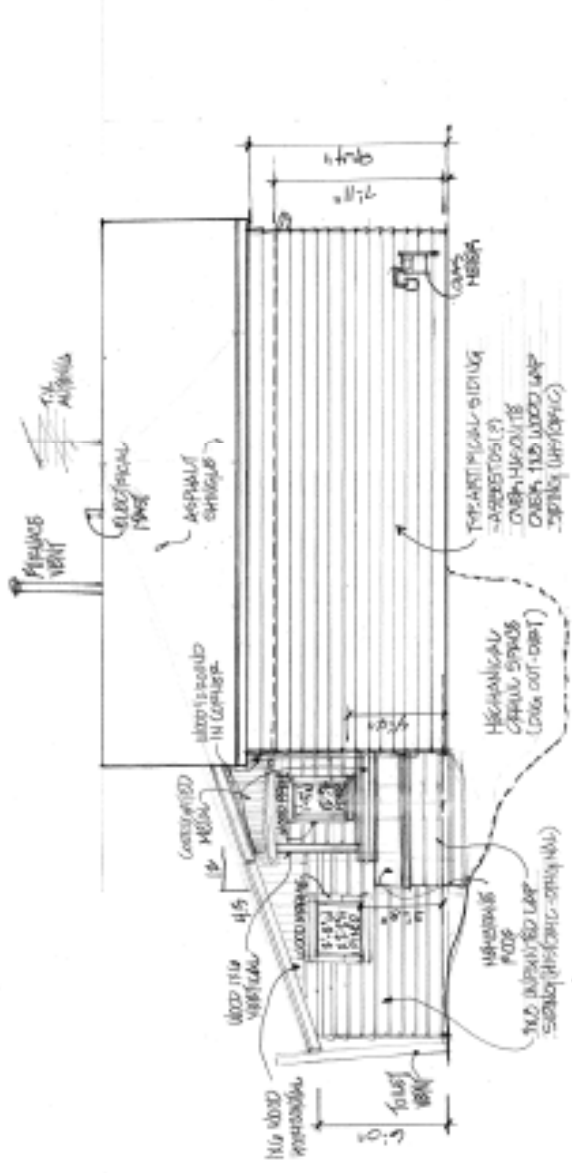
Digital copies of photographs used in the report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: PCR Form "Property Address" "Date".

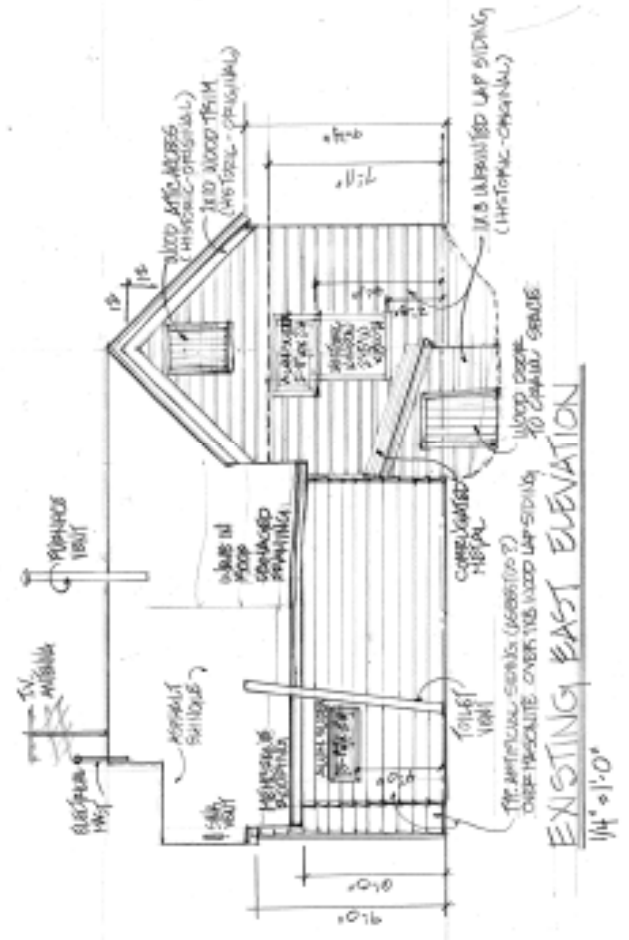
If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



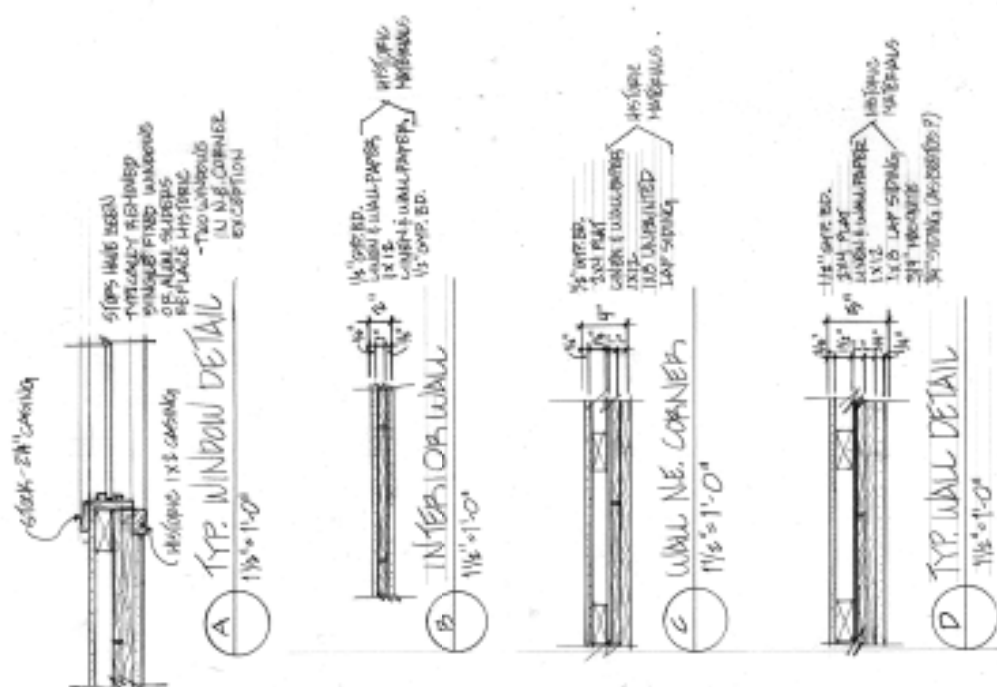
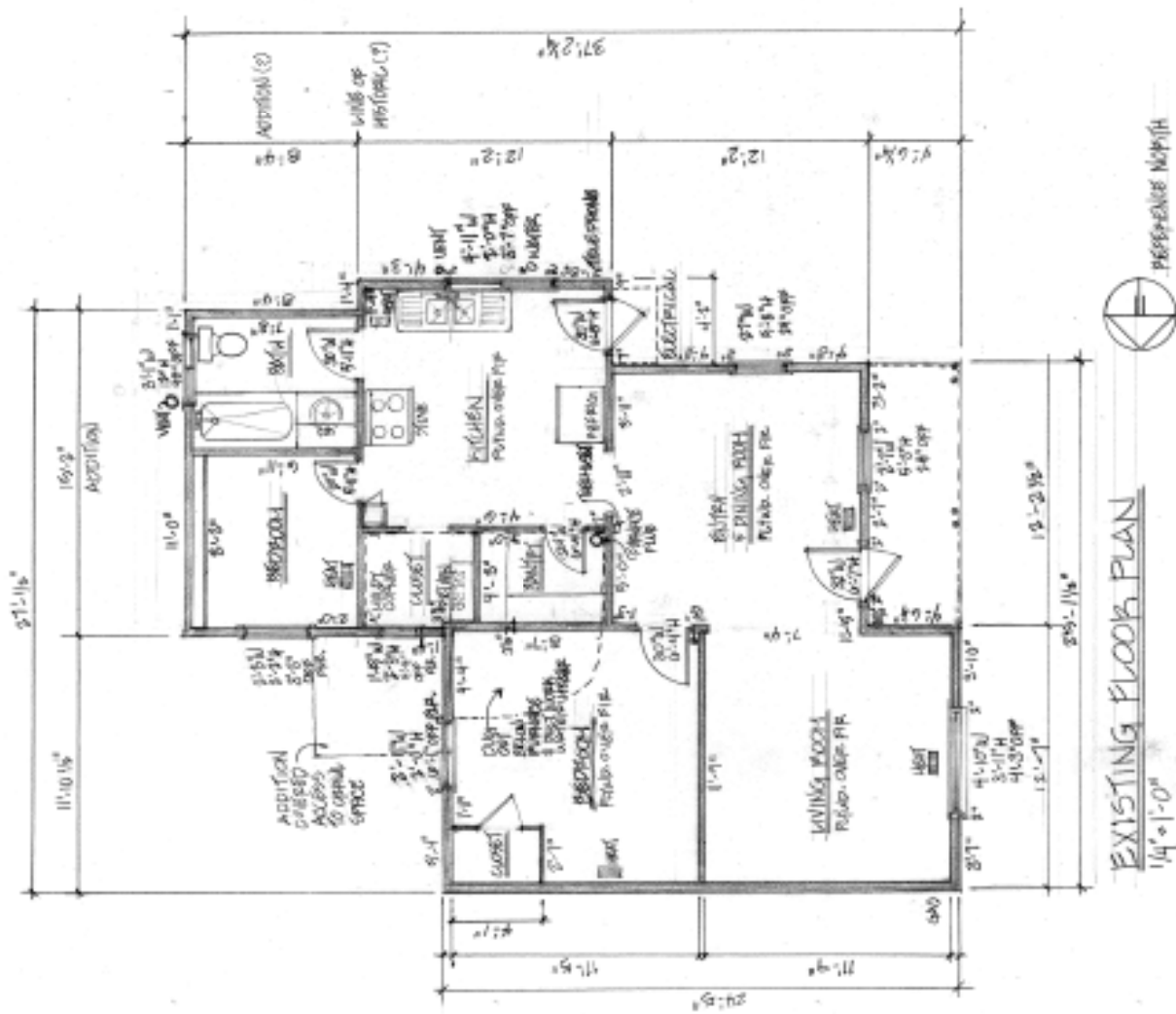
	JOHN W. FRANCOM & ASSOCIATES BOUNDARY, TOPOGRAPHIC & CONSTRUCTION SURVEY 1480 PARK AVENUE PARK CITY, UTAH	SAUNDRA S. HADON, ARCHITECT PARK CITY REDEVELOPMENT AGENCY 1480 PARK AVENUE PARK CITY, UTAH LICENSED AS THE SOLELY EMPLOYED SURVEYOR OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 11 WEST, COUNTY OF KANE, ARIZONA	SHEET NO. 1 OF ONE
	SURVEYOR'S CERTIFICATE I, JOHN W. FRANCOM, a duly licensed Professional Surveyor in the State of Utah, do hereby certify that the above described plat is a true and correct copy of the original survey as shown to me by the owner of the land shown thereon, and that the same is in accordance with the laws of the State of Utah.	NARRATIVE THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1957, AS AMENDED, AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF UTAH.	DESCRIPTIONS THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1957, AS AMENDED, AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, STATE OF UTAH.



EXISTING NORTH ELEVATION
1/4" = 1'-0"



EXISTING EAST ELEVATION
1/4" = 1'-0"





↑ MIDG PARK AVE.

↑ MID PARK AVE.

EXISTING STREETSCAPE

NO SOURCE OR CERTIFIED SOURCE FOR ADDITIONAL INFORMATION

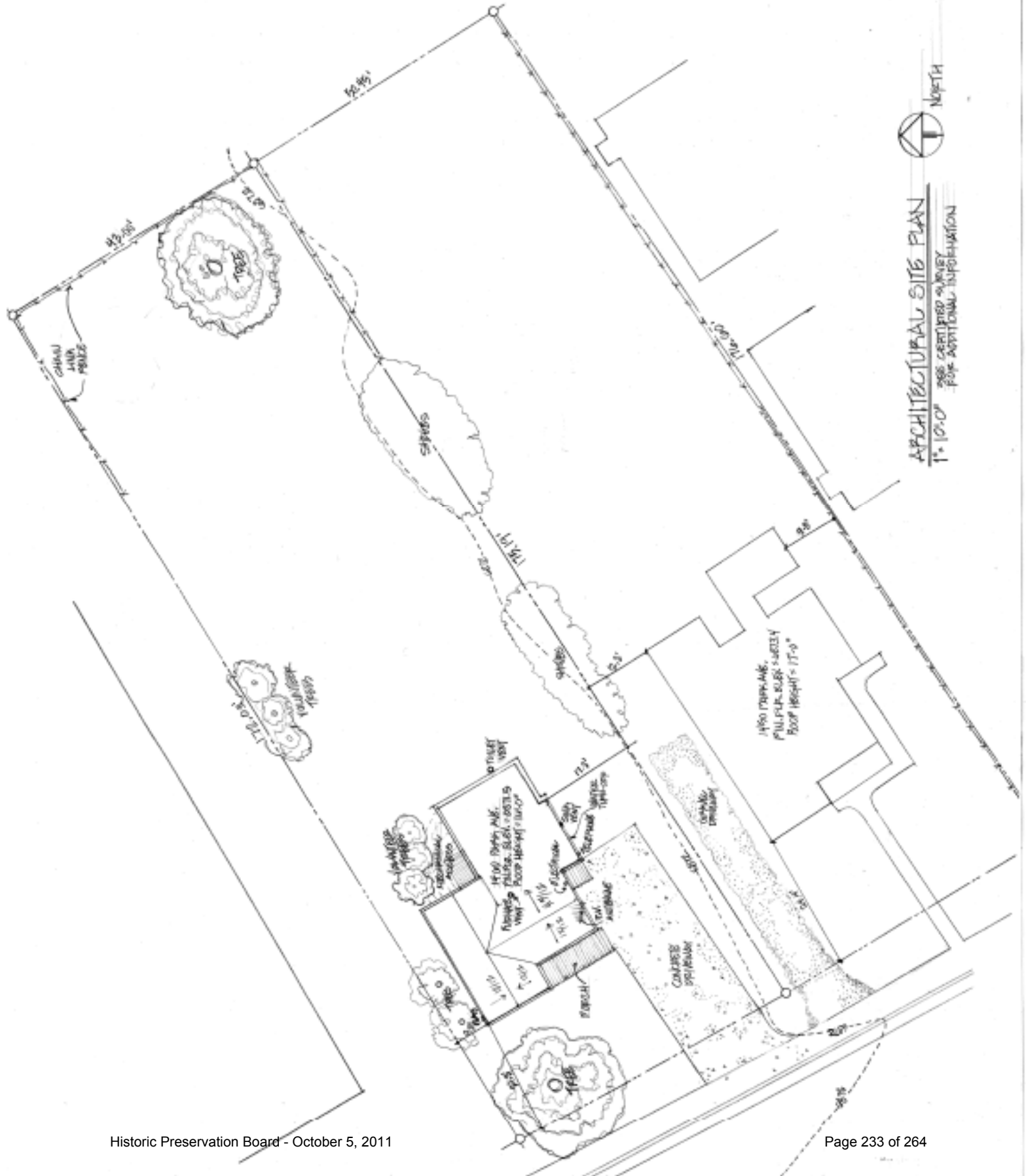
	<p><u>EXISTING STREETSCAPE</u></p>	<p>AS-BUILT DRAWINGS PREPARED BY FOR THE PRESERVE MID PARK AVE. BAY CITY, UTAH 84040</p>	<p>PREPARED BY LICENSED ARCHITECT</p>	<p>2</p>
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ARCHITECTURAL SITE PLAN (EXISTING)

AS-BUILT DRAWINGS
 FOR
 206 PARK AVE.
 1450 PARK AVE.
 PARKING LOT
 8/10/10

PREPARED BY
 LUCAS ARCHITECT

1



ARCHITECTURAL SITE PLAN
 1" = 10'-0"
 SEE CERTIFIED SURVEY FOR ADDITIONAL INFORMATION



WORK SESSION

Historic Preservation Board Staff Report



Subject: General Plan Update
Author: Kayla Sintz & Katie Cattan
Department: Planning Department
Date: October 5, 2011
Type of Item: Informational

General Plan Update

The General Plan is the guiding document for future development within Park City. It establishes goals and implementation strategies for the City. The General Plan focuses on key elements of future development including historic preservation and land use, both of which are partially under the purview of the HPB. Staff will be utilizing a portion of the work session for a discussion on historic preservation and General Plan.

Background

The current General Plan was adopted on March 20, 1997 with supplemental sections added in 1999, 2000, 2001, 2002, and 2007. A minor amendment to the document was passed in 2010 to change the name of the "Park Bonanza" Supplement to the "Bonanza Park" Supplement.

Currently the Planning Staff is working on the rewrite of the General Plan. Thus far, the Staff has focused on researching the elements of the general plan and public input. Procedurally, the General Plan is first reviewed by the Planning Commission and then forwarded to the City Council with the Planning Commission's recommendation.

The Planning Commission has discussed the General Plan as a work-session item five times since the initial start of the rewrite. There has also been three joint sessions with the Planning Commission and the City Council regarding General Plan issues. The Planning Staff is proposing to use the City's 2009 Visioning Document (Vision Park City 2009) as the foundation for the General Plan.

November 18, 2009 – Planning Commission Work Session

- Overview of current trends in Park City
- In-depth discussion on General Plans and the process of creating a general plan
- Consider Mission statement for Planning Commission
- Consider Brand for the General Plan
- Discussion on Growth, Evolution, and Build out

December 11, 2009 – Planning Commission Work Session

- Overview of Vision Park City 2009 Results presented by Phyllis Robinson

February 24, 2010 – Planning Commission Public Hearing

- Discussion on General Plan Goals (e.g. transportation, economic development, environment)
- More visual documents should be included in the General Plan
- Commissioners Volunteer for General Plan Elements/Issues
 - Community Character & Historic Preservation
 - Community Character & Econ Development:
 - Land Use & Growth Management
 - Environment/Conservation/Sustainable Development
 - Housing, Open Space and Parks and Rec
 - Transportation and Community Facilities

May 26, 2010 – Planning Commission Work Session

- Introduce proposed Public Outreach methods to Planning Commission

July 20, 2010 – Public Outreach Meeting at Eccles

- 24 members of the public attended

July 27, 2010 – Public Outreach Meeting at Eccles

- 29 members of the public attended

October 28, 2010 – Public Outreach Meetings in specific Neighborhoods:

Thaynes-Three Kings meeting @ Silver Star
Park Meadows @ Police Station
Snow Creek-Prospector @ Yellow Snow
Old Town & Aerie @ Alpine Internet Café
Deer Valley Meeting @ Deer Valley Plaza

- 70 members of the public attended

May 11, 2011 – Planning Commission Work Session

- General Discussion on Public Outreach results
- Website Update
- Outline of Upcoming meetings

July 2011 – Planning Commission and City Council Work Session

- Staff updated the boards on the current housing data and trends

July, August, September – Joint Planning Commission and City Council Work Sessions

- Joint Session facilitated by CZB, LLC to direct future redevelopment in Bonanza Park and Lower Park Avenue. These meetings are giving input to set the policy for the redevelopment strategic plan (Sustainability Dept.) and the new General Plan (Planning Dept.).

A draft of the new General Plan is scheduled to be completed by April 15, 2012

Studies

Several studies are currently being conducted for the new general plan. These studies include:

- Year round Economic Generator Study
- Natural Resource Study
- Balanced Growth Study

Staff will have the results to the studies by December 1, 2011.

Historic Preservation and the General Plan

During the summer of 2010, Staff hosted a series of General Plan outreach meetings to collect information from the residents regarding overall City-wide goals and neighborhood specific preferences for land use (single family homes, multi-family dwelling, commercial, etc.). Within this exercise the residents rated Historic Preservation Goals (Exhibit A attached), which are referenced in the "discussion requested" points. The items in bold were supported by the residents, and the items in red were not supported. Staff would like the HPB to discuss the goals and provide staff with input on the draft goals for the General Plan.

On September 12, 2011, staff hosted a charrette in Old Town to gather information from the residents regarding niche neighborhoods of Old Town. Staff separated Old Town into planning areas in order to get area specific results. Old Town was broken into 10 planning areas in which the residents were asked to comment on "What makes the area unique, What are the icons, and What needs to improve". The results of this charrette (Exhibit B) will help define WHERE and WHAT the historic preservation issues are in Old Town and be a stepping stone to create implementation strategies.

It must be noted that in the past 5 years, the Planning Department has spent a lot of time focusing on implementation strategies to for historic preservation including the adoption of the 2009 guidelines and Land Management Code changes for the historic districts. More recently, there was a pending Temporary Zoning Ordinance (TZO) that further restricted the subdivision regulations in Old Town to not allow lot combinations of vacant lots, therefore limiting future development of larger homes on combined lots. The City Council requested that the TZO be lifted and further analysis be done within the General Plan.

Discussion Requested:

1. Staff is requesting that the HPB provide staff with current concerns for historic preservation that they would like further researched within the General Plan.
2. Discussion on the Historic Preservation Goals for the General Plan (Exhibit A attached).

Exhibits:

Exhibit A - Draft Historic Preservation Goals

Exhibit B – Old Town Charrette Results



GENERAL PLAN ELEMENT HISTORIC PRESERVATION

21	<ul style="list-style-type: none"> Promote and ensure public awareness and general knowledge of historic preservation regulations and incentives.
47	<ul style="list-style-type: none"> Identify, preserve, and protect the City’s unique Historic Districts for the benefit of existing and future generations.
41 17	<ul style="list-style-type: none"> Offer financial assistance to owners of historic structures to foster ongoing redevelopment and maintenance. Continue to strengthen the Historic District Grant Program.
26 4	<ul style="list-style-type: none"> Identify specific design-related issues that may affect the District’s overall integrity.
43 1	<ul style="list-style-type: none"> Encourage sensitive rehabilitation and promote the incorporation of architecturally compatible construction within the Historic Districts.
22 6	<ul style="list-style-type: none"> Integrate the goals and priorities of historic context into the broader planning process.

GENERAL PLAN ELEMENT HISTORIC PRESERVATION

- Maintain National Registry statues of existing districts.

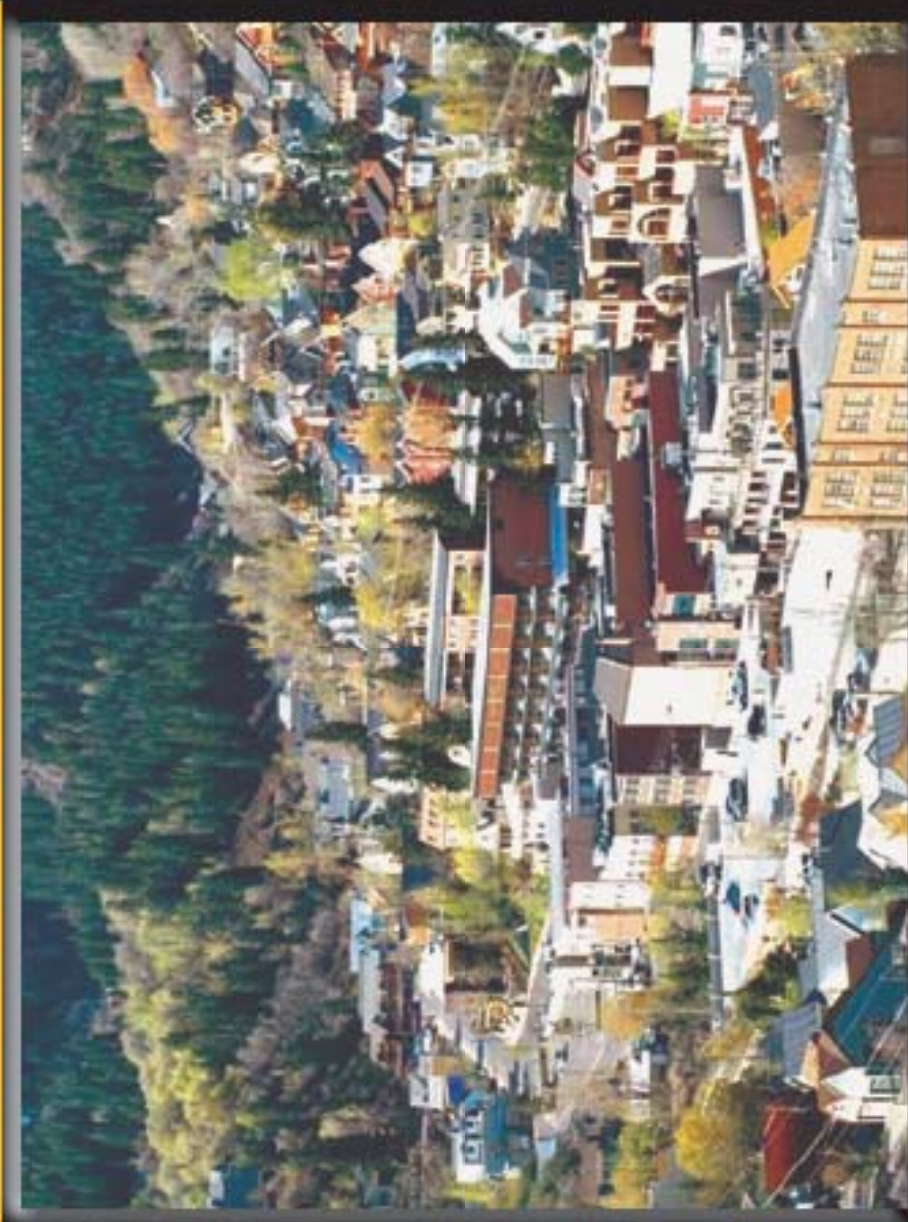
23
7

- **Continue to update the Historic District Guidelines and maintain a current Historic Sites Inventory list.**

29
1

RESULTS

Old Town Charrette



OLD TOWN CHARRETTE
"redefining neighborhood"
CITY HALL
445 BROADWAY, CORNER 15th STREET
WEDNESDAY SEPTEMBER 14th
@ 6 PM

RSVP: 505.241.1111
ADMISSION: FREE
AGENDA: 5:30 PM - 6:00 PM: Registration
6:00 PM - 6:30 PM: Open House
6:30 PM - 8:00 PM: Charrette
8:00 PM - 8:30 PM: Dinner
8:30 PM - 9:00 PM: Meeting
9:00 PM - 9:30 PM: Meeting
9:30 PM - 10:00 PM: Meeting
10:00 PM - 10:30 PM: Meeting
10:30 PM - 11:00 PM: Meeting
11:00 PM - 11:30 PM: Meeting
11:30 PM - 12:00 AM: Meeting

The Old Town Charrette is a public meeting to discuss the future of Old Town. The charrette will be held on Wednesday, September 14th, from 6:00 PM to 10:00 PM at City Hall, 445 Broadway, Corner 15th Street. The charrette is free and open to the public. For more information, please call 505.241.1111 or visit the Old Town Charrette website at www.oldtowncharrette.com. The charrette is being held in conjunction with the Old Town Historic District's 100th Anniversary.

Photo by: [unreadable]



1

Resort Transition



...is the entry to Park City Mountain Resort and Old Town

...includes very few historic homes

...includes the Senior Center

...has a mix of housing, commercial, and recreation

...has alot of seasonal housing and nightly rental

...recreation access

...is outdated



What makes this neighborhood UNIQUE ?	What are the neighborhood /CONS ?	What needs to be IMPROVED ?
DIVERSE USE: Skiing Meets Old Town, Residential meets Commercial	RESORT ENTRY: PCMR Resort Entry	IMPROVE CONNECTIVITY: Disconnect from Resort to City Park, Public Access issues, Connect to BoPa
OLD TOWN ENTRY: First View of Park City when you Arrive Into Town	SENIOR CENTER	PRESERVE HISTORIC HOMES: Save the few historic homes
FLAT LOTS: Contour transitory	NONE: This area is Not Old Town	COMPATIBILITY: Compatibility in building size
FEW HISTORIC HOMES: Only a few historic homes exist	HISTORIC HOMES	MOVE HISTORIC: Allow historic homes to move NEEDS UPDATING: Outdate Building, Poor Design, Ugly, Improve Landscaping



Lowell to Empire 2



- ...has a lot of historic homes
- ...includes many year-round residents
- ...and has a diverse population
- ...has diversity in housing including design, size, massing, scale, proportion, and context
- ...is connected to open space, trails, & skiing
- ...is home to the City Library
- ...is home to the Town Bridge/Town Lift
- ...is a real neighborhood



What makes this neighborhood <i>UNIQUE</i> ?	What are the neighborhood <i>ICONS</i> ?	What needs to be <i>IMPROVED</i> ?
<p>HISTORIC: Historic Homes, Most intact Historic District, Lots of Miner's homes (They are the Spirit of Park City)</p>	<p>LIBRARY: The Library, Santy Auditorium, Carl Winter's School</p>	<p>TREASURE HILL: Stop Treasure Hill, Maintain the Open Space, Protect Neighborhood from Traffic Impacts. Size and scale of Development.</p>
<p>YEAR ROUND RESIDENTS: A lot of year round residents</p>	<p>Town Bridge: Town lift, Town Plaza, Ski connection to Main St</p>	<p>POWER LINES: Bury power lines. No 110 foot powerlines w/60 ft wing spand. Too many wires.</p>
<p>DIVERSITY IN RESIDENTS: Diversity in People, Families, Singles, Old, Young, Funky, Eclectic</p>	<p>LIBRARY FIELD: Green Space, Unofficial Dog Park, Neighborhood Meeting Place</p>	<p>CONNECTIVITY: Walkability, Improve Walking between Main and PCMR, Make Walking in Street Safer</p>
<p>Diversity in Housing: Design, Size, Massing, Scale, Form, Proportion, Context, Age</p>	<p>Historic Miner's Homes</p>	<p>CIRCULATION AND TRAFFIC: Too much traffic, lack of connectivity, circulation issues, east/west connection, 10th street, do not increase traffic w/big projects, use ROW</p>
<p>OPEN SPACE AND TRAIL ACCESS</p>	<p>TRAILS</p>	<p>COMPATIBILITY: Risk of "Out of Scale" Development.</p>
<p>LIBRARY</p>	<p>BACKDROP OF MOUNTAIN: View Corridor up Creole Gulch from Main and Park</p>	<p>DOGS: Designate Library Field as Dog Park, Allow off-leash dogs</p>



Lower Park Avenue 3

...has many public amenities (parks, trails, playground, sand garden)

...is the entry to Old Town

...has a great diversity of housing & people

...is home to many historic homes & buildings

...is home to the Miner's Hospital

...is connected to other areas through Poison Creek and the bike trail

...is concerned with pedestrian safety, historic preservation, and utilities



What makes this neighborhood UNIQUE ?	What are the neighborhood ICONS ?	What needs to be IMPROVED ?
INTERACTIVE OPEN SPACE: City Park, Recreation Field, Community Gathering Spot, Playground, Sand Garden	MINERS HOSPITAL	HISTORIC INTEGRITY: Preserve Historic Feel, Preserve Historic Buildings, Encourage Improvement of Rundown Structures, Preserve Historic City Owned Structures
POISON CREEK: Bike Path, Stream, Good Bike Access	CITY PARK: Ballfield, Recreation Field, Playground	PEDESTRIAN SAFETY: Improve Crosswalks, Give Pedestrian Preference, Add Blinking Yellow Lights, Consider Narrowing Park Ave, Add Pedestrian Street Lighting
ENTRY TO OLD TOWN: Historic Corridor, Thoroughfare for Main and Old Town, First impression of Old Town, Alternative Corridor	SKATE PARK	TRAFFIC: Deter all Non-Residential Traffic to DV Drive, Get Construction Vehicles Off Park Ave, Decrease Road Noise
DIVERSITY OF HOUSING: Old, New, Big, Small, Varying Architectural Design	SHOE TREE	7-Eleven AREA: Improve Lower Park near 7-Eleven
HISTORIC HOMES	HISTORIC HOMES: Mining Shack, "Puggy's Purple House"	CONNECTIVITY: East-West connections, Connection to PCMR
Diversity of People	Poison Creek	COMPATIBILITY: Compatibility with Remaining Homes, Keep House Size Small
MIXED USE: Mix of Residential and	Bike Path	SPEED CONTROL: Cars and Bikes

4

Ridge to Norfolk



- ...has great open space
- ...has a variety of architecture
- ...is a gateway to the hiking trails and skiing
- ...is conflicted with the existing open space and the future development
- ...is home to a diversity of people
- ...is home to many historic homes
- ...is connected to skiing
- ...is diverse
- ...is quiet



What makes this neighborhood <i>UNIQUE</i> ?	What are the neighborhood <i>ICONS</i> ?	What needs to be <i>IMPROVED</i> ?
OPEN SPACE	OPEN SPACE	KEEP OPEN SPACE: Stop Building In This Area, Leave it Alone, Nice and Open
TRAIL ACCESS: Access to trail, Gateway to trails	TRAILS: Sweeney Switchbacks, Gina's Trail	POWER LINES: Bury the Power Lines
Quiet: Removed from hassel and traffic	HISTORIC HOMES: Restoration of Nyman's Yellow House at Top of Ridge and King, 16 Sampson Ave (Former Christensen House), 143 Upper Norfolk Ave (The Adams Steam House). 41 Sampson Avenue, 156 Upper Norfolk (Former Olsen House)	COMPATIBILITY: No More Huge King Road Estate Homes, No More King Size Structures
SKI ACCESS: "Ski in, Ski to" neighborhood	SKIING: Skiing Access, Ski Trails, Backcountry Access	SKIING: More Ski Trails, Ski Improvements, Beginner Ski Trail
DIVERSE ARCHITECTURE: Variation in form and scale/funky		SWEENEY: Buy out Sweeney, Prevent Sweeney's Monster Buildings
DIVERSE PEOPLE: Diversity in People, Eclectic		WOODSIDE GULCH: Keep Woodside Gulch Open, No Building on Woodside Gulch, No Building on Alice Claim



Upper Park/Woodside 5



...is highly desirable due to mountain access and proximity to ski trails

...is dense with many Historic homes and restorations

...has many Icon Historic Buildings

...is connected to the Town Bridge and the Crescent Tram trail

...is concerned with speeding, pedestrians, and street lighting



What makes this neighborhood <i>UNIQUE</i> ?	What are the neighborhood <i>ICONS</i> ?	What needs to be <i>IMPROVED</i> ?
SUI/TRAIL ACCESS: Access to Mountain, Highly Desirable, Dense with Homes because of Quick & Easy Access	ST. MARYS CHURCH	STREETS: Need More Speed Bumps, More Signs, Make Lights Less Intrusive
HISTORIC: Feels Historic, Great Historic Homes and Restorations, Smaller Homes. Churches & Inns, Tourist Attraction	BLUE CHURCH INN	ACCESS: Improve Ski Access, Trail Access, Stair Access, Main St. Access
MAIN ST. ACCESS: Quick & Easy Walking to Main Street, Stairs, Residents Support Main St. Commercial	WASHINGTON SCHOOL INN	POWER LINES: Put Utilities Underground
TOWN LIFT: Bridges over Park Avenue and Main Street	STAIRS: Access to Trails, Skiing, and Main Street	CRESCENT TRAMWAY: Improve Access and Signs, Make Driveway Public, Make it User Friendly for Walking and Biking
STREETS: Lack of cross-streets, Speed bumps, Park Ave One-Way in Winter, Has Sidewalks & Trees.	HISTORIC HOMES	SNOW REMOVAL



Main Street 6



...is the crown jewel

...is full of history

...is walkable

...has potential to be reengineered with one way roads or pedestrians only

...is home to many important historic buildings and current community gathering spots

...had potential at the South End for new development

...has an outdated mall



What makes this neighborhood UNIQUE ?	What are the neighborhood ICONS ?	What needs to be IMPROVED ?
VARIETY: Variety of vibrant retailers, commercial, small business area	The Post Office	MALL: Demolish Mrs. Field's mall building and replace with something in character with street, re-develop mall, eyesore
HISTORY: The History, Historic buildings	MAIN STREET: As a whole it is a gem	SOUTH END OF MAIN: Bigger Park, Develop Park Plaza at brew pub, Needs development and Commercial, Coffee
WALKABLE: Walkable main street, the walkways	THE MUSEUM	POST OFFICE: Must keep Post Office
TOWNLIFT: Townlift & Bbridge	KIMBALL ARTS CENTER	TRAFFIC FLOW: Interface of Main with Swede Alley, City Hall and Parking, access and signs are confusing for visitors, consider one ways



7

Rossi Hill

- ...has great views of town
- ...has access to trails and town
- ...has many year round residents that have lived there a long time
- ...has larger lots and larger homes
- ...has steep slopes with unique architecture
- ...is concerned with future development
- ...is home to many historic homes
- ...is concerned with the upkeep of

pedestrian stairs



What makes this neighborhood UNIQUE?	What are the neighborhood ICONS?	What needs to be IMPROVED?
<p>GREAT VIEWS: Top of the Hill, views of Old Town and beyond. Views like no place else in town</p>	<p>HISTORIC HOMES AND MINER'S SHACKS</p>	<p>PEDESTRIAN ACCESS & LIGHTING: Install, complete installation & repair city stair, provide pedestrian lighting on walkways and stairs, add pedestrian wayfinding signs, add sidewalks on Marsac west side</p>
<p>GREAT ACCESS TO TRAILS & OPEN SPACE: City Stairs, trails, City Open Space nearby and back drop of neighborhood.</p>	<p>SHORTY'S STAIRS: Including the stairs, paths, and informal walkways that connect the homes on Ontario and Marsac</p>	<p>COMPATIBLE DESIGN: Compatibility of new development with historic houses, limit size of new homes to 5,000 sf, keep diversity of housing, allow detached garages on Ontario with apartments</p>
<p>BIG LOTS, BIG HOUSES, BIG YARDS: Bigger lots allows bigger houses, but also larger yards.</p>	<p>NEIGHBORHOOD PARK: The park/garden on Rossi Hill is special to the neighborhood-provided and maintained by a resident of the neighborhood.</p>	<p>SAVE MINER'S SHACKS: Fix up the old miner's shacks on BLM property, don't sell BLM or City property to developers, clean up the yards, junk, unsightly exteriors.</p>
<p>STEEP SLOPES, STEEP STREETS: steep and narrow streets = unique architecture.</p>	<p>VIEWS: Views of Treasure Hill and Main Street.</p>	<p>THIRD STREET STAIRS: Finish the 3rd Street stair</p>
<p>FULL TIME/LONG TERM RESIDENTS: More long term residents and fewer nightly rentals, less resort focus</p>	<p>TRAILHEADS/TRAILS: Trails provide access to the Open Space around the neighborhood.</p>	<p>PARKING: Include the neighborhood in permit system, impacted by event parking.</p>
<p>TRANSITIONAL NEIGHBORHOOD: Situated between Old Town and Deer Valley Entry corridor, transition between old and new</p>	<p>PATTERN OF HOUSING ON THE HILLS: The matrix of houses on the slope is an icon of this area. The houses at mid block and houses that step up the slopes overlooking Marsac Avenue.</p>	<p>NO EMPLOYEE HOUSING OR MULTI-FAMILY HOUSING: Employee housing and multi-family massing is not compatible in this neighborhood.</p>
<p>ECHO SPUR ROAD: Example of bad planning, "shouldn't have been built"</p>		<p>TRAFFIC/SPEEDING: Control speeding</p>
<p>ARCHITECTURE: Great architecture, unique houses, houses without street access, variety of designs, styles, and size.</p>		<p>ECHO SPUR DEVELOPMENT: The street is unsafe, can't remove snow, make sure houses are compatible. Mitigate the eyesore retaining walls.</p>

Deer Valley Entry 8

- ...has too much traffic
- ...has a few historic Miner Shacks
- ...backs up to Open Space
- ...has many multi-family buildings and condos
- ...is steep
- ...is home to wildlife
- ...is concerned about the BLM land, Employee Housing, bike lanes, and lighting



What makes this neighborhood <i>UNIQUE</i> ?	What are the neighborhood <i>ICONS</i> ?	What needs to be <i>IMPROVED</i> ?
TRAFFIC: Too Busy, Feels like an Access Only	HISTORIC MINER SHACKS	EMPLOYEE HOUSING
HISTORIC: The Miner Shacks on Deer Valley Drive	WILDLIFE CORRIDOR	BLM LAND: Clean up BLM Land, Get Rid of Quatters, Burned House, Debris, Feral Animals
NOTHING UNIQUE	OPEN SPACE	OPEN SPACE: Preserve Open Space & BLM land
OLD TOWN TRANSITION	LECLERC'S MINER HOUSE	STREETS: Lower Speed Limits, Parking, Heavy Traffic, Police Trap, Snow Removal, Improve Signs
OPEN SPACE: Next to open space.	THE LINE CONDOS	IMPROVE BIKE LANES
MULTI-FAMILY/CONDOS	TRAILS	LIGHTS: Need to Improve Street & Pedestrian Lighting
TRAILS: Biking & Hiking Trails, Easy Access	STEEP SLOPES	MINER'S SHACKS: Preserve shacks



9

Daly Avenue



...has many year round residents

...has a strong sense of history

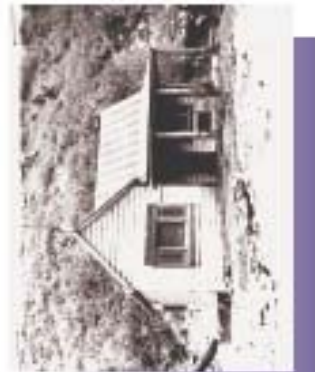
...is located in an intimate canyon, with Open Space and Trails at the end of the road


...has a creek running down it

...is home to many dogs

...has concerns with Compatibility, Parking, Speeding, and Utilities

...is connected to skiing, mountain biking, and hiking



What makes this neighborhood UNIQUE ?	What are the neighborhood ICONS ?	What needs to be IMPROVED ?
<p>ACCESS: Access to Trails, Mountain, Stream</p> <p>HISTORY: Well Kept Historic Homes, History is Still Alive (Love It!!), the Stories are still being Told by the Guys and Gals who Lived It</p>	<p>HISTORIC STRUCTURES: Historic Structures have Marked the Historic Character, Old Mine Buildings, Bee's Canyon Lodge, Mining Features</p> <p>RICH MARTINEZ HOUSE: The pink house, Decorations, The Old Miner's House</p> <p>DALY CANYON: Open Ended Street to Open Space, Entranceway to Daly Canyon, Access to Empire Canyon Recreation, Trail Access, Trees, Wildlife, Stream, Open Space</p> <p>POISON CREEK</p>	<p>PARKING ISSUES: Manage Parking, Cars Parked and Never Move, People with Empty Garages, Issues near Trolley Turn-Around and Condos</p> <p>SPEEDING: Bigger signs 20 mph, Many Safety Concerns for Children, Pets, Tourist, Hikers, Bikers, etc., Make Bicycles abide by Speed Limit</p> <p>UTILITIES: Underground utilities, Huge Eye Sore</p>
<p>DEAD END ROAD: No through traffic</p> <p>DALY CANYON: Canyon Space (Constraint and Itimacy), Containment, Geography - Tight, Cool, Mountainlike, No Sun, Long Winters</p> <p>PRIMARY RESIDENTS: Many Full-Time Residents, Primary Residents, Families</p> <p>OPEN SPACE: Near open space.</p>	<p>DOGS: Colby the Street Dog, Dogs lying in the road</p> 	<p>TRASH CANS: Put the Trash Cans in the Garage, Hidden is best way, Issue Trash can and Dog tickets for not Putting it Where it Belongs</p> <p>LOWER DALY CONDOS: Improve Parking, Too Many Dogs, Looks like a Frat House, Needs a Face Lift. Ugly, Tear Down that Condo Complex at the Entrance</p> <p>IMPROVE PLOWING</p>

Hillside

10



- ...has very steep and narrow roads
- ...has historic homes, sheds and renovations
- ...is a great residential neighborhood with many year round locals
- ...has views
- ...is home to a few Pocket Parks
- ...is concerned with pedestrian safety and parking
- ...is happy with the new improvements



<p>What makes this neighborhood <i>UNIQUE</i>?</p>	<p>What are the neighborhood <i>ICONS</i>?</p>	<p>What needs to be <i>IMPROVED</i>?</p>
<p>HISTORIC: Historic Homes, Small Homes, Restorations</p> <p>STEEP: Sloped & Narrow Streets</p>	<p>HISTORIC: Homes, Garages, Sheds & Streets</p> <p>GRAPPA</p>	<p>PEDESTRIAN: Sidewalks & Lighting, Need Bus Stops, Not Biker Friendly</p> <p>PARKING: Remove Cars from Street, Streets Too Narrow for Parking</p>
<p>RESIDENTS: Year Round Locals, Great Residential Neighborhood</p> <p>VIEWS</p> <p>ACCESS: To Mountains and Main</p>	<p>POCKET PARKS</p> <p>VIEWS</p>	<p>NO IMPROVEMENTS NEEDED: So many Excellent Improvements Made by City</p> <p>SNOW PLOWING</p> <p>UTILITES: Need Underground Utilities</p> <p>ROADS: Hillside is Dangerous</p>



Historic Preservation Board Staff Report



Subject: Brainstorming Community Ideas
Author: Kayla Sintz – Architect/Planner
Department: Planning Department
Date: October 5, 2011
Type of Item: Informational

Topic/Description:

The Historic Preservation Board met on September 21, 2011 at the High West Distillery for their annual Visioning session. As part of that Visioning session several Board members requested an additional Work Session in order to brainstorm ideas that could be implemented in 2012, as well as, to give staff direction for future Board training. Items already identified include:

- TDR's (transfer development rights) and recommending increasing development factor to incentive TDR's on historic sites.
- Identifying sites on the HSI (Historic Sites Inventory) with plaques?
- Training on Historic District Guidelines (history of document) and review of identified preservation methods adopted by City

Purpose Statements of the HPB (15-11-5) include:

- (A) To preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design guidelines for park City's Historic Districts and Historic Sites;
- (B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;
- (C) To provide input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings and/or Structures;
- (D) To recommend to the Planning Commission and City Council ordinances that may encourage Historic Preservation;
- (E) To communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;
- (F) To recommend to the City council Development of incentive programs, either public or private, to encourage the preservation of the City's Historic resources;
- (G) To administer all City-sponsored preservation incentive programs;
- (H) To review all appeals on action taken by the Planning Department regarding compliance with the Design Guidelines for Park City's Historic District and Historic Sites;
- (I) To review and take action on all designation of Sites to the Historic Sites Inventory Applications submitted to the City.