PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
CITY COUNCIL CHAMBERS
February 1, 2017

AGENDA

MEETING CALLED TO ORDER AT 5:00 PM
ROLL CALL
ELECTION OF CHAIR AND VICE CHAIR
ADOPTION OF MINUTES OF December 7, 2016
PUBLIC COMMUNICATIONS – *Items not scheduled on the regular agenda*
STAFF/BOARD COMMUNICATIONS AND DISCLOSURES
CONTINUATIONS

336 Daly Avenue – Relocation – Significant Garage and Chicken Coop. The applicant is proposing to relocate the existing historic garage and chicken coop to the south side of the property. *Public hearing and continuation to date uncertain*	*Planner Grahn*	*18*

REGULAR AGENDA – *Discussion and possible action as outlined below*

1063 Empire Avenue – Material Deconstruction – Significant designation. The applicant is proposing a remodel restoration: Secure existing structure for lifting; build new concrete foundation with basement and garage additions; re-position and anchor home on new foundation; restoration/renovation of historic home with a rear addition. *Public hearing and possible action*	*Planner Scarff*	*19*

WORK SESSION – *Discussion items only, no action taken*

Design Guidelines for Historic Districts and Historic Sites	*Planner Grahn, Planner Tyler*	*79*
Annual Legal Training on Open Public Meeting Act	*Assistant City Attorney Samuels McLean*	

ADJOURN

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

PARK CITY MUNICPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF DECEMBER 7, 2016

BOARD MEMBERS IN ATTENDANCE: David White, Lola Beatlebrox, Puggy Holmgren, Jack Hodgkins, Douglas Stephens

EX OFFICIO: Bruce Erickson, Anya Grahn, Hannah Turpen, Polly Samuels McLean, Louis Rodriguez

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ROLL CALL
Chair White called the meeting to order at 5:04 p.m. and noted that all Board Members were present except Cheryl Hewett who was excused. Lola Beatlebrox arrived later in the meeting.

ADOPTION OF MINUTES

November 2, 2016

MOTION: Board Member Holmgren moved to APPROVE the minutes of November 2, 2016 as written. Board Member Stephens seconded the motion.

VOTE: The motion passed. Board Member Beatlebrox was not present for the vote.

PUBLIC COMMUNICATIONS
There were no comments.

STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

Planning Director Bruce Erickson stated that the next Historic Preservation Board meeting was scheduled for February 1, 2017. The January meeting was cancelled due to Sundance and other matters.

Director Erickson reported that the Planning Department had received an application to fill the vacancy on the Historic Preservation Board. The candidate was recommended by the Museum and would be interviewed.

Assistant City Attorney McLean realized that the HPB had not had their Annual Open Public Meeting Act Training for the year. However, because she only realized it today, she was unable to meet the 24 hour noticing requirement to put it on the agenda for this meeting. The Board could anticipate the training on February 1, 2017. She would email the Board members a summary of the rules so there would be some communication in 2016 on the Open Public Meeting Act.

Ms. McLean pointed out that the majority of Board Members have had the training in the past.

Chair White stated that for personal reasons, he would like the Board to consider choosing another Board Member to replace him as the Chair. Ms. McLean stated that it would have to be an agenda item in order for the Board to vote. The Staff would put it on the February agenda.

Planner Grahn noted that today was National Pearl Harbor Remembrance Day and it was important to remember the built history from that era. She noted that Salina, Utah had recently opened a new museum about a former CCC Camp and German POW Camp. There was also a documentary about it on KPCW that evening.

Planner Grahn remarked that the Topaz Internment Camp was also in Utah, and there is a museum about it in Delta.

Planner Grahn reported that the Historic Preservation Awarded was being presented next Thursday, jointly with City Council. The painting by Cara Jean Means depicting 562 Main Street would be unveiled. Planner Grahn noted that the plaques they discussed were not done, but they would be delivered in May during the larger National Historic Preservation Month celebration. She encouraged the Board members to attend the presentation next Thursday.

CONTINUATIONS (Public Hearing and Continue to Date Specified.)

1. 336 Daly Avenue – Relocation – Significant Garage and Chicken Coop. The applicant is proposing to relocate the existing historic garage and chicken coop to the south side of the property.

Chair White opened the public hearing. There were no comments. Chair White closed the public hearing.

MOTION: Board Stephens moved to CONTINUE 336 Daly Avenue to February 1, 2017. Board Member Holmgren seconded the motion.

VOTE: The motion passed unanimously.

NOTE: The public hearing on 336 Daly Avenue was re-opened at the end of the agenda to hear public input from a member of the public who had missed the public hearing.

Regular Agenda – Discussion and Possible Action

1. 664 Woodside Avenue – Historic District Design Review – Material Deconstruction of non-historic stacked stone retaining walls, 2009 wooden staircase, 2009 standing seam metal roof, c.1900 extant chimneys on the east and west sides of the house; c.1940 Bricktex siding; c.1900 stacked stone and c.1920 concrete block foundation; c.1950 porch railings; seven (7) historic doors; c.1920 wood windows; and foundation of garage. (Application PL-16-03330)

Planner Grahn stated that this property is unique because it was previously owned by the City and a historic preservation façade easement was recorded on the property. In addition to the HPB review, this application would also be reviewed with the City Council to make sure it meets the intent of the preservation easement. The application was currently under a Historic District Design Review. Planner Grahn noted that the City Council approved the plat amendment for this application last week; however, the plat had not yet been recorded. Recording the plat will be a condition prior to obtaining a building permit.

Planner Grahn reported that the house was built in 1885 and was occupied by a family with 12 children. By 1900 a wing was added to the house to make an L-shape design, which was common at the turn of the century. As tastes changed and families grew, many times a wing would be added to the house and it would change from being a hall-parlor into a T-shaped cottage. Planner Grahn stated that the house shape primarily remained throughout the years, but originally there was a building that consumed the entire side of this house, as well as the neighbor behind it. She pointed out differences in foundation that the Staff believes substantiates that determination. Planner Grahn was unsure if the foundation was added or just replaced. She stated that the wrap-around porch was introduced before 1929. By that time the original building had been replaced by the house that exists today, and the National Garage known as High West. Planner Grahn presented a photo from 1941 showing that the house had remained the same.

Planner Grahn presented a site plan. She noted that the highlights in red were existing concrete and stone retaining walls, a pair of stairs that the City installed in 2009, and other non-historic improvements that the applicant was proposing to remove and rebuild. Planner Grahn indicated areas on City property that would be regraded and repaired as development of the house occurs. The existing standing seam metal roof will be replaced with architectural asphalt shingles. Two new dormers will be added on the back of the building and below the ridge of the roof. The dormers are fairly small and in scale with the small house.

Planner Grahn pointed to two chimneys on the house. The Staff found that the first chimney was more of a primary chimney that was decorative and was

intended to be seen on the east-west cross wing of the house. The second chimney is behind the eve on the back of the house. The applicant was proposing to reconstruct the first chimney. The second chimney would be demolished. Any salvageable material will be used to rebuild the first chimney.

Planner Grahn remarked that the exterior walls are currently clad in an asbestos Bricktex, which was probably installed in the 1940s. Historic siding can be seen underneath. The applicant had not yet done an exploratory demolition on this house. Therefore, a lot of what they know is based on assumption and what they see in other houses. The Staff will assess the condition of the wood siding once the Bricktex has been removed. For that reason, a condition of approval was added stating that the Historic Preservation Planner will make sure the severity of deterioration justifies replacing any of the material in kind.

Planner Grahn presented a picture showing the size of the transitional element that would be added to the north side of the house. It is beyond the mid-point and close to the back of the house. Planner Grahn stated that the foundation is partially stone and partially wood and concrete block. The Staff would work with the applicant in an effort to salvage some of the stone and reuse is on the foundation to keep its current character.

Planner Grahn commented on the wrap-around porch and, noted that the applicant proposes to brace the porch to lift it up. However, the porch floor has been modified over the years. Part of it is concrete because it sits directly on the ground. As it goes above grade, it turns into wood decking. The applicant was proposing to replace the wood decking. Planner Grahn was unsure whether the posts are historic, but the railing is definitely not historic. The applicant was proposing to restore the porch to a more traditional appearance, similar to what is seen in Old Town.

Planner Grahn noted that there are four historic doors on the building; two of which are on the front, with very ornate screen doors. The applicant would like to replace all of the doors on the site. The Staff thought two of the four doors could be restored and kept in place. However, they were asking the HPB to make that decision. The other two doors are in the back of the house and are not visible. Changing or modifying those doors would have minimal impact on the historic character of the site. The Staff was requesting that the HPB also discuss that issue.

Planner Grahn stated that the windows on this house were modified, but she was unsure when they were modified. Originally, the house would not have had the Chicago-style windows that exist. However, because the interior walls and siding have not been removed, it was difficult to say what ghost lines they will find. A condition of approval was added indicating that once the Staff determines how this house is put together, they will look at the windows and take measurements

from those ghost lines to determine what the original configuration was on the façade and the sides visible from Woodside Avenue. Planner Grahn noted that the red color indicated the windows that were proposed to be replaced. The blue color represented new window openings.

Planner Grahn pointed to the historic garage on the very southernmost part of the property. It is actually half into the neighbor's property. The structure is a simple wood frame garage. The applicant was proposing to clean up the garage, put a foundation underneath it, add a service door on the back, add windows, and replace the existing window. The Staff felt the proposed changes were appropriate because it would not destroy the architectural features or the historic character of the garage.

Board Member Hodgkins asked Planner Grahn to point out the garage on the site plan. Planner Grahn indicated the garage location and noted that it was partially on the 664 Woodside property, partially on the neighboring property, and partially on City property.

Board Member Stephens asked if the garage would be moved. Planner Grahn replied that it would remain in its current location. As part of the plat amendment process, the Staff asked the applicant to provide an encroachment agreement for the garage with both the City and the neighbor to the south.

Planner Grahn reviewed the doors again and requested input from the Board. She thought the front and side doors were either original to the building, or fit with the period of the building. Because the doors appear to be historic, Planner Grahn thought they should make an effort to preserve and maintain them. The kitchen door and the doors on the backside of the house are less visible and do not play as much into the historic character of the building. Planner Grahn noted that the applicant would like to replace all the doors for energy efficiency; however, the Staff encourages keeping the two she mentioned.

Jonathan DeGray, the project architect, stated that the door on the front is quite frail and thin, and it has a single-pane glass panel. It is the only one of the three doors that would be operable, and he felt it was important to make it as good as possible moving forward. Mr. DeGray explained that the other two doors will be faux panels, so the doors could be reused and integrated into the siding to appear as they exist today. Mr. DeGray stated that if the Board prefers to save the door, he was willing to make that effort to help move things along. He suggested a condition of approval where Planner Grahn would relook at the door and he could propose a method of preservation.

Chair White referred to the door shown on the lower right-hand elevation, and asked if it was an existing door, and whether it was similar to the front door. Mr. DeGray replied that it was similar in size and design, but it would be a faux

door. Chair White clarified that the only operable door would be the front door. Mr. DeGray answered yes. Board Member Beatlebrox asked about the condition of the door that will be a faux door. Mr. DeGray stated that it appears to be the one that was used the most to enter the house. He recalled that it was in fairly good condition.

Director Erickson asked if the doors could be switched. Planner Grahn thought they could be switched if it that would help. Mr. DeGray suggested that Planner Grahn visit the site again to look at all of the doors and determine which ones should be kept and which ones could be moved around. He noted that all the doors were decorative, and were the same four-panel with the two top lights.

Board Member Stephens asked if the operable door would be the main entrance to the home. Mr. DeGray stated that it was actually the master bedroom. Mr. Stephens agreed with Mr. DeGray that a 100+ year old door can be repaired, but if it is used often, they would need to take it apart and re-glue it.

Planner Grahn suggested that they echo the condition used for the foundation for the doors. She drafted the condition to read, “The applicant shall work with the Historic Preservation Planner to determine whether or not the doors on the historic house can be salvaged and re-used as operable doors, or as a faux door veneer as part of the rehabilitation”.

Chair White had read the Staff report and he complimented the Staff and the Architect on the plans for this house and how they intend to do it. Board Member Beatlebrox was comfortable with the proposal presented. Board Member Holmgren concurred.

Board Member Hodgkins commented on the windows and asked if Planner Grahn intended to look at the windows to see if any were historic. Planner Grahn explained that when the Bricktex is removed and they gut the interior, it will be easier to see when a window is added and what the original opening might have been. When that is uncovered, the Staff will measure the window and Mr. DeGray will add a supplemental addendum to the historic preservation plan and physical conditions report showing what was uncovered. The Staff would also measure to determine what type of replacement windows should be used to return it to its original appearance. Planner Grahn clarified that the intent is to restore the original openings.

Chair White opened the public hearing.

There were no comments.

Chair White closed the public hearing.

MOTION: Board Member Beatlebrox moved to APROVE the material deconstruction of non-historic and non-contributory materials at 664 Woodside Avenue, pursuant to the Findings of Fact, Conclusions of Law, and Conditions of Approval found in the Staff report and as amended to have the preservation planner review the location and placement of the historic doors. Board Member Holmgren seconded the motion.

VOTE: The motion passed unanimously.

Finding of Fact – 664 Woodside Avenue

1. The property is located at 664 Woodside Avenue.

2. The site is designated as Significant on the Historic Sites Inventory.

3. Based on Sanborn Fire Insurance map analysis, the house was likely constructed c.1885 by Caroline K. Snyder. After her death, her son Frank Snyder constructed a gable addition to the north, converting the house from a hall-parlor to a cross-wing or a T-Cottage by Addition. It is unknown whether the original one-story dwelling depicted in the 1889 Sanborn map was demolished and replaced by a cross-wing house in 1900 of if the cross-wing form was created by an addition.

4. The —T-cottage by addition‖ was created by adding a cross-wing to one end of the rectangular cabin. The T-shape or cross-wing cottage was a popular house form in Park City during the 1880s and 1890s.

5. By 1929, the porch was extended to wrap-around to the east (rear) elevation of the structure and a new concrete block foundation was constructed along the north elevation.

6. The house remained largely unchanged in the 1941 Sanborn Map.

7. On September 7, 2016, the Planning Department received a Historic District Design Review (HDDR) application for the renovation of the historic house and construction of an addition to its north; the application was deemed complete on September 26, 2016. The HDDR application is still under review by the Planning Department. The applicant is proposing to remove a c. 2009 wooden staircase constructed by the City, stone retaining walls, non-historic fences, a boulder retaining wall associated with a Water Department drainage pipe, and additional improvements that are located in the Woodside Avenue right-of-way as well as a concrete retaining wall along the east property line, shared with High West. The proposed exterior changes to the non-historic improvements in the right-of-way and within the property will not damage or destroy the exterior architectural

features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.

8. Currently, the original roof form is covered in a standing-seam metal roof that was installed by the City in 2009; heat tape was added in 2012. The applicant is proposing to remove the standing seam metal roof and install a new architectural grade shingle roof. The proposed material deconstruction is required for the rehabilitation of the historic house.

9. The applicant is also proposing to construct two shed dormers on the east (rear) elevation of the house in order to provide additional living space in the attic. The proposed changes will not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site.

10. There are two existing brick chimneys on the house. The first is on the east-west cross gable where the hall-parlor form meets the stem wing. The second chimney is on the east (rear) elevation of the house. Both chimneys show signs of damaged bricks and mortar deterioration.

11. The applicant is proposing to reconstruct chimney #1 as a faux chimney in its original location and utilizing its existing bricks. The proposed material deconstruction of Chimney #1 is necessary for the restoration and reconstruction of the chimney.

12. Chimney #2 will be demolished. The proposed demolition of Chimney #2 will not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work. The exterior walls are covered with asbestos Bricktex siding that was likely added c.1940 when low-maintenance siding became popular. The historic drop-novelty siding exists beneath the Bricktex siding; however, it is unclear how much of the siding is salvageable. The proposed work is necessary to restore the original wood siding.

13. On the north elevation of the house, the applicant will be removing approximately 4.5 feet in length of the wall to accommodate the transition element to the new addition. The removal of this historic material is necessary in order to rehabilitate the building and construct the new addition.

14. The foundation appears to have been constructed in two parts, supporting the theory that there was no foundation beneath the north addition prior to 1900 and that the foundation was constructed after the livery was removed c.1927. This is substantiated by the use of a stacked sandstone foundation on the south side of the house, beneath the original hall-parlor form. The north side has a cement block foundation, and cement block would have been readily available in

the 1920s. The proposed work of adding a new foundation is necessary for the rehabilitation of the historic house.

15. The existing posts may be original; however, the railings were likely added after 1950 to replace the original railings. The porch floor consists of concrete and 1x wood flooring. The applicant proposes to brace the existing porch roof and temporarily lift it with the house when the foundation is poured. The applicant will evaluate the existing roof framing and repair and replace the structural members as needed. The applicant anticipates constructing a new wood porch floor once the house is set on its new foundation. The proposed work is necessary in order to rehabilitate the historic house and restore the porch to its c.1907-1920 appearance.

16. The applicant's Physical Conditions Report notes that there are seven total historic wood doors on the house. The applicant proposes to create faux doors on the south and west elevation as these doors will no longer be the primary entrance to the building. On the east (rear) elevation, the applicant proposes to remove an existing door which has been permanently closed and install a new door to the north. The door on the basement level will also be removed. It is unclear if these doors are historic to the house or if they have been added over time. The proposal is necessary to rehabilitate the house.

17. The window openings seen today were likely introduced in the 1920s in an effort to introduce more contemporary bungalow-inspired elements into the house. Any traces of original window openings are likely concealed beneath the Bricktex siding and the dry-wall and paneled interior walls. The windows are in varying degrees of poor condition with evidence of broken glass panes, wood rot, boarded window openings, and a missing window at the attic level. the proposed changes to the existing window configuration are necessary to rehabilitate the historic house. Any modifications to the original and/or existing window configuration on the east (rear) elevation will not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.

18. The garage was designated —Significant on the Historic Sites Inventory and is in overall good shape. It is a wood frame structure with no foundation; however, it does have framed walls and roof with plywood sheathing. The applicant intends to maintain the existing structure and place it on a new foundation. The proposed work is required for the renovation of the garage. The applicant's proposal to temporarily relocate the structure will mitigate to the greatest extant practical and impact to the historical importance of other structures located on the property and on adjacent parcels.

19. The applicant also proposes to remove an existing window on the east (rear)

elevation of the garage and construct a new window opening and construct a new service door on the east half of the garage's north (side) elevation. The proposed changes will not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.

Conclusions of Law – 664 Woodside Avenue

1. The proposal complies with the Land Management Code requirements pursuant to the HR-M District and regarding historic structure deconstruction and reconstruction.

Conditions of Approval – 664 Woodside Avenue

1. Final building plans and construction details shall reflect substantial compliance with the HDDR proposal stamped in on November 16, 2016. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.

2. Where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish. Prior to replacement, the applicant shall demonstrate to the Historic Preservation Planner that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.

3. Following removal of the non-historic Bricktex siding, the applicant shall update his Historic Preservation Plan with a conditions report of the original wood siding. Deteriorated or damaged historic wood siding shall be repaired rather than replaced. Where the severity of the deterioration or material defects requires replacement, the applicant shall demonstrate the severity of the deterioration to the Historic Preservation Planner for approval of its replacement in-kind.

4. The applicant shall work with the Historic Preservation Planner to determine whether or not the stone on the foundation of the historic house can be salvaged and reused as a veneer for the new foundation. If the material is found to be in such poor condition that it cannot be salvaged, the applicant shall replace shall reconstruct the foundation with a stacked stone veneer matching the original in design, dimension, texture, material, and finish.

5. The historic door openings, doors, and door surrounds visible from the Woodside Avenue right-of-way shall be maintained and preserved.

6. Following removal of the non-historic Bricktex siding, the applicant shall update his Historic Preservation Plan with a conditions report detailing the locations of original window openings. The applicant shall base any window modifications on the façade (west elevation) or secondary facades (north and south elevations) that will be visible from the Woodside Avenue right-of-way on physical, measured evidence uncovered during the demolition process. Planning staff shall review and approve the updated window configuration based on this new physical evidence.

7. The applicant shall update the façade easement to reflect the conditions of the historic house following the rehabilitation to the satisfaction of the grantee. The updated façade easement shall be recorded at the Summit County Recorder's Office.

8. The applicant shall work with the Historic Preservation Planner to determine whether or not the doors on the historic house can be salvaged and re-used as operable doors, or as a faux door veneer as part of the rehabilitation.

2. <u>Annual Preservation Award – Staff recommends the Historic Preservation choose one (1) awardee for the annual Preservation Award, choose up to four (4) nominees for a historic plaque, and select three (3) members to form an Artist Selection Committee.</u>
(**Application GI-15-02972)**

Planner Grahn reported that the Board needed to choose their annual Preservation Award for projects that were completed in 2016 or earlier. She noted that last year the HPB spent time revising the program and introducing plaques for up to five awardees. A painting or another art piece is commissioned for the primary awardee. Planner Grahn presented a list of nominees and encouraged the Board members to add additional nominees if they had a particular project in mind.

Planner Grahn requested that three members of the HPB volunteer to be on an artist selection committee. The intent is to have everything completed and ready to present to the City Council in May, which is National Historic Preservation Month.

Planner Grahn named the suggested nominees. The first was 264 Ontario Avenue. This house had very few alterations; however, the house faces McHenry and abuts Ontario Avenue. Therefore, they were able to accommodate a substantial addition without detracting from the historic house. Planner Grahn commented on the actually work that was done as, outlined in the Staff report.

The second nominee was 81 King Road. Planner Grahn stated that per the Historic Site Inventory form, the house was clad in wood shake shingles. The

shingles were removed and the siding was repaired or replaced to match the original siding. The wood windows were repaired and replaced and an addition was added. Planner Grahn noted that the house is close to King Road, but she thought they did a nice job of finding a way to incorporate parking and still have an addition that blends well with the historic house.

The third nominee was 257 McHenry. Planner Grahn noted that this house had a Notice and Order in 2013/2014. It was in terrible condition. They had to remove a lot of the additions and the boards were rotted. There were multiple levels of wood siding, as well as asbestos siding, and boarded windows. The house was reconstructed and a new addition was added to the side. Planner Grahn believed it was a great addition to Old Town and it looks much like it did historically.

The fourth nominee was 1102 Norfolk Avenue. Planner Grahn reported that this project was a unique situation because the staircase was originally a right-of-way and a road. Prior to changes to the LMC, they were able to lift the house and rotate it. The Historic Preservation Board had also reviewed the historical significance of this addition prior to commencing the work, and found that it was not historic to the original house. She showed photos of what it looked like across Norfolk and what it looks like today. A garage was added with a transitional element.

The last project was the California Comstock Mill. Planner Grahn reported that Vail contributed $50,000 as part of the conditions of the CUP application and the ongoing work to preserve the mine sites. The $50,000 was invested in stabilizing the structure. Planner Grahn presented images showing what the structure looked like historically, in the 1970s, and its condition when they began work this summer. Clark Martinez with the excavation company, and a former Park City resident, craned out the salvageable members, removed a lot of the debris, and was able to start reconstructing the walls. Mr. Martinez also found an old crusher. The amount of work was significant, and the stabilization of the wood frame timber structure will help move forward with preservation. The Park City Museum has talked about investing funds to stability the stacked stone foundation. Planner Grahn explained that the stabilization also makes sure that it does not shift and push over the front piece. It was a large and complicated project.

Planner Grahn believed that as the Friends of the Ski Area Mining History continue to fundraise, there will be enough money to further work on the project. At this point they have done all they could do with the funds they had.

Board Member Beatlebrox thought they should have a painting of the California Comstock Mill when it is much more substantial. Planner Grahn stated that more work might be done, but she did not believe it would ever be restored to its

original appearance. Ms. Beatlebrox was pleased with the work that had been done.

Board Member Bealtebrox liked the five candidates chosen by the Staff. She asked if the other Board members were comfortable with those five, or if there were others to consider.

Board Member Hodgkins asked if the California Comstock Mill was actually in Park City. Planner Grahn replied that it was a unique situation. It is located on the Historic Sites Inventory as part of the Park City mining era. However, it is actually right outside the City limits and in the annexation boundary, as well as being in Summit County. It could qualify for the award.

David White, Lola Beatlebrox, and Puggy Holmgren volunteered for the selection committee.

Director Erickson believed the candidates selected illustrates how far they have come with the application of the Guidelines. They have four good candidates, plus the California Comstock Mill. He thought that was partly due to the work of the HPB and the Preservation Planners. Director Erickson noted that the entire ordinance was reconstituted on material deconstruction and half of the Historic District Guidelines have been revised. He believed they were beginning to see the results of that effort. Board Member Stephens noted that there were good historic projects coming forward that would be excellent candidates for next year.

Board Member Beatlebrox had a fondness for the Ontario project because she recalled the grant application process and how long it took the Board to reach a decision. The owners were very fervent in wanting to create something special, and as the project moved forward they did additional repairs they had not counted on. Ms. Beatlebrox liked all the projects suggested and it was hard to choose between them.

Board Member Hodgkins was impressed with the McHenry project because of its original condition, and the fact that the owner even considered a preservation project. For the same reason, he was impressed with the California Comstock Mill. He thought that was a good project to champion because of the amount of work. It would publicize that the HPB supports the mining industry. He asked if an award recipient had ever been mining related. Planner Grahn answered no.

Board Member Stephens agreed that the McHenry project has been ongoing for years. Mr. Stephens liked the idea of bringing some attention to the mining structures. Ms. Beatlebrox agreed. The Mine would be a different type of painting from the typical garage or house. Chair White concurred.

Board Member Holmgren was leaning towards the California Comstock for the painting. Chair White also favored the California Comstock.

Director Erickson stated that the Board could select all five of the named projects for the award, and nominate one of the five for the painting.

Chair White believed there was consensus by the Board to nominate the Comstock Mine for the painting.

MOTION: Board Member Holmgren moved to select 264 Ontario Avenue, 81 King Road, 257 McHenry, 1102 Norfolk and the California Comstock Mill for outstanding historic preservation work in 2016; and to commission a painting for the California Comstock Mill. Board Member Beatlebrox seconded the motion.

VOTE: The motion passed unanimously.

Board Member Beatlebrox noted that she had sent the Board members an invitation to a Santa party she was having on December 17th. She requested that they RSVP to her email invitation. She clarified that it was a social event and City business would not be discussed.

Director Erickson stated that a member of the public wanted to comment on 336 Daly Avenue.

336 Daly Avenue

Chair White re-opened the public hearing on the Continuation of 336 Daly Avenue.

Delphine Comp, a resident at 61 Daly Avenue, saw the notice about this meeting a few days ago. Ms. Comp stated that she, her husband, and a few neighbors believe that relocating the structure would destroy it completely. If the owners want to do something with the structure it should be restored in its original location.

Board Member Beatlebrox asked why Ms. Comp and her neighbors think relocating the house would destroy it completely. Ms. Comp commented on the current condition of the home. It was falling apart and she did not believe it could be moved somewhere else and still be the same.

Chair White thought Ms. Comp would be surprised at what could be done if it is done correctly. Ms. Comp was also concerned that the historic house would be moved and replaced with a monster house. She thought it would open the door to having another monster house on Daly Avenue, which the neighbors oppose.

Chair White closed the public hearing.

Chair White asked for an update on the McPolin Barn. Planner Turpen reported that she had done her final inspection earlier that day. She was not able to pass the inspection at this time because the north addition did not have the roof on. Once the roof is in place, she will be able to sign off on it. Planner Turpen was pleased with how it looks. The interior work looked good. The structural members that were installed blend in, but you can still tell the difference between the old and the new, which is very important. When all the work is completed, they would schedule an event where the HPB could see the results of what they approved and recommended to the City Council.

Planner Grahn presented a photo showing the steel beams and how much it opened up the hayloft in the barn. The floors were recovered with plywood. A new staircase was built, but the old staircase was preserved and stored, which matched the Secretary of the Interior standards.

Planner Turpen walked through the key points of her inspection and showed corresponding photos. Planner Grahn stated that Hogan Construction rebuilt all of the wood windows to match the historic wood windows.

Chair White thanked the Staff for the update, and expressed an interest in visiting the Barn at the appropriate time. Board Member Beatlebrox asked to see the painting. Planner Grahn replied that if the Board would agree not go upstairs all together as a quorum, she would take the painting out of the box so they could see it.

The meeting adjourned at 6:00 p.m.

Approved by _____
David White, Chair
Historic Preservation Board

Memo to the Historic Preservation Board

PARK CITY 1884
PLANNING DEPARTMENT

Application #: PL-16-03189
Subject: 336 Daly Avenue
Author: Anya Grahn, Historic Preservation Planner
Date: February 1, 2017
Type of Item: Relocation of a Significant Garage and Material Deconstruction of the Garage

The applicant has requested that staff continue the item to a date uncertain in order to provide them additional time to work through details with the owner.

The Park City Building Department issued a Notice and Order to Repair the garage and single-cell cabin on August 29, 2016. The Notice and Order outlines issues such as stress in materials due to dead and live loads; members or appurtenances that are likely to fail, become detached, or collapse; building not meeting window pressure; wracking, warping and buckling of walls; potential collapse of entire structure; as well as its poor condition as to constitute a public nuisance. The Building and Planning Departments have prioritized this project in an effort to ensure the preservation of these Mining Era ruins.

Historic Preservation Board
Staff Report

Planning Department

Author: **Ashley Scarff, Planning Technician**
Subject: **Material Deconstruction Review (Single-Family Dwelling)**
Address: **1063 Empire Avenue**
Project Number: **PL-16-03154**
Date: **February 1, 2017**
Type of Item: **Administrative – Material Deconstruction**

Summary Recommendation:
Staff recommends that the Historic Preservation Board (HPB) reviews and discusses the application, conducts a public hearing, and approves the Material Deconstruction of non-historic and non-contributory materials at 1063 Empire Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval. This site is listed as Significant on the City's Historic Sites Inventory (HSI).

Topic:

Address:	1063 Empire Avenue
Designation:	Significant
Applicant:	West of 3rd LLC, represented by Jonathan DeGray, Architect
Proposal:	Demolition of non-historic foundation elements, restoration of full-width front porch with restoration of street-facing entryway and original roof form, reconstruction of non-historic wood deck, restoration of original window and door openings, removal of non-historic rear addition, removal of rear dormer and portion of historic walls, removal of historic chimney, cutting of concrete retaining wall

Background:
On August 15, 2016, the Planning Department received a Historic District Design Review (HDDR) application for the property at 1063 Empire Avenue. The application was deemed complete on August 29, 2016. The HDDR application has not yet been approved, as it is dependent on HPB's decision after the review of proposed Material Deconstruction.

Despite multiple alterations being made to this site over time, there have been very few building permit or planning applications submitted for work at the property. In 1992, a Building Permit was issued for the construction of a deck addition to the south of the structure. In 2003, a Building Permit was issued for demolition work on the same deck area at the south side of the structure. In 2004, the plat was amended to create the Floden Subdivision, which combined Lots 14, 15, and 16, Block 28 of the Snyder's Addition to the Park City Survey into two (2) lots of record.

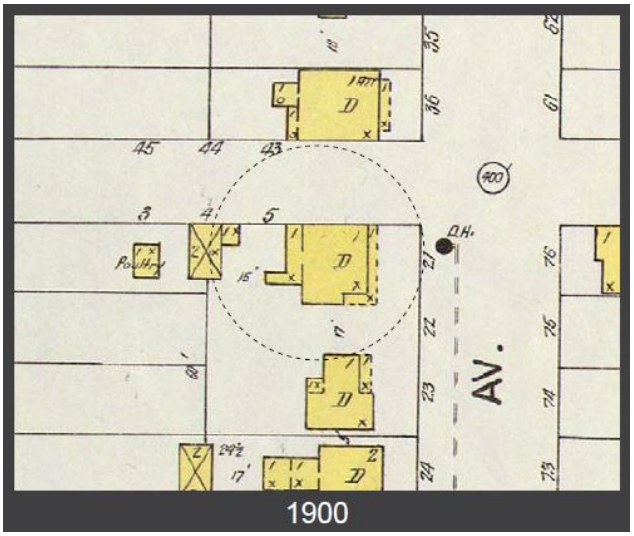
1063 Empire Avenue Developmental History:
The 1063 Empire Avenue property is designated as a Significant Site on the Park City Historic Sites Inventory (HSI). Development on this property has potentially spanned

across three of Park City's designated Historic eras, including the Settlement and Mining Boom Era (1868-1893), the Mature Mining Era (1894-1930), and the Mining Decline and Emergence of Recreation Industry Era (1931-1962). The Historic Sites Form notes the Era of Significance as the Mature Mining Era (1894-1930). Staff has summarized the developmental history in this section of the report by highlighting the major alterations and evidence that exists today as it relates to the proposed Material Deconstruction.

Sources have conflicting dates of construction listed for the single-family dwelling, but John Sweatfield, original owner, purchased the northern half of Lot 15 and all of Lot 16 in 1892, which may be an indicator of year of construction. The Summit County recorder lists the year of construction as 1904. As can be seen in the Sanborn maps below, the pyramid house has largely retained its original form, with minor additions made over time.

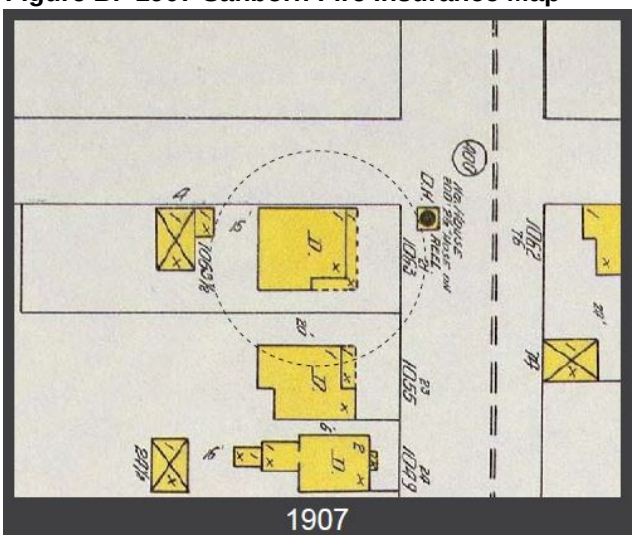
1063 Empire Avenue was outside of the 1889 Sanborn boundary, but appears on the 1900 Sanborn (Figure A) as a one-story, wood-framed structure with a shingled roof (likely wood), front porch, and rear L-shape addition. One unidentified, one-story out-building, one two-story stable structure, and one, one-story poultry out-building are also shown on site to the rear of the single-family dwelling.

Figure A. 1900 Sanborn Fire Insurance Map



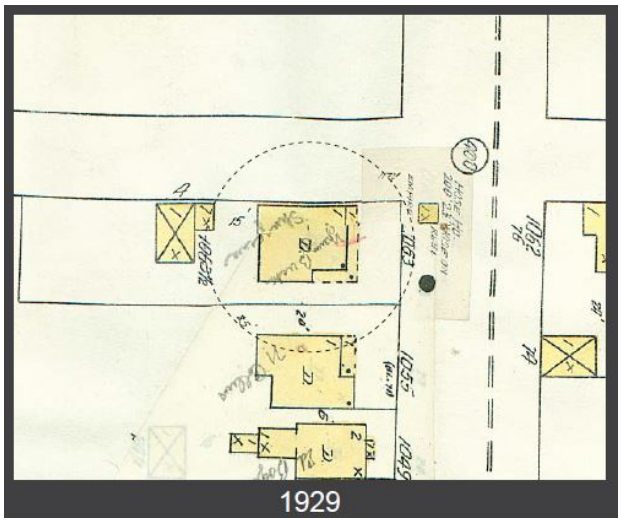
The rear L-shaped addition that can be seen in the 1900 map was removed by 1907, and the rear portion of the house was enlarged (Figures A and B). This is evident as the house is separated from the shed by 15 feet (15') throughout its history, and there would have been greater separation if the L-shaped rear addition was removed and no other additions made. The third owners of the property, Timothy and Ellen Sugrue, took out a mortgage in 1906, which may have been to facilitate this expansion. In addition, the one-story poultry out-building was demolished by 1907—the other two out-buildings remained.

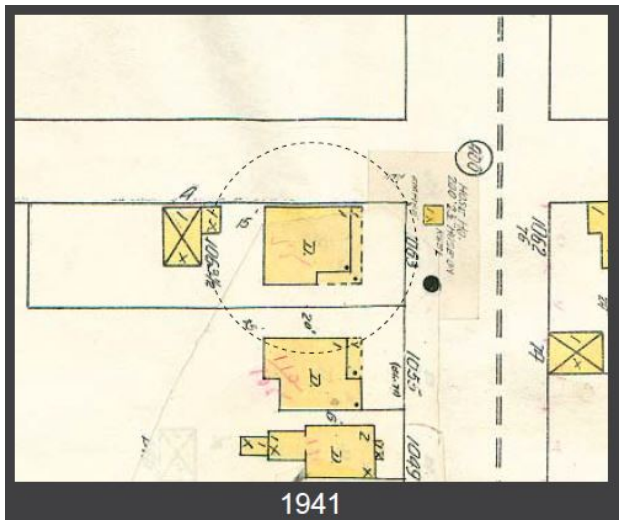
Figure B. 1907 Sanborn Fire Insurance Map



The 1929 and 1941 (Figure C) Sanborn Maps look largely the same as the 1907 map, but the main dwelling is shown as having a composition roof, rather than the shingled roof shown previously. The ca. 1940s tax photo shows a type of fish scale shingle. Available evidence indicates that the overall form and number of out-buildings on site remained the same as before.

Figure C. The 1929 and 1941 Sanborn Fire Insurance Maps show a largely unchanged site.





The two (2) most significant modifications to the overall form of the structure are the enclosure of portions of the front porch in order to gain interior space. Sometime after the 1941 tax photograph and before 1981 (See Figure D), the north half of the porch was enclosed to create living space. In doing so, the front door was relocated from the façade of the house to the south wall of the porch enclosure, changing the orientation of the entrance. The addition was clad in drop novelty wood siding to match the existing house. Additionally, two (2) large leaded glass windows with transoms on the front of the house were lost when this portion of the porch was enclosed, with the left window opening remaining, but with altered dimensions.

Figure D. ca. 1940s Tax Photo and ca. 1981 photo showing northern front porch addition

The second porch enclosure becomes apparent when comparing the ca. 1981, 1995, and 2006 photos (southeast corner of house is blocked in 1940s photo by a shrub). The 1981 photo shows a wrap-around porch on the southeast corner, and the existence of a second entry door that faces the street. The addition, which enclosed the above-mentioned inset porch and created a new, south-facing entryway, is not obvious (but exists) in the 1995 photo, and is clear in the 2006 photo (Figure E). A vertical board to the left of the large divided-light picture window likely marks where the building wall once terminated. It also appears that the original wood porch skirt was replaced with a new concrete foundation between the 1940s and 1981.

Figure E. Front façade in 1995 and 2006

Sometime after the 1941 Sanborn Fire Insurance map, the rear shed addition was expanded on the southwest corner (rear) of the house to extend a portion of the c.1906 addition. Based on the staff's analysis, this addition was likely constructed in the 1950s and 1960s as its construction is consistent with other additions made at this time in Park City. The addition is built of concrete blocks.

In addition, the retaining wall that lines the street front was changed from wood railroad ties to concrete by 1995, and several fixed and double-hung windows present in the 1995 photo were replaced with larger vinyl sliders by 2006. A large deck to the south of the structure is first seen in the 1995 photo, but is reduced in size by the 2006 photo (likely altered in 2003, according to City building permit files).

Furthermore, the 2009 Historic Site Form does not indicate any extant accessory buildings, and those shown in the earlier Sanborn Fire Insurance maps appear to have been demolished between 1941 and 2006. There is currently one non-historic accessory building on site, which will be demolished before construction.

In more recent history, the single-family dwelling at 1063 Empire Avenue has undergone formal and material changes that have largely changed its appearance, specifically:

- Enclosure of northern half of front porch, which created additional living space and altered the original porch roof (occurred between 1941 and 1981)
- Enclosure of the wrap-around porch on the southeast side of the house, which created additional living space (occurred between 1981 and 1995)
- Small rear concrete block wall addition with 4:12 shed roof to provide extra space on main level (occurred after 1941 Sanborn)
- Modification of historic window openings to create a more contemporary appearance, such as the installation of divided-light picture windows between 1940 and 1981, and the relocation of the front door

Analysis: Material Deconstruction

The following Material Deconstruction work is proposed for the single-family dwelling at 1063 Empire Avenue:

- Secure existing structure for lift, remove non-historic foundation elements, build new concrete foundation, re-position and anchor home on new foundation with full basement and garage
- Restoration of full-width front porch (enclosure occurred between 1941 and 1981) to restore the Period of Significance and Historic Form, with reinstitution of street-facing entryway and original roof form
- Restoring original window and door openings ***(HPB discussion requested)***
- Reconstruction of non-historic wood deck
- Removal of small rear concrete masonry wall addition with 4:12 shed roof (occurred post-1941 Sanborn)
- Removal of rear dormer (date of construction unknown; architect estimates ca. 1980s) and approximately sixteen linear feet (16') of historic wall to allow for new addition to the rear of the historic house
- Removal of historic chimney located at midpoint of roof due to poor condition ***(HPB discussion requested)***
- Cutting of existing concrete retaining wall that fronts the street to provide access to proposed lower level garage

1. **Secure structure for lift, remove non-historic foundation elements, build new concrete foundation, re-position and anchor home on new foundation with full basement and garage**

   Typically, Park City houses were not constructed with foundations, but rather the floor joists sat on stacked stone piers or, more often, directly on the dirt. This house appears to have been raised off of the ground when it was constructed, as is evident by the horizontal wood decking seen in the ca. 1941 photograph. By 1981, a new foundation had been poured to create a basement on the front half of the house.

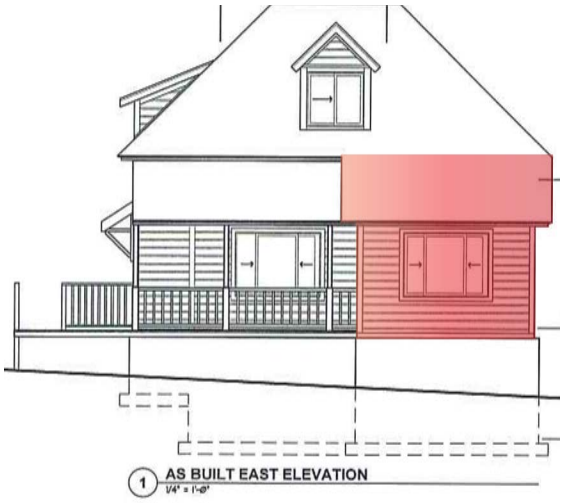
   The applicant is now proposing to remove this non-historic foundation in order to pour a new basement foundation. The applicant proposes to lift the house two feet (2'), as is permitted by the Design Guidelines, in order to pour the new foundation. The new basement addition will provide a one-car garage that is accessible from Empire Avenue.

   Staff finds that the pre-1981 foundation is non-contributory to the historic integrity of the historic house and the material deconstruction is required for the rehabilitation of the building.

2. **Restoration of full-width front porch (enclosure occurred between 1941 and 1981) to restore the Period of Significance and Historic Form, with reinstitution of original roof form and street-facing entryway**

   The applicant is proposing to remove the enclosure on the northern half of the front porch in order to restore the original porch form. The restoration will include reconstruction of the porch roof so that it sits below the eave of the historic house as it did in the ca. 1941 tax photograph, and restoration of the street-facing entryway and large picture window with transom. Porch posts and railings will be reconstructed to match those in the historic photograph.

   Figure F. Non-historic front porch addition to be removed

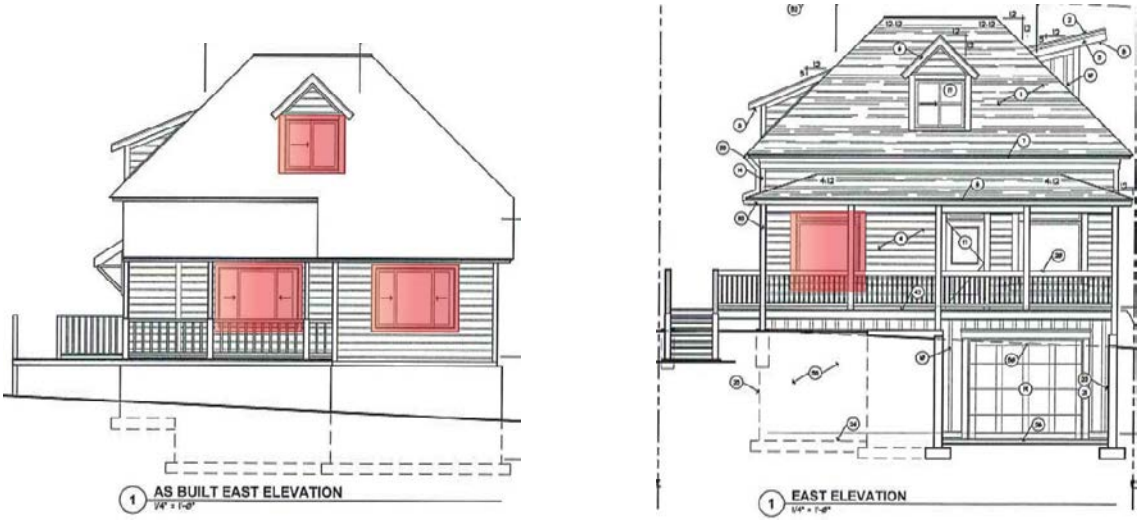


   Staff finds that the ca. 1981 enclosure of the porch is non-contributory to the historic integrity of the Significant house, and the material deconstruction is required for the restoration of the original full-width front porch.

3. Restoring original window and door openings

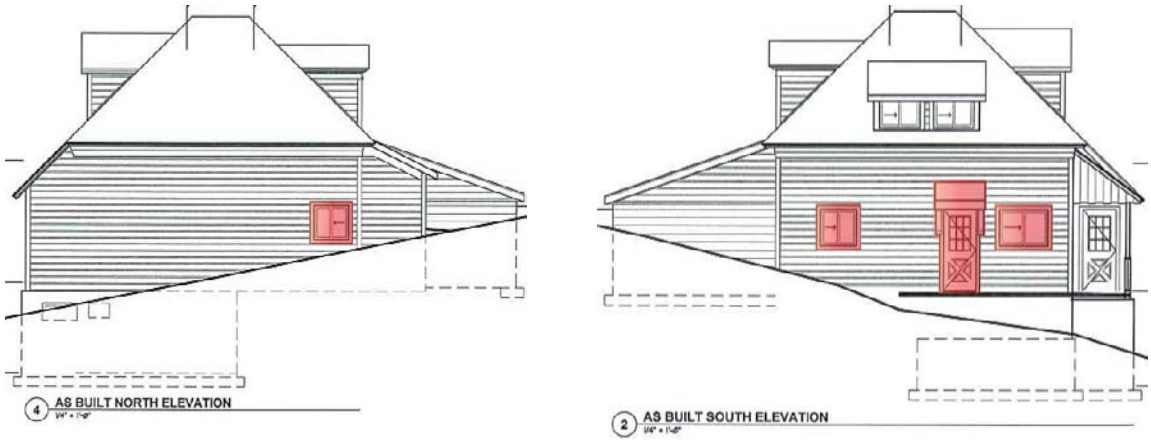
As part of the restoration of the full-width front porch, the applicant is proposing to restore the original window and door openings on the front façade of the home. This includes the restoration of a street-facing entryway with transom, as well as two large picture windows with transoms, which can be seen in the ca. 1940s photograph. The applicant is proposing to maintain the non-historic porch enclosure on the south end of the front porch that in-filled the original wrap-around porch; thus, is also proposing to shift the picture window to the left farther south on the façade than it was historically located, to visually balance the openings. ***HPB Discussion Requested.*** The applicant is also proposing to replace the non-historic vinyl slider windows with wood, double-hung windows on the street-facing dormer, which is a return to the historic style and material.

Figure G. Restoration of original window and door openings; relocation of left picture window



There is also a request to replace an existing small vinyl slider window with a wood casement window on the north façade, and to remove a non-historic window and door on the south façade, and add French doors with transom past the midpoint of the historic façade on that side.

Figure H. Windows and door to be removed or replaced on North and South elevations



Staff finds that the material deconstruction of the current windows and doors is required for the successful restoration and renovation of the building. The addition of the French doors on the south side of the house is beyond the midpoint of the historic house and will not be visible from the right-of-way; staff finds that this proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.

4. Reconstruction of non-historic wood deck on south side

As part of this renovation, the applicant is proposing to reconstruct an existing non-historic wood deck to the south side of the home. The deck will maintain similar dimensions as is existing. Its original date of construction is hard to determine, as the deck area is blocked from view in historic photographs until 1995. City Building Permit files do show that a building permit was issued in 1992 for the construction of a deck on the south side of the home, but the plans show that a portion of the deck was already existing at that time. The deck serves as an extension of the porch.

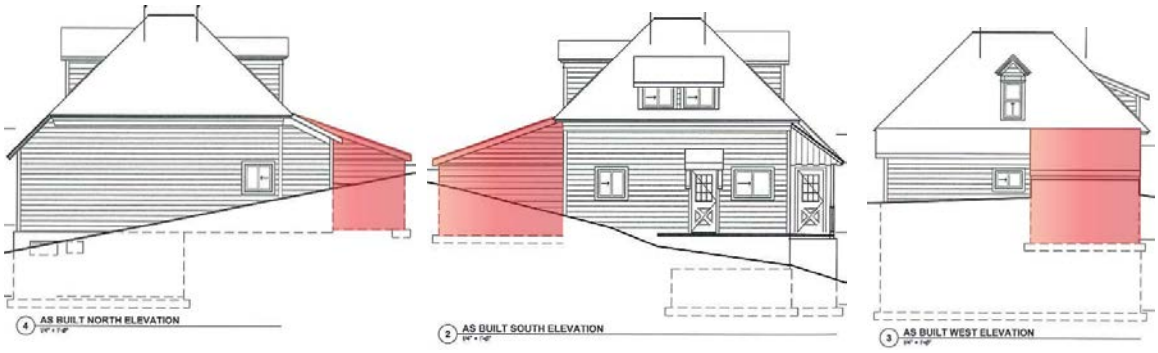
Staff finds that the non-historic deck is non-contributory to the historic integrity or historical significance of the site, and the proposed exterior change will not destroy the exterior architectural features of the subject property that are compatible with the historic site.

5. Removal of non-historic rear concrete addition (occurred post-1941 Sanborn)

The applicant is proposing to remove the small rear addition made of concrete block at the southwest corner of the home, in order to make way for the proposed new rear addition. It is estimated that this addition was constructed in the 1950s or 1960s, based on its materials and historic precedent in Park City.

Staff finds that the non-historic rear addition is non-contributory to the historic integrity or historical significance of the structure or site.

Figure I. North, South, and West elevations highlighting non-historic rear addition to be removed

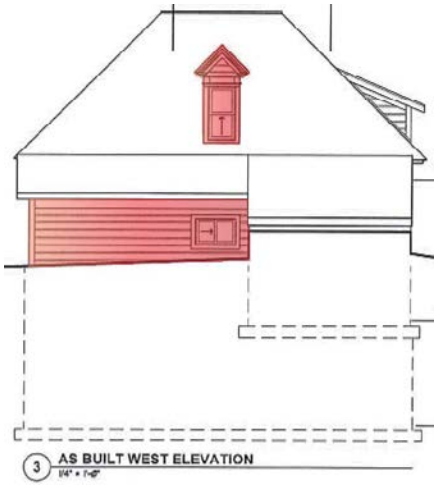


6. Removal of rear dormer (date of construction unknown; architect estimates ca. 1980s) and portion of historic walls

The applicant is also proposing to remove the rear dormer and the historic west wall of the ca. 1907 rear addition to make room for the new rear addition. Approximately sixteen linear feet (16') of the historic wall will be removed on the main level, not including the non-historic concrete addition discussed above (#5). Staff has found no evidence of the date of construction of the dormer, as it is not shown in any historic photographs, but the project architect estimates it is ca. 1980s based on the construction materials. Staff does not believe it is historic.

Staff finds that the material deconstruction outlined above is required for the proposed renovation and rehabilitation of the building, structure, or object. Additionally, the proposed scope of work mitigates, to the greatest extent practical, any impacts that would occur to the historical significance and architectural integrity of the building.

Figure J. Rear dormer and portion of historic wall to be removed



7. Removal of historic chimney

The applicant is proposing to remove the existing historic brick chimney due to its poor condition. Photographs dating back to the 1940s show the chimney being located at the midpoint of the roof (not shown on submitted as-built elevations). The physical conditions report notes that the "mortar at the exposed chimney has cracked and several of the bricks are loosely stacked." In the past, the HPB has permitted the removal of secondary chimneys that are located beyond the midpoint of the structure and were not intended to be a character-defining feature of the building. This chimney is located at the center of the house at the top of the pyramid roof form. ***HPB Discussion Requested.***

Staff finds that the proposed exterior changes should not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.

Figure K. Historic chimney located at midpoint of roof

8. Cutting portion of concrete retaining wall to build driveway

The renovation of the site includes the pouring of a new concrete foundation to provide a full basement and one-car garage. To provide access to the new garage and make room for a driveway, a portion of the existing non-historic concrete retaining wall that lines the street must be cut back. The 1940s tax photo shows the existence of a street-fronting retaining wall made of wood railroad ties, but by 1995 the wall was reconstructed of concrete. The tax photo from 1981 does not provide a view of the wall area (refer to Figures D and E, above).

Staff finds that the non-historic concrete retaining wall is non-contributory to the historic integrity or historical significance of the structure or site, and removing a portion of it to accommodate a driveway is necessary for the rehabilitation of the home.

Recommendation:

Staff recommends that the Historic Preservation Board (HPB) reviews and discusses the application, conduct a public hearing, and approve the Material Deconstruction of non-historic and non-contributory materials at 1063 Empire Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval. This site is listed as Significant on the City's Historic Sites Inventory (HSI).

Findings of Fact:

1. The property is located at 1063 Empire Avenue, Lot 1 of the Floden Subdivision.
2. The historic site is listed as Significant on the Park City Historic Sites Inventory.
3. Sources list conflicting dates of construction of the single-family dwelling, but the original owner purchased the property in 1892. The Summit County Recorder lists the date of construction as 1904.
4. The pyramid house has largely retained its original form, with minor additions made over time.
5. Development on this property has spanned across three (3) of Park City's designated Historic eras, including the Settlement and Mining Boom Era (1868-1893), the Mature Mining Era (1894-1930), and the Mining Decline and Emergence of Recreation Industry Era (1931-1962).

6. The Historic Sites Form notes the Era of Significance as the Mature Mining Era (1894-1930).
7. On August 15, 2016, the Planning Department received a Historic District Design Review (HDDR) application for the property at 1063 Empire Avenue. The application was deemed complete on August 29, 2016. The HDDR application is still under review by the Planning Department.
8. The applicant is proposing the following Material Deconstruction: Demolition of non-historic foundation elements, restoration of full-width front porch with restoration of street-facing entryway and original roof form, reconstruction of non-historic wood deck, restoration of original window and door openings, removal of non-historic rear addition, removal of rear dormer and portion of historic walls, removal of historic chimney, and cutting of concrete retaining wall.
9. Staff finds that the pre-1981 concrete foundation is non-contributory to the historic integrity of the historic house and the material deconstruction is required for the rehabilitation of the building.
10. Staff finds that the ca. 1981enclosure to the north of the front porch is non-contributory to the historic integrity of the Significant house, and the material deconstruction is required for the restoration of the original full-width porch.
11. Staff finds that the material deconstruction of the current windows and doors is required for the successful restoration and renovation of the building. The addition of the French doors on the south side of the house is beyond the midpoint of the historic house and will not be visible from the right-of-way; staff finds that this proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
12. Staff finds that the non-historic deck is non-contributory to the historic integrity or historical significance of the site, and the proposed exterior change will not destroy the exterior architectural features of the subject property that are compatible with the historic site.
13. Staff finds that the non-historic rear addition is non-contributory to the historic integrity or historical significance of the structure or site.
14. Staff finds that the material deconstruction outlined above is required for the proposed renovation and rehabilitation of the building, structure, or object. Additionally, the proposed scope of work mitigates, to the greatest extent practical, any impacts that would occur to the historical significance and architectural integrity of the building.
15. Staff finds that the proposed exterior changes should not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
16. Staff finds that the non-historic concrete retaining wall is non-contributory to the historic integrity or historical significance of the structure or site, and removing a portion of it to accommodate a driveway is necessary for the rehabilitation of the home.

Conclusions of Law:

1. The proposal complies with the Land Management Code requirements pursuant to the HR-1 District and regarding historic structure deconstruction.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the HDDR proposal stamped in on November 3, 2016. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.
2. Where the historic exterior materials cannot be repaired, they shall be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish. Prior to removing and replacing historic materials, the applicant shall demonstrate to the Planning Director and Project Planner that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. No historic materials may be disposed of prior to advance approval by the Planning Director and Project Planner.
3. Any deviation from approved Material Deconstruction will require review by the Historic Preservation Board.

Exhibits:

Exhibit A – HPB Demolition Review Checklist
Exhibit B – Historic Sites Inventory Form
Exhibit C – Historic District Design Review Historic Preservation Plan (Single-Family Dwelling)
Exhibit D – Historic District Design Review Physical Conditions Report (Single-Family Dwelling)
Exhibit E – Historic District Design Review Existing and Proposed Plans (Single-Family Dwelling)

Exhibit A: HPB Demolition Review Checklist

Historic Preservation Board Material Deconstruction Review Checklist:

1. Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
2. The material deconstruction is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
3. Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
4. The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where material deconstruction is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
5. The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
6. Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1063 EMPIRE AVE *AKA:*

City, County: Park City, Summit County, Utah *Tax Number:* FLODEN-1

Current Owner Name: MURPHY RORY *Parent Parcel(s):* SA-296; SA-297

Current Owner Address: 2440 IRON MOUNTAIN DR; PARK CITY, UT 84060-6559

Legal Description (include acreage): LOT 1 FLODEN SUBDIVISION CONT 2812 SQ FT OR 0.06 AC

2 STATUS/USE

Property Category	*Evaluation**	*Reconstruction*	*Use*
☑ building(s), main	☐ Landmark Site	Date:	Original Use: Residential
☐ building(s), attached	☑ Significant Site	Permit #:	Current Use: Residential
☐ building(s), detached	☐ Not Historic	☐ Full ☐ Partial	
☐ building(s), public			
☐ building(s), accessory			
☐ structure(s)			

*National Register of Historic Places: ☑ ineligible ☐ eligible
☐ listed (date:)

3 DOCUMENTATION

Photos: Dates
☑ tax photo:
☑ prints:
☐ historic: c.

Drawings and Plans
☐ measured floor plans
☐ site sketch map
☐ Historic American Bldg. Survey
☐ original plans:
☐ other:

Research Sources (check all sources consulted, whether useful or not)

☐ abstract of title	☐ sewer permit	☐ USHS Preservation Files
☐ tax card	☑ Sanborn Maps	☐ USHS Architects File
☐ original building permit	☐ obituary index	☐ LDS Family History Library
	☐ city directories/gazetteers	☐ Park City Hist. Soc/Museum
☑ city/county histories	☐ census records	☐ university library(ies):
☐ personal interviews	☐ biographical encyclopedias	☐ other:
☐ Utah Hist. Research Center	☐ newspapers	

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Hipped Roof of "Pyramid" House No. Stories: 1 ½

Additions: ☐ none ☑ minor ☐ major (describe below) Alterations: ☐ none ☐ minor ☑ major (describe below)

Number of associated outbuildings and/or structures: ☐ accessory building(s), # _____; ☐ structure(s), # _____.

General Condition of Exterior Materials:

☑ Good (Well maintained with no serious problems apparent.)

☐ Fair (Some problems are apparent. Describe the problems.):

☐ Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):

☐ Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Cement retaining wall and entry stairway

Foundation: Appears to be cement, but unable to verify based on photo alone

Walls: Drop-novelty wood siding and tri; unable to verify if any of the exterior siding is original. Wooden porch supports and railings

Roof: Metal shingle material.

Windows: Sliding vinyl windows

Essential Historical Form: ☑ Retains ☐ Does Not Retain, due to:

Location: ☑ Original Location ☐ Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Full front porch in tax photo has been altered by 1995 photo as half of porch has been built out onto for interior purposes. This shift has altered the front door entrance from front-facing to side-facing, yet it is still oriented towards porch access. Essence of historical character of form remains, despite significant changes in window shape and style, roofing material, and porch railing detail. Large deck has been constructed to the south of the main building.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Narrow building lot exhibits a slight slope downwards towards the front elevation of property. Wooden beam retaining wall seen in tax photo has been altered to a cement retaining wall by 1995 photo. House is recessed at least 20 feet from street edge of property, with planted natural shrubs and grasses throughout the landscape. The lillac bush on corner of front elevation appears in all photos available. The 1907 Sanborn map indicates a large accessory building to the rear of the house. Its current condition--if extant--was not assessed for the purposes of this site form.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines the typical Park City mining era home--simple methods of construction, the use of non-beveled (drop-novelty) wood siding, plan type, simple roof form, informal landscaping, restrained ornamentation, and plain finishes--have been altered and, therefore, lost.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The Pyramid house is one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent of and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: ☑ Not Known ☐ Known: (source:) Date of Construction: c. 1904[1]

Builder: ☑ Not Known ☐ Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:
   - ☐ Settlement & Mining Boom Era (1868-1893)
   - ☑ Mature Mining Era (1894-1930)
   - ☐ Mining Decline & Emergence of Recreation Industry (1931-1962)

   Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.[2]

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation (primary façade). Camera facing west, 2006.
Photo No. 2: East elevation (primary façade). Camera facing west, 1995.
Photo No. 3: East elevation (primary façade). Camera facing west, c. 1940 tax photo.

[1] Summit County Recorder.
[2] From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.


X-396


1063


1065
7015213

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE - PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060

HISTORIC PRESERVATION PLAN

For Use with the *Historic District/Site Design Review* Application

For Official Use Only

PLANNER: _____ APPLICATION #: _____

DATE RECEIVED: _____

PLANNING DIRECTOR APPROVAL DATE/INITIALS: _____

CHIEF BUILDING OFFICIAL APPROVAL DATE/INITIALS: _____

PROJECT INFORMATION

☐ LANDMARK ■ SIGNIFICANT DISTRICT: _____

NAME: Curt Gackenbach

ADDRESS: 1063 Empire Avenue
Park City, UT 84060

TAX ID: FLODEN-1 OR

SUBDIVISION: _____ OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

APPLICANT INFORMATION

NAME: Curt Gackenbach

PHONE #: (727) 254 - 8286 FAX #: ( ) -

EMAIL: curtis.gackenbach@gmail.com

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

RECEIVED
AUG 15 2016
PARK CITY PLANNING DEPT.

Site Design

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Element/Feature: Topography and Landscaping

This involves:
- ☒ Preservation
- ☐ Restoration
- ☐ Reconstruction
- ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The site topography is gently sloping to the street. There is an existing non-historic concrete retaining wall just outside the front property line. This wall will be cut to create a new opening for concrete driveway to access the proposed lower level garage. New concrete walls will be poured to retain grade ad sides of driveway.

Structure

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Structural systems

This involves:
- ☐ Preservation
- ☐ Restoration
- ☐ Reconstruction
- ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Exploratory demo will be done in order to inspect the structural integrity of the existing structure. Determination will be made at this time for the full scope of structural work.

Plan is to secure existing structure for lift, build new concrete foundation, re-position and anchor home on new foundation.

Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: Roof

This involves:
- ☐ Preservation
- ☐ Restoration
- ■ Reconstruction
- ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing roof will be rebuilt to meet the structural requirements of code.
The previously enclosed portion of the front entry porch will be opened back up and the roof will be reconstructed to historic form.

Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Brick Chimney

This involves:
- ☐ Preservation
- ☐ Restoration
- ☐ Reconstruction
- ■ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing brick chimney is in disrepair and will be removed.

Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: Exterior Walls

This involves: ☒ Preservation ☐ Restoration
☒ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The exterior walls will be modified from the interior to a minimum level of code compliance. Windows, doors and siding replacement will take place as needed to replace non-historic or failed material.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Foundation

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: Concrete Foundation

This involves:
- ☐ Preservation
- ☐ Restoration
- ■ Reconstruction
- ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

After home is lifted a new formed concrete foundation will be built. Excavation will go deeper than existing foundation to allow for full basement and garage.

Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: Front Porch

This involves:
- ☐ Preservation
- ☐ Restoration
- ■ Reconstruction
- ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The expanded living area will be removed and the front porch will be rebuilt and brought back to its historic form and appearance.

Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: Exterior Doors

This involves: ☐ Preservation ☐ Restoration
☒ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All historic exterior doors have been replaced. New exterior doors of historically appropriate design will be provided according to new design.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: Windows

This involves: ☐ Preservation ☐ Restoration
☒ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All historic windows have been replaced. New windows of historically appropriate design will be provided according to new design.

Element/Feature: _____

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: MEP Systems

This involves: ☐ Preservation ☐ Restoration ☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All mechanical, electrical, and plumbing will be removed and replaced with code compliant systems.

Additions

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Additon

This involves: ☐ Preservation ☐ Restoration ☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Addition to rear of historic home will be a simple structure with shed roof draining to south. Addition will be clad with board and batt siding. A bridge will connect the existing upper level with that of the addition.

4. PROJECT TEAM

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

5. SITE HISTORY

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

6. FINANCIAL GUARANTEE

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

7. ACKNOWLEDGMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant: _____ Date: 8/29/16

Name of Applicant: J. DEBRAY

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org Updated 10/2011

PARK CITY
1884

PHYSICAL CONDITIONS REPORT

For Use with the *Historic District Design Review (HDDR)* Application

For Official Use Only

PLANNER: _____ APPLICATION #: _____

DATE RECEIVED: _____

PROJECT INFORMATION

NAME: Curt Gackenback Residence

ADDRESS: 1063 Empire Avenue
Park City, UT 84060

TAX ID: FLODEN-1 OR

SUBDIVISION: Snyders Addition to Park City Survey OR

SURVEY: _____ LOT #: North 1/2 of 15 & 16 BLOCK #: 28

HISTORIC DESIGNATION: ☐ LANDMARK ■ SIGNIFICANT ☐ NOT HISTORIC

APPLICANT INFORMATION

NAME: Curt Gackenback

MAILING ADDRESS: _____

PHONE #: ( ) - FAX #: ( ) -

EMAIL: _____

APPLICANT'S REPRESENTATIVE INFORMATION

NAME: Jonathan DeGray, Architect

PHONE #: (435) 649 - 7263

EMAIL: degrayarch@qwestoffice.net

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

Detailed Description of Existing Conditions. *Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.*

1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Site Topography and Landscaping

This involves: ■ An original part of the building
■ A later addition

Estimated date of construction: Varies

Describe existing feature:

The property slopes uphill from northeast to southwest off Empire Avenue. From front property line to back property line is 75' and slopes uphill approximately 15'.

A wood deck wraps the south corner of the house and continues back for about 14 feet. There are mature evergreen and deciduous trees and shrubs at the front (northeast) back (southwest) and right (northwest) sides of the house.

Describe any deficiencies:

Existing Condition: ☐ Excellent ■ Good ☐ Fair ☐ Poor

Photo Numbers: 11,12,13,14,15

Illustration Numbers: 1,5,6,7,8

2. Structure

Use this section to describe the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Foundation and framing

This involves: ■ An original part of the building
■ A later addition

Estimated date of construction: Varies

Describe existing feature:

There is a partial basement with concrete foundation at the front historic portion of the home. The basement appears to have been dugout and foundation has been modified and repaired over time using concrete and concrete masonry. The back portion of the home is supported by wood piers on stacked stone.
The addition at southwest corner appears to be on a monolithic slab. To be field verified.

Floor framing runs front to back and is 2"x8" wood.

Exterior walls are 1" x 10" skip plank over 2"x 24" studs @24" o.c.

Roof framing was not visible at time of inspection. Assumed to be 2"x4" rafter framing. To be field verified.

Describe any deficiencies: Existing Condition: ☐ Excellent ■ Good ☐ Fair ☐ Poor

There is no evidence of below grade foundations below the piers.
Some of the floor main level floor joists have been sistered to add strength.

Photo Numbers: 24,25,26 Illustration Numbers: 2

3. Roof

Use this section to describe the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Main Roof and Dormers

This involves: ■ An original part of the building
■ A later addition

Estimated date of construction: Varies

Describe existing feature:

The roof form of the historic home is a 12:12 pitch hip roof with flat roof at top.

There have been additions to roof at front and back of home. A 9:12 pitch shed roof has been added where the north portion of the front entry deck was converted to living space. Shed roofs have been added to the back of the home The north portion is 6:12 pitch and the south portion is 4:12 pitch.

There are 3 dormers. A gable at front of home, A shed at left side, and a gable at the rear. All dormers appear to have been added on at different times. The most recent being the the rear gable dormer which was probably added in the 1980's.

The entire roof is aluminum shingle which has seen some wear but appears serviceable.

Describe any deficiencies: Existing Condition: ☐ Excellent ■ Good ☐ Fair ☐ Poor

Overall the roof is in great condition with only a few of the aluminum shingles being bent or raised.

Photo Numbers: 10,11,12,13,14,15 Illustration Numbers: 5,6,7,8

4. Chimney

Use this section to describe any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Brick Chimney

This involves: ■ An original part of the building ☐ A later addition

Estimated date of construction: Circa 1904

Describe existing feature:

there is a brick chimney at the flat roof of the historic structure.

Describe any deficiencies: Existing Condition: ☐ Excellent ☐ Good ☐ Fair ■ Poor

Mortar at the exposed chimney has cracked and several of the bricks are loosely stacked. Chimney will be removed with renovations.

Photo Numbers: 10,11 Illustration Numbers: 5,6,7,8

5. Exterior Walls

Use this section to describe exterior wall construction, finishes, and masonry. Be sure to also document other exterior elements such as porches and porticoes separately. Must include descriptions of decorative elements such as corner boards, fascia board, and trim. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Exterior Walls

This involves: ■ An original part of the building
■ A later addition

Estimated date of construction: Varies

Describe existing feature:

1x7 horizontal wood drop siding (historic) over 1x10 skip planks over 2x4 studs @ 24" o.c.
A concrete masonry wall storage room has been added to south west corner of home.
Siding, trim and masonry has been recently painted and is in fair condition.
All historic windows and doors have been replaced.

Describe any deficiencies:

Existing Condition: ☐ Excellent ■ Good ☐ Fair ☐ Poor

Photo Numbers: 10,11,12,13,15

Illustration Numbers: 5,6,7,8

6. Foundation

Use this section to describe the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Foundation

This involves: ■ An original part of the building
■ A later addition

Estimated date of construction: Varies

Describe existing feature:

There is a partial basement with concrete foundation at the front historic portion of the home. The basement appears to have been dugout and foundation has been modified and repaired over time using concrete and concrete masonry. The back portion of the home
is supported by wood piers on stacked stone. The addition at southwest corner appears to be on a monolithic
slab. Needs to be field verified.

Describe any deficiencies: Existing Condition: ☐ Excellent ☐ Good ■ Fair ☐ Poor

There is no evidence of below grade footings at the pier area.

Photo Numbers: 24,25,26 Illustration Numbers: 2

7. Porches

Use this section to describe the porches Address decorative features including porch posts, brackets, railing, and floor and ceiling materials. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Entry Porch

This involves: ■ An original part of the building
■ A later addition

Estimated date of construction: Varies

Describe existing feature:

The north half of the historic east facing entry porch has been framed in and finished as additional living space. The south half of the porch remains and has a painted wood deck surface.The south leg of the historic entry porch has also been enclosed as living space. The porch deck is painted wood and in good condition.

Describe any deficiencies: Existing Condition: ☐ Excellent ■ Good ☐ Fair ☐ Poor

The enclosed portion to the north of the historic entry porch will be reclaimed as part of the open porch and the roof structure above the porch will be reconstructed in its historic form.

Photo Numbers: 10,11,12,15 Illustration Numbers: 1,3,5,6,8,9

8. Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features.

Element/Feature: MEP Systems

This involves: ☐ An original part of the building
☒ A later addition

Estimated date of construction: Varies

Describe existing feature:

Forced air gas furnace gas water heater replaced 2000 – 2010 and appear serviceable. The electrical system was updated in 1970-1980 with Romex wiring and breaker box. Requires field verification.

Describe any deficiencies: Existing Condition: ☐ Excellent ☐ Good ☒ Fair ☐ Poor

All MEP systems are to be replaced and upgraded to compliance.

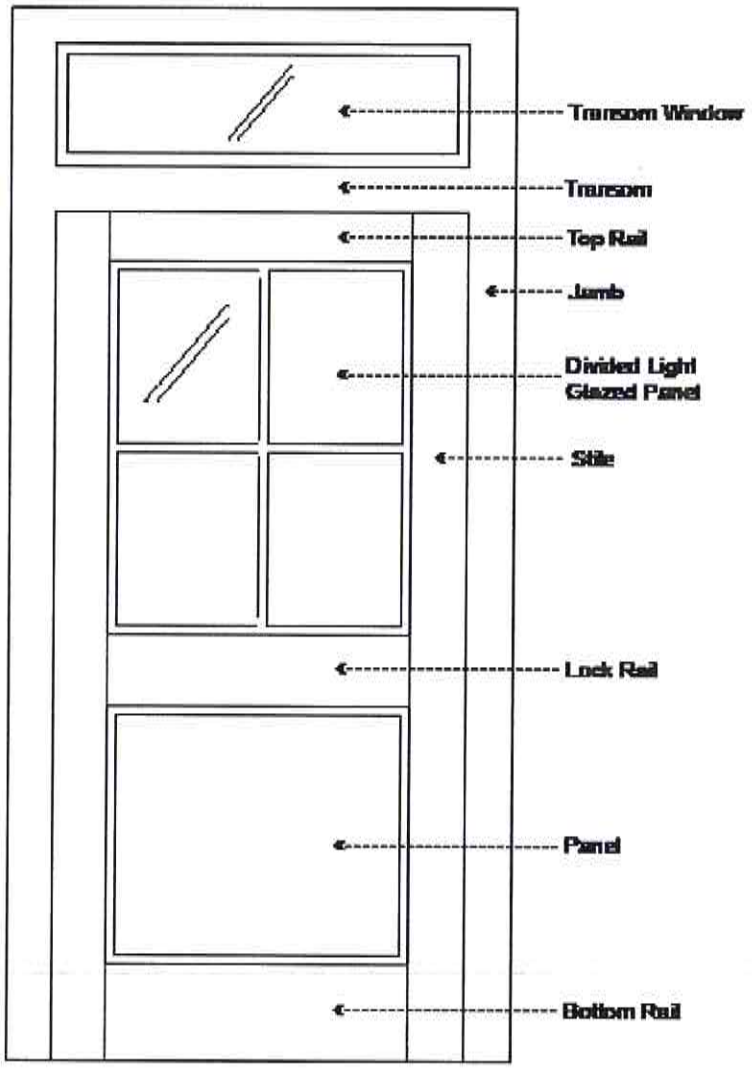
Photo Numbers: _____ Illustration Numbers: _____

9. Door Survey

Basic Requirements

1. All door openings on the exterior of the structure should be assigned a number and described under the same number in the survey form. Doors in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each exterior door in detail, referring to specific parts of the door. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the door unit and associated trim. Broken glass and normal wear and tear are not necessarily grounds for approving replacement.
4. The condition of each door should be documented based on the same criteria used to evaluate the condition of specific elements and features of the historic structure or site: Good, Fair, Poor.

Don't forget to address service, utility, and garage doors where applicable.



Total number of door openings on the exterior of the structure: 2

Number of historic doors on the structure: 0

Number of existing replacement/non-historic doors: 2

Number of doors completely missing: 0

Please reference assigned door numbers based on the Physical Conditions Report.

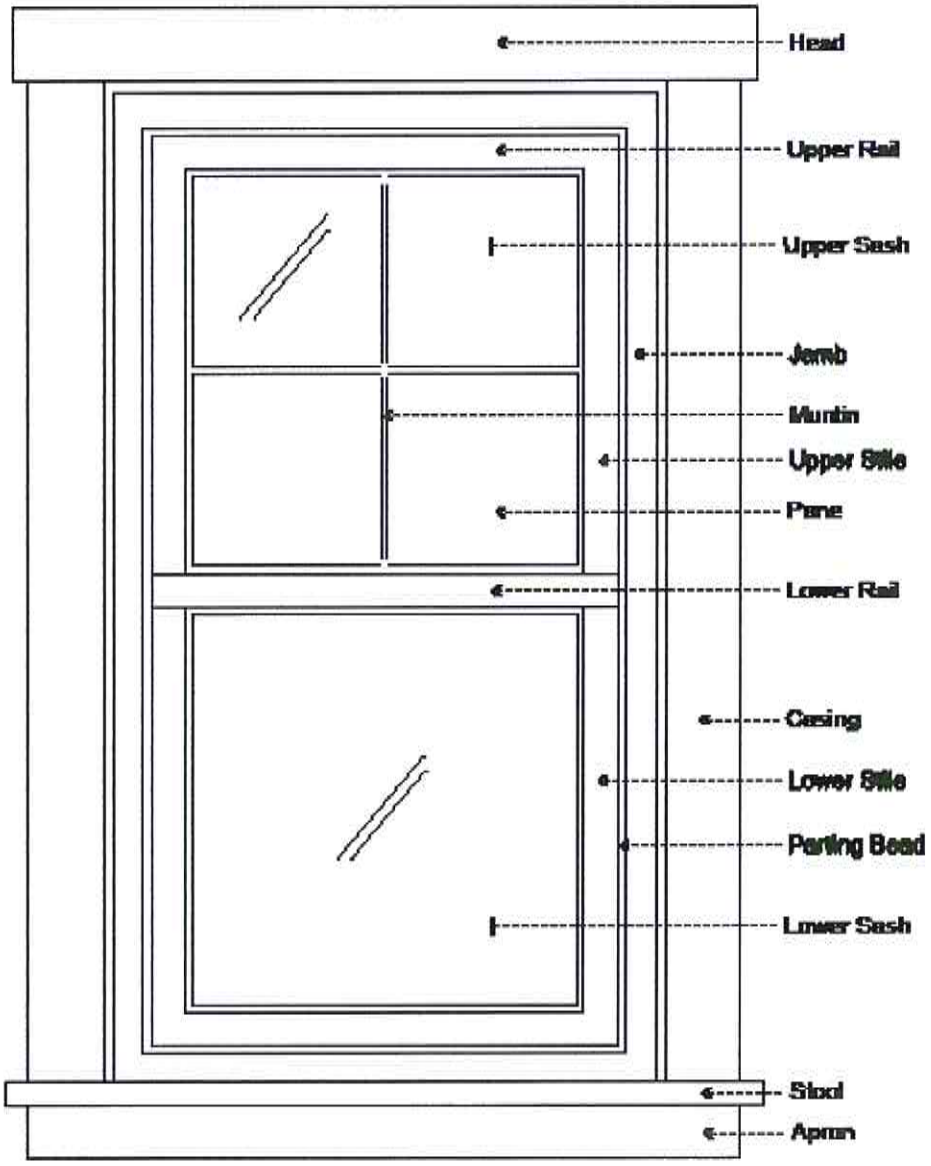
Number of doors to be replaced: 1

Door #:	*Existing Condition (Excellent, Good, Fair, Poor):*	*Describe any deficiencies:*	*Photo #:*	*Historic (50 years or older):*
	Fair			
	Fair			
1	Excellent	To be removed with restoration	17	No
2	Excellent	To be replaced with restoration	18	No
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

10. Window Survey

Basic Requirements

1. All window openings on the structure should be assigned a number and described under the same number in the survey form. Windows in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each window in detail, referring to specific parts of the window. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the window unit and associated trim. Broken glass and windows that are painted shut alone are not grounds for approving replacement.



Total number of window openings on the exterior of the structure: 10

Number of historic windows on the structure: 0

Number of existing replacement/non-historic windows 10

Number of windows completely missing: 0

Please reference assigned window numbers based on the Physical Conditions Report.

Number of windows to be replaced: 7

Window #:	*Existing Condition (Excellent, Good, Fair, Poor):*	*Describe any deficiencies:*	*Photo #:*	*Historic (50 years or older):*
A	Fair	Newer window to be removed	11	No
B	Fair	Newer window to be replaced	11	No
B	Fair	Newer window to be replaced	12	No
C	Fair	Newer window to be replaced	-	No
D	Fair	Newer window to be replaced	-	No
E	Fair	Newer window to be removed	-	No
F	Fair	Newer window to be replaced	15	No
G	Fair	Newer window to be replaced	11	No
H	Fair	Newer window to be replaced	12	No
J	Fair	Newer window to be replaced	12	No
K	Fair	Newer window to be removed	14	No
	Fair			
	Fair			

11. Interior Photographs

Use this section to describe interior conditions. Provide photographs of the interior elevations of each room. (This can be done by standing in opposite corners of a square room and capturing two walls in each photo.)

Element/Feature: Interiors

This involves: ■ An original part of the building ■ A later addition

Estimated date of construction: Varies

Describe existing feature:

Essentially all of the historic interior finishes and trim have been replaced over time

Describe any deficiencies:

Existing Condition: ☐ Excellent ■ Good ☐ Fair ☐ Poor

Interior will be gutted with renovation.

Photo Numbers: 20,21,22

Illustration Numbers: 3,4

1063 EMPIRE RESIDENCE

HISTORIC RENOVATION AND ADDITION
1063 EMPIRE AVENUE, PARK CITY, UT 84060
HISTORIC DISTRICT DESIGN REVIEW APPLICATION SET

CONSULTANTS

ARCHITECTURAL
JONATHAN DEGRAY
P.O. BOX 1674
614 MAIN STREET SUITE 302
PARK CITY, UTAH 84060
TEL. (435) 649-7263
FAX. (435) 649-7263
EMAIL: degrayarch@qwestoffice.net

LEGEND

BRICK & STONE
EARTH
CONCRETE
CONCRETE MASONRY UNIT
STEEL (LARGE SCALE)
RIGID INSULATION
ROUGH WOOD
BLOCKING
ALUMINUM (LARGE SCALE)
GRAVEL
FINISHED WOOD
BATT OR BLOWN INSULATION
PLASTER, SAND, GROUT, MORTAR
STEEL (SMALL SCALE)
BITUMINOUS PAVING
PLYWOOD
GYPSUM BOARD

OFFICE 103 — ROOM NAME / ROOM NUMBER
FLOOR, POINT ELEV.
CENTER LINE
ROUND, DIA.
CHANNEL
ANGLE
DETAIL
SECTION CUT, DETAIL
BUILDING SECTION
KEYED NOTES
WINDOW TYPE
DOOR NUMBER
REVISION
INTERIOR WALL ELEV.
WALL TYPE

CODE ANALYSIS

APPLICABLE CODES
2015 IRC 2015 IBC
2015 IPC 2015 IMC
2014 NEC 2015 IFGC
2015 IECC 2015 IFC

OCCUPANCY: R3

CONSTRUCTION TYPE: VB

BUILDING TO BE FIRE SPRINKLED: CONTRACTOR TO PROVIDE APPROVALS PRIOR TO INSTALLATION.

BACKFLOW PREVENTERS (3 TOTAL)
1. LAWN SPRINKLER SYSTEM
2. BOILER
3. FIRE SPRINKLER SYSTEM

AREA SQUARE FOOT CALCULATIONS

	EXISTING	NEW	TOTAL	REMODEL
LOWER LEVEL	300	520	820	300
MAIN LEVEL	837	342	1179	837
UPPER LEVEL	505	380	885	505
TOTAL LIVING SPACE	1642	940	2602	1642
ALLOWABLE LIVING SPACE	-	-	-	-
GARAGE	-	359	359	-
FOOTPRINT	-	1179	1179	-
ALLOWABLE FOOTPRINT	-	-	1200	-
LOT AREA	2813			
LOD FENCE	3081			
DISTURBED AREA	1129			

INDEX TO DRAWINGS

ABBREVIATIONS

A/C	AIR CONDITIONING	F.D.	FLOOR DRAIN	PR.	PAIR
ACOUST.	ACOUSTICAL	FND	FOUNDATION	R.D.	ROOF DRAIN
ADD.	ADDENDUM	FIN.	FINISH	REG.	REGULAR
ADJ.	ADJUSTABLE	FLR.	FLOOR	R.S.	ROUGH-SAWN
ALLOW.	ALLOWANCE	F.R.	FIRE RATED	RAD.	RADIUS
ALUM.	ALUMINUM	FTG.	FOOTING	REINF.	REINFORCING
APPROX.	APPROXIMATE	G	GAS	REQD.	REQUIRED
B.D.	BOARD	G.I.	GALVANIZED IRON	REV.	REVISED
B.U.	BUILT-UP	GA.	GAUGE	RM.	ROOM
B.W.	BOTH WAYS	GALV.	GALVANIZED	R.O.	ROUGH OPENING
BLDG.	BUILDING	GRD.	GRADE	S & R	SHELF AND ROD
BLK.	BLOCK	G.W.B.	GYPSUM WALL BOARD	S.C.	SOLID CORE
BRK.	BRICK	G.L.B.	GLU-LAM BEAM	SCHED.	SCHEDULE
C.I.	CAST IRON	H.B.	HOSE BIBB	SHT.	SHEET
C.J.	CONTROL JOINT	HD.	HEAD	SIM.	SIMILAR
C.M.U.	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	SPEC.	SPECIFICATION
CLG.	CEILING	HOR.	HORIZONTAL	STD.	STANDARD
COL.	COLUMN	I.D.	INSIDE DIAMETER	STL.	STEEL
COMP.	COMPACTED COMPOSITE	INT.	INTERIOR	STRUCT.	STRUCTURAL
CONC.	CONCRETE	IRRIG.	IRRIGATION	SYS.	SYSTEM
CONST.	CONSTRUCTION	INSUL.	INSULATION	T & B	TOP AND BOTTOM
CONTR.	CONTRACTOR	JB.	JAMB	T & G	TONGUE AND GROOVE
CONT.	CONTINUOUS	JNT.	JOINT	T.O.	TOP OF
D.F.	DRINKING FOUNTAIN/DOUGLAS FIR	M.R.	MOISTURE RESISTANT	T.O.F.	TOP OF FOOTING
DIA.	DIAMETER	MANF'R	MANUFACTURER	T.O.W.	TOP OF WALL
DIM.	DIMENSION	MAX.	MAXIMUM	TYP.	TYPICAL
DN.	DOWN	MECH.	MECHANICAL	T.S.	STEEL TUBE COLUMN
DWG.	DRAWING	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DTL.	DETAIL	(N)	NEW	VERT.	VERTICAL
EA.	EACH	N.I.C.	NOT IN CONTRACT	V.T.R.	VENT THRU ROOF
E.F.	EXHAUST FAN	N.T.S.	NOT TO SCALE	W.	WATER
E.I.F.S.	EXT. INSUL. FINISH SYSTEM	NO.	NUMBER	WD	WOOD
E.J.	EXPANSION JOINT	O.C.	ON CENTER	W/	WITH
ELEC.	ELECTRIC/ELECTRICAL	O.D.	OUTSIDE DIAMETER	WP.	WATERPROOF
ELEV.	ELEVATION	OF.D.	OVERFLOW DRAIN	W.R.	WATER RESISTANT
EQ.	EQUAL	OPNG	OPENING	W.H.	WATER HEATER
E.T.	EXPANSION TANK	PLWD.	PLYWOOD	W.S.	WATER SOFTENER
EXIST. (E)	EXISTING	PNT.	PAINT	W.W.F.	WELDED WIRE FABRIC
EXT.	EXTERIOR	PNTD.	PAINTED	W.W.M.	WOVEN WIRE MESH

GENERAL NOTES

1. THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

2. THESE SHEETS - LISTED BY DRAWING INDEX , ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR OCCUPANCY AND USE.

3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

4. ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

5. IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.

6. ANY INSTALLATION, FINISH, OR COMPONENT INTENDED TO PROVIDE ENCLOSURE, WEATHER ABILITY OR APPEARANCE QUALITY SHALL BE PRODUCED AS A REPRESENTATIVE SAMPLE PRIOR TO PROCEEDING WITH COMPLETION. WORK PERFORMED WITHOUT WRITTEN APPROVAL OF SUCH SAMPLE BY THE ARCHITECT/ENGINEER SHALL BE DONE AT THE RISK OF THE CONTRACTOR. A MINIMUM OF TWO (2) WORKING DAYS NOTICE SHALL BE GIVEN.

7. ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.

8. BUILDING DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE 2012 IRC AND AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT SHALL BE ACCOMMODATED BY THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION.

9. ALL 2/5 lb. GAS PIPE SYSTEM METER SETS REQUIRES PRIOR APPROVAL FROM QUESTAR GAS COMPANY. PROVIDE A LETTER FROM QUESTAR APPROVING SYSTEM.

10. ALL FIELD WELDING OR TORCH WORK, WILL REQUIRE A SEPARATE "HOT WORK" PERMIT PRIOR TO BEGINNING WORK. IFC 105.6.11

Jonathan DeGray
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Tel. 435-649-7263, E-mail: degrayarch@qwestoffice.net

1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

PROJECT DESCRIPTION:

SHEET DESCRIPTION: COVER SHEET

REVISIONS:

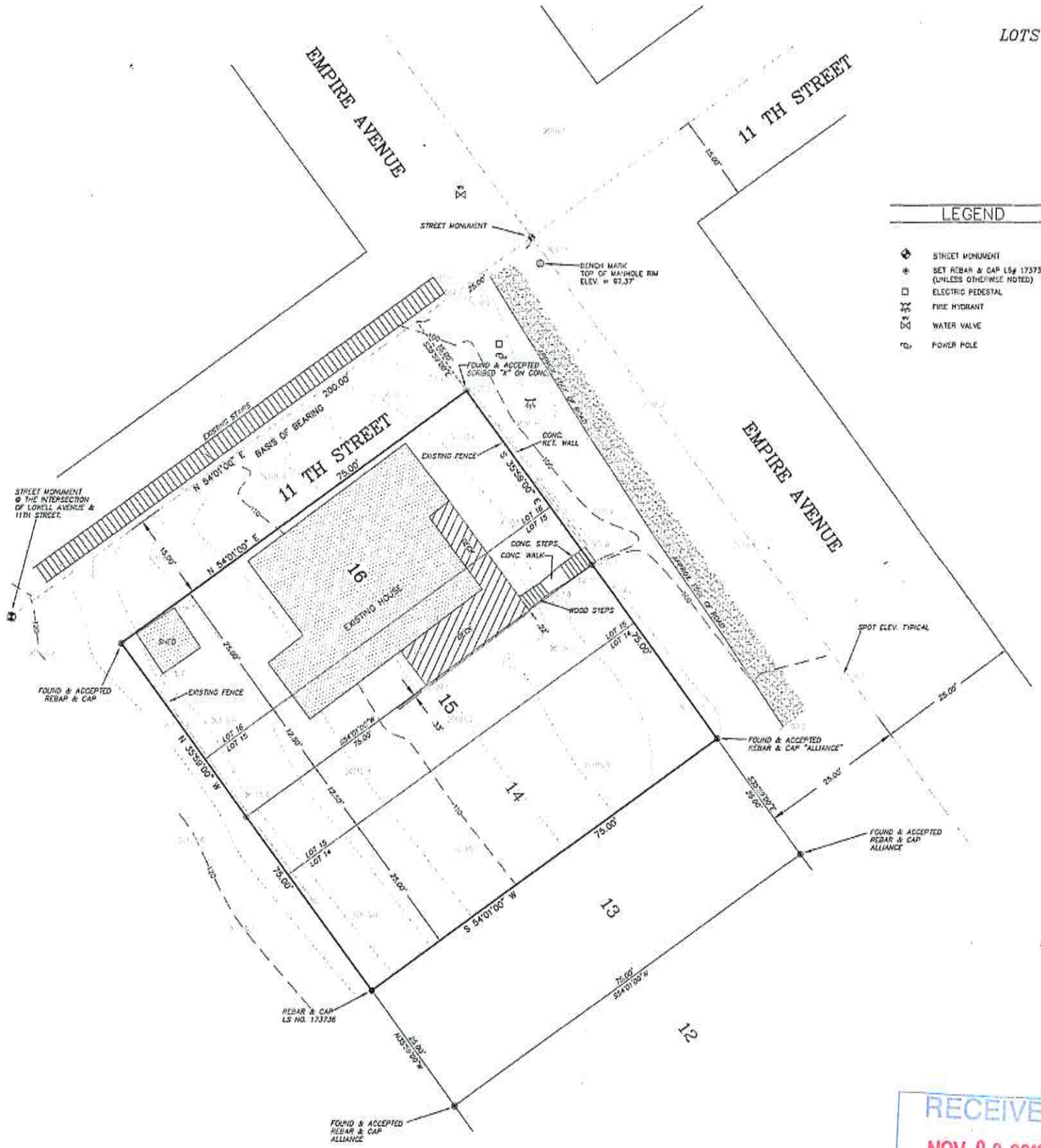
DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: Aa

RECORD OF SURVEY & TOPOGRAPHIC MAP

LOTS 14, 15 & 16, BLOCK 28 OF THE SNYDERS ADDITION TO PARK CITY SURVEY
LYING WITHIN THE NORTHWEST QUARTER OF
SECTION 16, TOWNSHIP 2 SOUTH, RANGE 4 EAST
SALT LAKE BASE & MERIDIAN
SUMMIT COUNTY, UTAH



LEGEND

- STREET MONUMENT
- SET REBAR & CAP LS# 173736 (UNLESS OTHERWISE NOTED)
- ELECTRIC PEDESTAL
- FIRE HYDRANT
- WATER VALVE
- POWER POLE

NORTH

SCALE 1" = 10'

NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO LOCATE THE BOUNDARY LINES OF THE SUBJECT PROPERTY AND TO OBTAIN GROUND ELEVATIONS FOR A CONTOUR MAP PRIOR TO DEVELOPMENT BY THE OWNER.

EXISTING SURVEY MONUMENTS IN ADJACENT ROADWAYS AND LOTS WERE USED TO REESTABLISH THE PROPERTY CORNERS.

THE BASIS OF BEARING IS SHOWN HEREON.

SURVEY COMPLETED: 2/18/04

SEE THE OFFICIAL SNYDERS ADDITION TO PARK CITY SUBDIVISION PLAT FOR ANY EASEMENTS, SETBACK REQUIREMENTS, BUILDING ENVELOPES AND BUILDING LOT RESTRICTIONS.
NOTE: OTHERS MAY APPLY.

THE OWNER OF THE PROPERTY SHOULD BE AWARE OF ANY ITEMS AFFECTING THE PROPERTY THAT MAY APPEAR IN A TITLE INSURANCE REPORT; THE SURVEYOR HAS FOUND NO OBVIOUS EVIDENCE OF EASEMENTS, ENCROACHMENTS, OR ENCUMBRANCES ON THE PROPERTY SURVEYED, EXCEPT AS SHOWN HEREON.

EVIDENCE FOR THIS SURVEY WAS TAKEN FROM RECORDED DEEDS, RECORDS OF SURVEYS, PLATS AND PHYSICAL EVIDENCE OBTAINED IN THE FIELD. ALL EVIDENCE HAS BEEN CONSIDERED IN THE ESTABLISHMENT OF THE BOUNDARY AS SHOWN HEREON.

SURVEY WAS PERFORMED WITH APPROXIMATELY THREE FEET OF SNOW ON THE GROUND COVERING THE ENTIRE PROPERTY.
ANY VISIBLE UTILITIES OR IMPROVEMENTS ARE SHOWN HEREON, HOWEVER IT IS POSSIBLE THAT SOME NATURAL FEATURES, UTILITIES AND IMPROVEMENTS MAY HAVE BEEN OBSCURED.

LEGAL DESCRIPTION

PARCEL 1:

THE NORTH 1/2 OF LOT 15 AND ALL OF LOT 16, BLOCK 28, SNYDER'S ADDITION TO PARK CITY; ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE AND OF RECORD IN THE SUMMIT COUNTY RECORDER'S OFFICE.

PARCEL 2:

THE SOUTH 1/2 OF LOT 15 AND ALL OF LOT 14, BLOCK 28, SNYDER'S ADDITION TO PARK CITY; ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE AND OF RECORD IN THE SUMMIT COUNTY

AS SURVEYED DESCRIPTION

Commencing at a street monument in the Intersection of 11th Street and Empire Avenue; thence along the monument line of 11th Street, S.54°01'00"W., a distance of 25.00 feet, (basis of bearing being said line); thence leaving said line, S.35°59'00"E., a distance of 15.00 feet to the POINT OF BEGINNING said point being the northeasterly corner of Block 28 of the Snyder's Addition to the Park City Survey; thence along the easterly line of said Block 28, S.35°59'00"E., a distance of 75.00 feet to the northeasterly corner of Lot 13 of said subdivision; thence leaving said line and along the northwesterly line of said Lot 13, S.54°01'00"W., a distance of 75.00 feet to the northwest corner of said Lot 13; thence leaving said northerly line and along the westerly line of Lots 14, 15 and 16 of said subdivision ,N.35°59'00"W., a distance of 75.00 feet to the northerly line of said Block 28; thence along said northerly line, N.54°01'00"E., a distance of 75.00 feet to the POINT OF BEGINNING.

Containing 5,625.00 square feet or 0.1291 acres, more or less.

SURVEYOR'S CERTIFICATE

I, ROBERT W. POHL, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 173736 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT A SURVEY HAS BEEN MADE OF THE LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW.

ROBERT W. POHL — DATE: 7/15/04

RECEIVED
NOV 03 2016
PARK CITY
PLANNING DEPT.

S0005014 Bk00000 Pg00000-00000
PLAT SUMMIT COUNTY, UTAH RECORDER
2004 JUL 26 08:57 AM FEE $10.00 BY GSB
REQUEST: PARK CITY SURVEYING

PARK CITY SURVEYING
P.O. BOX 3003
PARK CITY, UTAH 84060
(801) 649-3813

DATE	BY	REVISIONS COMMENTS

STATE OF UTAH
ROBERT W. POHL
No. 173736
PROFESSIONAL LAND SURVEYOR

SURVEYED BY: POHL
DRAWN BY: POHL
DATE: FEBRUARY 18, 2004

JOB NO. JAMIE THOMAS
FILE NO. B28L1516.DWG
PROJ. NO. 04-03

RECORD OF SURVEY & TOPOGRAPHIC MAP
LOT'S 14, 15 & 16, BLOCK 28 SNYDER'S ADDITION

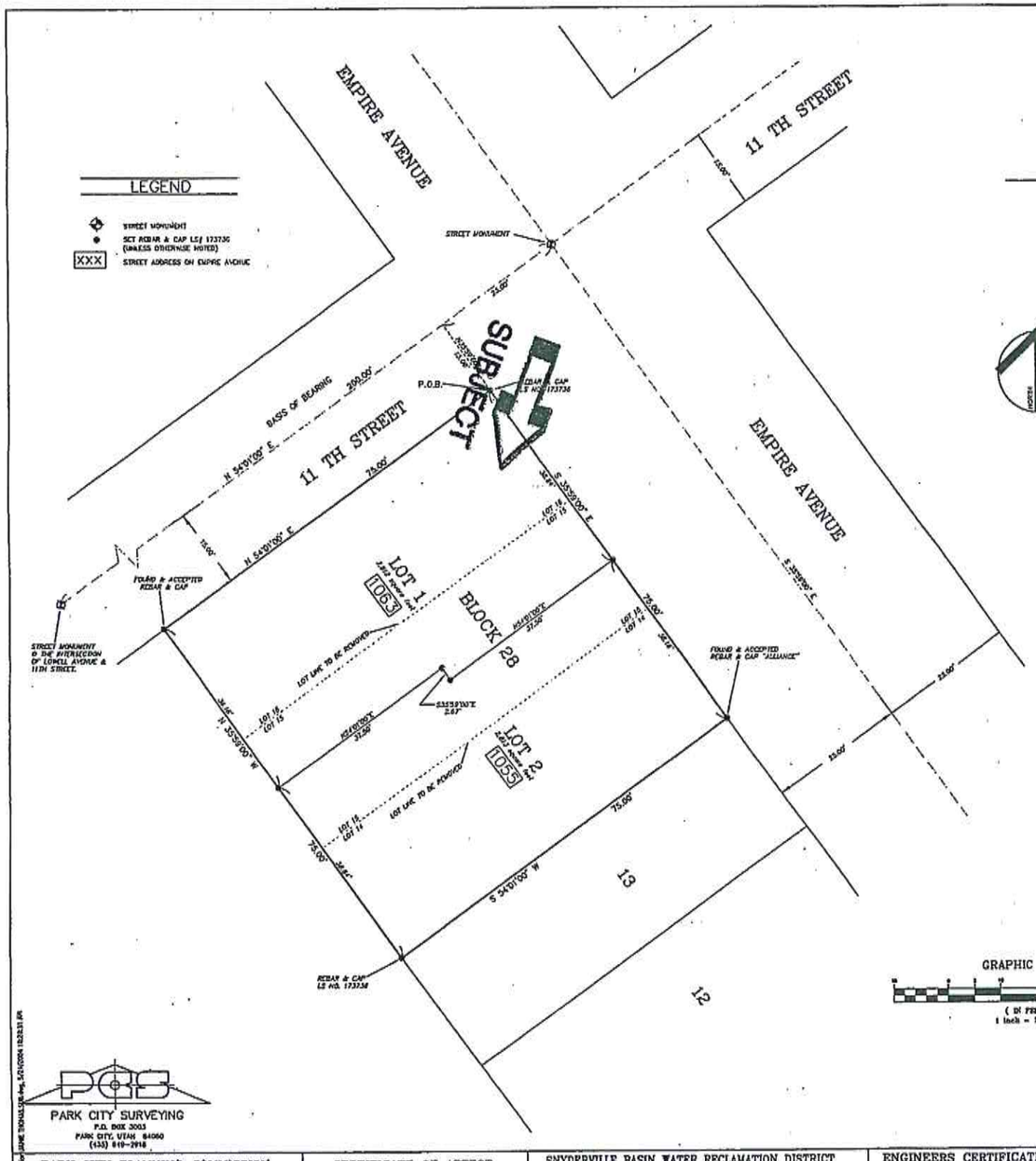
SHEET 1 OF 1

S-5014

F:\DYSOLDTOWN\Snyders Addition\B28L15-15.dwg, 6/7/14/2004 10:27:56 PM

FLODEN SUBDIVISION PLAT

LYING WITHIN BLOCK 28 OF THE
SNYDERS ADDITION TO
PARK CITY PLAT
SUMMIT COUNTY, UTAH



OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS THAT, the undersigned owner(s) of the herein described tract of land, to be known hereafter as the FLODEN SUBDIVISION PLAT, do hereby certify that I have caused this Plat to be prepared, and I/we, Bengt Magnus Floden, hereby consent(s) to the recordation of this Plat.

ALSO, the owner(s), or his/her representatives, hereby irrevocably offers for dedication to the City of Park City all the streets, land for local government uses, easements, parks, and required utilities and easements shown on this plat and construction drawings in accordance with and irrevocable of dedication.

In witness whereof, I have hereunto set my hand this 15th day of June 2004.

Bengt Magnus Floden

ACKNOWLEDGMENT

State of Utah
County of Summit

On this 15th day of JUNE 2004, personally appeared before me, the undersigned Notary Public, in and for said County of Summit, in said State of Utah, Bengt Magnus Floden the person that executed the within instrument and known to me to be (or proved to me on the basis of satisfactory evidence) the person who executed this within instrument on behalf of said person, being duly sworn acknowledged to me that he is the owner of the herein described tract of land and he signed the above Owner's Dedication and Consent to Record freely and voluntarily.

(LAWYER CERTIFIED FOR PERSONNEL & EMPLOYMENT UNDER THE STATE & FEDERAL LAWS OF AUSTRALIA)

Notary Public

My commission expires MARCH 2005 | DELINEATIONS

LINDA BERRY
525 Collins St, Melbourne
A current Practitioner within the
Meaning of the Legal Practice Act 1996

SURVEYOR'S CERTIFICATE

I, Robert W. Ford, certify that I am a Registered Land Surveyor and that I hold Certificate No. 173736, as prescribed by the laws of the State of Utah, and this Lot Line Adjustment Plat was prepared under my direction in accordance with the requirements of Park City Municipal Corporation. I further certify that the property boundaries as shown are correct.

Robert W. Ford
LS 173736

5/29/09
Date

STATE OF UTAH
ROBERT W. FORD
173736
5/29/09
REGISTERED LAND SURVEYOR

LEGAL DESCRIPTION

PARCEL 1:

THE NORTH 1/2 OF LOT 15 AND ALL OF LOT 16, BLOCK 28, SNYDER'S ADDITION TO PARK CITY ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE AND OF RECORD IN THE SUMMIT COUNTY RECORDER'S OFFICE.

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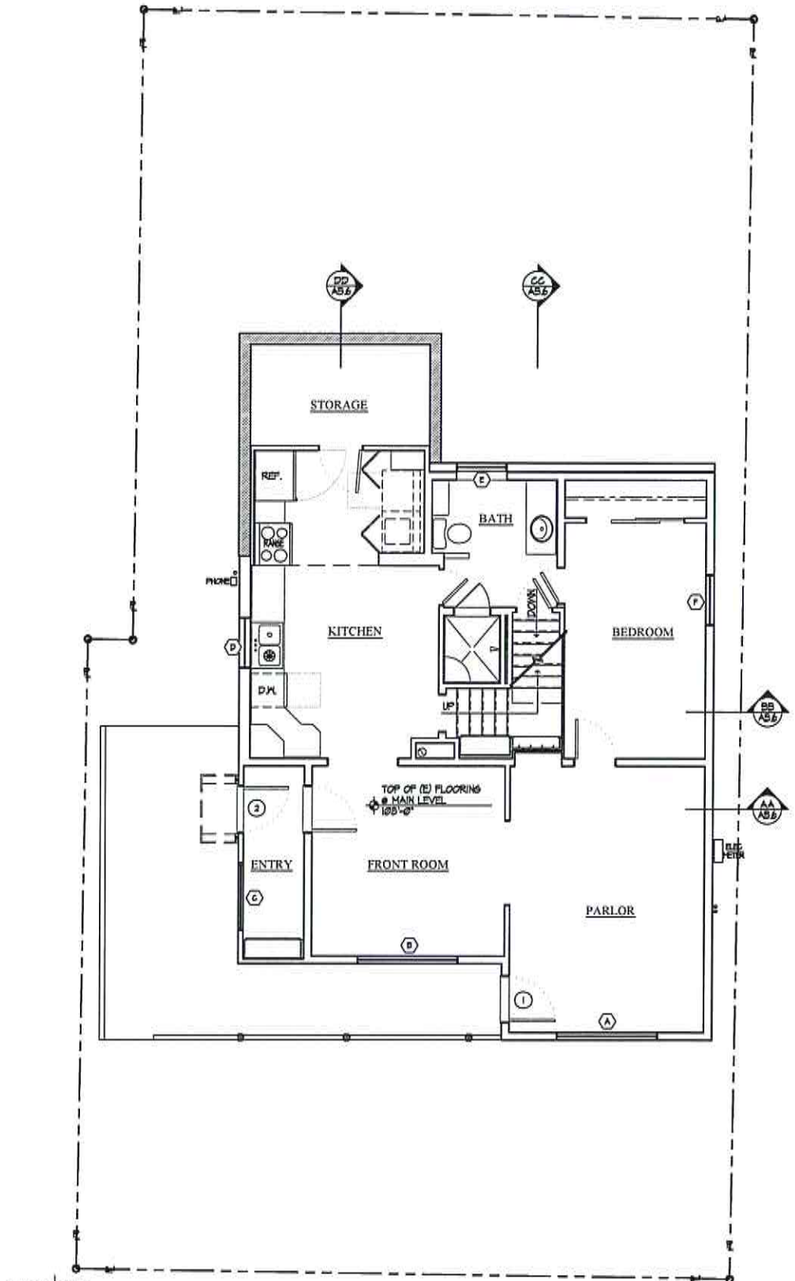
Containing 5,625.00 square feet or 0.1291 acres, more or less.

PARK CITY SURVEYING
P.O. BOX 3003
PARK CITY, UTAH 84060
(435) 615-2918

PAGE 1 of 1

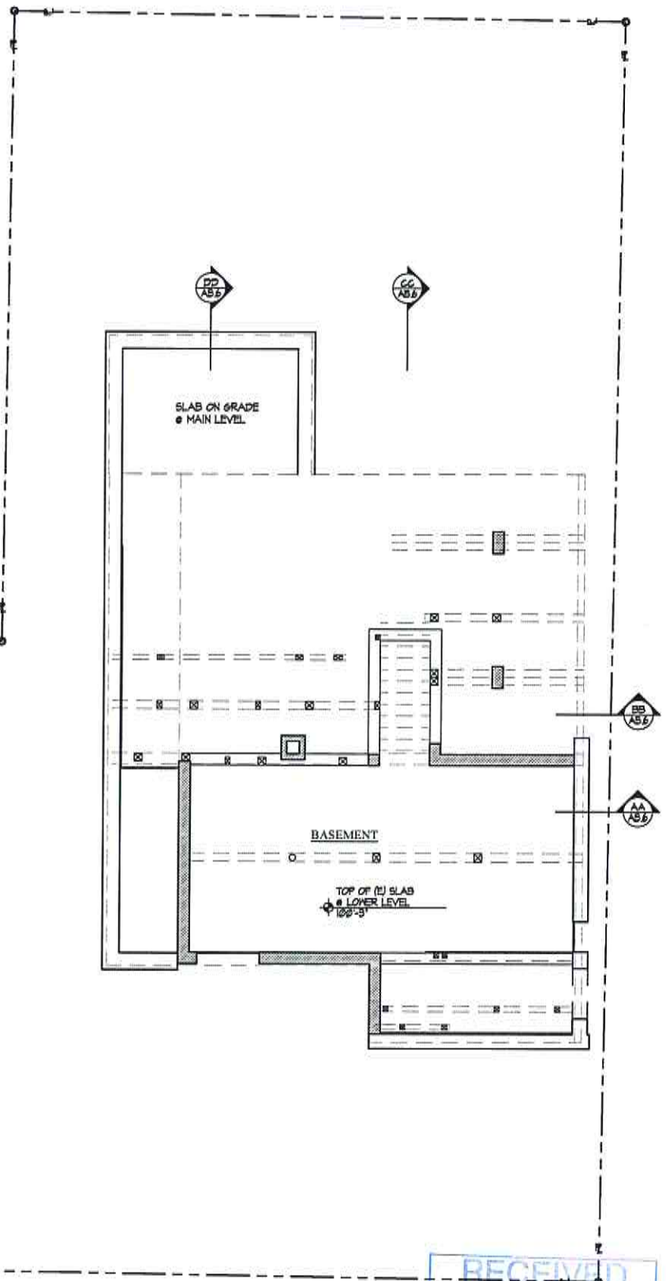
PARK CITY PLANNING COMMISSION	CERTIFICATE OF ATTEST	SNYDERVILLE BASIN WATER RECLAMATION DISTRICT	ENGINEERS CERTIFICATE	APPROVAL AS TO FORM	COUNCIL APPROVAL AND ACCEPTANCE	# 703695 RECORDED
APPROVED AND ACCEPTED BY THE PARK CITY PLANNING COMMISSION ON THIS 1st DAY OF July A.D. 2004. CHAIRMAN	I CERTIFY THIS RECORD OF SURVEY MAP WAS APPROVED BY PARK CITY COUNCIL THIS 1st DAY OF July A.D. 2004 A.D. BY Judith A. Scott PARK CITY RECORDER	REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS 22nd DAY OF June 2004 A.D. BY S.B.W.R.D.	I FIND THIS PLAT TO BE IN ACCORDANCE WITH INFORMATION ON FILE IN MY OFFICE THIS 2nd DAY OF JULY 2004 A.D. BY PARK CITY ENGINEER	APPROVED AS TO FORM THIS 1st DAY OF July 2004 A.D. BY PARK CITY ATTORNEY	APPROVAL AND ACCEPTANCE BY THE PARK CITY COUNCIL THIS ___ DAY OF ___ 2004 A.D. BY MAYOR	STATE OF UTAH COUNTY OF SUMMIT AND FILED AT THE REQUEST OF Equitable Title DATE 7-01-04 TIME 8:54 A.M. BOOK --- PAGE --- $ 32.00 FEE Kimberly Bruce, Deputy RECORDER

RECEIVED
NOV 03 2016
PARK CITY PLANNING DEPT.



PROJECT NORTH 89°45' NORTH

2 AS BUILT MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



PROJECT NORTH 89°45' NORTH

1 AS BUILT LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"

Jonathan DeGray
Architect
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1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

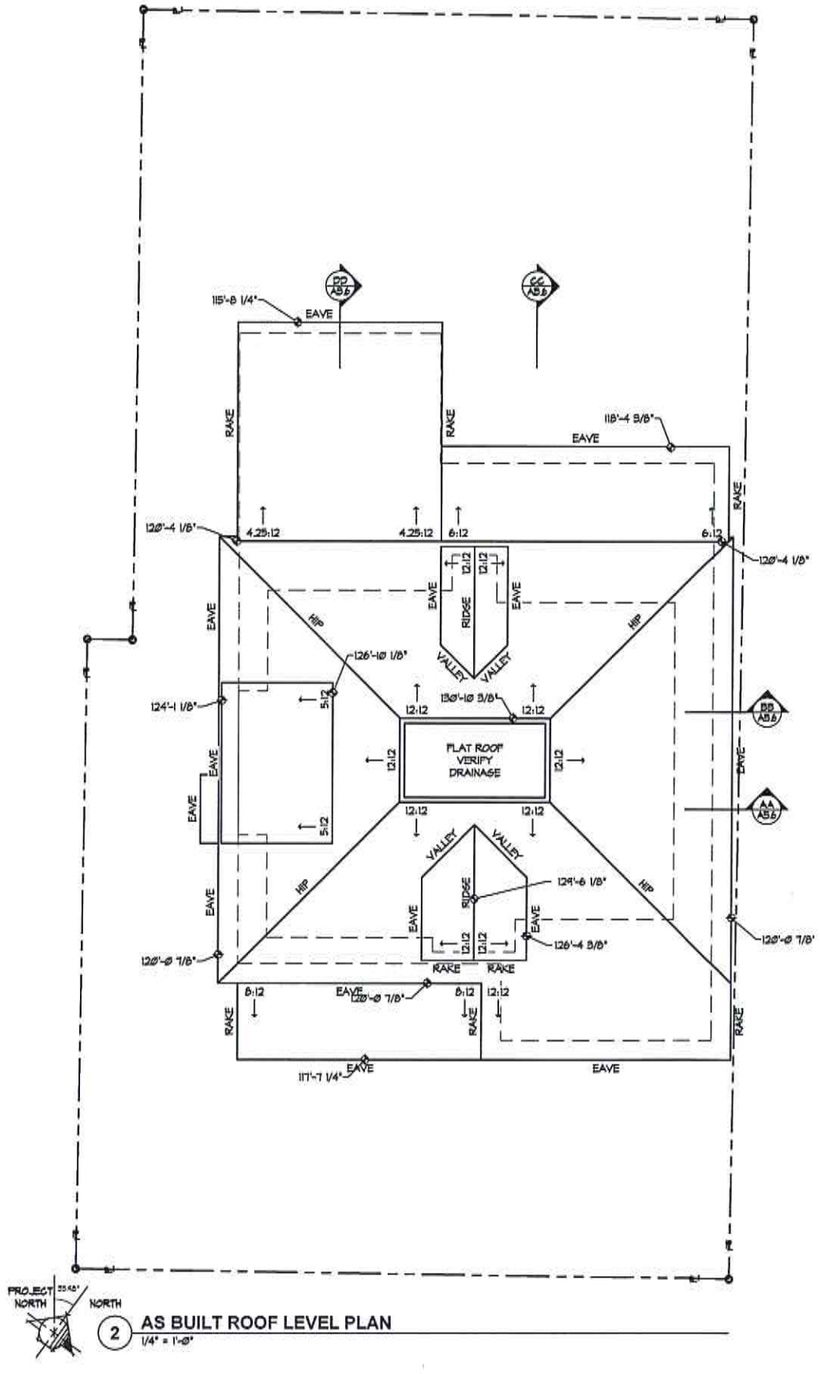
AS BUILT
LOWER LEVEL FLOOR PLAN
MAIN LEVEL FLOOR PLAN

REVISIONS:

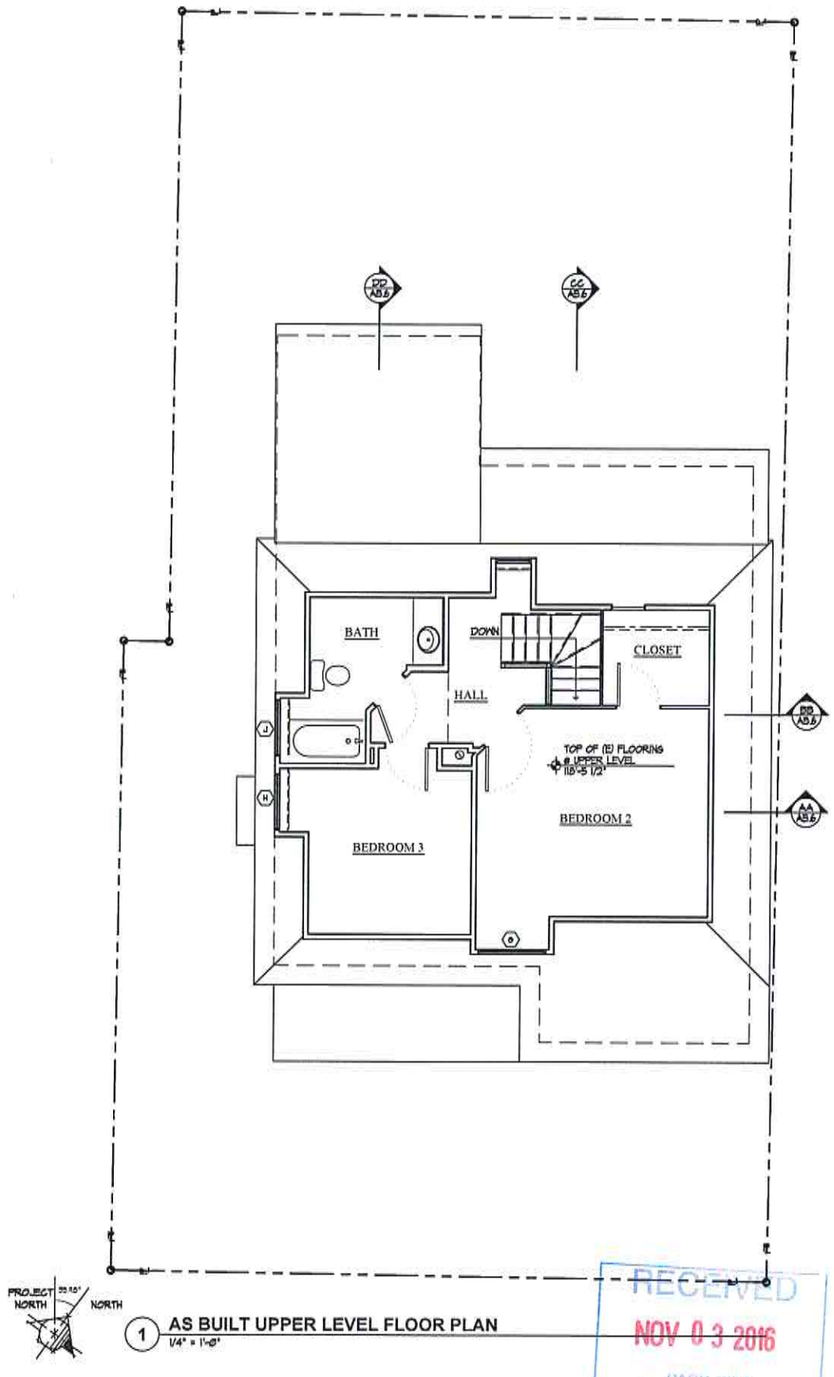
DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: AB.1



2 AS BUILT ROOF LEVEL PLAN
1/4" = 1'-0"



1 AS BUILT UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

RECEIVED
NOV 03 2016
PARK CITY
PLANNING DEPT.

Jonathan DeGray
Architect
P.O. Box 1674, 514 Main Street, Suite 302, Park City, Utah 84060
Tel. 435-649-2263, E-mail: degrayarch@overlandfox.net

PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

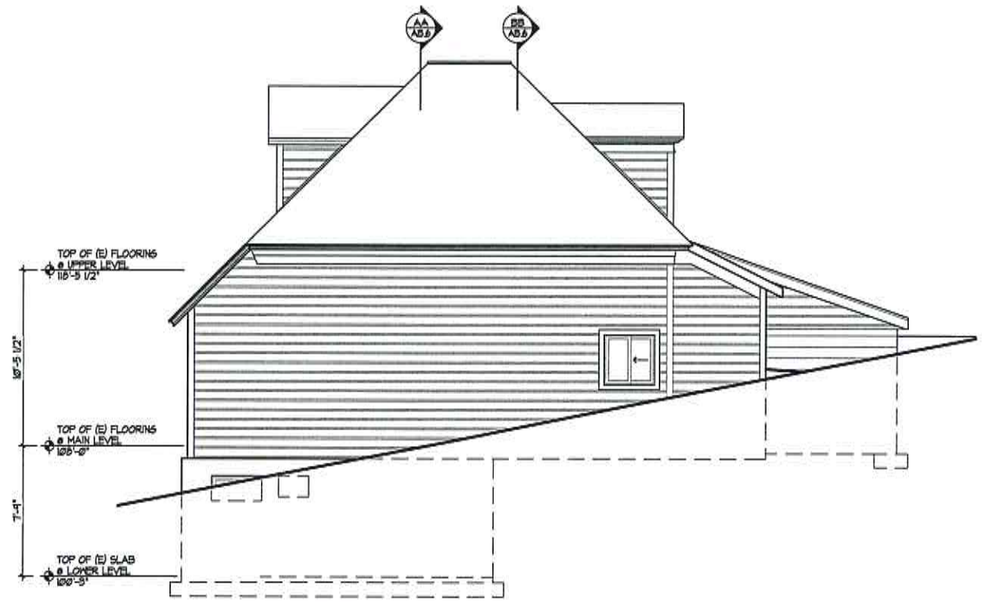
SHEET DESCRIPTION:
AS BUILT
UPPER LEVEL FLOOR PLAN
ROOF LEVEL PLAN

REVISIONS:

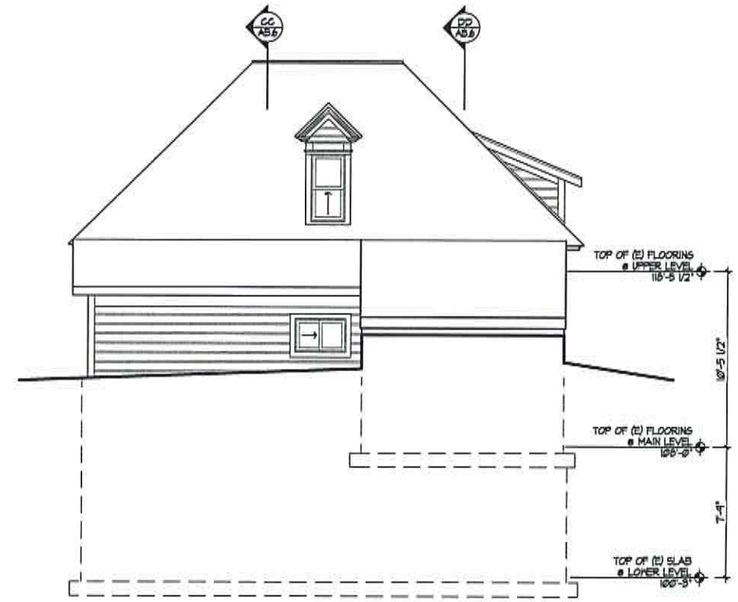
DATE:
10/31/16

PROJECT NUMBER:

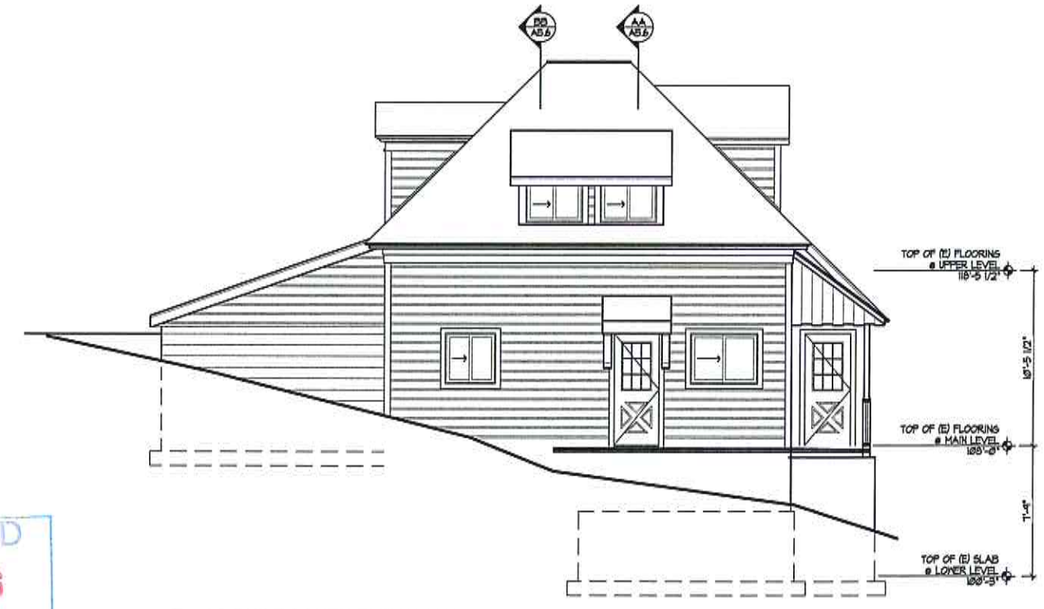
SHEET NUMBER:
AB.2



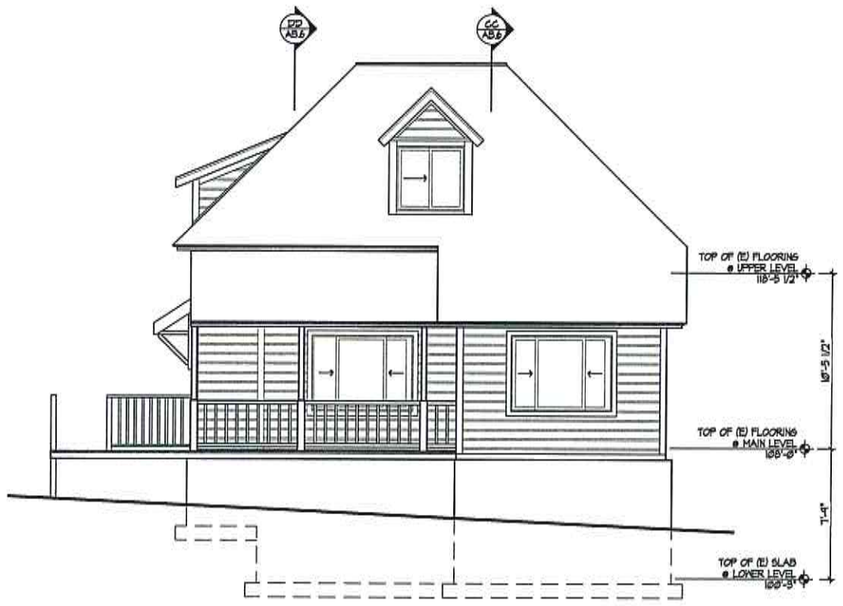
4 AS BUILT NORTH ELEVATION
1/4" = 1'-0"



3 AS BUILT WEST ELEVATION
1/4" = 1'-0"



2 AS BUILT SOUTH ELEVATION
1/4" = 1'-0"



1 AS BUILT EAST ELEVATION
1/4" = 1'-0"

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

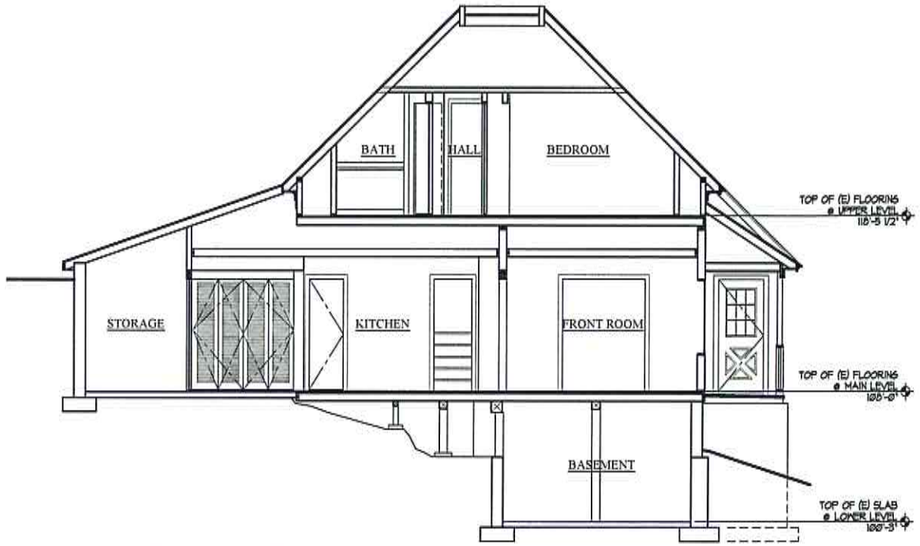
SHEET DESCRIPTION:
AS BUILT
EXTERIOR ELEVATIONS

REVISIONS:

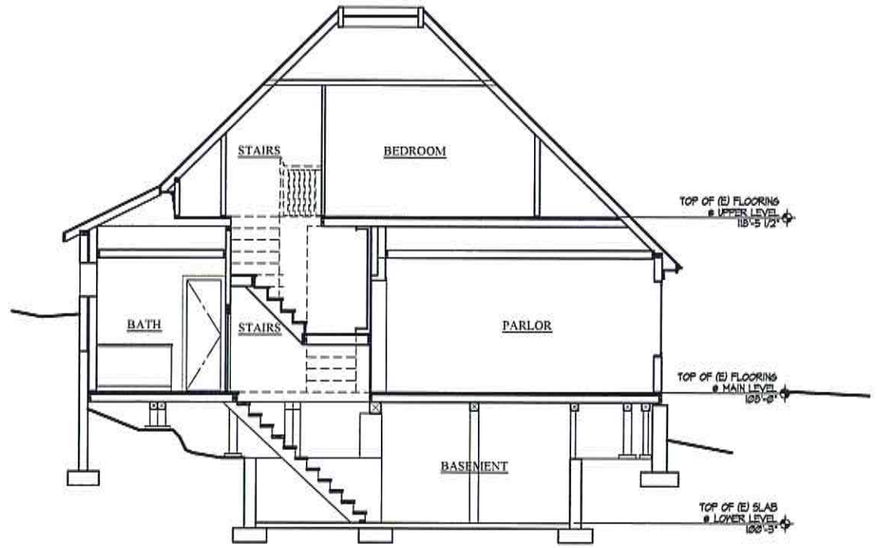
DATE:
10/31/16

PROJECT NUMBER:

SHEET NUMBER:
AB.3



DD AS BUILT BUILDING SECTION
1/4" = 1'-0"



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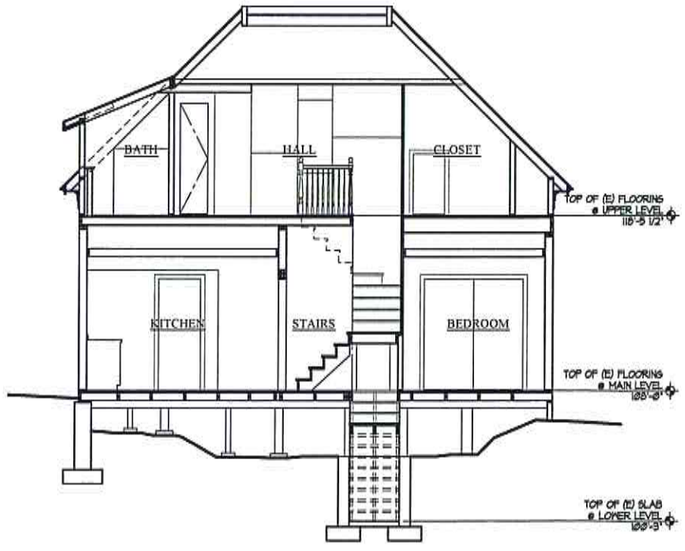
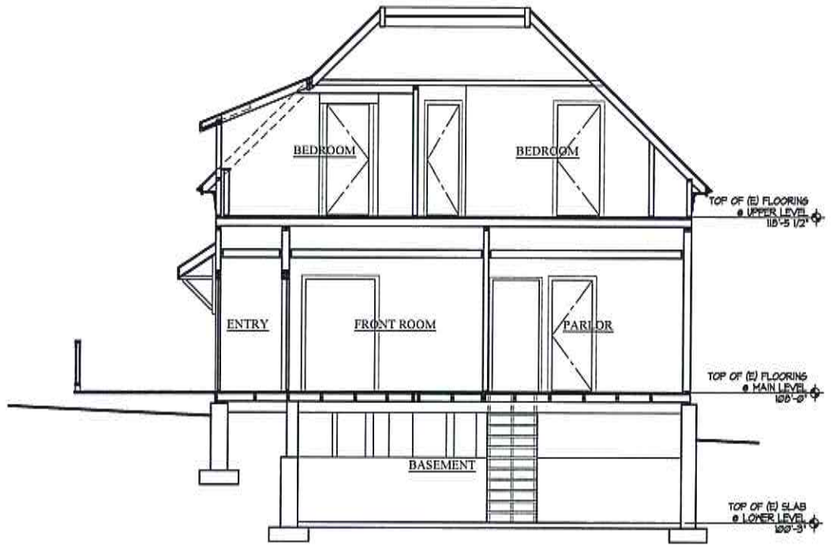
1/4" = 1'-0"



BB AS BUILT BUILDING SECTION
1/4" = 1'-0"



AA AS BUILT BUILDING SECTION
1/4" = 1'-0"

Jonathan DeGray
Architect
P.O. Box 1974, 614 Main Street, Suite 302, Park City, Utah 84060
Tel. 435-649-7253, E-mail: degrayaia@qwestoffice.net

PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

SHEET DESCRIPTION:
AS BUILT
BUILDING SECTIONS

REVISIONS:

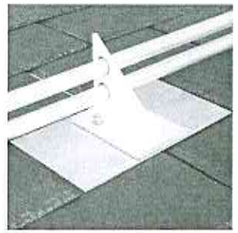
DATE:
10/31/16

PROJECT NUMBER:

SHEET NUMBER:
AB.4

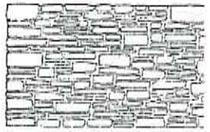
PROJECT NORTH 35.16° NORTH

3 AERIAL PHOTO OF PROPOSED SITE
1" = 100'



SNOW RETENTION BARS TO BE ALPINE SNOW GUARDS PP125 OR EQUAL. INSTALL PER MANUFACTURERS DIRECTIONS @ 30" O.C.

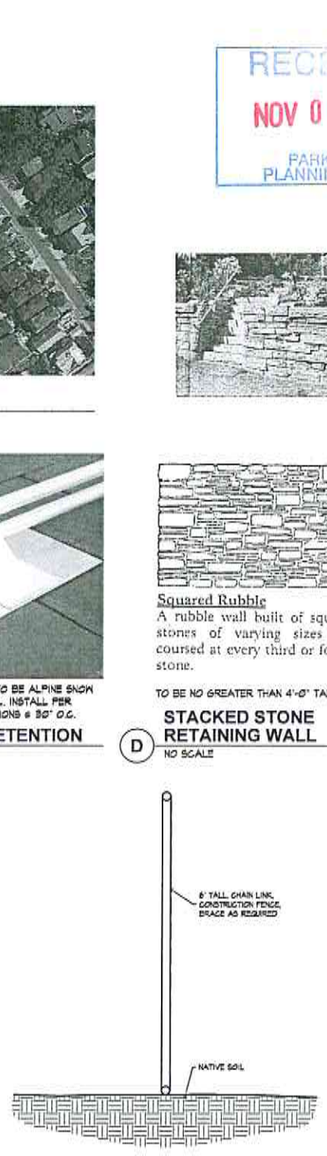
C SNOW RETENTION
NO SCALE



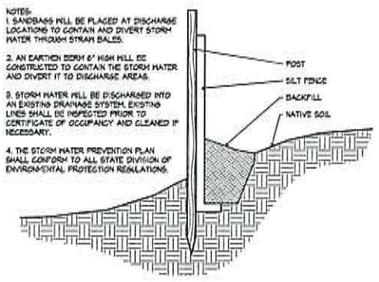
Squared Rubble
A rubble wall built of squared stones of varying sizes and coursed at every third or fourth stone.

TO BE NO GREATER THAN 4'-0" TALL

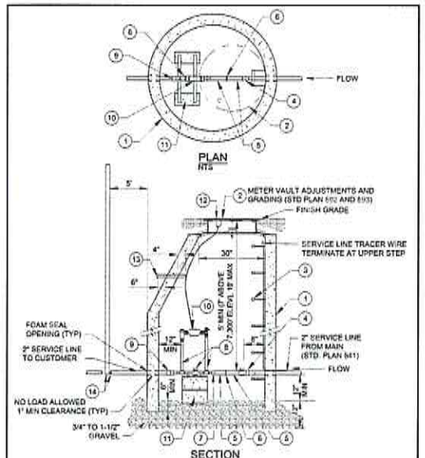
D STACKED STONE RETAINING WALL
NO SCALE



B CONSTRUCTION FENCE SECTION
NO SCALE



A SILT FENCE SECTION
NO SCALE



NOTES:
1. REFER TO STD. PLAN 520 FOR GENERAL REQUIREMENTS - METER, METER VAULT, AND SERVICE LINE.
2. REFER TO STD. PLAN 524 S FOR LEGEND ITEMS, APPROVED PARTS LIST, AND DETAIL NOTES.

PARK CITY WATER	DATE	1-1/2" AND 2" SINGLE METER OUTSIDE SETTING	STD. PLAN
PARK CITY MUNICIPAL CORPORATION	11/2016		
	REV.		524
	C		

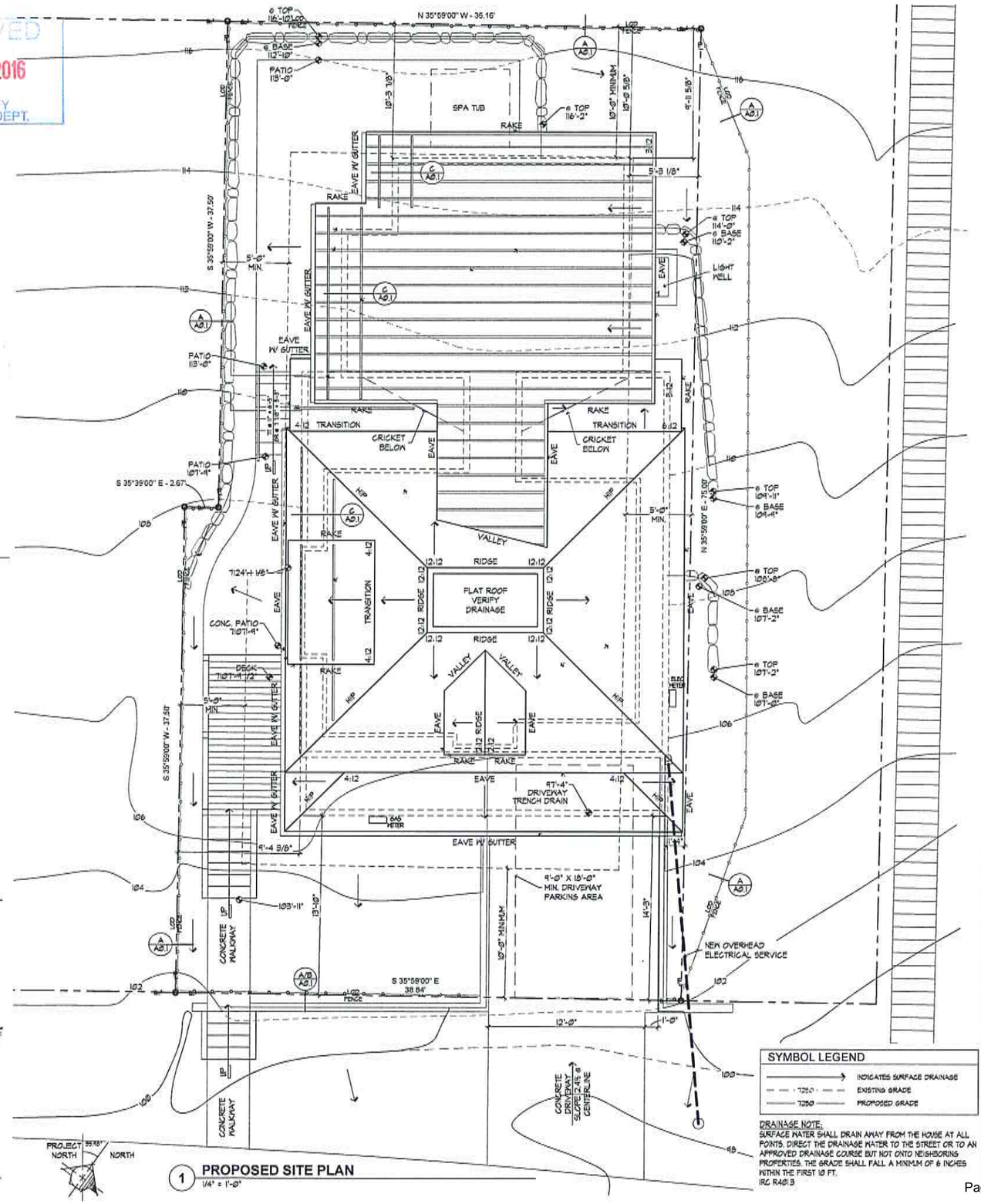
LEGEND AND APPROVED PARTS LIST

ITEM	DESCRIPTION	ACCEPTABLE MANUFACTURER	MODEL#
①	5' DIA. MANHOLE, PRECAST CONCRETE ECCENTRIC CONE AND WALL SECTIONS		ASTM C 478
②	METER VAULT FRAME AND COVER (STD. PLAN 523)		
③	POLYPROPYLENE ENCASED GRADE 60 STEEL STEPS AT 13" O.C. 13-1/2" TREAD WIDTH	M.A. INDUSTRIES OR APPVD EQ.	PS2-PFDF
④	2" CURB VALVE, F.IP. x CTS	MUELLER	B-25172N
⑤	2" DIA. BRASS NIPPLE x 4" LENGTH, M.I.P.		
⑥	2" BRONZE UNION, F.I.P., THREADED		
⑦	1-1/2" BRASS NIPPLE x 4" LENGTH, 2" x 1-1/2" BRONZE BELL REDUCER AND 1-1/2" CLOSE BRASS NIPPLE (1-1/2" YOKE ONLY)		
⑧	1-1/2" METER YOKE COMMERCIAL SERVICE: WITH BYPASS RESIDENTIAL SERVICE: WITHOUT BYPASS IRRIGATION SERVICE: WITHOUT BYPASS	MUELLER	1-1/2"x15" B2423-2-01N (WITH BYPASS) 1-1/2"x15" B2422-2N (WITHOUT BYPASS)
		FORD	1-1/2" VBHH76-150-11-NL (WITH BYPASS) 1-1/2" VBHH76-15-11-NL (WITHOUT BYPASS)
	2" METER YOKE COMMERCIAL SERVICE: WITH BYPASS RESIDENTIAL SERVICE: WITHOUT BYPASS IRRIGATION SERVICE: WITHOUT BYPASS	MUELLER	2"x15" B2423-2-01N (WITH BYPASS) 2"x15" B2422-2N (WITHOUT BYPASS)
		FORD	2" VBHH77-150-11-77-NL (WITH BYPASS) 2" VBHH77-15-11-77-NL (WITHOUT BYPASS)
⑨	2" CONNECTION, F.I.P. x CTS AND 2" BRASS NIPPLE x 4" LENGTH (OUTLET); 1-1/2" YOKE ONLY: ADD 2"x1-1/2" BRONZE BELL REDUCER AND 1-1/2" CLOSE BRASS NIPPLE	MUELLER	H-15451N
		FORD	C-14-66-G-NL
⑩	METER, SUPPLIED AND INSTALLED BY PCMC		
⑪	PIPE SUPPORTS (4) 16"x8"x7" CMU BLOCK, (2) METER SUPPORT RODS, GALVANIZED		
⑫	MXU AND WIRING, SUPPLIED AND INSTALLED BY PCMC		
⑬	MXU REMOTE LOCATION CONDUIT WITH END CAPS, SCH 40 PVC (STD. PLAN 531)		
⑭	END CAP AND MARKER, CTS x F.I.P. (OUTLET)		H-15451N AND H-15035N

DETAIL NOTES

1. LOCATE METER VAULT PER APPROVED PLANS AND SET METER BOX PLUMB
2. SST INSERT STIFFENERS REQUIRED ON ALL CTS TUBING CONNECTIONS

PARK CITY WATER	DATE	1-1/2" and 2" SINGLE METER OUTSIDE SETTING	STD. PLAN
PARK CITY MUNICIPAL CORPORATION	3/2014		
	REV.		524 S



1 PROPOSED SITE PLAN
1/4" = 1'-0"

SYMBOL LEGEND

INDICATES SURFACE DRAINAGE
7250 EXISTING GRADE
7250 PROPOSED GRADE

DRAINAGE NOTE:
SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT.
IRC R401.3

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

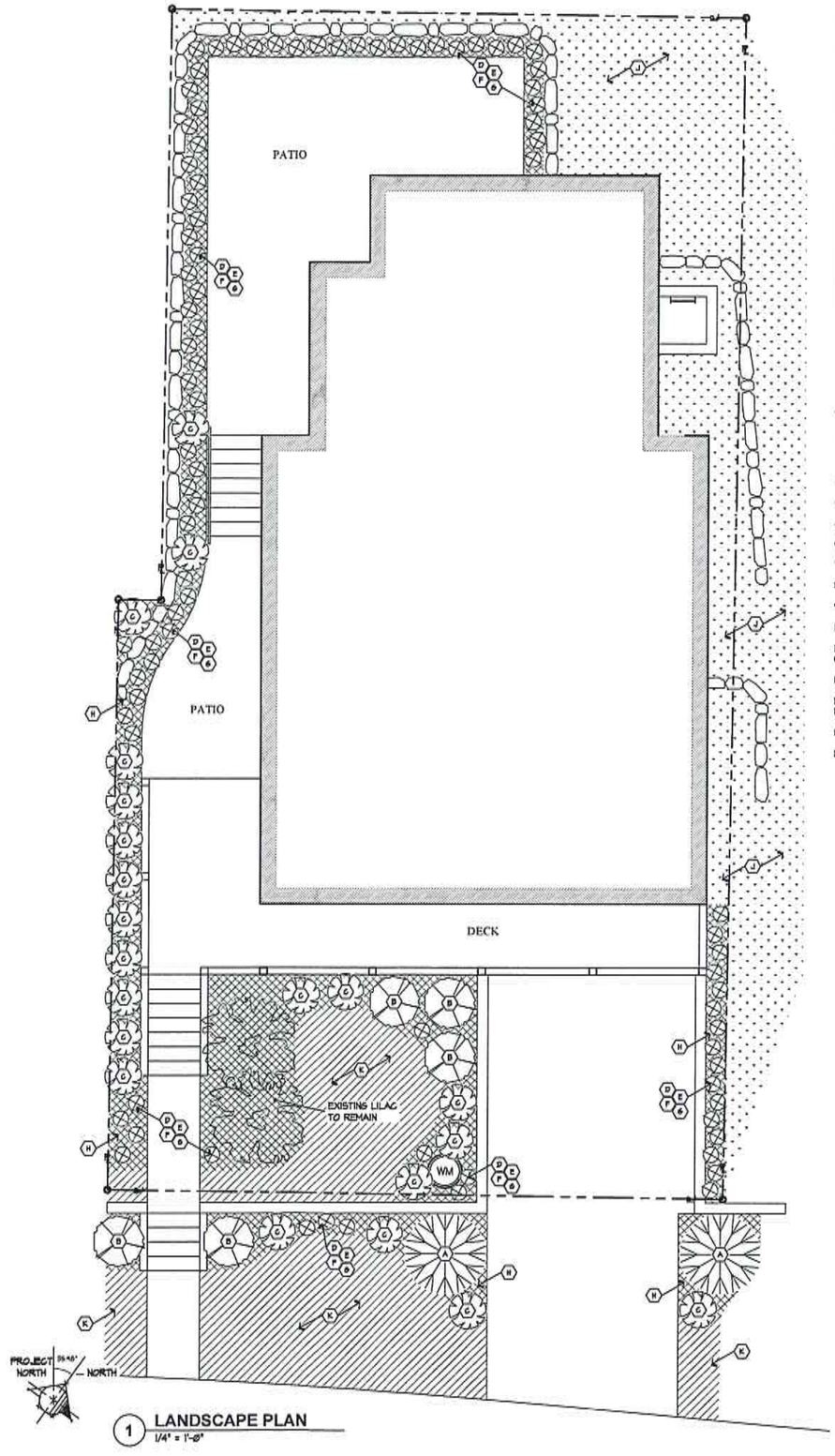
SHEET DESCRIPTION:
PROPOSED SITE PLAN

REVISIONS

DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A0.1



PLANT SCHEDULE

SYMBOL	KEY	QUANITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	COMMENTS
DECIDUOUS TREES							
	A	2	Colorado Blue Spruce	Picea pungens	3" Dia.	6'-10'	6' - 8' tall
	B	5	Aspen	Populus tremuloides	3" Dia.	6'-10'	
SHRUBS							
	C	21	Red twig dogwood	Cornus sericea "baileyi"	5 Gal.		Spacing as noted on plan
PERENIAL PLANTS							
	D	22	Bluebells	Campanula	1 Gal.	12"-18"	Distribute Equally
	E	22	Columbine	Aquilegia Caerulea	1 Gal.	12"-18"	Distribute Equally
	F	22	Trailing Daisy	Eriperon Flapillaris	1 Gal.	12"-18"	Distribute Equally
	G	22	Blanket Flower	Gaillardia Aristata	1 Gal.	12"-18"	Distribute Equally
OTHER							
	H	923 S/F	Wood Chips		Small		3" Thick Layer
	I	505 S/F	Native Grass Seed Mix		1 lb 1500	Hydroseed	See seed mix below
	K	284 S/F	Drought Tolerant Fescue	Sheep Fescue			

NATIVE GRASS SEED MIX
The seed mix shall be utilized in areas specified for native grasses. This mixture shall be applied at a sufficient rate so that germination and subsequent coverage reaches 80% in a representative 10'x10' area. If coverage does not reach 80% reseeding must occur. Apply at a rate of 80 lbs./ acre on the following percentages: 20% Crested Wheatgrass, 10% Streambank Wheatgrass, 20% Pubescent Wheatgrass, 15% Perennial Ryegrass, 15% Mountain Brome grass, 10% Indian Ryegrass, 10% Alpine Bluegrass.
* In addition, add 10 lbs./ acre each of Linum lewisii and Penstemon Eatonii with native grass seed mixture.

PLANTING NOTES

1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF EXCAVATION OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITY.
2. AUTOMATIC IRRIGATION IS REQUIRED, PROVIDE SHOP DRAWINGS FOR APPROVAL.
3. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S STANDARD SPECIFICATIONS.
4. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWINGS, DETAILS, AND SPECIFICATIONS.
5. CONTRACTOR SHALL VERIFY ALL QUANTITIES. IN CASE OF A DISCREPANCY, THE ILLUSTRATED LOCATIONS SHALL DICTATE COUNT.
6. CONTRACTOR SHALL COORDINATE ALL PLANTING WITH IRRIGATION CONTRACTOR, AS NEEDED.
7. IN THE EVENT OF A DISCREPANCY NOTIFY THE ARCHITECT OR OWNER IMMEDIATELY.
8. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT OR OWNER.
9. SHRUB BEDS SHALL RECEIVE 6" OF TOPSOIL.
10. ALL SHRUB BEDS SHALL HAVE 3" OF DECOMPOSED BARK MULCH INSTALLED.
11. SHRUB BED EDGING SHALL BE PRESSURE TREATED WOOD OR "TREX" EDGING. IT SHALL SEPARATE ALL SHRUB BEDS' NATIVE GRASS LOCATIONS.
12. ALL PLANTS AND ALL PLANT STAKES SHALL BE SET PLUMB.
13. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF OF PLANTING AND PROPERLY DISCARDED.
14. NO BARE ROOT STOCK SHALL BE USED.
15. FOR PLANTING BACK FILL SOIL MIX, SEE SPECIFICATIONS.

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1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

PROJECT DESCRIPTION

LANDSCAPE PLAN

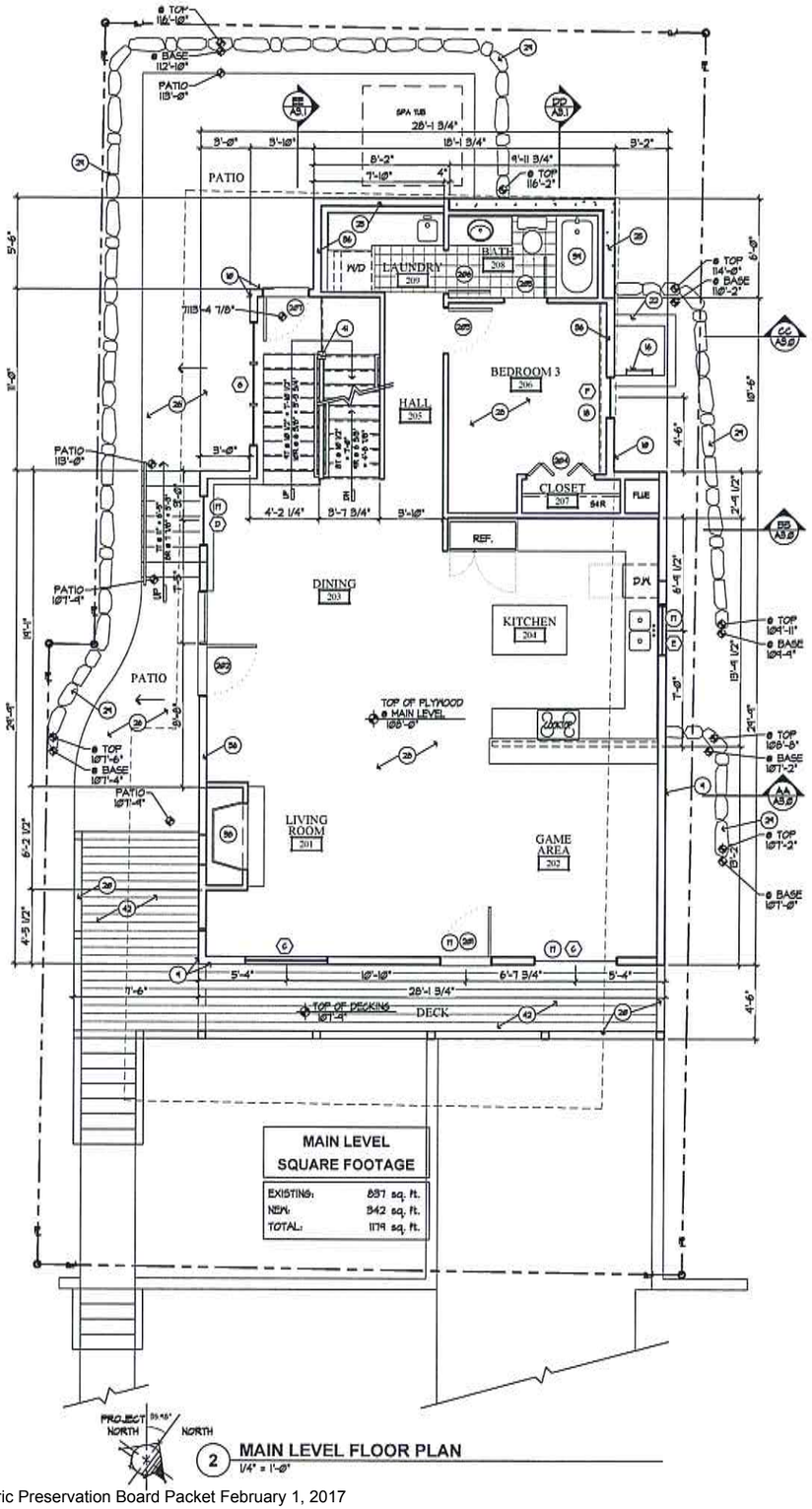
SHEET DESCRIPTION

REVISIONS

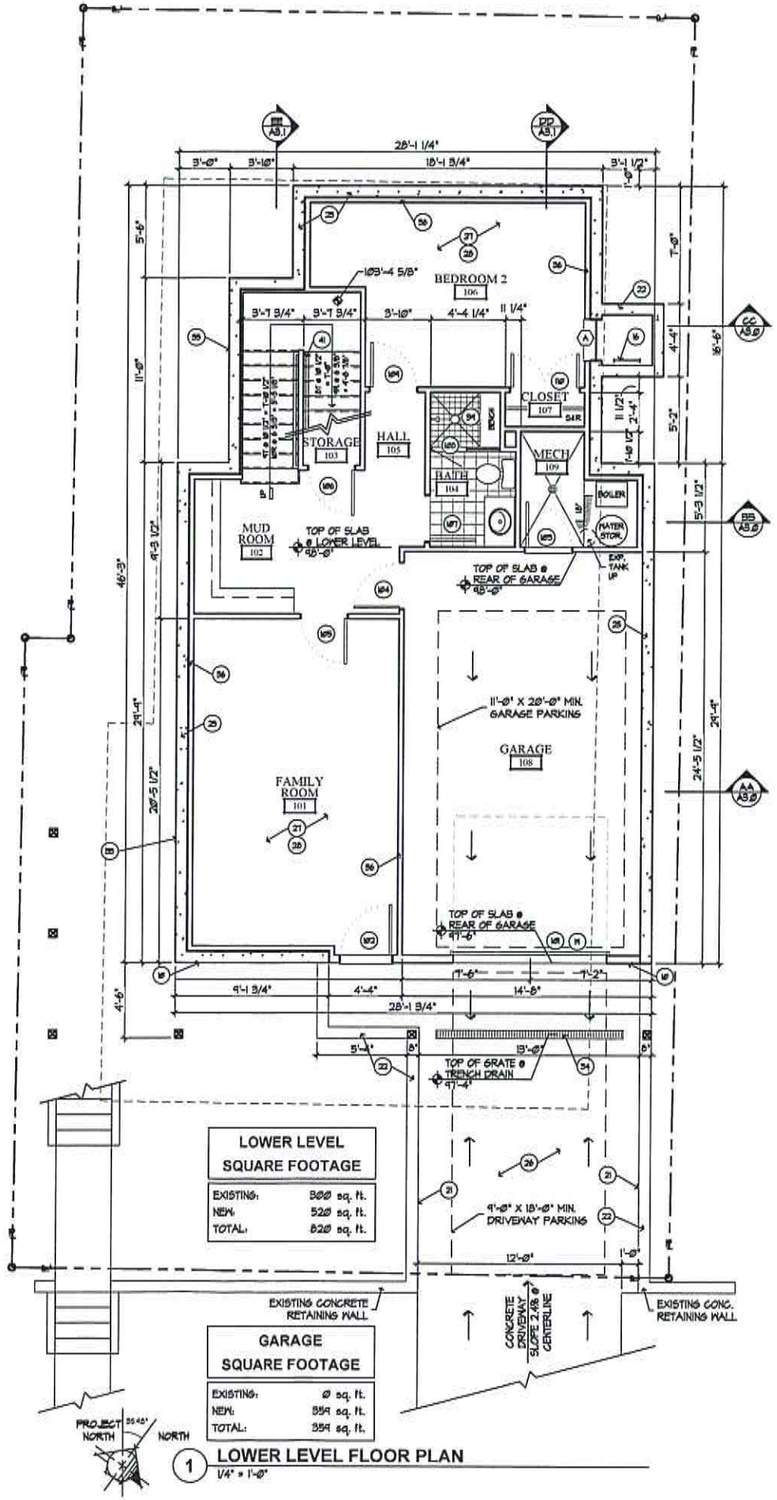
DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A0.2



2 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"

KEYED NOTES

1. ARCHITECTURAL GRADE COMPOSITION SHINGLE 50 YEAR PRESIDENTIAL TL (555# PER SQUARE, MIN.) ON ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
2. STANDING SEAM METAL ROOF W/ NON REFLECTIVE FINISH. SEAMS @ 12" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
3. NOT USED
4. SNOW RETENTION BARS - ALPINE SNOW GUARDS PP225 OR EQUAL. INSTALL PER MANUFACTURERS DIRECTIONS @ 2'-6" O.C. SEE C/A@.1
5. 3/4" X 2" ON 3/4" X 7 1/4" BUILT UP CEDAR FASCIA - STAINED
6. 3/4" X 5 1/2" CEDAR FASCIA - STAINED
7. EXISTING WOOD FASCIA - REPAIR AND REPLACE AS NEEDED - STAINED
8. HISTORIC HORIZONTAL COVE SIDING - REMOVE AND RE-INSTALL ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C.
9. VERTICAL BOARD AND BATTEN CEDAR SIDING - 2 1/2" X 3/4" BATTENS @ 12" O.C. ON HORIZONTAL BLOCKING @ 24" O.C. ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. W/ SOLID HORIZONTAL BLOCKING @ 24" O.C.
10. METAL PANEL SIDING ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. FINISH TO BE DETERMINED
11. STEEL EGRESS LADDER. PERMANENTLY ATTACH TO CONCRETE FOUNDATION WALL.
12. WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCHECK REPORT.
13. ALUMINUM CLAD WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCHECK REPORT.
14. CARRIAGE STYLE OVERHEAD GARAGE DOOR
15. 36" HIGH RAILING: 4x6 SHAPED TOP RAIL, 2x4 SHAPED BOTTOM RAIL & 2X2 PICKETS W/ 6X6 CEDAR POSTS - STAINED
16. RAS RUBBED CONCRETE FINISH
17. NEW CONCRETE RETAINING WALL, TIE INTO EXISTING CONCRETE PER ENGINEER.
18. CONCRETE FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
19. HEATED CONC. PORCH/ PATIO/ DRIVEWAY. BROOM FINISHED NATURAL COLOR. 4" THICK W/ 6x6 W1.4 X W1.4 WWF, TYP.
20. 4" CONCRETE FLOOR SLAB. REINFORCED PER ENGINEER. OVER 6 MIL VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 6" GRANULAR FILL. (R506.2.3) ANY EDGE OF SLAB LESS THAN 12" BELOW GRADE SHALL BE INSULATED - R10 @ 4 FEET OR R15 @ 4 FEET FOR HEATED SLABS (IECC, SECTION 402.2.8
21. 1 1/2" CONCRETE TOPPING WITH RADIANT HEAT COILS PER CONTRACTOR SPECS. CONCRETE FINISH T.B.D.
22. STACKED STONE RETAINING WALL SEE DETAIL D/A@.1
23. METAL GUTTER & DOWNSPOUT TO DRAIN TO SUB-TERRANIAN FOUNDATION DRAIN.
24. DRIVEWAY TRENCH DRAIN TO CONNECT TO SUB-TERRANIAN FOUNDATION DRAIN.
25. TOUGH-N-DRY VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4"ø CONTINUOUS FOUNDATION DRAIN, SET IN GRAVEL. DRAIN TO SUMP. ALL SIDES OF FOUNDATION. BACKFILL FOUNDATION WITH GRANULAR FILL @ 95% COMPACTION.
26. BLOWN-IN FIBERGLASS BIB INSULATION ENTIRE CAVITY. R-15 @ 2X4 WALLS, R-24 @ 2X6 WALLS, & R-50 @ INTERIOR 11 7/8" FLOORS. INSTALL MINIMUM 4-MIL POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE INSIDE (WARM SIDE) OF ALL EXTERIOR WALLS. IRC R102.1
27. ENCLOSED GAS FIREPLACE. OPENING FRAMED ON 10" PLATFORM. SIZE PER PLAN.
28. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER; GREEN BOARD IS NO LONGER ALLOWED IN THIS APPLICATION.
29. WOOD GUARDRAIL AT STAIRWAY TO BE 36" TALL W/ NO OPENINGS ALLOWING THE PASSAGE OF A SPHERE 4" IN DIAMETER. STAIRWAY/HANDRAILING/GUARDRAIL NOTES 9,10)/A5.1 FOR REQUIREMENTS.
30. WOOD HANDRAIL AT STAIRWAY TO BE 1 1/2"ø - HOLD 1 1/2" FROM WALL AND LOCATE 2'-10" ABOVE STAIR NOSING. RETURN ENDS TO WALL OR POST. SEE STAIRWAY/HANDRAILING/GUARDRAIL NOTES 6,7,8/A5.1 FOR REQUIREMENTS.
31. 2x REDWOOD OR TREX DECKING ON PRESSURE TREATED DECK FRAMING PER STRUCTURAL DRAWINGS.

GENERAL NOTES

- EXISTING WALL TO BE REMOVED
- EXISTING 2X FRAMED WALL
- EXISTING 8" CONCRETE WALL
- NEW 2X FRAMED WALL
- NEW 8" CONCRETE WALL

1- EXTERIOR WALLS TO BE 2X6 FRAMING TYP. ALL INTERIOR WALLS TO BE 2X4 FRAMING, U.N.O. - TYP. ALL FLOOR JOIST TO BE 11 7/8" TJI FRAMING U.N.O. - TYP. ALL ROOF JOIST TO BE 11 7/8" TJI FRAMING U.N.O. TYP.
2- ALL INSULATION PER REScheck REPORT.
3- VERIFY ALL EXISTING CONDITIONS.

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

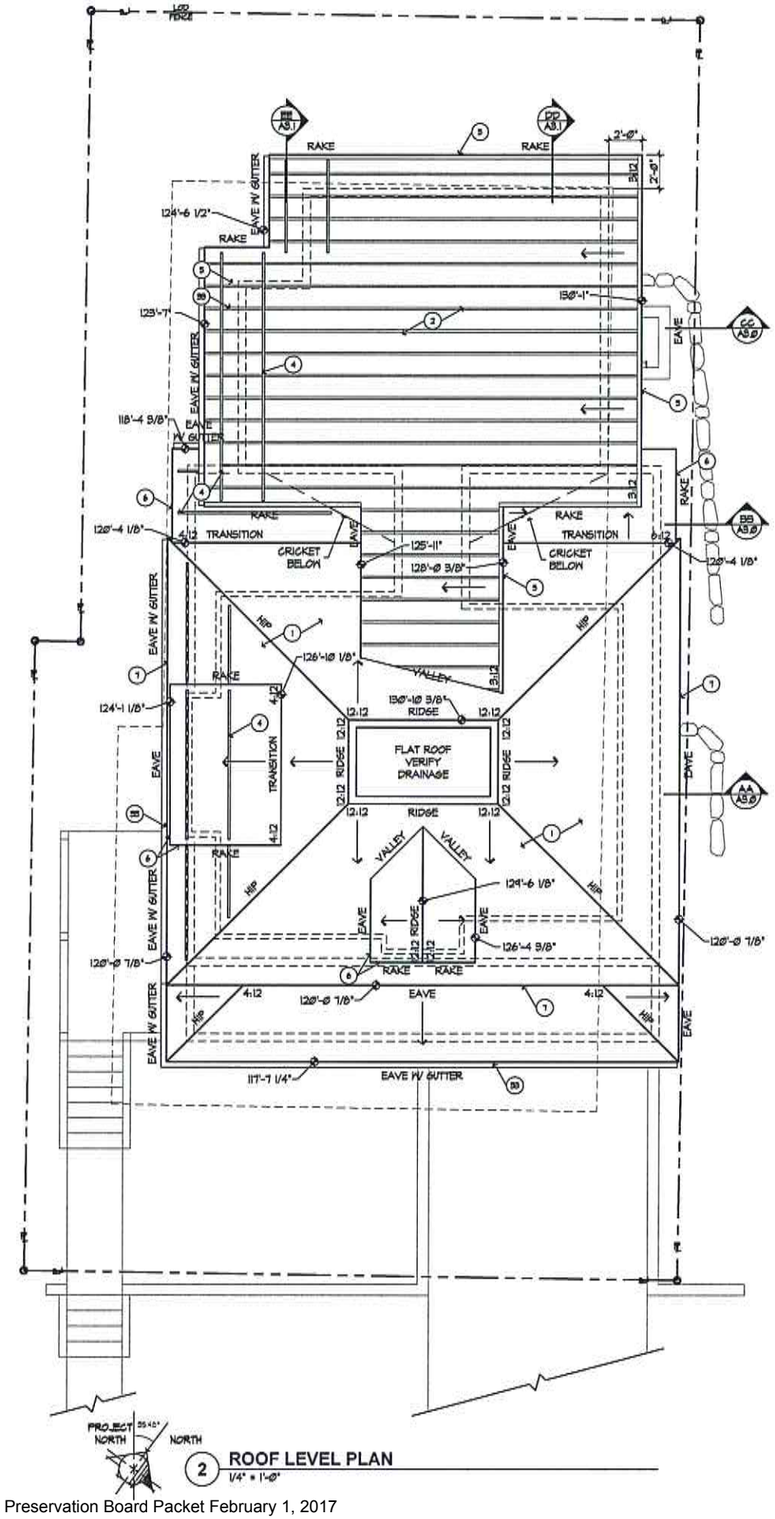
SHEET DESCRIPTION:
LOWER & MAIN LEVEL FLOORPLANS

REVISIONS

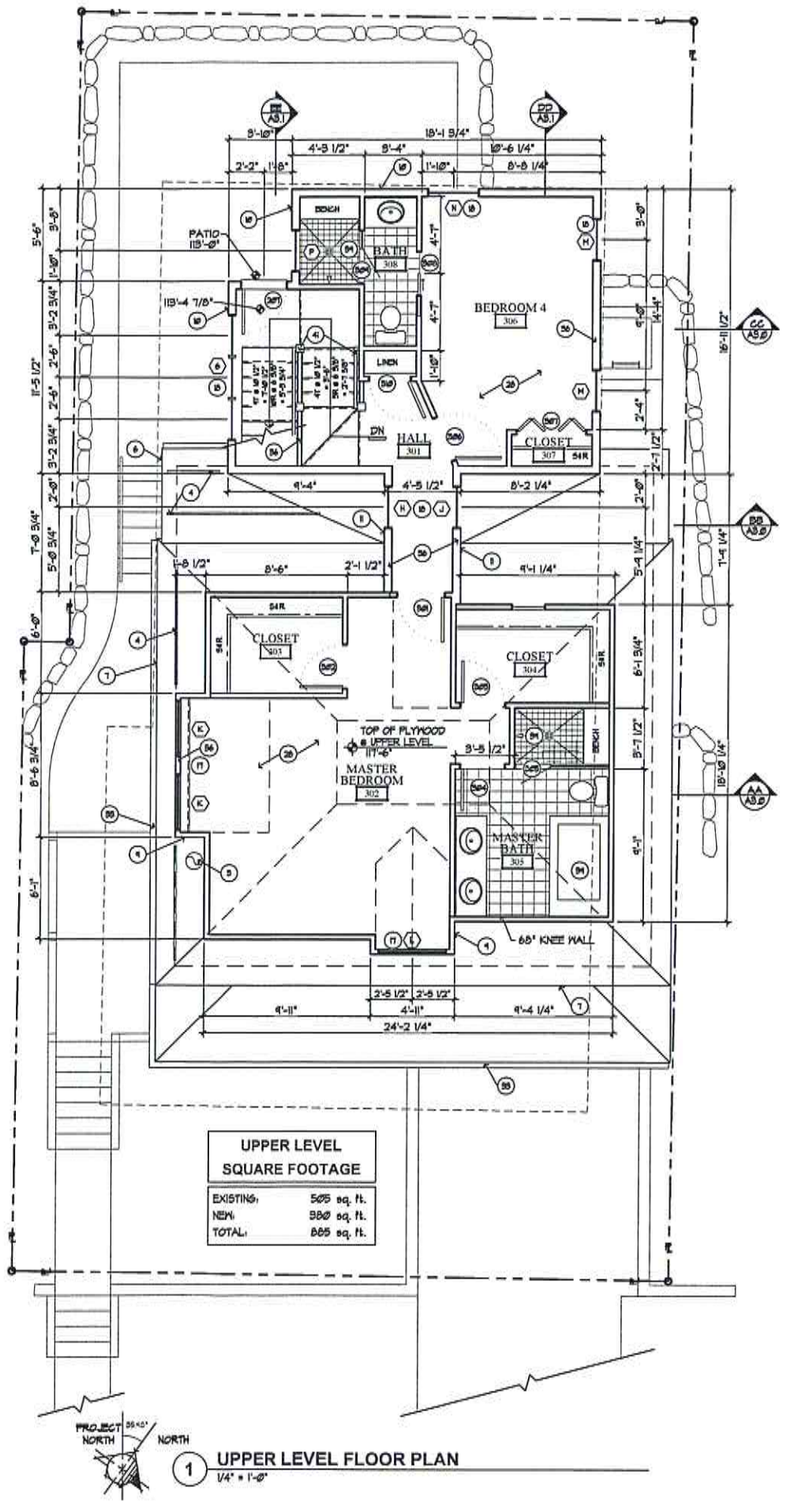
DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A1.1



2 ROOF LEVEL PLAN
1/4" = 1'-0"



1 UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

UPPER LEVEL SQUARE FOOTAGE

EXISTING:	505 sq. ft.
NEW:	380 sq. ft.
TOTAL:	885 sq. ft.

KEYED NOTES

1. ARCHITECTURAL GRADE COMPOSITION SHINGLE 50 YEAR PRESIDENTIAL TL (355# PER SQUARE, MIN.) ON ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
2. STANDING SEAM METAL ROOF WITH NON REFLECTIVE FINISH. SEAMS @ 12" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
3. NOT USED
4. SNOW RETENTION BARS - ALPINE SNOW GUARDS PP225 OR EQUAL. INSTALL PER MANUFACTURERS DIRECTIONS @ 2'-6" O.C. SEE C/A6.1
5. 5/4" X 2" ON 5/4" X 7 1/4" BUILT UP CEDAR FASCIA - STAINED
6. 5/4" X 8 1/2" CEDAR FASCIA - STAINED
7. EXISTING WOOD FASCIA - REPAIR AND REPLACE AS NEEDED - STAINED
8. HISTORIC HORIZONTAL COVE SIDING - REMOVE AND RE-INSTALL ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C.
9. VERTICAL BOARD AND BATTEN CEDAR SIDING - 2 1/2" X 5/4" BATTENS @ 12" O.C. ON HORIZONTAL BLOCKING @ 24" O.C. ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. W/ SOLID HORIZONTAL BLOCKING @ 24" O.C.
10. METAL PANEL SIDING ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. FINISH TO BE DETERMINED
11. STEEL EGRESS LADDER. PERMANENTLY ATTACH TO CONCRETE FOUNDATION WALL.
12. WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCheck REPORT.
13. ALUMINUM CLAD WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCheck REPORT.
14. CARRIAGE STYLE OVERHEAD GARAGE DOOR
15. 36" HIGH RAILING: 4x6 SHAPED TOP RAIL, 3x4 SHAPED BOTTOM RAIL & 2X2 PICKETS W/ 6X6 CEDAR POSTS - STAINED
16. RAG RUBBED CONCRETE FINISH
17. NEW CONCRETE RETAINING WALL. TIE INTO EXISTING CONCRETE PER ENGINEER.
18. CONCRETE FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
19. HEATED CONC. PORCH/ PATIO/ DRIVEWAY. BROOM FINISHED NATURAL COLOR. 4" THICK W/ 6x6 W1.4 X W1.4 WWF, TYP.
20. 4" CONCRETE FLOOR SLAB, REINFORCED PER ENGINEER. OVER 6 MIL VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 6" GRANULAR FILL. (R506.2.3) ANY EDGE OF SLAB LESS THAN 12" BELOW GRADE SHALL BE INSULATED - R10 @ 4 FEET OR R15 @ 4 FEET FOR HEATED SLABS (IECC, SECTION 402.2.8
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25. TOUGHNDRY VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4'@ CONTINUOUS FOUNDATION DRAIN, SET IN GRAVEL, DRAIN TO SUMP. ALL SIDES OF FOUNDATION. BACKFILL FOUNDATION WITH GRANULAR FILL @ 95% COMPACTION.
26. BLOWN-IN FIBERGLASS BIB INSULATION ENTIRE CAVITY. R-15 @ 2X4 WALLS, R-24 @ 2X6 WALLS, & R-30 @ INTERIOR II 7/8" FLOORS. INSTALL MINIMUM 4-MIL POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE INSIDE (WARM SIDE) OF ALL EXTERIOR WALLS. IRC R702.7
27. ENCLOSED GAS FIREPLACE. OPENING FRAMED ON 18" PLATFORM. SIZE PER PLAN.
28. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER. GREEN BOARD IS NO LONGER ALLOWED IN THIS APPLICATION.
29. WOOD GUARDRAIL AT STAIRWAY TO BE 36" TALL W/ NO OPENINGS ALLOWING THE PASSAGE OF A SPHERE 4" IN DIAMETER. STAIRWAY/HANDRAILING/GUARDRAIL NOTES 4,10/A1.1 FOR REQUIREMENTS.
30. WOOD HANDRAIL AT STAIRWAY TO BE 1 1/2"Ø - HOLD 1 1/2" FROM WALL AND LOCATE 2'-10" ABOVE STAIR NOSING. RETURN ENDS TO WALL OR POST. SEE STAIRWAY/HANDRAILING/GUARDRAIL NOTES 6,7,8/A5.1 FOR REQUIREMENTS.
31. 2x REDWOOD OR TREX DECKING ON PRESSURE TREATED DECK FRAMING PER STRUCTURAL DRAWINGS.

GENERAL NOTES

- EXISTING WALL TO BE REMOVED
- EXISTING 2X FRAMED WALL
- EXISTING 8" CONCRETE WALL
- NEW 2X FRAMED WALL
- NEW 8" CONCRETE WALL

1- EXTERIOR WALLS TO BE 2X6 FRAMING TYP. ALL INTERIOR WALLS TO BE 2X4 FRAMING, U.N.O. - TYP. ALL FLOOR JOIST TO BE 11 7/8" TJI FRAMING U.N.O. - TYP. ALL ROOF JOIST TO BE 11 7/8" TJI FRAMING U.N.O. TYP.
2- ALL INSULATION PER RESCheck REPORT.
3- VERIFY ALL EXISTING CONDITIONS.

RECEIVED
NOV 03 2016
PARK CITY PLANNING DEPT.

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

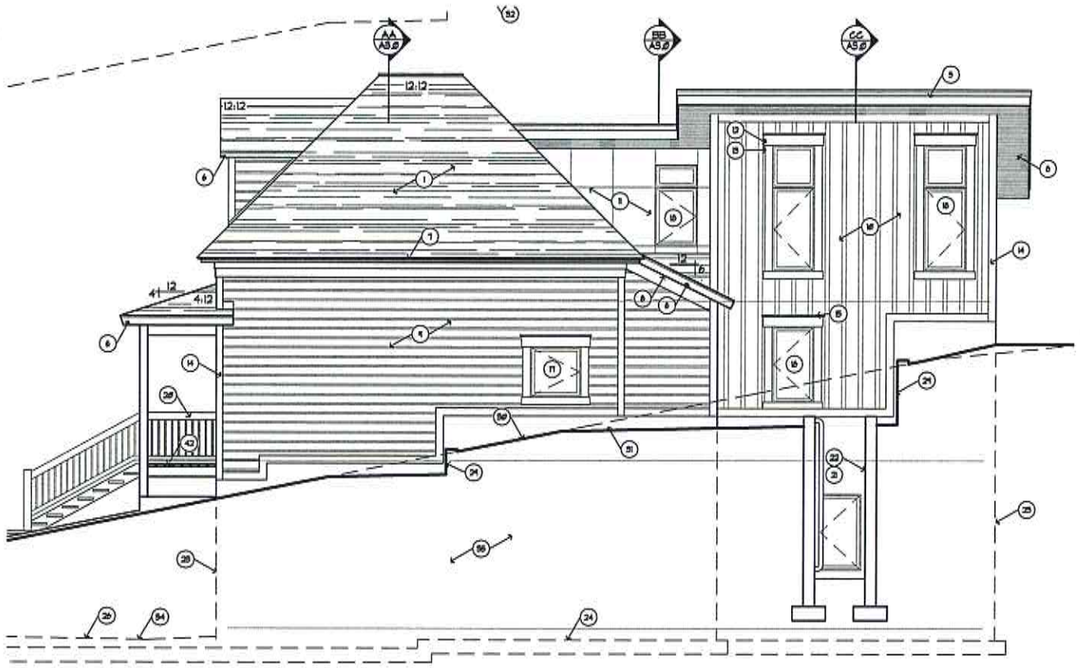
SHEET DESCRIPTION:
UPPER LEVEL FLOORPLAN AND ROOF LEVEL PLAN

REVISIONS:

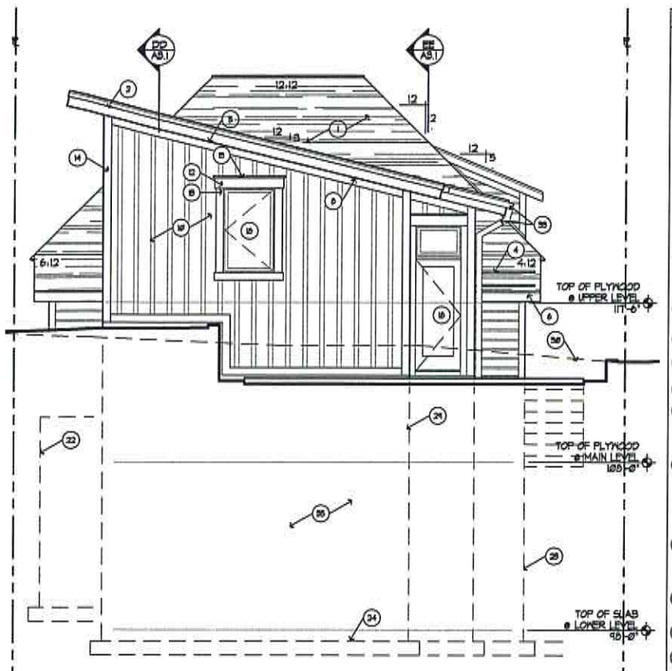
DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A1.1



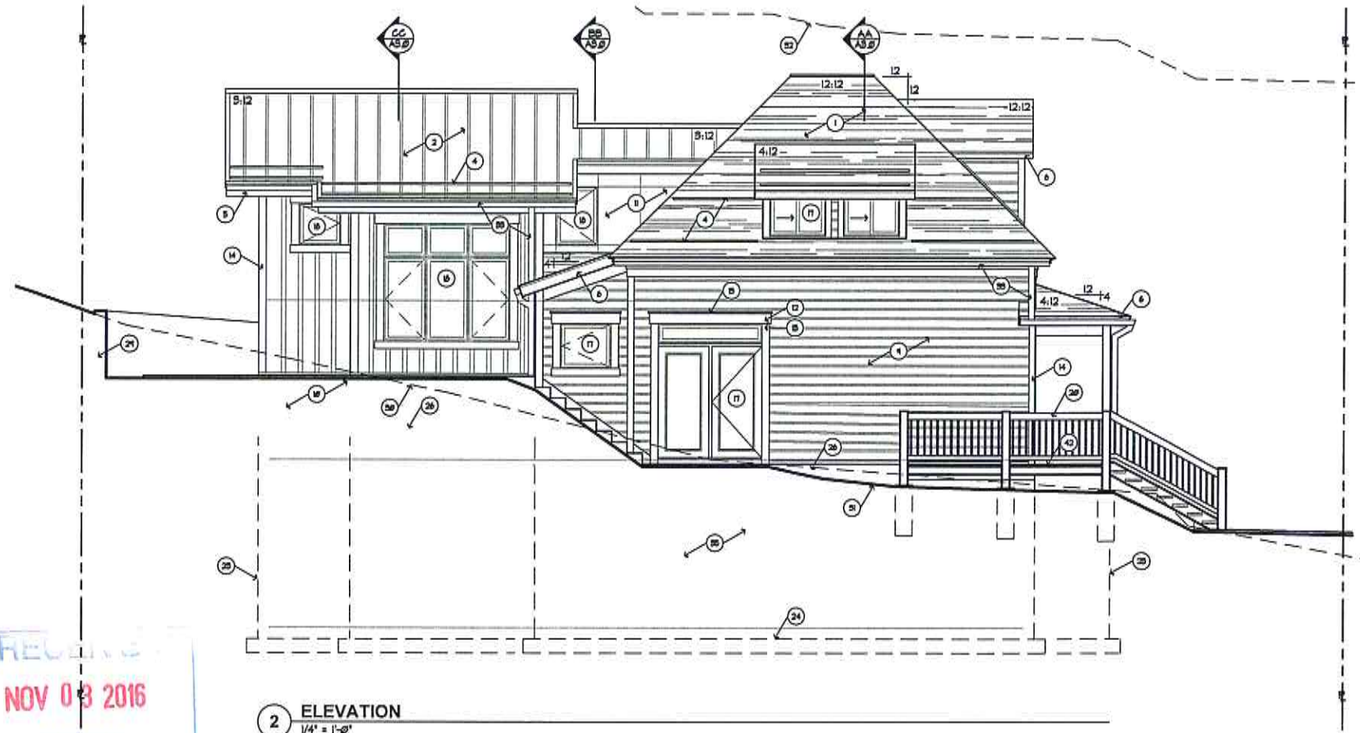
4 NORTH ELEVATION
1/4" = 1'-0"



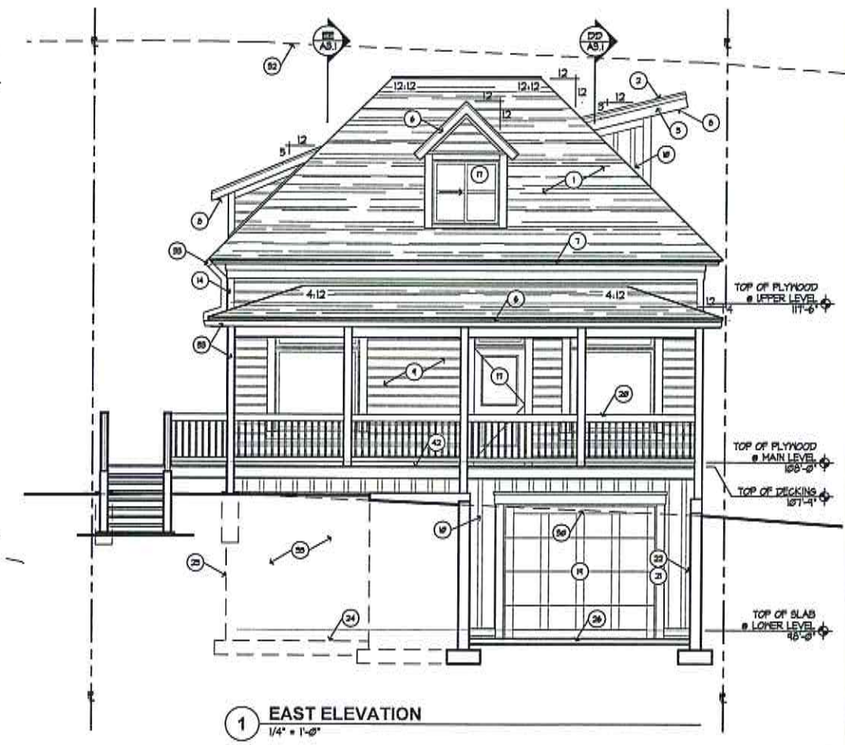
3 WEST ELEVATION
1/4" = 1'-0"

KEYED NOTES

1. ARCHITECTURAL GRADE COMPOSITION SHINGLE 50 YEAR PRESIDENTIAL TL (335# PER SQUARE, MIN) ON ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
2. STANDING SEAM METAL ROOF WITH NON REFLECTIVE FINISH. SEAMS @ 12" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
3. NOT USED
4. SNOW RETENTION BARS - ALPINE SNOW GUARDS PP225 OR EQUAL. INSTALL PER MANUFACTURERS DIRECTIONS @ 2'-6" O.C. SEE C/A8.1
5. 3/4" X 2" ON 3/4" X 7 1/4" BUILT UP CEDAR FASCIA - STAINED
6. 3/4" X 3 1/2" CEDAR FASCIA - STAINED
7. EXISTING WOOD FASCIA - REPAIR AND REPLACE AS NEEDED - STAINED
8. T&G CEDAR SOFFIT - STAINED.
9. HISTORIC HORIZONTAL COVE SIDING - REMOVE AND RE-INSTALL ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C.
10. VERTICAL BOARD AND BATTEN CEDAR SIDING - 2 1/2" X 3/4" BATTENS @ 12" O.C. ON HORIZONTAL BLOCKING @ 24" O.C. ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. W/ SOLID HORIZONTAL BLOCKING @ 24" O.C.
11. METAL PANEL SIDING ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. FINISH TO BE DETERMINED
12. 1 1/2" X 7 1/4" CEDAR HEADER TRIM WITH 1 1/2" X 2 1/2" CEDAR CAP TRIM - STAINED
13. 1 1/2" X 5 1/2" CEDAR TRIM - STAINED
14. 1 1/2" X 5 1/2" CEDAR OUTSIDE CORNER BOARD, 1 1/2 X 1 1/2" CEDAR INSIDE CORNER BOARD - STAINED
15. "Z" CONT. METAL FLASHING ABOVE ALL NEW DOORS, WINDOWS, AND HORIZ. TRIM
16. STEEL EGRESS LADDER. PERMANENTLY ATTACH TO CONCRETE FOUNDATION WALL.
17. WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCheck REPORT.
18. ALUMINUM CLAD WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCheck REPORT.
19. CARRIAGE STYLE OVERHEAD GARAGE DOOR
20. 36" HIGH RAILING: 4x6 SHAPED TOP RAIL, 3x4 SHAPED BOTTOM RAIL & 2X2 PICKETS W/ 6X6 CEDAR POSTS - STAINED
21. RAS RUBBED CONCRETE FINISH
22. NEW CONCRETE RETAINING WALL. TIE INTO EXISTING CONCRETE PER ENGINEER.
23. FOUNDATION LINE SHOWN HIDDEN - SEE STRUCTURAL FOR SIZE AND REINFORCING.
24. FOOTING LINE SHOWN HIDDEN - SEE STRUCTURAL FOR SIZE AND REINFORCING
25. HEATED CONC. PORCH/ PATIO/ DRIVEWAY. BROOM FINISHED NATURAL COLOR. 4" THICK W/ 6x6 W1.4 X W1.4 WWF, TYP.
26. STACKED STONE RETAINING WALL - SEE DETAIL D/A8.1
27. NATURAL GRADE
28. PROPOSED FINAL GRADE
29. 21'-0" ABOVE PROPOSED FINAL GRADE
30. METAL GUTTER & DOWNSPOUT TO DRAIN TO SUB-TERRANIAN FOUNDATION DRAIN.
31. DRIVEWAY TRENCH DRAIN TO CONNECT TO SUB-TERRANIAN FOUNDATION DRAIN.
32. TOUGHNDRY VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4"Ø CONTINUOUS FOUNDATION DRAIN, SET IN GRAVEL, DRAIN TO SUMP. ALL SIDES OF FOUNDATION. BACKFILL FOUNDATION WITH GRANULAR FILL @ 95% COMPACTION.
33. 2x REDWOOD OR TREX DECKING ON PRESSURE TREATED DECK FRAMING PER STRUCTURAL DRAWINGS.



2 ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

RECEIVED
NOV 03 2016
PARK CITY
PLANNING DEPARTMENT

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

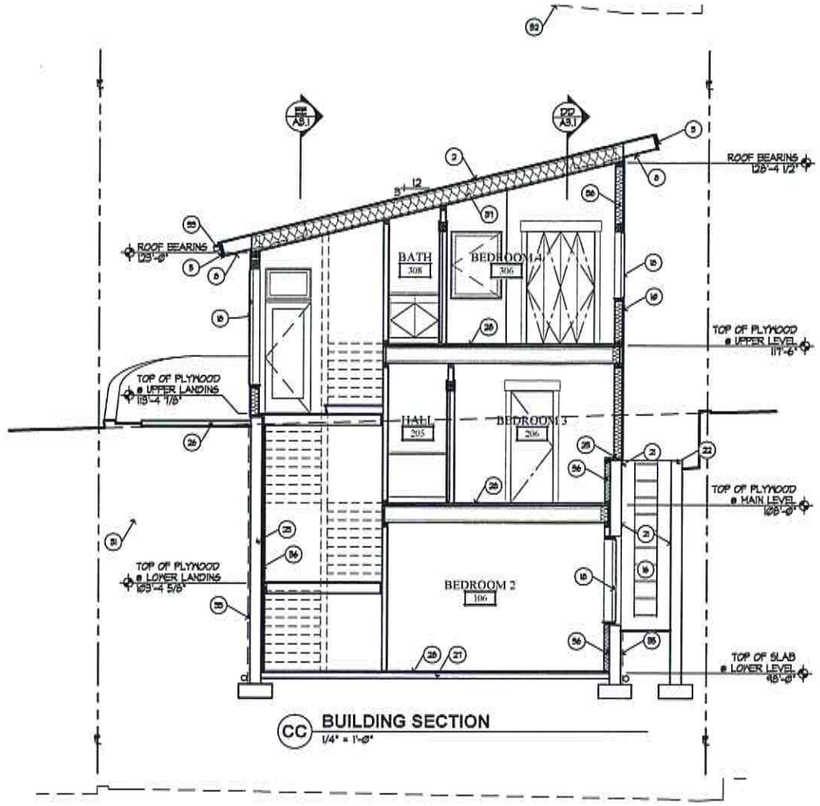
SHEET DESCRIPTION:
EXTERIOR ELEVATIONS

REVISIONS

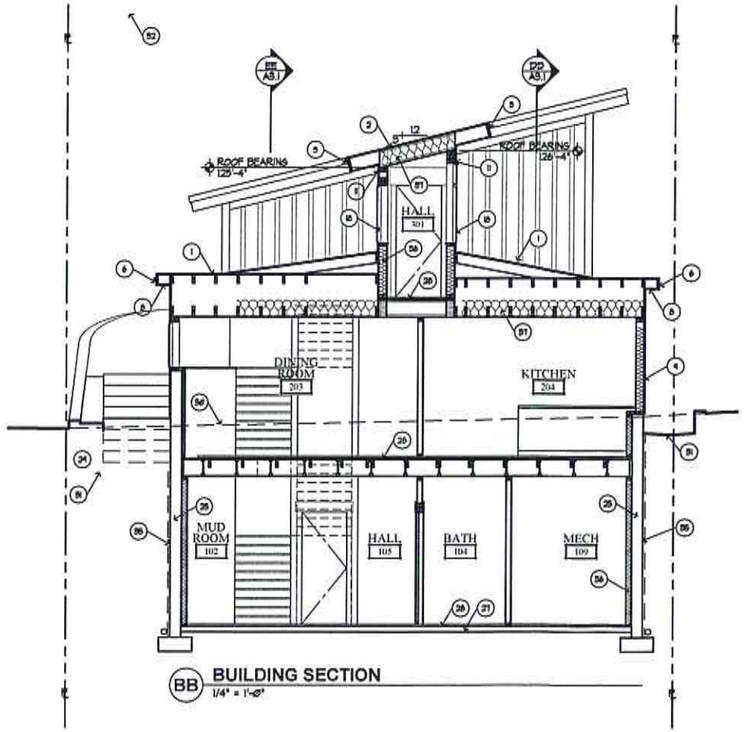
DATE: 10/31/16

PROJECT NUMBER:

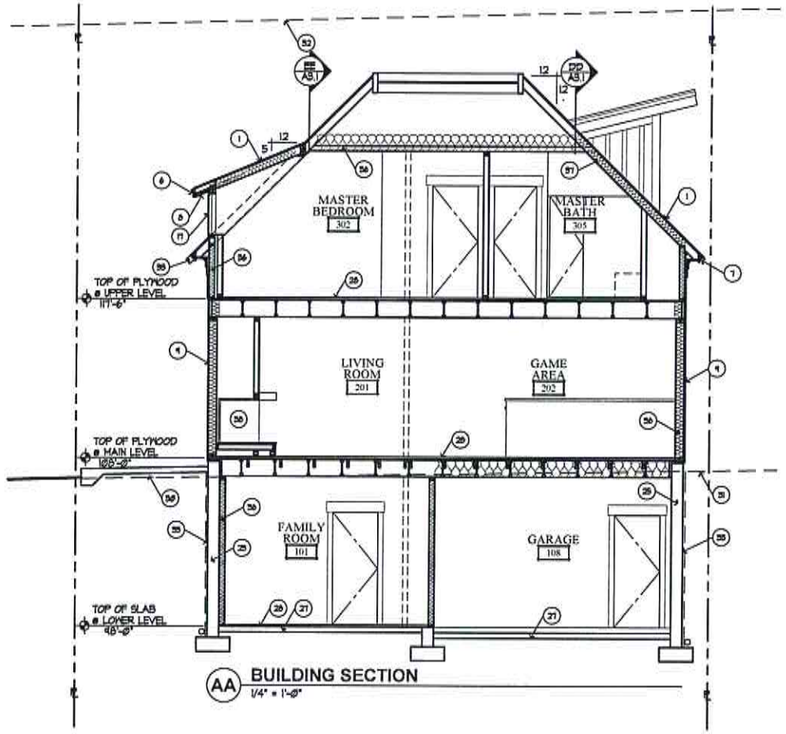
SHEET NUMBER: A2.0



CC BUILDING SECTION
1/4" = 1'-0"



BB BUILDING SECTION
1/4" = 1'-0"



AA BUILDING SECTION
1/4" = 1'-0"

KEYED NOTES

1. ARCHITECTURAL GRADE COMPOSITION SHINGLE 50 YEAR PRESIDENTIAL TL (555# PER SQUARE, MIN.) ON ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
2. STANDING SEAM METAL ROOF WITH NON REFLECTIVE FINISH. SEAMS @ 12" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
3. NOT USED
4. 5/4" X 2" ON 5/4" X 7 1/4" BUILT UP CEDAR FASCIA - STAINED
5. 5/4" X 8 1/2" CEDAR FASCIA - STAINED
6. EXISTING WOOD FASCIA - REPAIR AND REPLACE AS NEEDED - STAINED
7. T&G CEDAR SOFFIT - STAINED.
8. HISTORIC HORIZONTAL COVE SIDING - REMOVE AND RE-INSTALL ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C.
9. VERTICAL BOARD AND BATTEN CEDAR SIDING - 2 1/2" X 5/4" BATTENS @ 12" O.C. ON HORIZONTAL BLOCKING @ 24" O.C. ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. W/ SOLID HORIZONTAL BLOCKING @ 24" O.C.
10. METAL PANEL SIDING ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. FINISH TO BE DETERMINED
11. STEEL EGRESS LADDER. PERMANENTLY ATTACH TO CONCRETE FOUNDATION WALL.
12. WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCheck REPORT.
13. ALUMINUM CLAD WOOD WINDOWS AND DOORS W/ INSULATED GLASS - SEE SCHEDULE AND RESCheck REPORT.
14. CARRIAGE STYLE OVERHEAD GARAGE DOOR
15. 36" HIGH RAILING: 4x6 SHAPED TOP RAIL, 2x4 SHAPED BOTTOM RAIL & 2X2 PICKETS W/ 6X6 CEDAR POSTS - STAINED
16. RAG RUBBED CONCRETE FINISH
17. NEW CONCRETE RETAINING WALL. TIE INTO EXISTING CONCRETE PER ENGINEER.
18. CONCRETE FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
19. HEATED CONC. PORCH/ PATIO/ DRIVEWAY. BROOM FINISHED NATURAL COLOR. 4" THICK W/ 6x6 W1.4 X W1.4 WWF, TYP.
20. 4" CONCRETE FLOOR SLAB. REINFORCED PER ENGINEER. OVER 6 MIL VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 6" GRANULAR FILL. (R506.2.3) ANY EDGE OF SLAB LESS THAN 12" BELOW GRADE SHALL BE INSULATED - R10 @ 4 FEET OR R15 @ 4 FEET FOR HEATED SLABS (IECC, SECTION 402.2.8
21. 1 1/2" CONCRETE TOPPING WITH RADIANT HEAT COILS PER CONTRACTOR SPECS. CONCRETE FINISH T.B.D.
22. STACKED STONE RETAINING WALL SEE DETAIL D/A9.1
23. NATURAL GRADE
24. PROPOSED FINAL GRADE
25. 27'-8" ABOVE PROPOSED FINAL GRADE
26. METAL GUTTER & DOWNSPOUT TO DRAIN TO SUB-TERRANIAN FOUNDATION DRAIN.
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28. TOUCH'N'DRY VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4'@ CONTINUOUS FOUNDATION DRAIN, SET IN GRAVEL. DRAIN TO SUMP. ALL SIDES OF FOUNDATION. BACKFILL FOUNDATION WITH GRANULAR FILL @ 95% COMPACTION.
29. BLOWN-IN FIBERGLASS BIB INSULATION ENTIRE CAVITY. R-15 @ 2X4 WALLS, R-24 @ 2x6 WALLS, & R-30 @ INTERIOR 11 7/8" FLOORS. INSTALL MINIMUM 4-MIL POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE INSIDE (WARM SIDE) OF ALL EXTERIOR WALLS. IRC R302.7
30. NON-VENTED ROOF - 4" CLOSED CELL FOAM INSULATION AT OUTER FACE OF CAVITY (R-28). FILL REMAINDER OF CAVITY W/ FIBERGLASS BIBS (R-4.25 / 1")
31. ENCLOSED GAS FIREPLACE. OPENING FRAMED ON 18" PLATFORM. SIZE PER PLAN.
32. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER; GREEN BOARD IS NO LONGER ALLOWED IN THIS APPLICATION.
33. WOOD GUARDRAIL AT STAIRWAY TO BE 36" TALL W/ NO OPENINGS ALLOWING THE PASSAGE OF A SPHERE 4" IN DIAMETER. STAIRWAY/HANDRAILING/GUARDRAIL NOTES 4,10,11/A9.1 FOR REQUIREMENTS.
34. WOOD HANDRAIL AT STAIRWAY TO BE 1 1/2"Ø - HOLD 1 1/2" FROM WALL AND LOCATE 2'-10" ABOVE STAIR NOSING. RETURN ENDS TO WALL OR POST. SEE STAIRWAY/HANDRAILING/GUARDRAIL NOTES 6,7,8/A9.1 FOR REQUIREMENTS.
35. 2x REDWOOD OR TREX DECKING ON PRESSURE TREATED DECK FRAMING PER STRUCTURAL DRAWINGS.

FIELD VERIFY ALL EXISTING CONDITIONS ON SITE. COORDINATE ALL FLOOR HEIGHTS & DIMENSIONS W/ EXISTING GRADE, FLOOR LEVELS, AND BEARING HEIGHTS.

Jonathan DeGray
Architect
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Tel. 435-649-7263, E-mail: degrayarch@qwestoffice.net

PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITION
1063 EMPIRE AVENUE
PARK CITY, UT 84060

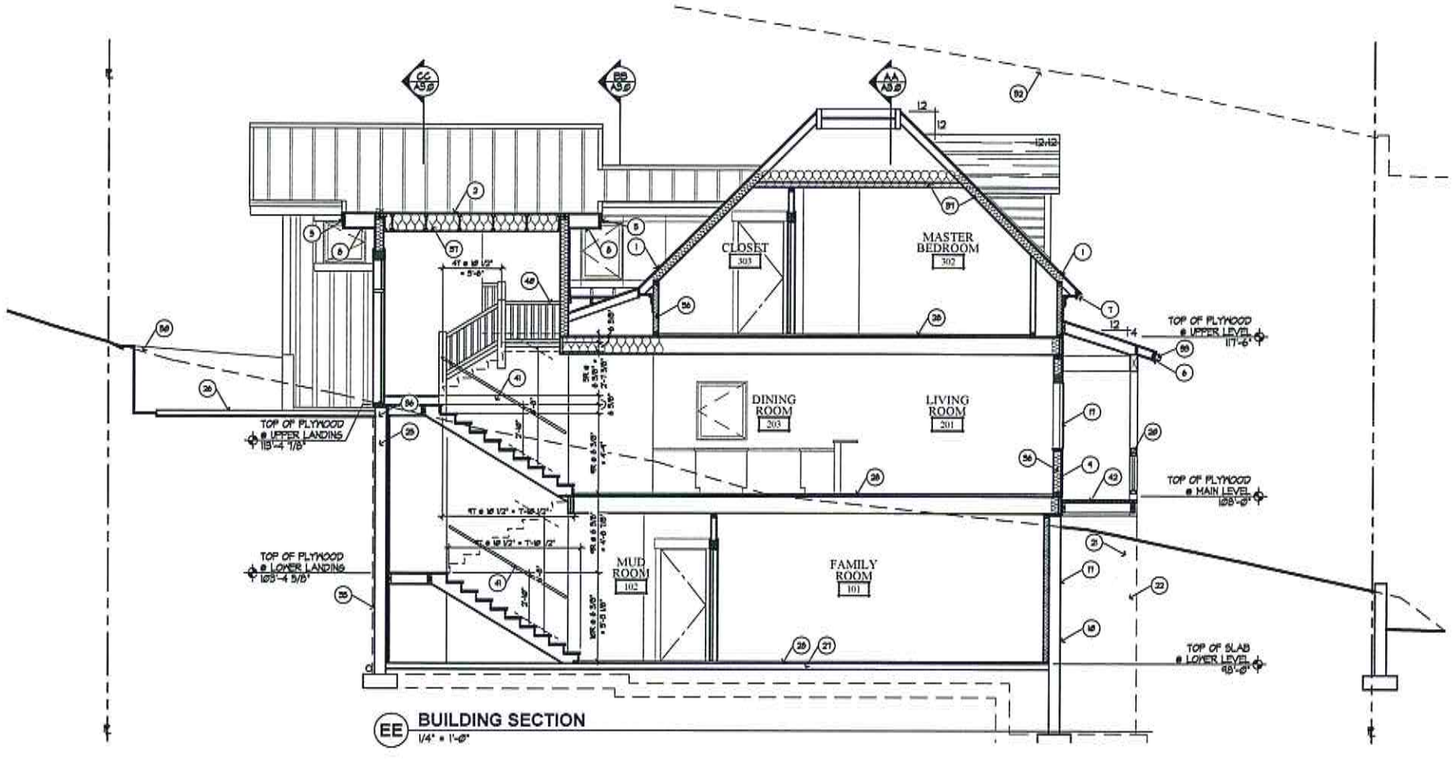
SHEET DESCRIPTION:
BUILDING SECTIONS

REVISIONS:

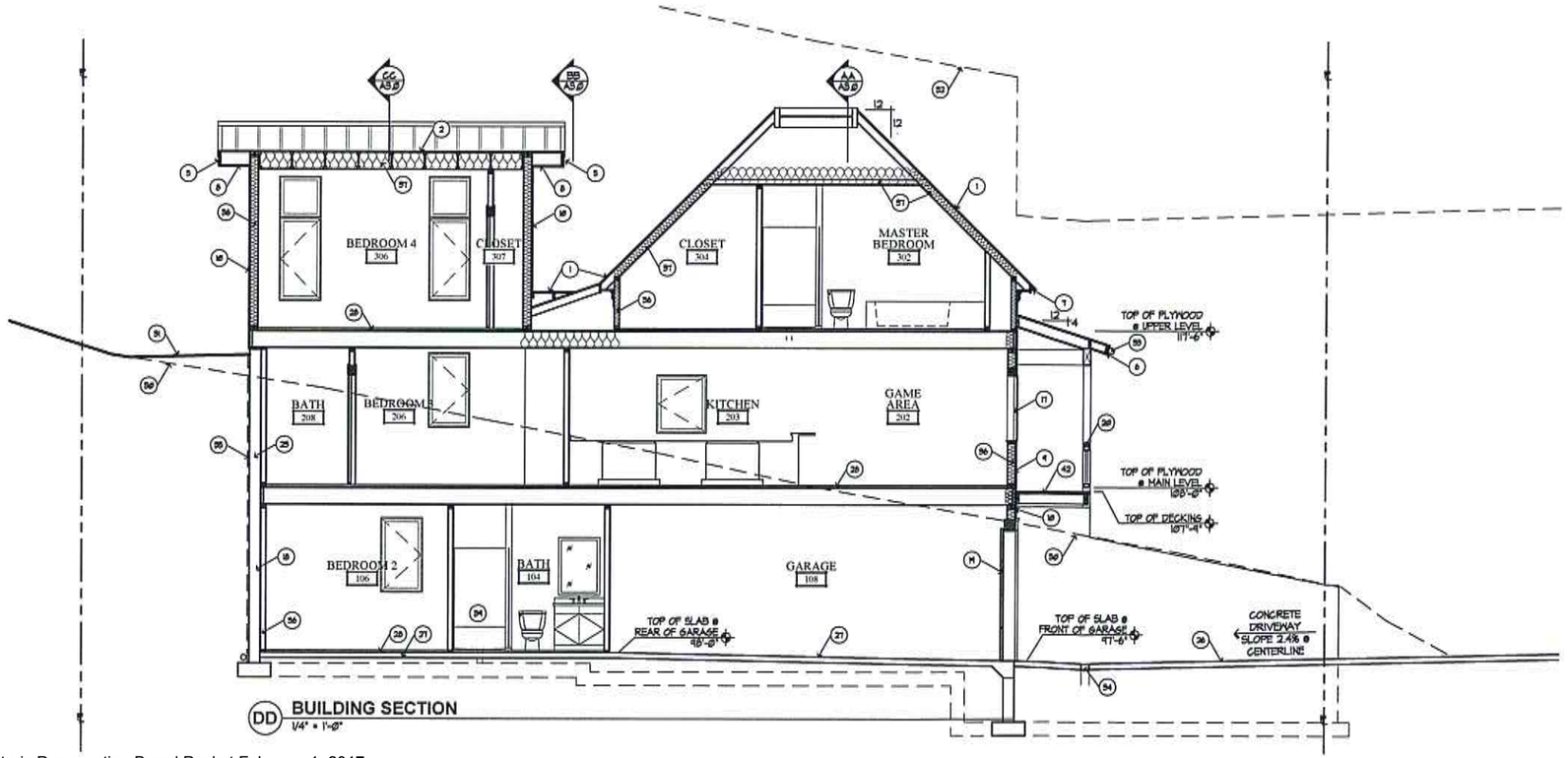
DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A3.0



EE **BUILDING SECTION**
1/4" = 1'-0"



DD **BUILDING SECTION**
1/4" = 1'-0"

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1. ARCHITECTURAL GRADE COMPOSITION SHINGLE 50 YEAR PRESIDENTIAL TL (555# PER SQUARE, MIN.) ON ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
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28. 1 1/2" CONCRETE TOPPING WITH RADIANT HEAT COILS PER CONTRACTOR SPECS. CONCRETE FINISH T.B.D.
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37. NON-VENTED ROOF - 4" CLOSED CELL FOAM INSULATION AT OUTER FACE OF CAVITY (R-28). FILL REMAINDER OF CAVITY W/ FIBERGLASS BIBS (R-4.25 / 1")
38. ENCLOSED GAS FIREPLACE. OPENING FRAMED ON 10" PLATFORM. SIZE PER PLAN.
39. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER; GREEN BOARD IS NO LONGER ALLOWED IN THIS APPLICATION.
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41. WOOD HANDRAIL AT STAIRWAY TO BE 1 1/2"ø - HOLD 1 1/2" FROM WALL AND LOCATE 2'-3" ABOVE STAIR NOSING. RETURN ENDS TO WALL OR POST. SEE STAIRWAY/HANDRAILING/GUARDRAIL NOTES 6,7,8/A5.1 FOR REQUIREMENTS.
42. 2x REDWOOD OR TREX DECKING ON PRESSURE TREATED DECK FRAMING PER STRUCTURAL DRAWINGS.

FIELD VERIFY ALL EXISTING CONDITIONS ON SITE. COORDINATE ALL FLOOR HEIGHTS & DIMENSIONS W/ EXISTING GRADE, FLOOR LEVELS, AND BEARING HEIGHTS.

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

SHEET DESCRIPTION:
BUILDING SECTIONS

REVISIONS:

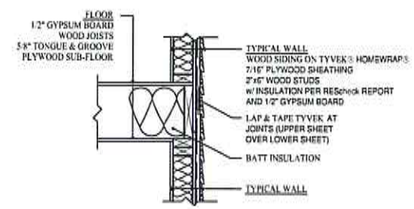
DATE: 10/31/16

PROJECT NUMBER:

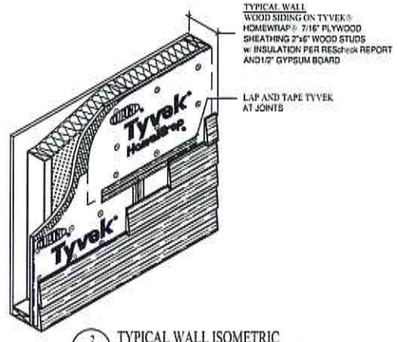
SHEET NUMBER: A3.1

GENERAL NOTES

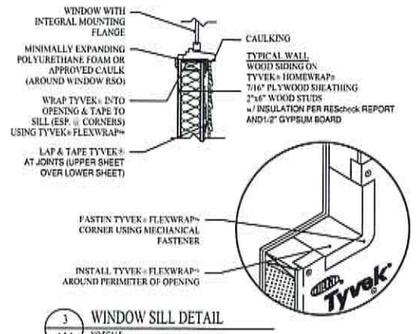
*SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE.
(ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS
OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND
THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.



1 / A5.1 FLOOR/WALL INTERFACE DETAIL
NO SCALE



2 / A5.1 TYPICAL WALL ISOMETRIC
NO SCALE



3 / A5.1 WINDOW SILL DETAIL
NO SCALE

TYVEK "HOME WRAP" INSTALLATION:

1. INSTALL AIR BARRIER AFTER SHEATHING IS INSTALLED AND BEFORE WINDOWS AND DOORS ARE INSTALLED. INSTALL LOWER LEVEL BARRIER PRIOR TO UPPER LAYERS TO ENSURE PROPER SHINGLING OF LAYERS.

2. OVERLAP AIR BARRIER AT CORNERS OF BUILDING BY A MINIMUM OF 12 INCHES.

3. OVERLAP AIR BARRIER VERTICAL SEAMS BY A MINIMUM OF 6 INCHES.

4. ENSURE BARRIER IS PLUM AND LEVEL WITH FOUNDATION, AND UNROLL EXTENDING AIR BARRIER OVER WINDOW AND DOOR OPENINGS.

5. ATTACH AIR BARRIER TO WOOD, INSULATED SHEATHING BOARD OR EXTERIOR GYPSUM WITH PLASTIC CAP NAILS EVERY 12" TO 18" ON VERTICAL STUD LINE WITH WOOD STUD FRAMING, AND SCREWS WITH WASHERS TO METAL STUD FRAMING. WHEN ATTACHING TO WOOD SHEATHING, A MINIMUM 1.0 INCH CROWN STAPLE MAY BE USED. WHEN ATTACHING TO MASONRY, USE ADHESIVE RECOMMENDED BY MANUFACTURER.

6. PREPARE WINDOW AND DOOR ROUGH OPENINGS AS FOLLOWS:
A. PREPARE EACH WINDOW ROUGH OPENING BY CUTTING A MODIFIED "I" PATTERN IN THE AIR BARRIER.
1. HORIZONTALLY CUT AIR BARRIER ALONG BOTTOM OF HEADER.
2. VERTICALLY CUT AIR BARRIER DOWN THE CENTER OF WINDOW OPENINGS FROM THE TOP OF THE WINDOW OPENING DOWN TO 2/3 OF THE WAY TO THE BOTTOM OF THE WINDOW OPENINGS.
3. DIAGONALLY CUT AIR BARRIER FROM THE BOTTOM OF THE VERTICAL CUT TO THE LEFT AND RIGHT CORNERS OF OPENING.
4. FOLD SIDE AND BOTTOM FLAPS INTO WINDOW OPENING AND FASTEN EVERY 6 INCHES. TRIM OFF EXCESS.
B. PREPARE EACH ROUGH DOOR OPENING BY CUTTING A STANDARD "I" PATTERN IN THE AIR BARRIER.
1. HORIZONTALLY CUT AIR BARRIER ALONG BOTTOM OF DOOR FRAME HEADER AND ALONG TOP OF SILL.
2. VERTICALLY CUT AIR BARRIER DOWN THE CENTER OF DOOR OPENINGS FROM THE TOP OF THE DOOR OPENING (HEADER) DOWN TO THE BOTTOM OF THE DOOR OPENING (SILL).
3. FOLD SIDE FLAPS INSIDE AROUND DOOR OPENINGS AND FASTEN EVERY 6 INCHES. TRIM OFF EXCESS.

7. TAPE ALL HORIZONTAL AND VERTICAL SEAM OF AIR BARRIER WITH DUPONT TYVEK TAPE.

8. SEAL ALL TEARS AND CUTS IN AIR BARRIER WITH DUPONT TYVEK TAPE.

ARCHITECTURAL NOTES:

1. ALL WORKS SHALL COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE. STRUCTURAL SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.

2. ALL SUBMITTALS AND CHANGES TO PLANS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO BEING SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. ENGINEER TO APPROVE ALL STRUCTURAL CHANGES.

3. HABITABLE ROOMS, HALLWAYS, CORRIDORS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7 FEET MEASURED FROM THE FINISHED FLOOR TO THE FINISHED CEILING, BATHROOMS CAN BE AT 6'-8", NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN 7 FT. WITH NO PORTION OF THE REQUIRED FLOOR AREA LESS THAN 5 FT. IN HEIGHT. -IRC R305

4. ASPHALT SHINGLES SHALL NOT BE INSTALLED ON ROOFS HAVING A SLOPE LESS THAN 4 TO 12 UNLESS DOUBLE UNDERPAYMENT IS INSTALLED IN ACCORDANCE WITH IRC SECTION R905.2.7

5. ICE BARRIER THAT CONSISTS OF TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. - IRC R905.2.7.1

6. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING. R703.1

7. APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHING AT ALL OF THE
A. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS AND SILLS.
C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS
D. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
E. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
F. AT WALL AND ROOF INTERSECTIONS.
G. AT BUILT-IN GUTTERS. IRC R703.8

8. ELEVATORS. WHERE PROVIDED, PASSENGER ELEVATORS, LIMITED USE OR LIMITED APPLICATION ELEVATORS OR PRIVATE RESIDENCE ELEVATORS SHALL COMPLY WITH ASME A17.1. IRC R321.1

FRAMING NOTES:

1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.
A. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
B. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM THE EXPOSED GROUND.
C. SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
D. THE END OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 4 INCH ON TOPS, SIDES AND ENDS.
E. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
F. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER.
G. WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS. - IRC R317.1

2. ACCESSIBLE BELOW-FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 18" X 24" ACCESS OPENING. IRC R408.4. FOR ACCESS TO MECHANICAL EQUIPMENT IN THESE AREAS SEE IRC M1305.1.4

3. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. -IRC R807.1. SEE M1305.1.3 FOR ACCESS TO FURNACES AND OTHER MECHANICAL EQUIPMENT IN ATTIC.

4. PROVIDE 24" ON-CENTER BLOCKING FOR VERTICAL SIDING. - IRC TABLE R703.4 FOOTNOTE j.

5. PROVIDE ROOF SHEATHING RATING AND NAILING SCHEDULE AS PER ENGINEERING DESIGN, OR MINIMUM 5/8", 40 20 RATING IF NO PROFESSIONAL DESIGN IS PROVIDED.

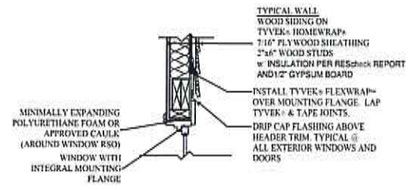
FIREPLACE NOTES:

1. MASONRY OR CONCRETE CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR, CEILING OR ROOF LINE MORE THAN 6 FEET ABOVE GRADE, EXCEPT WHERE CONSTRUCTED COMPLETELY WITHIN THE EXTERIOR WALLS - IRC R1001.4

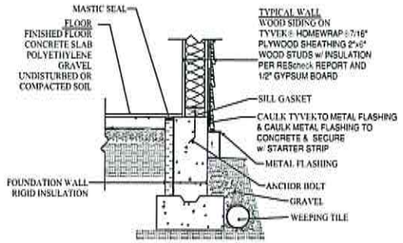
2. TWO ¾ INCH BY 1 INCH STRAPS SHALL BE EMBEDDED A MINIMUM OF 12 INCHES INTO THE CHIMNEY. STRAPS SHALL HOOKED AROUND THE OUTER BARS AND EXTEND 6 INCHES BEYOND THE BEND. EACH STRAP SHALL BE FASTENED TO A MINIMUM OF FOUR FLOOR CEILING OR FLOOR JOIST OR RAFTERS WITH TWO ½ INCH BOLTS. -IRC R1004.4.1

3. ALL WOOD BEAMS, JOIST, STUDS AND OTHER COMBUSTIBLE MATERIAL SHALL HAVE A CLEARANCE OF NOT LESS THAN 2 INCHES FROM THE FRONT FACES AND SIDES OF MASONRY FIREPLACES AND NOT LESS THAN 4 INCHES FROM THE BACK FACES OF MASONRY FIREPLACES. THE AIR SPACE SHALL NOT BE FILLED, EXCEPT TO PROVIDE FIRE BLOCKING IN ACCORDANCE WITH SECTION R1001.12.
EXCEPTIONS:
A. MASONRY FIREPLACES LISTED AND LABELED FOR USE IN CONTACT WITH COMBUSTIBLES IN ACCORDANCE WITH UL 127 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURES INSTALLATION INSTRUCTIONS ARE PERMITTED TO HAVE COMBUSTIBLE MATERIAL IN CONTACT WITH THEIR EXTERIOR SURFACES.
B. WHEN MASONRY FIREPLACES ARE PART OF MASONRY OR CONCRETE WALLS, COMBUSTIBLE MATERIALS SHALL NOT BE CONTACT WITH THE MASONRY OR CONCRETE WALLS LESS THAN 12 INCHES FROM THE INSIDE SURFACE OF THE NEAREST FIREBOX LINING.
C. EXPOSED COMBUSTIBLE TRIM AND THE EDGES OF SHEATHING MATERIALS SUCH AS WOOD SIDING, FLOORING AND DRYWALL SHALL BE PERMITTED TO ABUT THE MASONRY FIREPLACE SIDE WALLS AND HEARTH EXTENSION, PROVIDED SUCH COMBUSTIBLE TRIM OR SHEATHING IS A MINIMUM OF 12 INCHES FROM THE INSIDE SURFACE OF THE NEAREST FIREBOX LINING.
D. EXPOSED COMBUSTIBLE MANTELS OR TRIM MAY BE PLACED DIRECTLY ON THE MASONRY FIREPLACE FRONT SURROUNDING THE FIREPLACE OPENING PROVIDING SUCH COMBUSTIBLE MATERIALS ARE NOT PLACED WITHIN 6 INCHES OF A FIREPLACE OPENING. COMBUSTIBLE MATERIAL WITHIN 12 INCHES OF THE FIREPLACE OPENING SHALL NOT PROJECT MORE THAN ⅛ INCH FOR EACH 1 INCH DISTANCE FROM SUCH AN OPENING. -IRC R1001.11

4. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAT ANY PORTION OF A BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THOUGH THE ROOF.-IRC R1003.9



4 / A5.1 WINDOW HEAD DETAIL
NO SCALE



5 / A5.1 BASE OF WALL DETAIL
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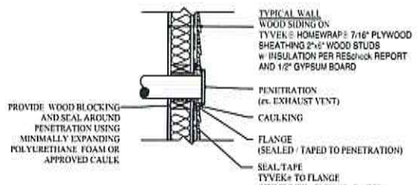

6 / A5.1 WALL PENETRATION DETAIL
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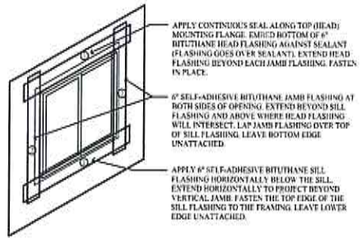

7 / A5.1 SILL JAMB AND HEAD FLASHING
NO SCALE

STAIRWAY/HANDRAILING GUARDRAILING NOTES:

1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE OF STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 ½ INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES. -IRC R311.7.1

2. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. -IRC R311.7.2

3. THE MAXIMUM RISER HEIGHT SHALL BE 7 ¾ INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN ⅜ INCH. -IRC R311.7.4.1

4. THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN ¾ INCH. CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND DO NOT HAVE TO BE WITHIN ½ INCH OF THE RECTANGULAR TREAD DEPTH.
WINDER TREADS SHALL HAVE MINIMUM TREAD DEPTH OF 10 INCHES MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE MINIMUM TREAD DEPTH OF 6 INCHES AT ANY POINT WITHIN THE CLEAR WIDTH OF STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN ¾ INCH. -IRC R311.7.4.2

5. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY SERVED. LANDINGS SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. -IRC R311.7.5

6. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF THE RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. -IRC R311.7.7.1

7. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHAL BE RETURNED OR SHALL TERMINATE IN NEWL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 ½ INCH BETWEEN THE WALL AND THE HANDRAILS.
EXCEPTIONS:
1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWL POST AT THE TURN.
2. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWL SHALL BE ALLOWED OVER THE LOWEST TREAD. -IRC R311.7.7.2

8. ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.
TYPE I: HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 ¼ INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6 ¼ INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 ¼ INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH.
TYPE II: HANDRAILS WITH A PERIMETER GREATER THAN 6 ¼ INCHES SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF ⅞ INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH WITHIN ⅞ INCH BELOW THE WIDEST PORTION OF THE PROFILE. THE REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST ⅞ INCH TO A LEVEL THAT IS NOT LESS THAN 1 ¾ INCHES BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 ¼ INCHES TO MAXIMUM OF 2 ¾ INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.10 INCH.
-IRC R311.7.7.3

9. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. -IRC R312.1

10. GUARDS SHALL NOT BE LESS THAN 36 INCHES HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. -IRC R312.2

11. GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. -IRC R312.3

12. STAIR TREAD NOSING: THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH. A NOSING NOT LESS THAN ¾ INCH BUT NOT MORE THAN 1 ¼ INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED ½ INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4 INCH DIAMETER SPHERE. (UTAH STATE AMENDMENT) EXCEPTIONS.
A. A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 10 INCHES.
B. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OR LESS. NOTE: THIS MEANS THAT CONCRETE STAIRS, WITHOUT NOSINGS, MUST HAVE A TREAD DEPTH OF 10 INCHES

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

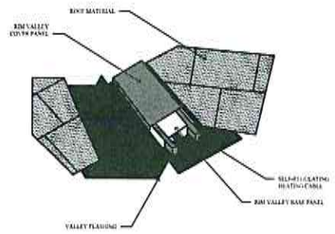
SHEET DESCRIPTION:
DETAILS

REVISIONS:

DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A5.1



1 A5.2 VALLEY SNOW MELT DETAIL
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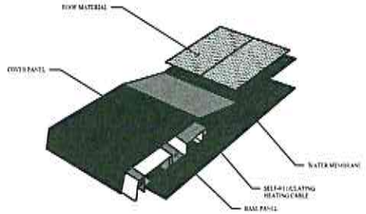

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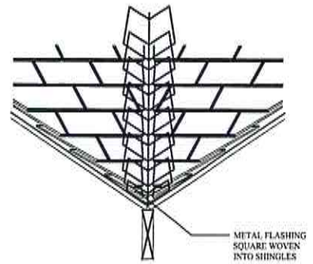

3 A5.2 CLOSED VALLEY FLASHING
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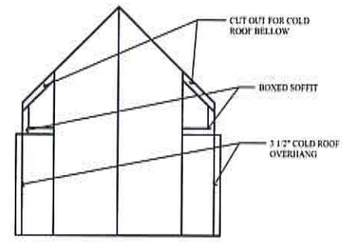

4 A5.2 DORMER ROOF
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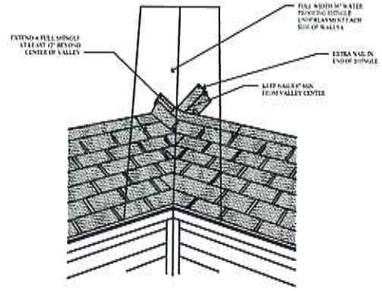

5 A5.2 WOVEN VALLEY DETAIL
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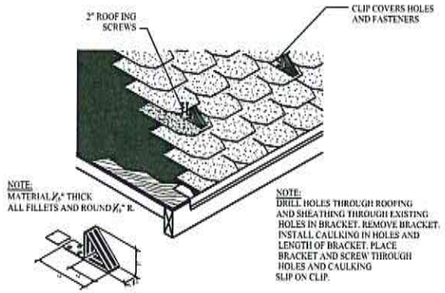

6 A5.2 SNOW BRAKET DETAIL
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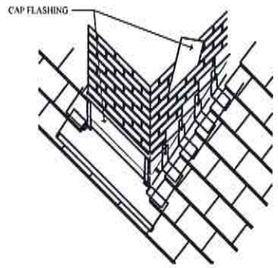

7 A5.2 CHIMNEY FLASHING
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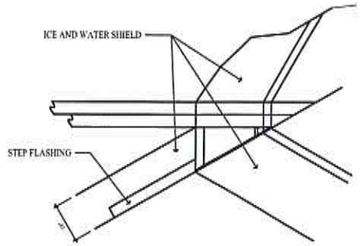

8 A5.2 DORMER FLASHING DETAIL
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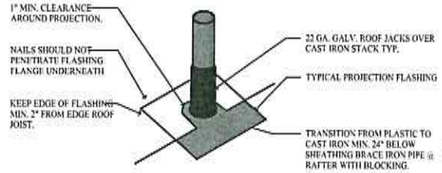

9 A5.2 VENT FLASHING DETAIL
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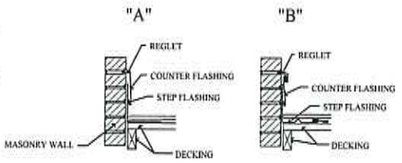

10 A5.2 RAKE WALL FLASHING DETAIL
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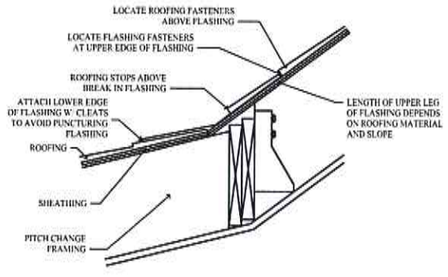

11 A5.2 ROOF PITCH TRANSACTION DETAIL
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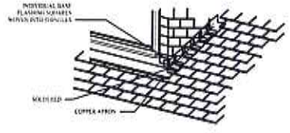

12 A5.2 FLASHING DETAIL
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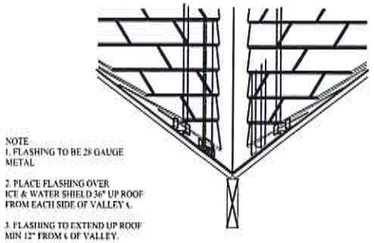

13 A5.2 OPEN VALLEY DETAIL
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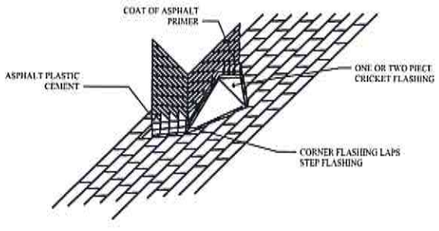

14 A5.2 CHIMNEY CRICKET FLASHING
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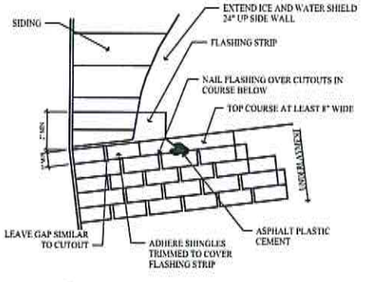

15 A5.2 ROOF/WALL FLASHING DETAIL
NO SCALE

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1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITION
1063 EMPIRE AVENUE
PARK CITY, UT 84060

PROJECT DESCRIPTION:

DETAILS

SHEET DESCRIPTION:

REVISIONS:

DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A5.2

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR MATERIAL	FLOOR BASE	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	CEILING HEIGHT	CEILING MATERIAL	REMARKS
LOWER LEVEL										
101	FAMILY ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
102	MUD ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
103	STORAGE	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
104	BATH	TILE	TILE	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
105	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
106	BEDROOM 2	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
107	CLOSET	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
108	GARAGE	CONCRETE	-	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
109	MECHANICAL	CONCRETE	-	GYP	GYP	GYP	GYP	8'-11 5/8"	GYP	-
MAIN LEVEL										
201	LIVING ROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
202	GAME AREA	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
203	DINING	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
204	KITCHEN	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
205	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
206	BEDROOM 3	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
207	CLOSET	WOOD	WOOD	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
208	BATH	TILE	TILE	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
209	LAUNDRY	TILE	TILE	GYP	GYP	GYP	GYP	8'-3 7/8"	GYP	-
UPPER LEVEL										
301	HALL	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	-
302	MASTER BEDROOM	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	-
303	CLOSET	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	-
304	CLOSET	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	-
305	MASTER BATH	TILE	TILE	GYP	GYP	GYP	GYP	VARIES	GYP	-
306	BEDROOM 4	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	-
307	CLOSET	WOOD	WOOD	GYP	GYP	GYP	GYP	VARIES	GYP	-
308	BATH	TILE	TILE	GYP	GYP	GYP	GYP	VARIES	GYP	-

WINDOW NOTES

1- GLAZING IN HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. IRC SECTION R308.3 AND R308.4
2- ALL WINDOWS IN BATHROOMS MUST BE TEMPERED GLASS.
3- TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARC OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FEET OF STAIRS, OR GLAZING WITHIN 5 FEET OF SPAS OR POOLS, CERTAIN FIXED PANELS AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. IRC R308.
4- EGRESS WINDOWS: FINISH SILL HEIGHT MAX. 44" FROM FLOOR MAX. CLEAR OPENING OF 5.7 S/F MIN NET CLEAR OPENING 20" WIDTH AND 24" HEIGHT.
5- ALL EXTERIOR GLAZING ASSEMBLIES TO HAVE A U-FACTOR OF 0.28 OR LOWER.
6- SEE EXTERIOR ELEVATIONS FOR ALL HANDING OF CASEMENT WINDOWS.
7- SEE FLOOR PLANS AND EXTERIOR ELEVATIONS FOR MORE DETAIL MULLED WINDOW ASSEMBLIES.

DOOR NOTES

1- ALL DOORS TO BE 1 3/4" SOLID CORE UNLESS NOTED OTHERWISE.
2- ALL SHOWER DOORS AND GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. IRC TABLE R308.3
3- FRENCH DOORS TO BE SUPPLIED BY WINDOW MANUFACTURER.
4- AUTOMATIC GARAGE DOOR OPENERS SHALL BE TESTED IN ACCORDANCE WITH UL325 - IRC 311.5.)
5- ALL EXTERIOR DOORS TO HAVE A U-FACTOR OF 0.28 OR LOWER.
6- SEE FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ALL HANDINGS OF DOORS.
7- SEE FLOOR PLANS AND EXTERIOR ELEVATIONS FOR MORE DETAIL OF CUSTOM DOOR ASSEMBLIES.

WINDOW SCHEDULE

	WIDTH	HEIGHT	HEADER HT.	TYPE	FRAME MATERIAL	EXT. FINISH	INT. FINISH	GLAZING	REMARKS
LOWER LEVEL									
A	2'-6"	4'-6"	8'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	-
B									NOT USED
MAIN LEVEL									
C	5'-0"	6'-4"	8'-0"	CASEMENT W/ TRANSOM	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	5'-0" X 5'-0" PICTURE W/ 5'-0 X 1'-4" PICTURE TRANSOM
D	9'-0"	2'-4"	8'-0"	CASEMENT W/ TRANSOM	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	TEMPERED
E	3'-0"	3'-0"	6'-8"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	-
F	2'-6"	4'-0"	8'-0"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	-
G	7'-6"	7'-0"	8'-8" (LANDING)	CASEMENTS W/ TRANSOMS	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	MULLED: (3) 2'-6" X 5'-0" (CASE + PICT + CASE) W/ (3) 2'-6" X 2'-0" PICT. TRANSOMS
UPPER LEVEL									
H	2'-6"	5'-6"	6'-8"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	-
J	2'-6"	4'-10"	8'-0"	CASEMENT W/ TRANSOM	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	2'-6" X 3'-6" CASEMENT W/ 2'-6" X 1'-4" PICTURE TRANSOM
K	5'-4"	2'-6"	6'-3"	SLIDER	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	-
L	4'-0"	4'-0"	8'-4"	SLIDER	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	WIDE HORIZONTAL BAR TO SIMULATE SINGLE HUNG WINDOW - SEE ELEVATION
M	2'-6"	7'-6"	8'-2"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	2'-6" X 5'-0" CASEMENT W/ 2'-6" X 2'-6" PICTURE TRANSOM
N	3'-0"	5'-0"	6'-8"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	-
P	2'-6"	2'-6"	6'-8"	CASEMENT	WOOD ALUM. CLAD	MANUFACTURER	STAIN & VARNISH	INSULATED - LOW E	-

DOOR SCHEDULE

	WIDTH	HEIGHT	THICK	TYPE	DOOR MATL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HDWR. TYPE	REMARKS
LOWER LEVEL										
01	9'-0"	8'-0"	1 3/4"	CARRIAGE	WOOD / ALUM	STAIN & VARNISH	WOOD	STAIN & VARNISH	GARAGE	AUTOMATIC DOOR OPENER, INSULATED, WEATHERSTRIP
02	2'-8"	8'-0"	1 3/4"	STYLE+RAIL	WOOD / ALUM	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	HALF LITE. INSULATED, LOW E, WEATHER STRIP, THRESHOLD
03	2'-8"	8'-0"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	LOUVERED VENT IN LOWER HALF OF DOOR
04	2'-8"	8'-0"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	20 MIN. - SELF CLOSER - SMOKE SEAL - THRESHOLD
05	2'-8"	8'-0"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	-
06	2'-8"	8'-0"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	-
07	2'-6"	8'-0"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
08	2'-0"	6'-0"	1/2"		GLASS				SHOWER	-
09	2'-8"	8'-0"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
10	4'-0"	8'-0"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	2'-0" X 6'-8" PAIR
MAIN LEVEL										
30	3'-0"	6'-8"	1 3/4"	STYLE+RAIL	WOOD / ALUM	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	HALF LITE W/ TRANSOM. INSULATED, LOW E, WEATHER STRIP, THRESHOLD
31	6'-2"	8'-0"	1 3/4"	STYLE+RAIL	WOOD / ALUM	STAIN & VARNISH	WOOD	STAIN & VARNISH	LOCKSET	FULL LITE W/ SIDELITE & TRANSOM. INSULATED, LOW E, WEATHER STRIP, THRESHOLD
32	2'-8"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
33	4'-0"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	BI-FOLD
34	2'-6"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
35	2'-6"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
36	2'-8"	8'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	FULL LITE 6'-8" W/ 2'-0" TRANSOM. INSULATED, LOW E, WEATHER STRIP, THRESHOLD
UPPER LEVEL										
50	2'-8"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
51	2'-6"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	-
52	2'-6"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	-
53	2'-6"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
54	2'-0"	6'-0"	1/2"		GLASS				SHOWER	-
55	2'-6"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	-
56	4'-0"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	BI-FOLD
57	2'-6"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PRIVACY	POCKET
58	2'-0"	6'-0"	1/2"		GLASS				SHOWER	-
59	2'-4"	6'-8"	1 3/4"	STYLE+RAIL	WOOD	STAIN & VARNISH	WOOD	STAIN & VARNISH	PASSAGE	-

DOOR AND WINDOW NOTE:
SEE FLOOR PLANS FOR ALL HANDING OF WINDOWS AND DOORS. SEE FLOOR PLANS AND EXTERIOR ELEVATIONS FOR MORE DETAIL ON CUSTOM DOOR ASSEMBLIES.

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PROJECT DESCRIPTION:
1063 EMPIRE RESIDENCE
HISTORIC RENOVATION AND ADDITON
1063 EMPIRE AVENUE
PARK CITY, UT 84060

SHEET DESCRIPTION:
DOOR, WINDOW AND ROOM SCHEDULES

REVISIONS

DATE: 10/31/16

PROJECT NUMBER:

SHEET NUMBER: A6.0

Historic Preservation Board
Staff Report

PARK CITY 1884
PLANNING DEPARTMENT

Subject: Historic Preservation-Compatibility Study
Author: Anya Grahn, Historic Preservation Planner
Hannah Tyler, Planner
Date: February 1, 2017
Type of Item: Work Session

Summary Recommendation
Staff has committed to routinely reviewing the existing Design Guidelines for Historic Districts and Historic Sites; however, the Design Guidelines have not been reviewed since their adoption in 2009. Staff requests that the Historic Preservation Board (HPB) read and familiarize themselves with the existing Design Guidelines to prepare for this work session. The Design Guidelines are available online at: http://www.parkcity.org/Modules/ShowDocument.aspx?documentid=62.

Background
Purpose of the Design Guidelines
The Design Guidelines provide direction to property owners, architects, designers, builders, developers, City staff, the Historic Preservation Board (HPB), and City Council in developing proposals that maintain the historic character of Park City's Old Town. The Design Guidelines fulfill policy directives provided in the General Plan and Land Management Code (LMC). Further, these guidelines are a foundation for making decisions and a framework for ensuring consistent procedures and fair deliberations.

What do they do?
The Design Guidelines are a standard for rehabilitating historic structures, developing historic sites, and constructing new buildings in the commercial and residential neighborhoods of Old Town. The guidelines direct alterations and the design of new construction projects to maintain the historic integrity and character of our historic districts. This allows Park City to maintain its listing on the National Register of Historic Places.

The Design Guidelines were adopted by City Council in 2009. They were intended to be a living document that would be reviewed regularly and modified as necessary; however, no changes have been made to the Design Guidelines since 2009. Staff began reviewing areas of the Design Guidelines that could be improved with the HPB in December 2014. Going forward, staff has proposed a rigorous schedule for the HPB's review of the Design Guidelines starting in January 2016 (Exhibit A).

Update on Design Guidelines for Historic Sites
The HPB completed their revisions on the existing Design Guidelines for Historic Sites in November 2016. Staff is working on finalizing these edits before submitting them to a consultant for final review and formatting. Staff will review the final format with the HPB

when it becomes available. The HPB will then need to recommend any final edits before making a positive recommendation to City Council.

Analysis
Staff will be beginning the revisions on the Design Guidelines for New Construction beginning in March 2017. In order to move forward with these revisions, staff is requesting the HPB's input in guiding the design of new development. The basic question is:

How "historic" should new infill development appear?

On May 4, 2015, the HPB completed a work session about how to define compatibility and complementary. The HPB found that new construction could be compatible and complementary to historic construction in the following ways:

- Form
- Mass and scale
- Roof shapes
- Building height
- Height of floor elevations
- Setbacks
- Materials
- Repetition or rhythm of openings-to-solids
- Rhythm of entrances and/or porches
- Window and door sizes, proportions, and patterns
- Orientation of entrances
- Landscaping

Staff is now requesting the HPB to provide input related to the appearance of new infill development and how "historic" it should appear. The Secretary of the Interior's Standards recommend that "the new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment." There is regular disagreement within the historic preservation community about how different new construction should be from historic resources.

In a survey of communities, staff has found several approaches:

1. **Williamsburg, VA:** In order to protect the integrity of the Colonial Williamsburg Historic Area, only replication of 18th Century buildings are permitted within the Historic Area. Any new construction not designed in 18th century styles cannot be constructed within ¼ mile of the Historic Area boundaries.
2. **Breckenridge, CO:** Breckenridge encourages maintaining "character" and "context." Their Design Guidelines promote designing in modules that reflect the size, scale, and mass of historic structures.
3. **Madison, IN:** Madison requires that new infill development is compatible in height, orientation, setback, scale, proportions, and shape to historic structures.
4. **Telluride, CO:** Telluride also promotes compatibility in mass and scale, orientation, drawing on fundamental similarities with historic buildings without copying them, traditional building materials, traditional pattern of doors and windows, etc.
5. **George Washington University Neighborhood, Washington, DC**: Overall, the City emphasizes maintaining historic resources through adaptive reuse, allowing

additions and new infill so long as it does not overwhelm and detract from the historic resources. The Design Guideline stress that the additions should be compatible with the character of the historic building through appropriate location, size, materials, and appearance.

Staff proposes emphasizing the following in our Design Guideline revisions to encourage compatible infill that preserves the character of Old Town while also allowing it to be differentiated from neighboring historic resources:

- Infill using traditional forms can use more materials; infill using modern forms should be clad with traditional materials.
- Overall compatibility through mass, scale, and shape of the building can be achieved by promoting the use of modules similar to those found on historic buildings.
- Flat roofs are generally not appropriate as the primary roof form or the roof form viewable from the primary right-of-way. They may be appropriate on some accessory structures.
- Ratio of openings-to-solid need to be consistent with historic structures. The style of doors and windows can be more contemporary, but should just generally be consistent in size and scale with historic window and door openings.
- Porches should be strongly encouraged on new residential infill development.
- Stepping up-hill and down-hill is necessary on new commercial infill development to break up the total mass of the building.

These concepts will be addressed in further detail in our Design Guideline revisions starting in March.

Does the HPB agree with staff's proposal?

Summary Recommendation

Staff has committed to routinely reviewing the existing Design Guidelines for Historic Districts and Historic Sites; however, the Design Guidelines have not been reviewed since their adoption in 2009. Staff requests that the Historic Preservation Board (HPB) read and familiarize themselves with the existing Design Guidelines to prepare for this work session. The Design Guidelines are available online at: http://www.parkcity.org/Modules/ShowDocument.aspx?documentid=62.