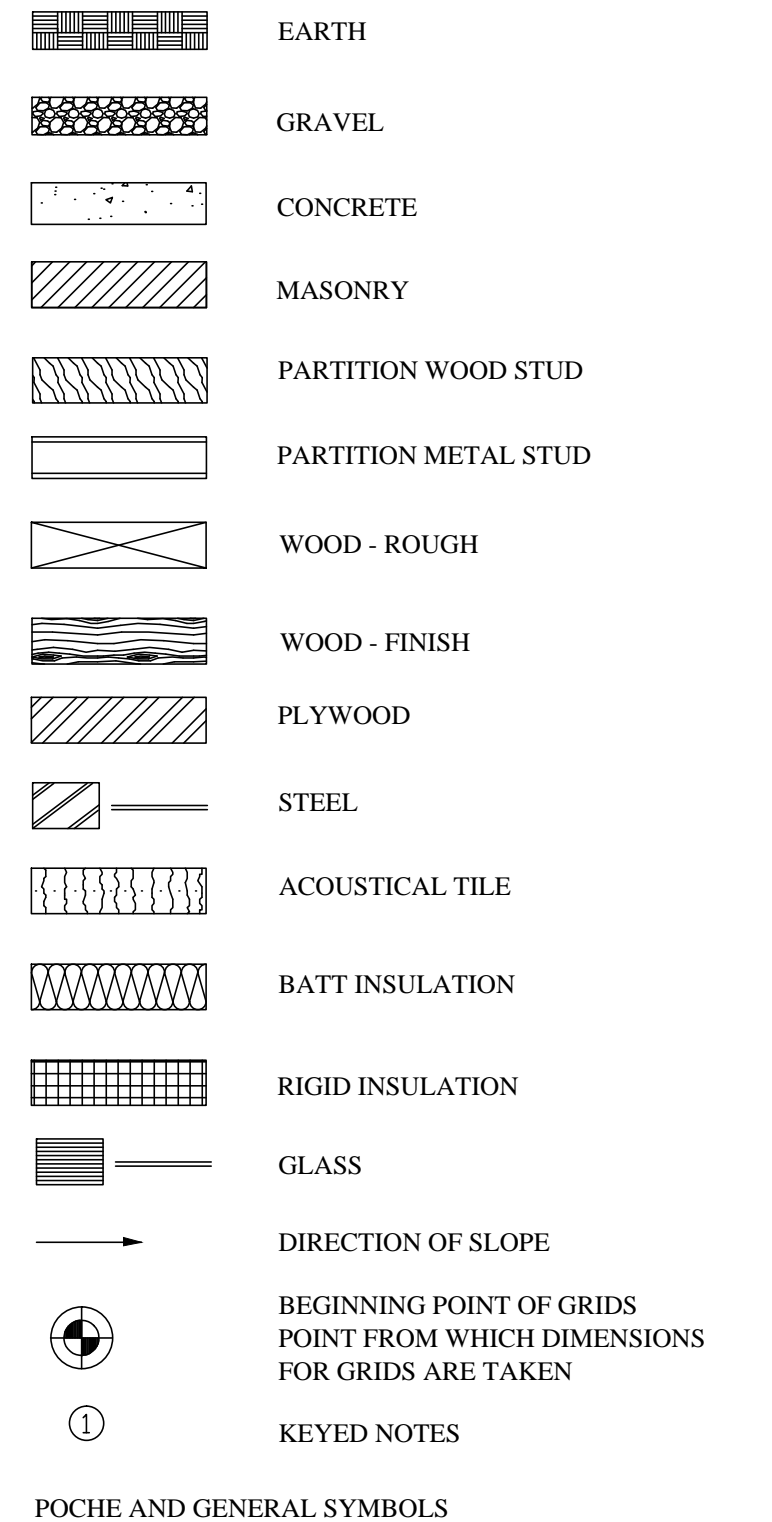
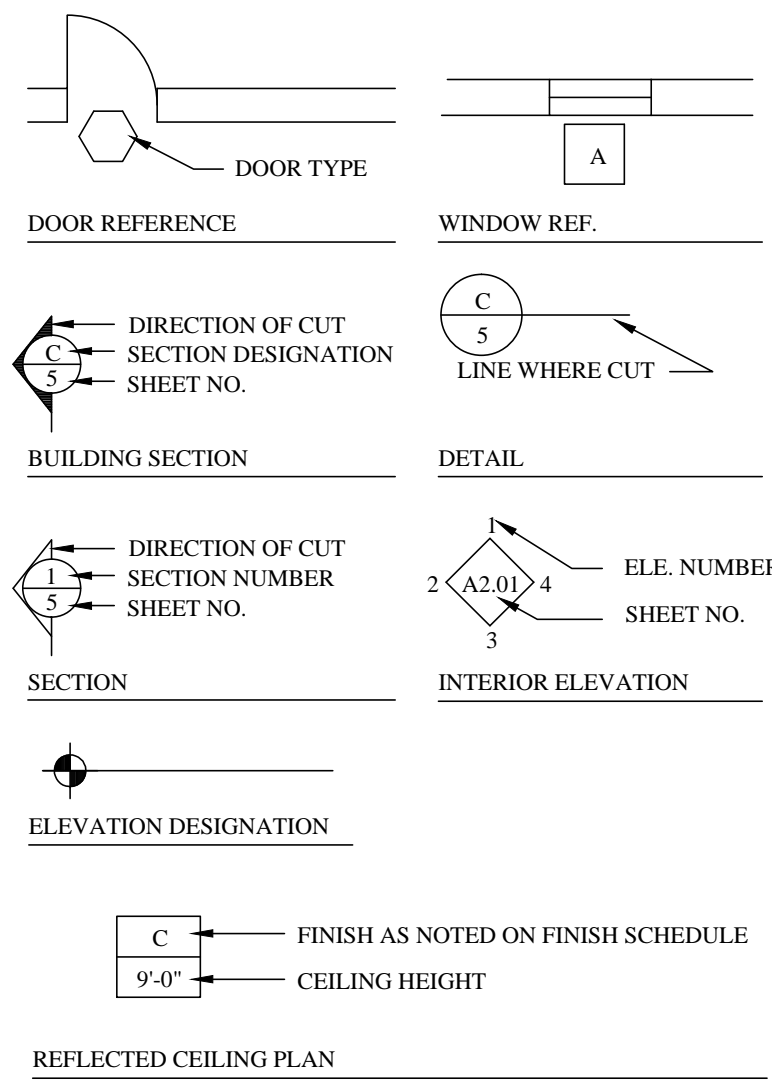


LEGEND



PROJECT DATA

APPLICABLE CODES

BUILDING CODE:	2015 IRC
PLUMBING CODE:	2015 IPC
MECHANICAL CODE:	2015 IMC
ELECTRICAL CODE:	2015 IEC, 2015 NEC
FIRE CODE:	2015 IFC
ENERGY CODE:	2015 IECC
GAS CODE:	2015 IFGC
ACCESSIBILITY:	2010 IBC, ADAAG

CONSTRUCTION RATINGS: (TABLE R302.1)

WALLS	
EXTERIOR WALLS < 3'	1 HR
EXTERIOR WALLS > 3'	0 HR
PROJECTIONS < 3'	1 HR
PROJECTIONS > 3'	0 HR
WALL OPENINGS < 3'	NOT ALLOWED
WALL OPENINGS > 3'	0 HR

BUILDING SQUARE FOOTAGE:

EXISTING BASEMENT:	1025 SF
EXISTING ML:	1160 SF
ADDITION ML:	150 SF
ADDITION UL:	513 SF

TOTAL FINISHED: 2848 SF

GARAGE: 286 SF

DIFERRED SUBMITTALS:

- AUTOMATIC FIRE SPRINKLER SYSTEM
- MECHANICAL HVAC SYSTEM & CALCULATIONS
- APPLIANCE FIREPLACES
- GAS LINE DIAGRAM

HDDR DRAWINGS

3-27-2018

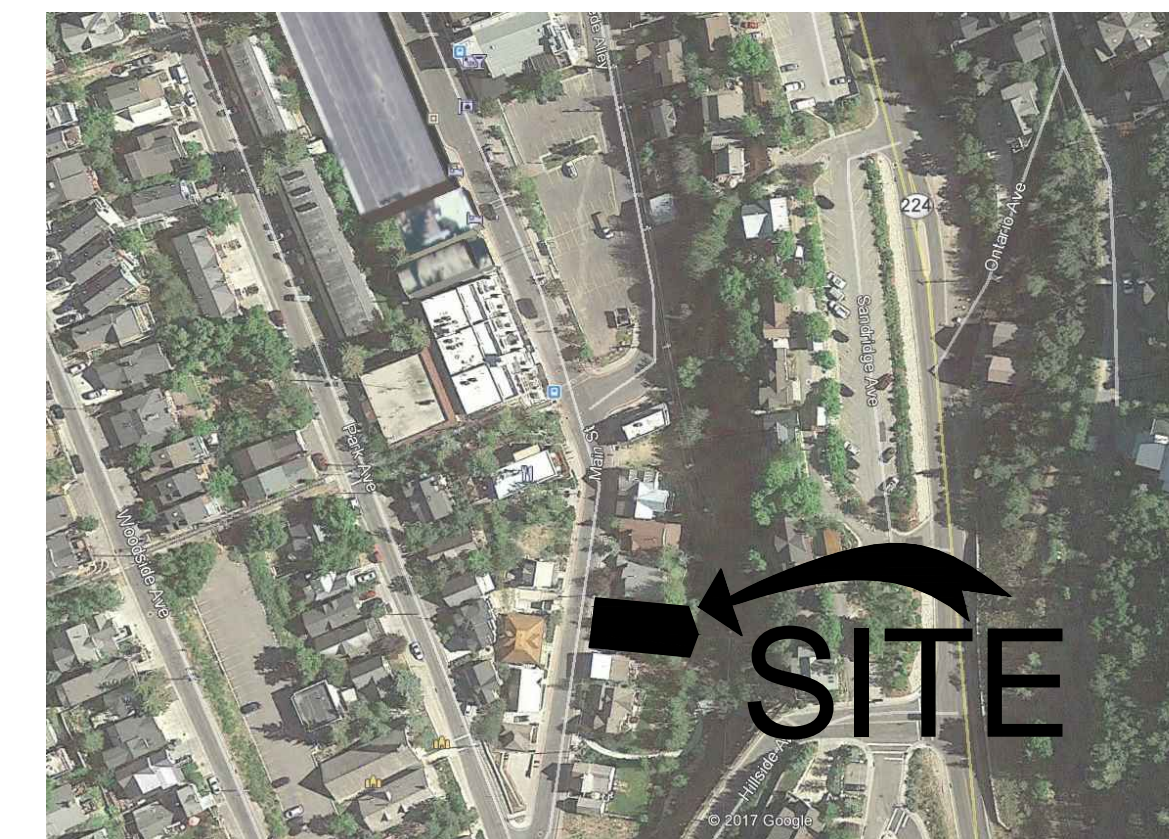
158 MAIN

SHEET INDEX

- A0.01 COVER SHEET SURVEY
- E2.01 EXISTING PLANS
- E2.02 EXISTING ROOF
- E3.01 EXISTING ELEVATIONS
- E3.03 EXISTING DETAILS
- D2.01 DEMOLITION PLANS
- D3.01 DEMOLITION ELEVATIONS
- A1.01 SITE PLAN
- A1.02 STREETSCAPE
- L1.01 LANDSCAPE PLAN
- A2.01 FLOOR PLANS
- A2.02 FLOOR PLANS
- A3.01 EXTERIOR ELEVATIONS
- A3.02 SITE SECTIONS



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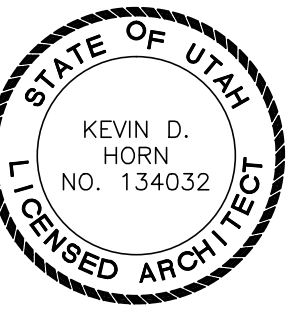


VICINITY MAP

SCALE: NONE



NORTH



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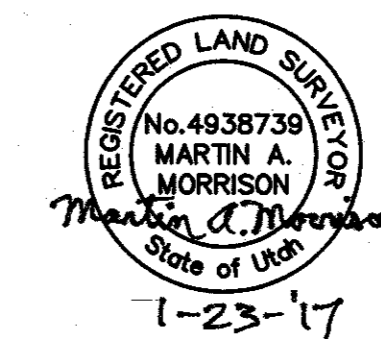
JOB NO.	
FILE NO.	A001-1706
DRAWING DATE:	DATE: 3-27-2018
DRAWN BY:	
CHECKED BY:	

COVER SHEET

A0.01

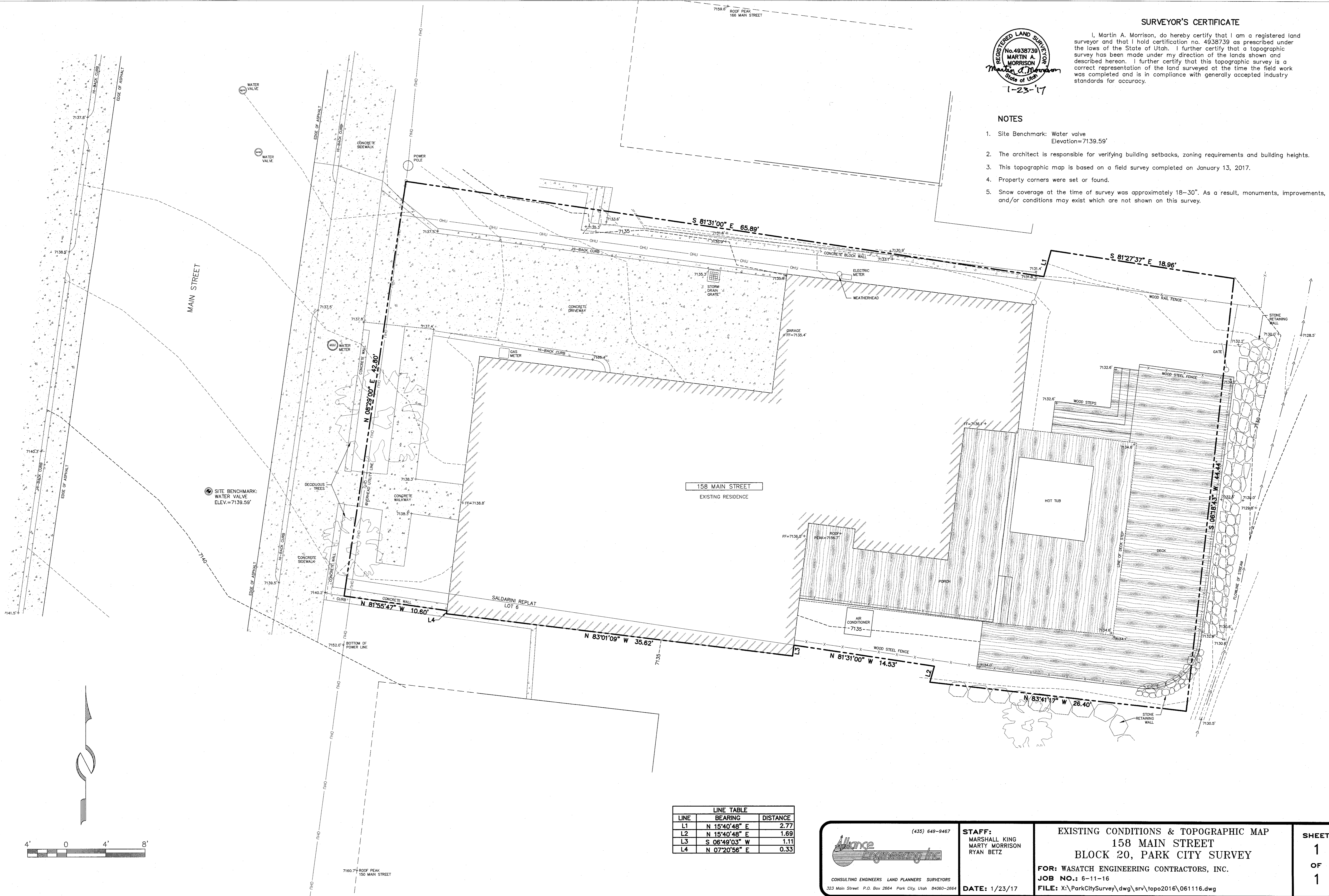
SURVEYOR'S CERTIFICATE

I, Martin A. Morrison, do hereby certify that I am a registered land surveyor and that I hold certification no. 4938739 as prescribed under the laws of the State of Utah. I further certify that a topographic survey has been made under my direction of the lands shown and described hereon. I further certify that this topographic survey is a correct representation of the land surveyed at the time the field work was completed and is in compliance with generally accepted industry standards for accuracy.

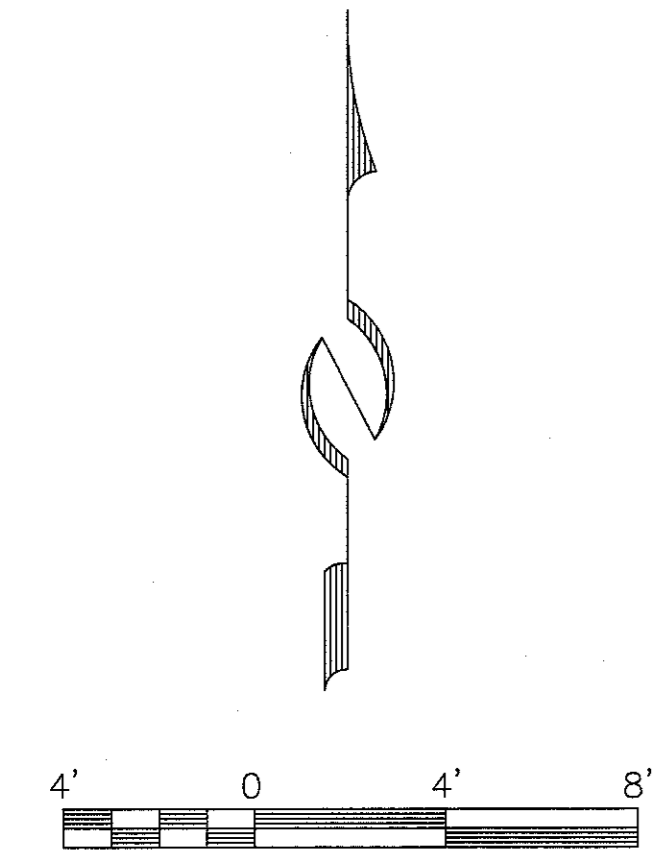


NOTES

1. Site Benchmark: Water valve
Elevation=7139.59'
2. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
3. This topographic map is based on a field survey completed on January 13, 2017.
4. Property corners were set or found.
5. Snow coverage at the time of survey was approximately 18-30". As a result, monuments, improvements, and/or conditions may exist which are not shown on this survey.



LINE	BEARING	DISTANCE
L1	N 15°40'48\"	2.77
L2	N 15°40'48\"	1.69
L3	S 08°49'03\"	1.11
L4	N 07°20'56\"	0.33

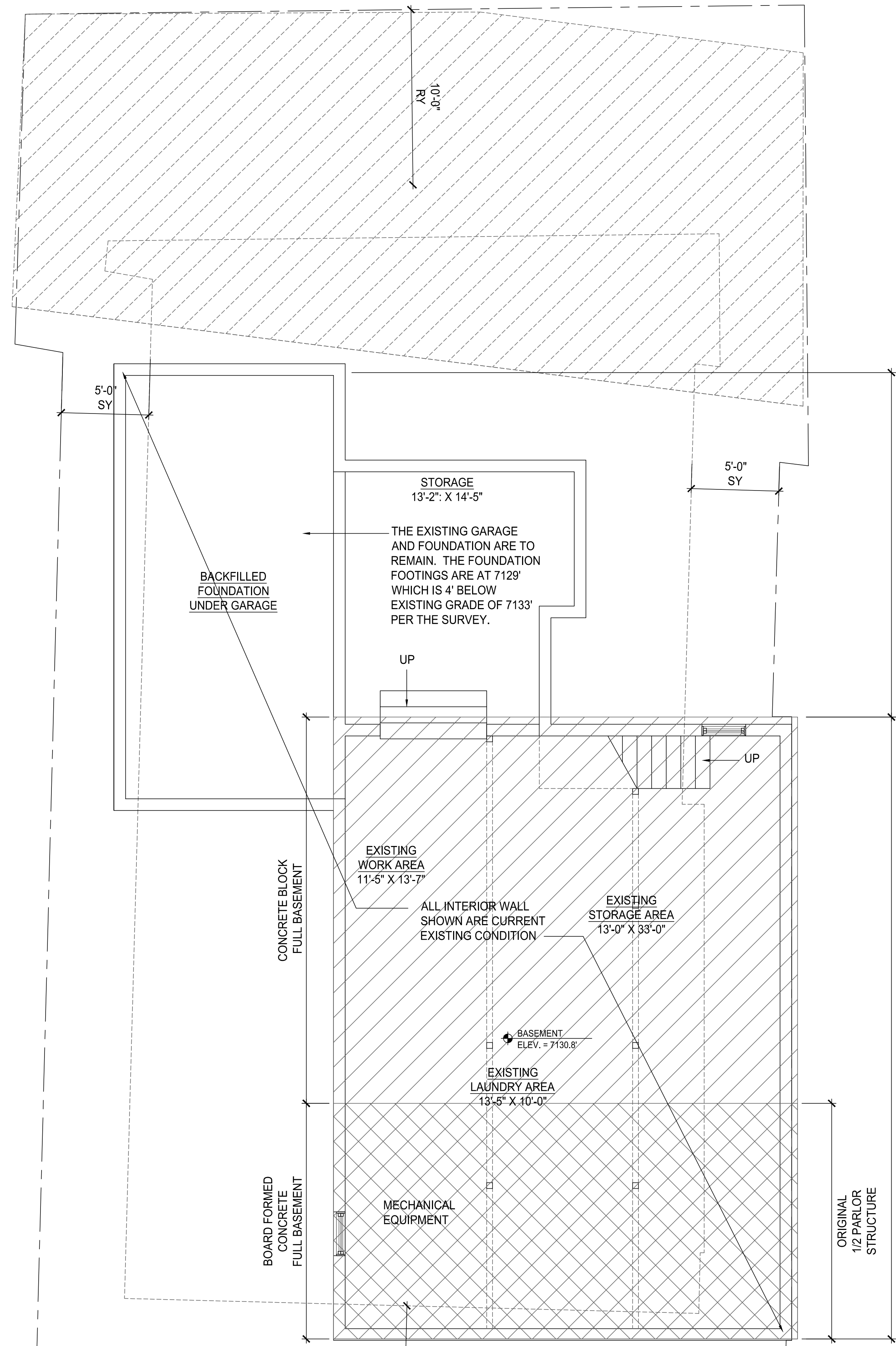


Alliance Engineering Inc.
 (435) 649-9467
 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS
 323 Main Street P.O. Box 2664 Park City, Utah 84060-2664

STAFF:
 MARSHALL KING
 MARTY MORRISON
 RYAN BETZ
DATE: 1/23/17

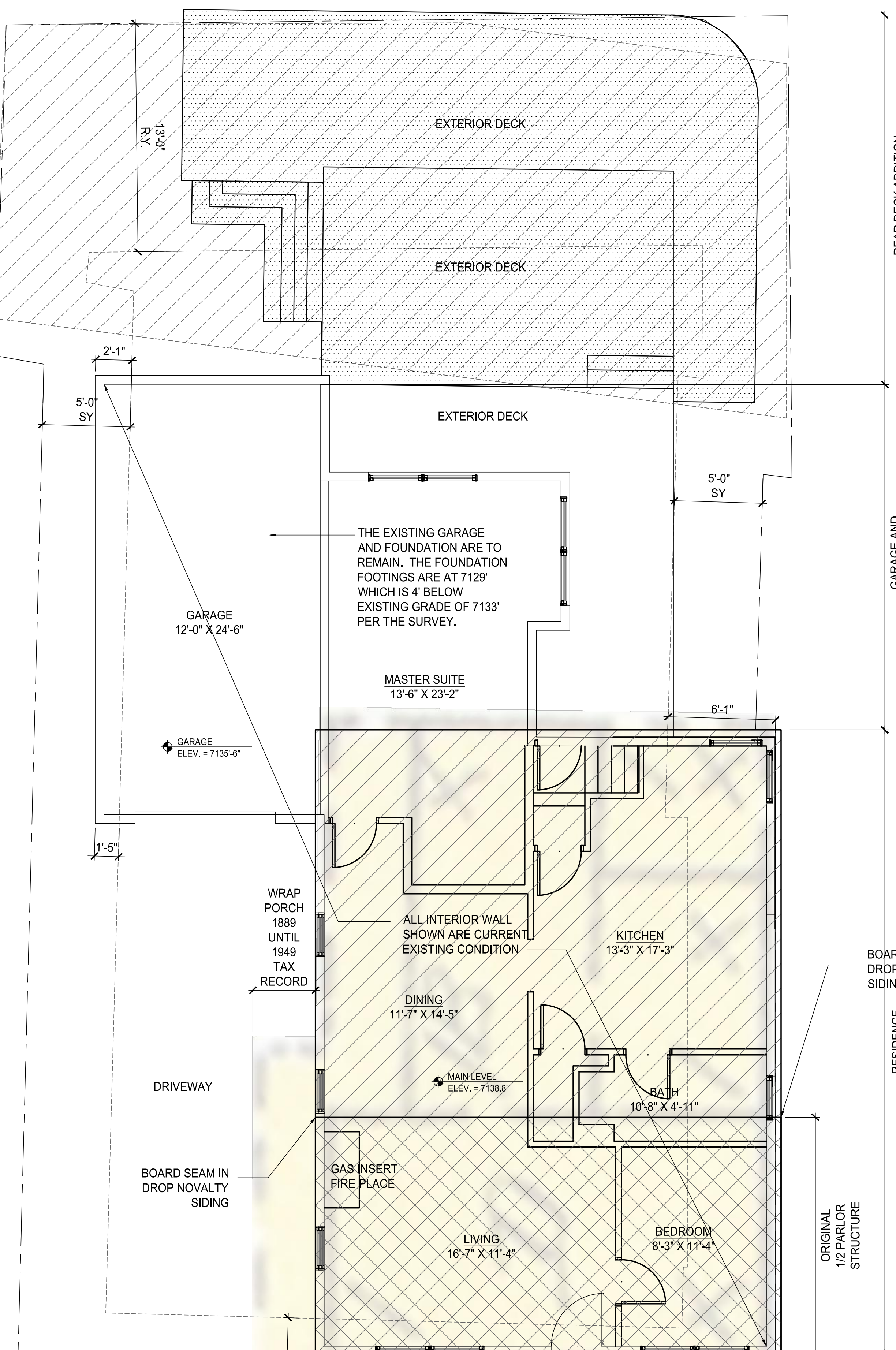
EXISTING CONDITIONS & TOPOGRAPHIC MAP
 158 MAIN STREET
 BLOCK 20, PARK CITY SURVEY
FOR: WASATCH ENGINEERING CONTRACTORS, INC.
JOB NO.: 6-11-16
FILE: X:\ParkCitySurvey\dwg\srvt\topo2016\061116.dwg

SHEET
 1
OF
 1



GARAGE AND MASTER BR ADDITION C-1996

FULL BASEMENT LISTED IN 1949 TAX RECORD



REAR DECK ADDITION C-2005

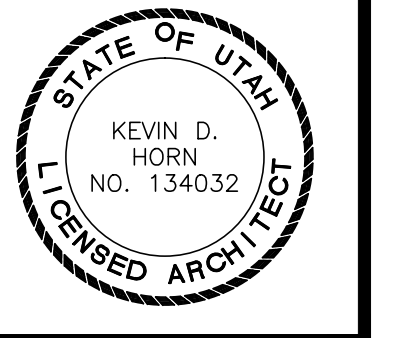
GARAGE AND MASTER BR ADDITION C-1996

RESIDENCE 1889 UNTIL 1949 TAX RECORD

WRAP PORCH 1889 UNTIL 1949 TAX RECORD

BASEMENT PLAN

MAIN LEVEL PLAN



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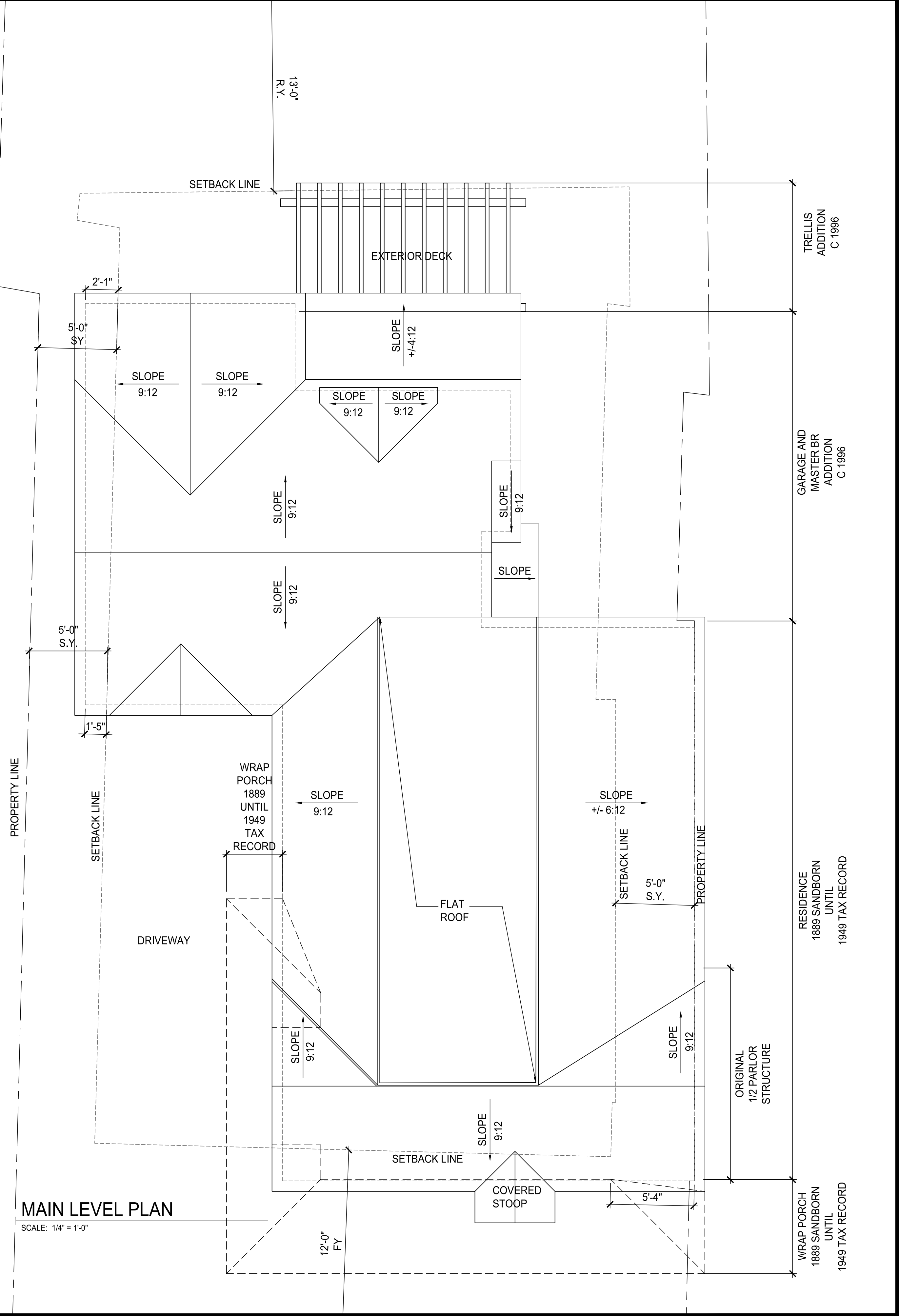
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EXISTING PLANS

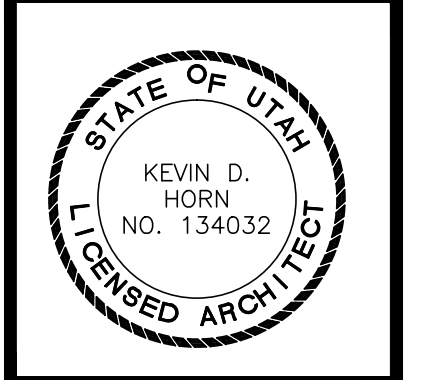
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MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"



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TRELLIS ADDITION
C 1996

GARAGE AND MASTER BR ADDITION
C 1996

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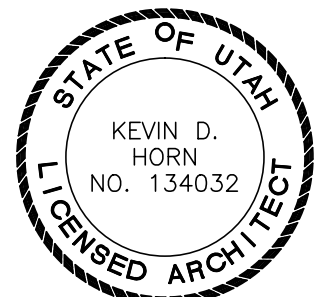
RESIDENCE 1889 SANDBORN UNTIL 1949 TAX RECORD
ORIGINAL 1/2 PARLOR STRUCTURE
WRAP PORCH 1889 SANDBORN UNTIL 1949 TAX RECORD

PROJ

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EXISTING ROOF

E2.02



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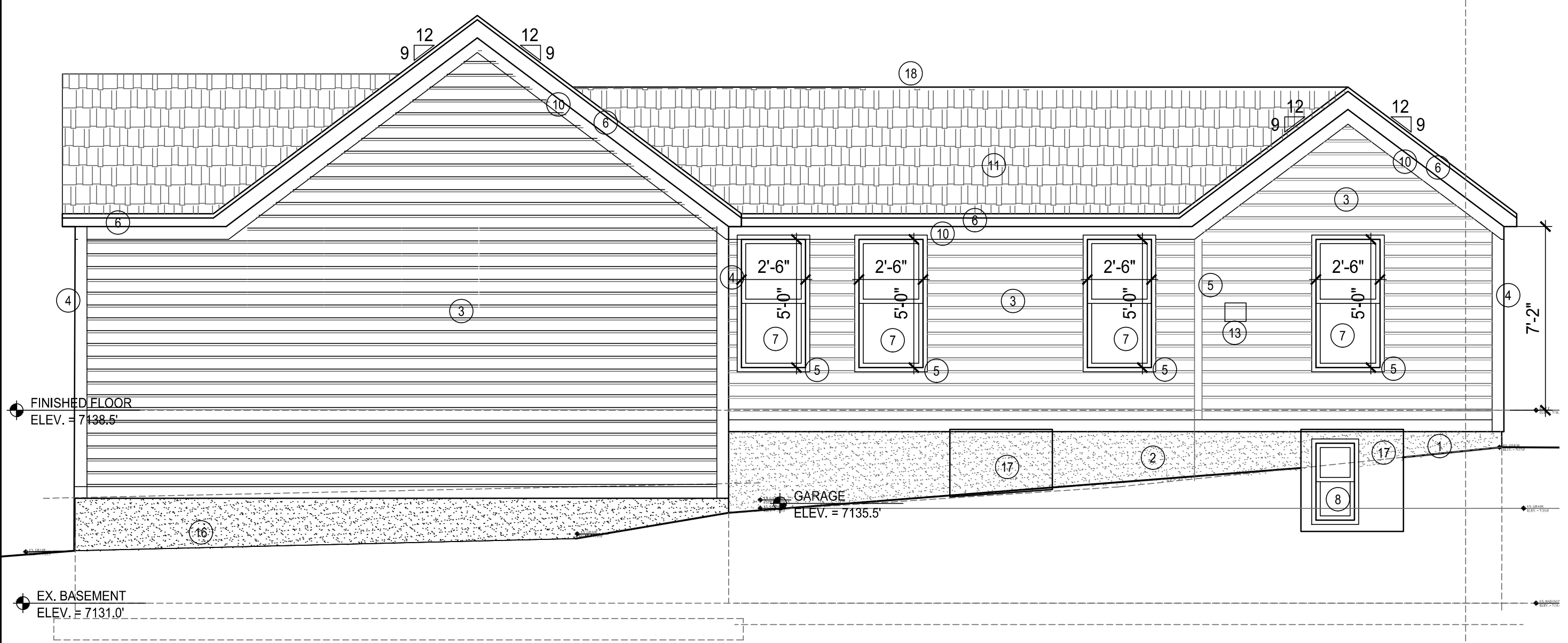
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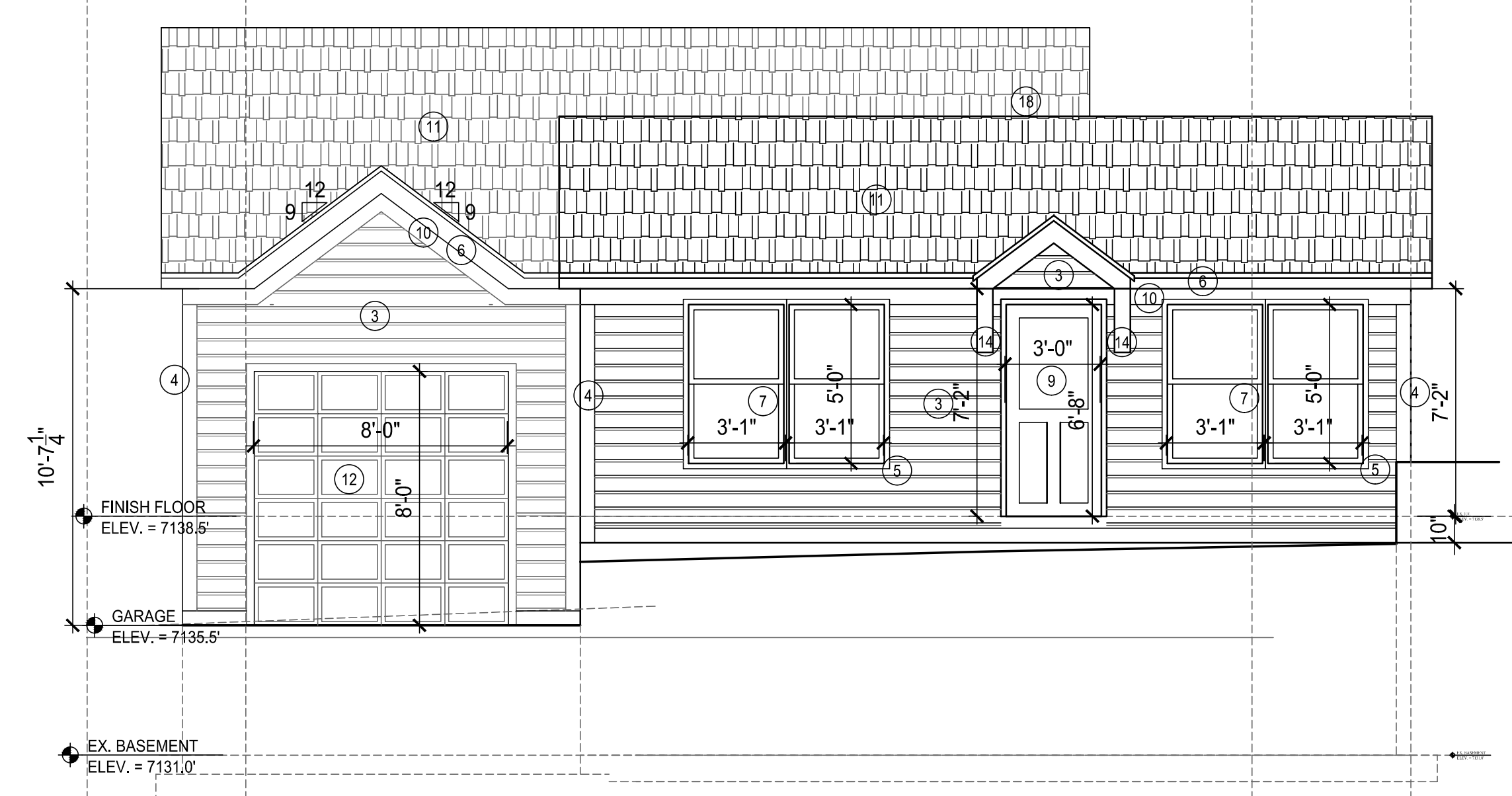
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FILE NO.	E3.01-1706
DRAWING DATE:	3-27-2018
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CHECKED BY:	

EXISTING ELEVATIONS

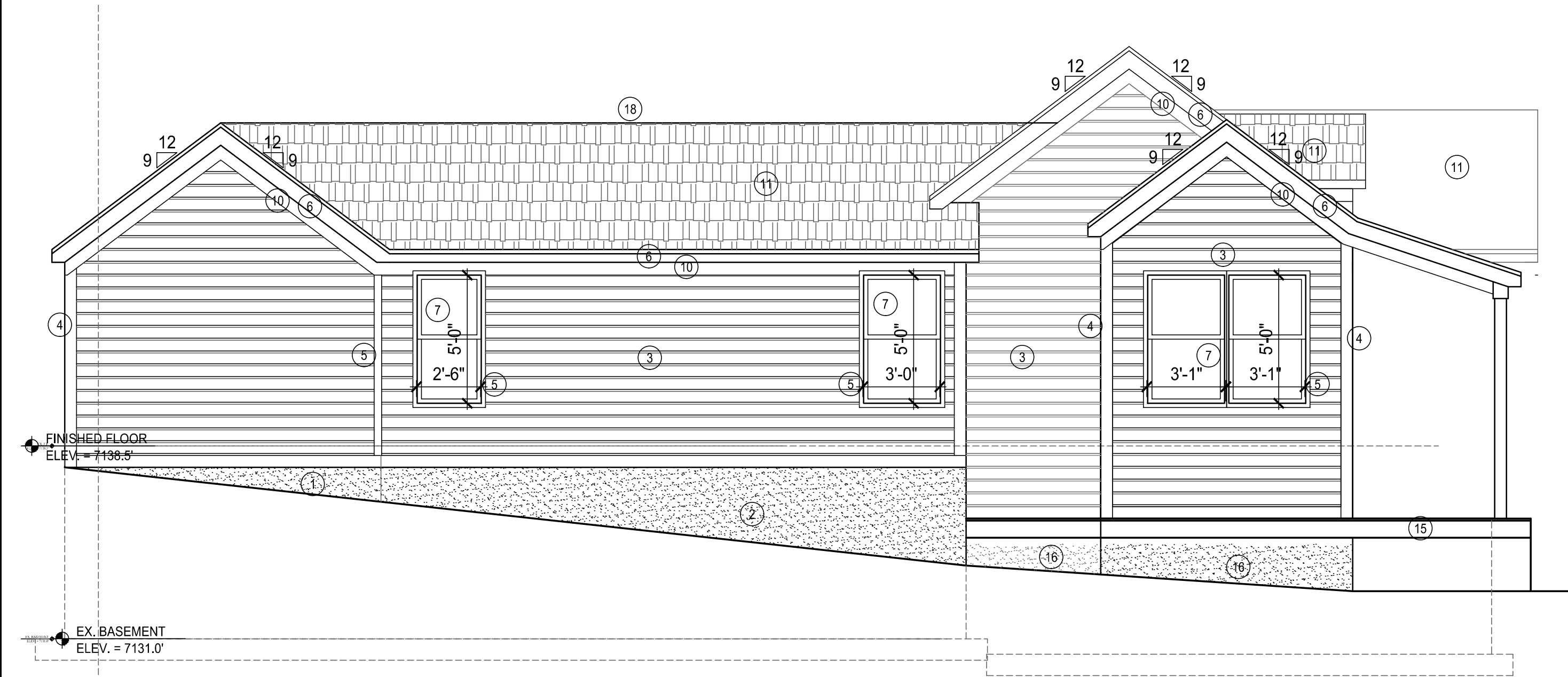
E3.01



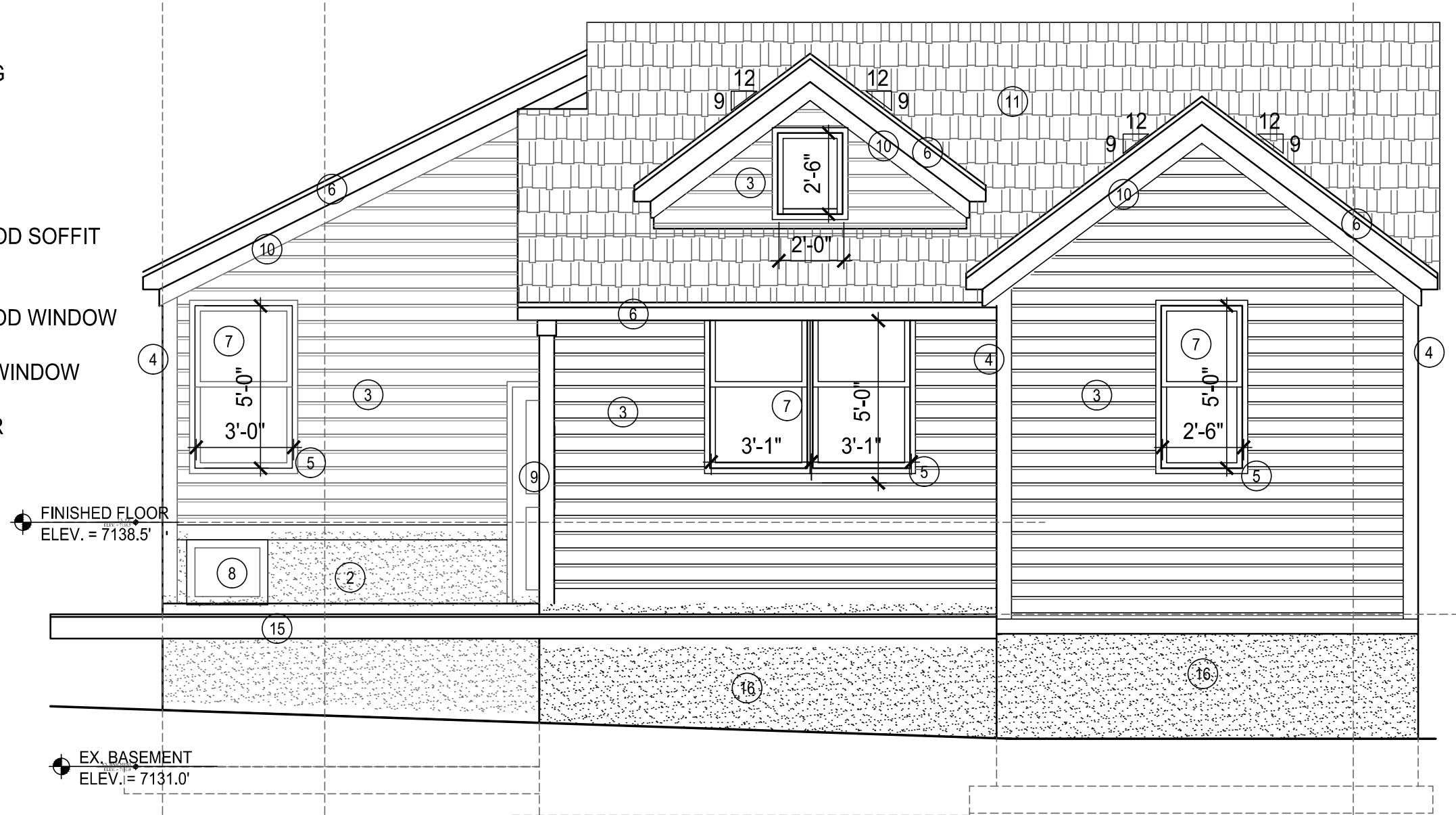
SIDE ELEVATION (NORTH)
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION (WEST)
 SCALE: 1/4" = 1'-0"



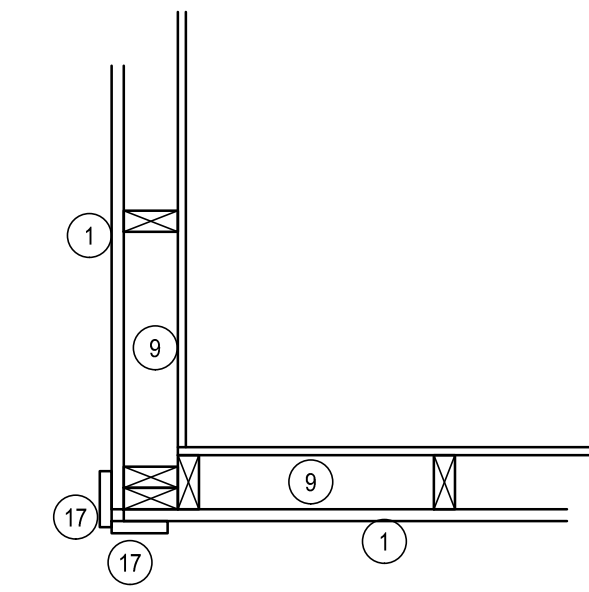
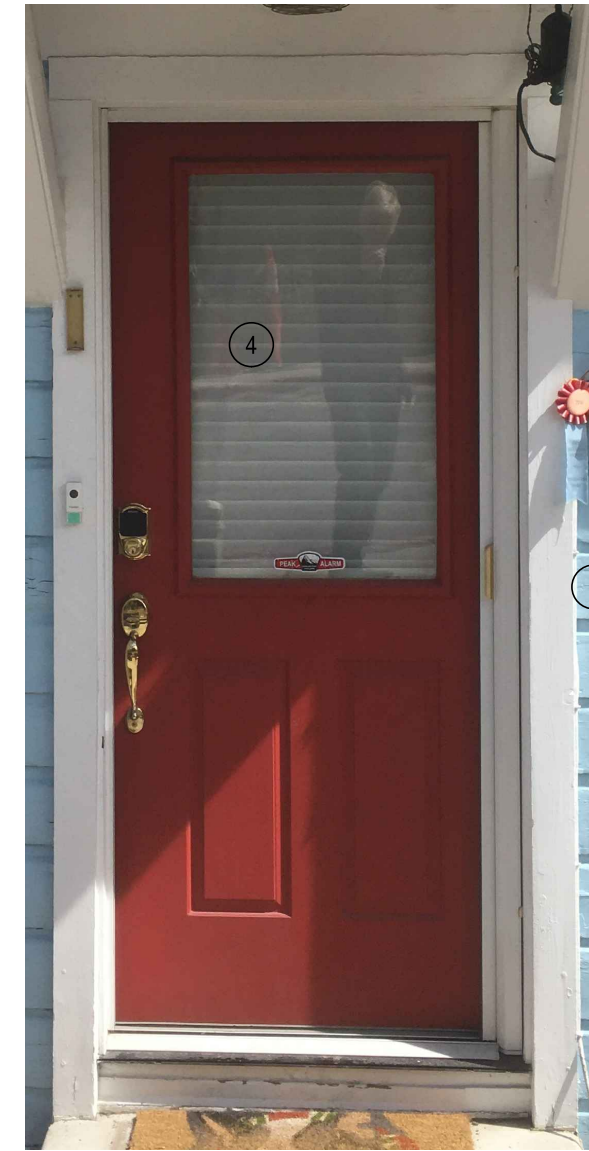
SIDE ELEVATION (SOUTH)
 SCALE: 1/4" = 1'-0"



REAR ELEVATION (EAST)
 SCALE: 1/4" = 1'-0"

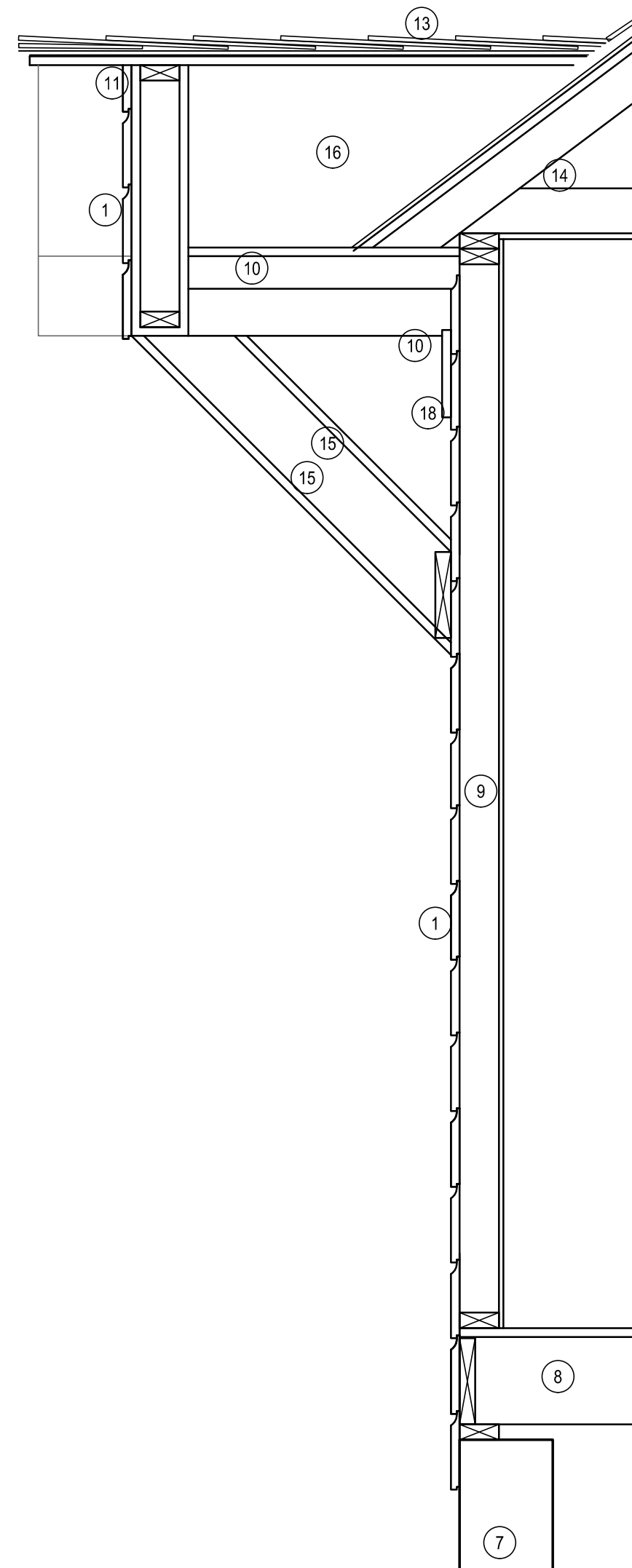
ELEVATION NOTES:

- ① EXPOSED PLANK FORMED CONC. FOUNDATION
- ② EXPOSED CMU FOUNDATION
- ③ 6" DROP NOVELTY WOOD SIDING
- ④ 1X3 CORNER TRIM
- ⑤ 1X3 TRIM
- ⑥ 1X3 & 1X6 WOOD FASCIA W/ WOOD SOFFIT WITH PAINTED METAL DRIP
- ⑦ DOUBLE HUNG ALUM. CLAD WOOD WINDOW
- ⑧ BASEMENT ALUM. CLAD WOOD WINDOW
- ⑨ HALF LIGHT WOOD ENTRY DOOR NON-HISTORIC
- ⑩ 1X8 WOOD FREIZE BOARD
- ⑪ ASPHALT ROOF
- ⑫ PAINTED STEEL SECTION DOOR
- ⑬ FIREPLACE VENT
- ⑭ 4X6 TRIMMED OUTLOOKERS
- ⑮ WOOD DECK AND FASCIA
- ⑯ FORMED CONC. FOUNDATION
- ⑰ FILLED BASEMENT WINDOW
- ⑱ FLAT MEMBRANE ROOF ABOVE



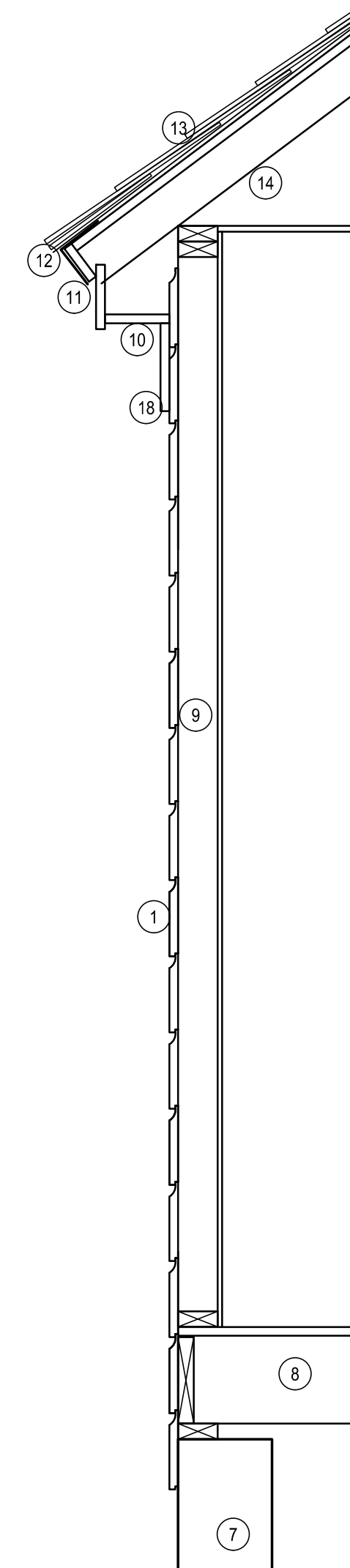
CORNER DETAIL

SCALE: 1" = 1'-0"



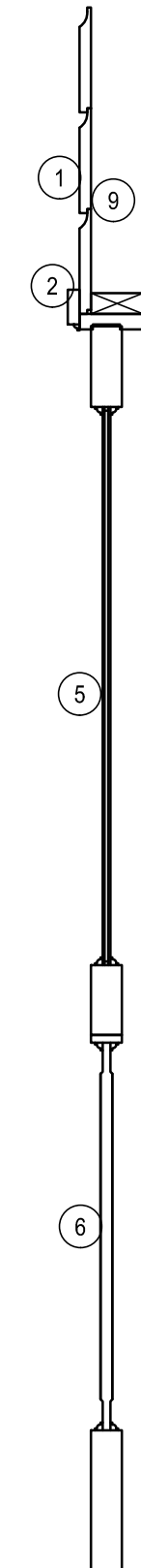
STOOP DETAIL

SCALE: 1" = 1'-0"



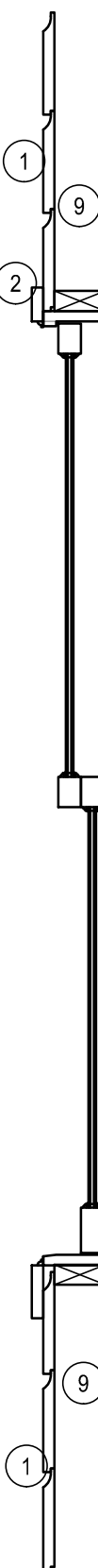
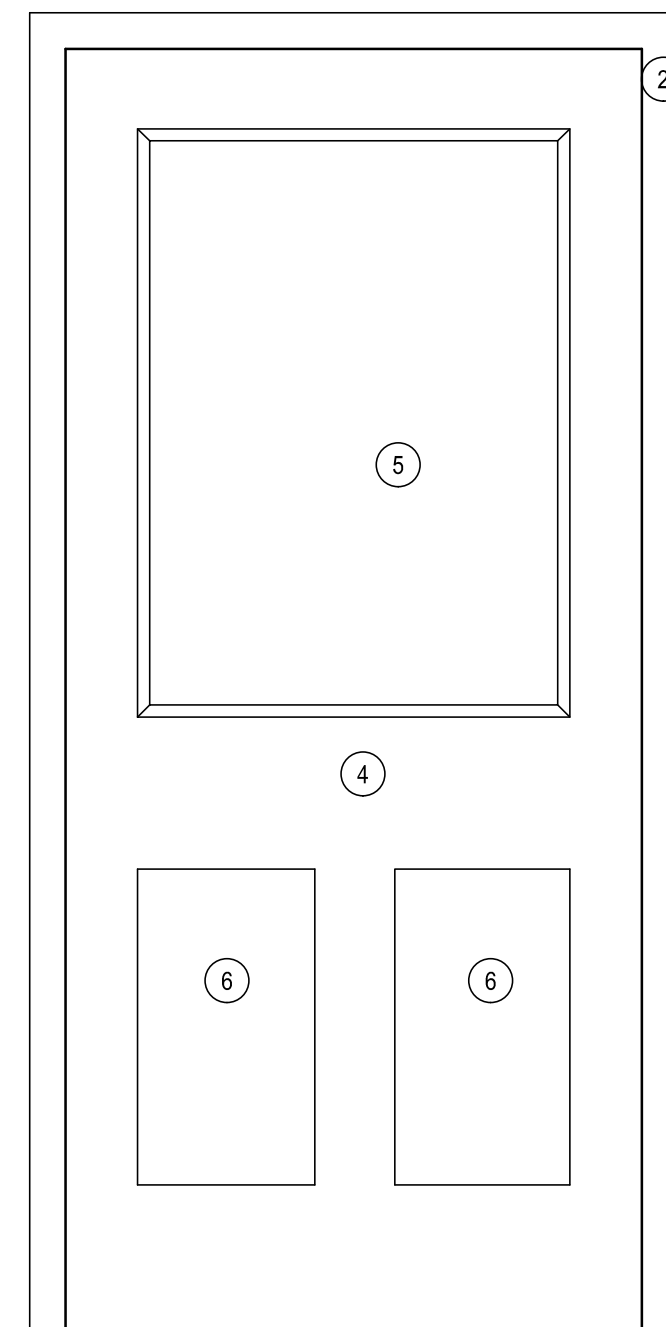
WALL DETAIL

SCALE: 1" = 1'-0"



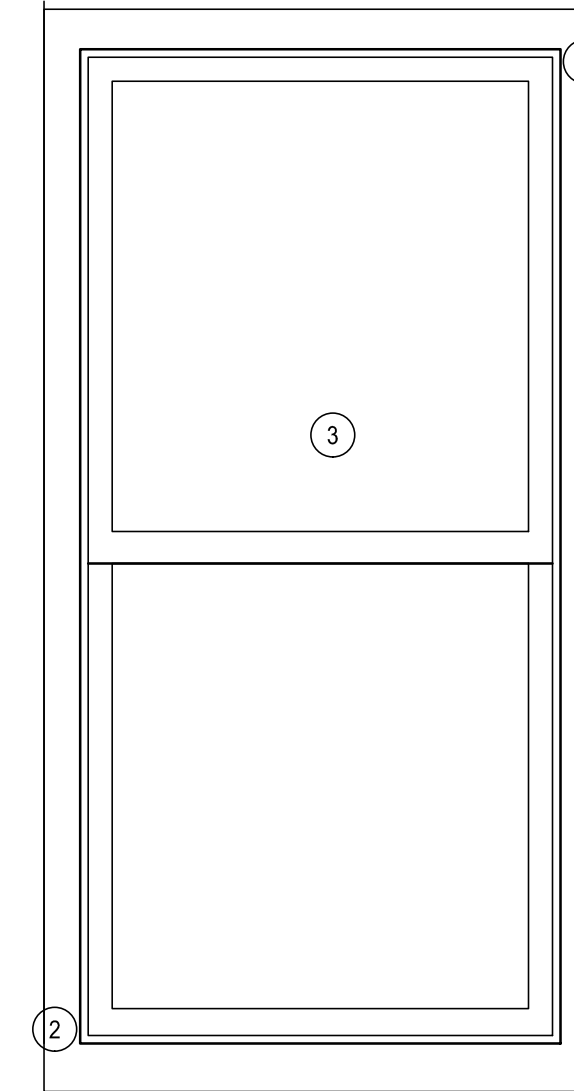
ENTRY DOOR

SCALE: 1" = 1'-0"



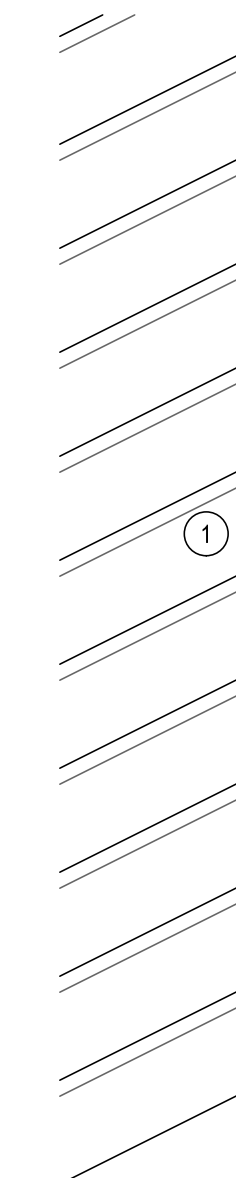
WINDOW DETAIL

SCALE: 1" = 1'-0"



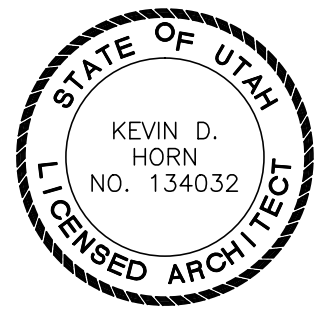
SIDING DETAIL

SCALE: 1" = 1'-0"



NOTES:

- ① HISTORIC DROP NOVELTY SIDING
- ② 1X3 MITERED WOOD TRIM SURROUND
- ③ ALUM. CLAD WOOD DBL HUNG WINDOW W/ SCREEN
- ④ HALF LIGHT WOOD ENTRY DOOR - NON-HISTORIC
- ⑤ GLASS
- ⑥ RAISED PANEL
- ⑦ CONCRETE BASEMENT WALL
- ⑧ FLOOR STRUCTURE
- ⑨ 2X4 STUD WALL
- ⑩ WOOD SOFFIT
- ⑪ 1'X3 & 1X6 FASCIA
- ⑫ METAL DRIP EDGE
- ⑬ SHINGLE ROOF
- ⑭ ROOF/CEILING STRUCTURE
- ⑮ 1X TRIM ON WOOD OUTLOOKER
- ⑯ STOOP ROOF STRUCTURE
- ⑰ 1X3 CORNER TRIM
- ⑱ 1X8 FRIEZE BOARD



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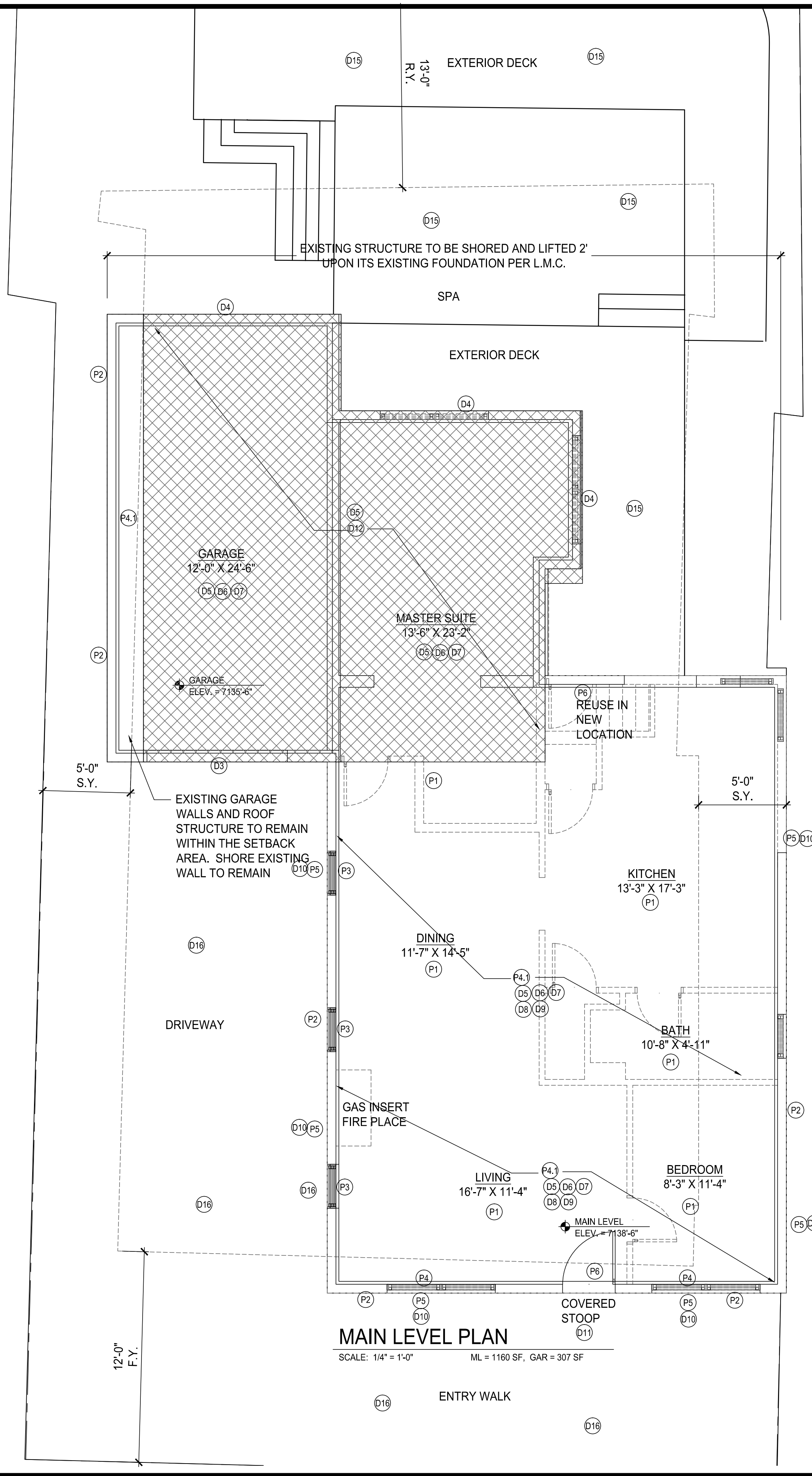
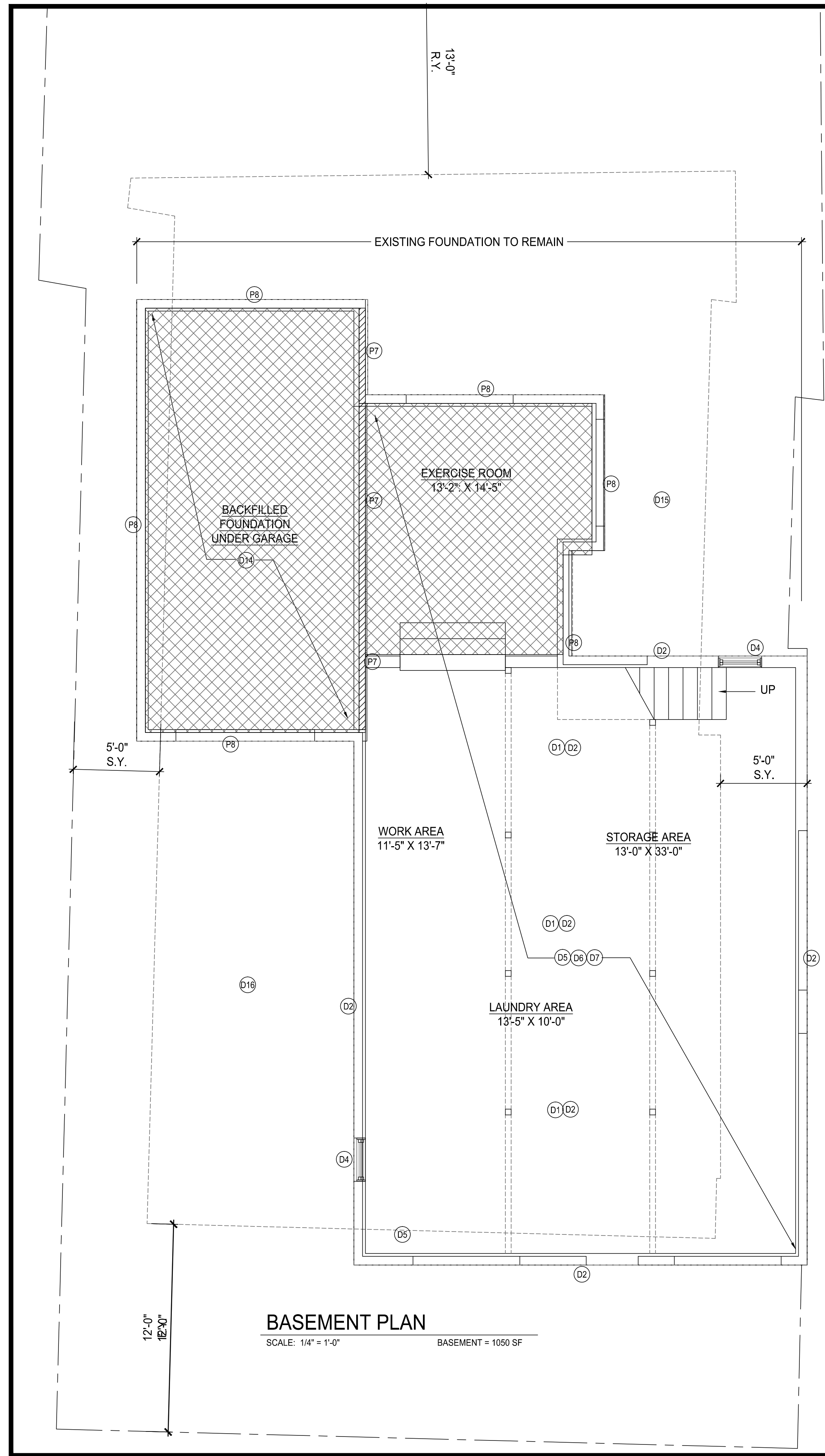
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**EXISTING
 DETAILS**

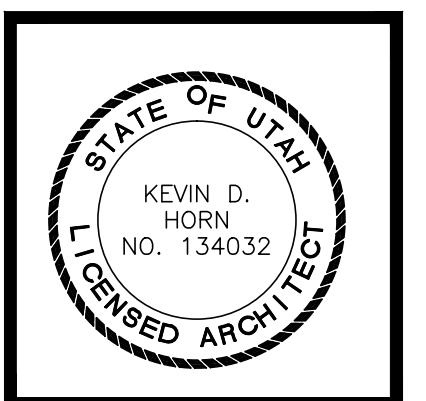
E3.02



- PRESERVATION KEYED NOTES**
- P1 EXISTING FLOOR STRUCTURE TO REMAIN
 - P2 EXISTING HISTORIC WOOD SIDING TO REMAIN. SHORE STUDS AND INSTALL VAPOR BARRIER AND INSULATION FROM INTERIOR
 - P3 EXISTING WINDOW TO REMAIN- RECONSTRUCT WINDOW WITH NEW INSULATED GLAZING
 - P4 EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH WINDOWS TO MATCH ORIGINAL CONFIGURATION. INFILL WALLS AND PATCH SIDING TO MATCH HISTORIC.
 - F4.1 EXISTING ROOF STRUCTURE TO REMAIN. INCREASE STRUCTURE SUPPORT PER STRUCTURAL DRAWINGS.
 - P5 EXISTING FASCIA AND TRIM DETAILS TO BE RETAINED. WHERE REQUIRED, REFINISH AND RESTORE ORNAMENTAL DETAILS TO MAINTAIN EXISTING FORM.
 - P6 EXISTING WOOD DOOR TO REMAIN. STABILIZE THE FRAME FROM WITHIN AND MAKE DOOR OPERABLE AND SEALED
 - P7 THE INTERIOR GARAGE WALL MUST BE MAINTAINED TO PRESERVE LEGALLITY OF THE STRUCTURE OUTSIDE THE SETBACK
 - P8 PRESERVE EXISTING EXTERIOR FOUNDATION WALLS

- DEMOLITION KEYED NOTES**
- D1 SHORE UP MAIN FLOOR AND REMOVE LOWER FLOOR LEVEL WALLS FOR NEW FOUNDATION
 - D2 EXCAVATE EXISTING BASEMENT FOUNDATION AND REPLACE OLD SUBSTANDARD FOUNDATION ONE WALL AT A TIME TO PRESERVE SETBACKS. FOUNDATION TO BE REPLACED PER STRUCTURAL
 - D3 REMOVE EXISTING NON-HISTORIC DOOR
 - D4 REMOVE NON-HISTORIC WINDOW FOR NEW WINDOW MATCHING HISTORIC
 - D5 REMOVE EXISTING HVAC SYSTEM AND DUCT WORK
 - D6 REMOVE EXISTING PLUMBING SYSTEM INCLUDING PIPING AND FIXTURES
 - D7 REMOVE EXISTING WIRING AND ELECTRICAL EQUIPMENET, CAP AND REMOVE TO PANEL
 - D8 SHORE UP MAIN STRUCTURE AND REMOVE INTERIOR WALLS FOR FOR ADDITION AND REMODEL
 - D9 SHORE UP EXISTING RAFTERS FOR SHORING FROM BENEATH
 - D10 REMOVE EXISTING WOOD SHINGLES AND SUB ROOF FINISHES DOWN TO EXISTING RAFTERS
 - D11 REMOVE STOOP ROOF FOR NEW PORCH CONSTRUCTION
 - D12 REMOVE 3 OF 4 EXISTING WALLS OF GARAGE ADDITION AND ALL OF BEDROOM ADDITION. PROTECT EXISTING HISTORIC STRUCTURE TO REMAIN
 - D13 REMOVE CORNER OF OLDER ADDITION FOR NEW STAIR AND ELEVATOR TOWER
 - D14 EXISTING GARAGE FOUNDATION TO REMAIN. GARAGE SLAB TO BE LOWERED WITHIN EXISTING WALLS
 - D15 EXISTING EXTERIOR DECK TO REMAIN. DECK TO BE RECONSTRUCTED TO CANTILEVER WITH NO STRUCTURAL SUPPORT IN EASEMENT. REMOVE TRELLIS ABOVE.
 - D16 REMOVE CONCRETE DRIVE & WALKS & RETAINING WALL FOR NEW EXCAVATION

- DEMOLITION GENERAL NOTES**
1. ITEMS SHOWN DASHED ARE TO BE REMOVED. DEMO TO BASE SUBSTRATE.
 2. PROTECT FINISHES NOT INVOLVED IN DEMOLITION. PATCH AND REPAIR ALL EXISTING FINISHES OF WALLS, CEILINGS, FLOORS, OR SURFACES THAT ARE EXPOSED OR DAMAGED DURING DEMOLITION. MATCH EXISTING AND/OR PROVIDE NEW FINISHES AS REQUIRED.
 3. PROVIDE CLEAN SEAMLESS TRANSITION BETWEEN NEW AND EXISTING MATERIALS AND FINISHES.
 4. FIELD VERIFY EXISTING STRUCTURE AND BUILDING CONDITIONS. PROVIDE PROPER AND ADEQUATE SUPPORT OF EXISTING STRUCTURE. SHORE-UP EXISTING WALLS AND STRUCTURE AS REQ PRIOR TO STARTING ANY DEMOLITION. PLAN AND PREPARE AS REQ. TO ACCOMPLISH THE DEMOLITION AND CONSTRUCTION.
 5. FINAL GRADING SHALL BE EXECUTED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE HOUSE AT ALL POINTS.
 6. FIELD VERIFY ALL CURRENT EXISTING CONDITIONS & COORD. SCOPE OF PROJECT W/ ARCHITECT PRIOR TO STARTING ANY WORK.
 7. IDENTIFY CURRENT EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS AND CONDITIONS. PLAN AND PREPARE AS REQ. TO ACCOMPLISH THE DEMOLITION AND CONSTRUCTION.
 8. FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO STARTING ANY WORK.
 9. TAKE ALL NECESSARY AND REQUIRED STEPS TO ENSURE THE SAFETY OF ALL WORKERS DURING DEMOLITION AND RECONSTRUCTION.
 10. DISPOSE OF ALL CONSTRUCTION DEBRIS ACCORDING TO SALT LAKE COUNTY REQUIREMENTS IN AN APPROVED SALT LAKE COUNTY LANDFILL



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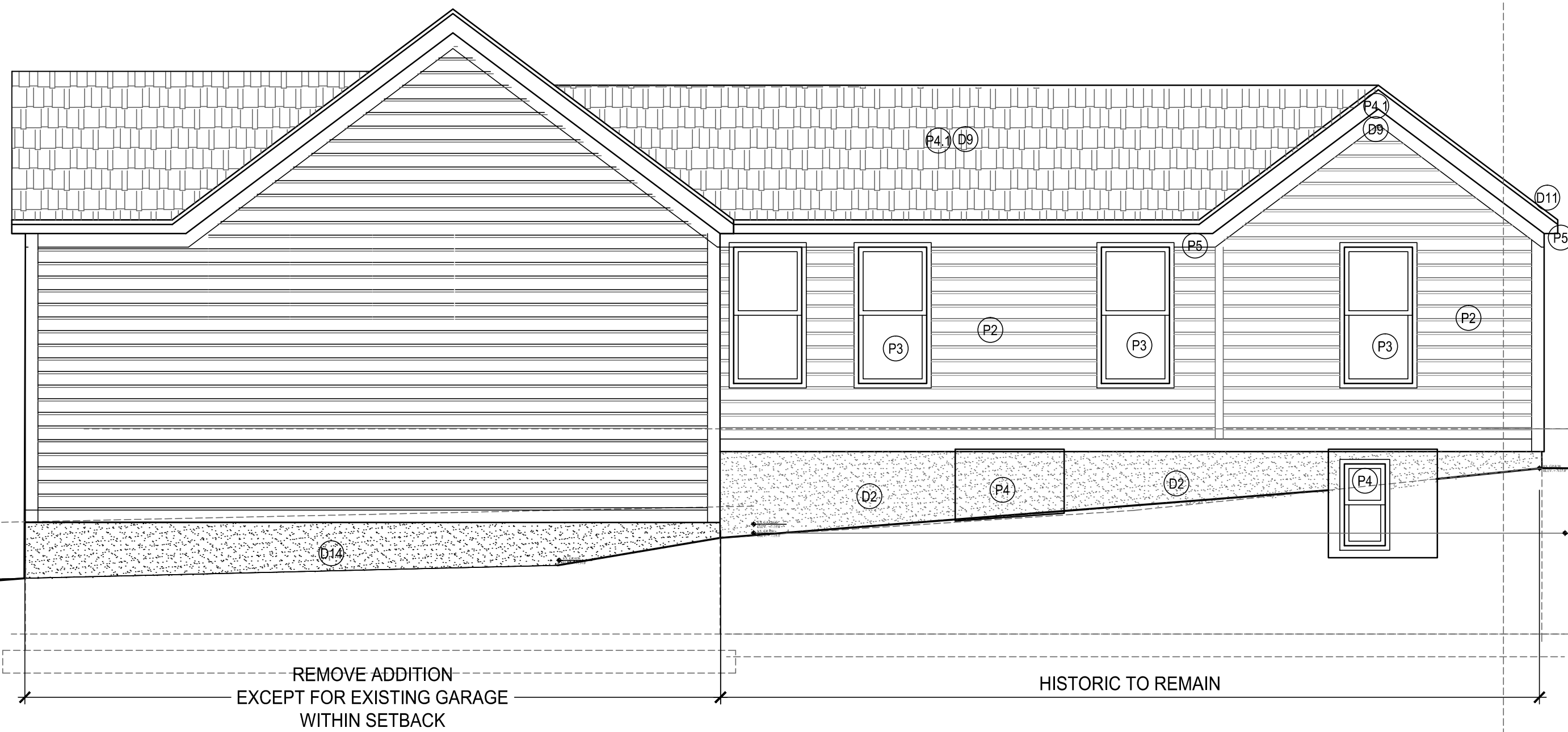
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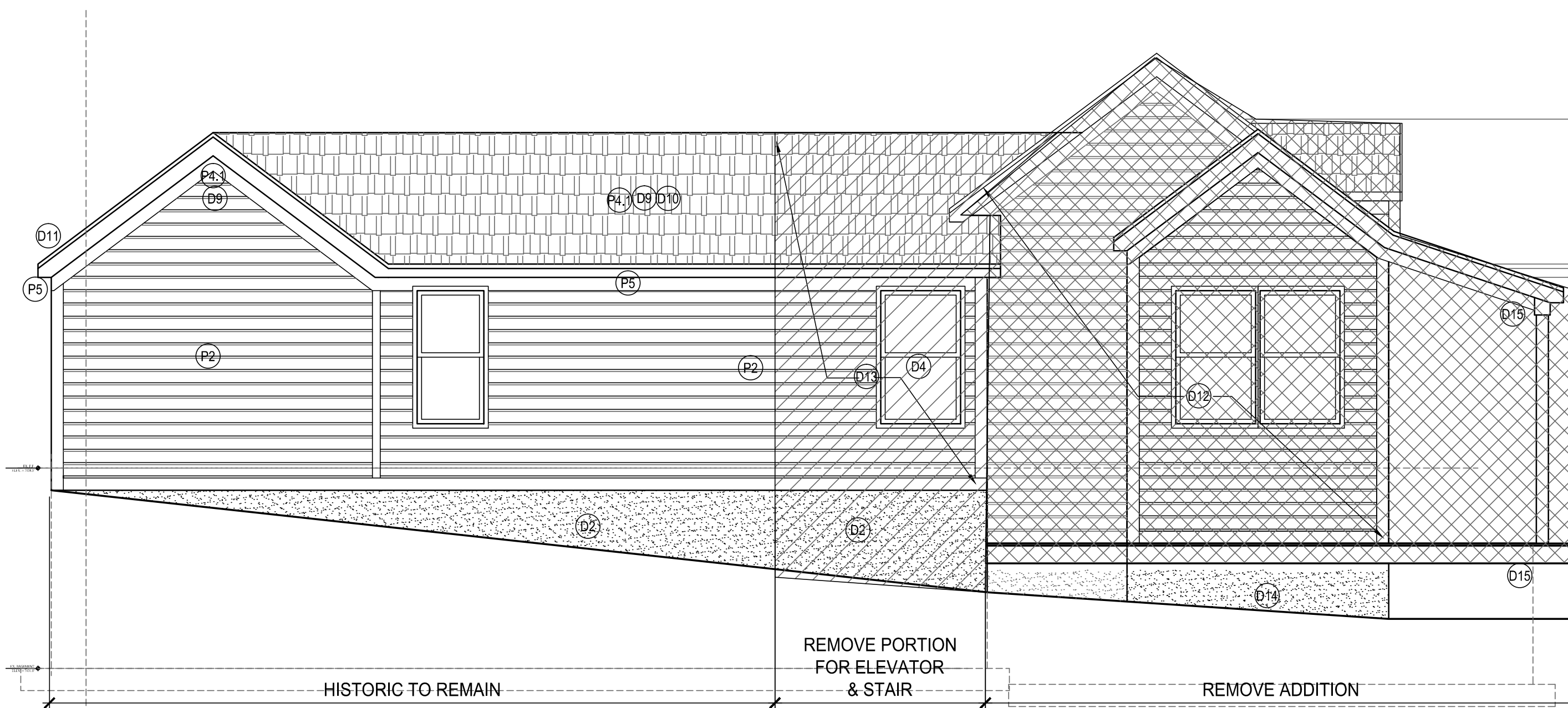
JOB NO.
FILE NO.
D201-1706

DEMOLITION PLAN
D2.01



SIDE ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

PRESERVATION KEYED NOTES

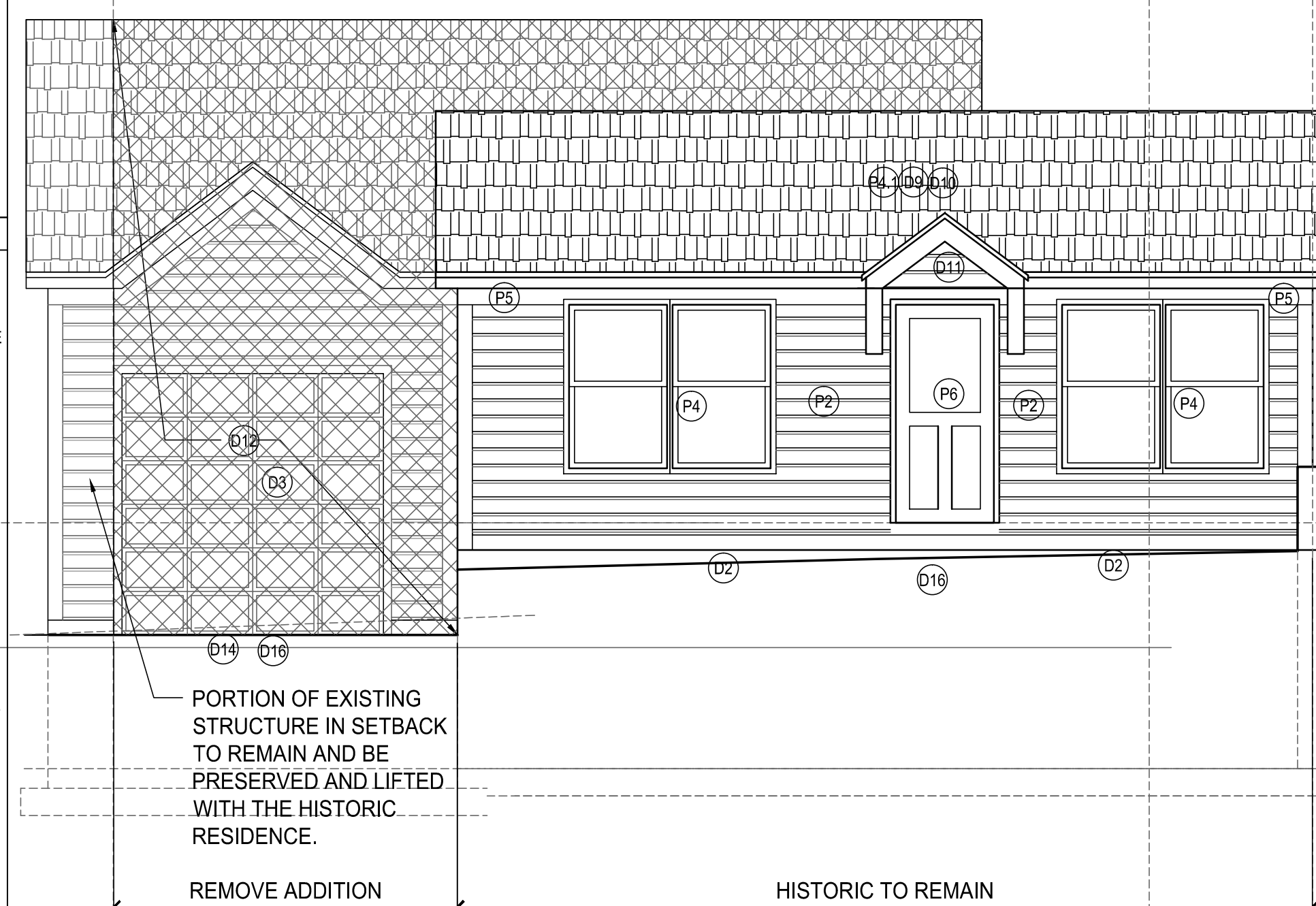
- (P1) EXISTING FLOOR STRUCTURE TO REMAIN
- (P2) EXISTING HISTORIC WOOD SIDING TO REMAIN. SHORE STUDS AND INSTALL VAPOR BARRIER AND INSULATION FROM INTERIOR
- (P3) EXISTING WINDOW TO REMAIN- RECONSTRUCT WINDOW WITH NEW INSULATED GLAZING
- (P4) EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH WINDOWS TO MATCH ORIGINAL CONFIGURATION. INFILL WALLS AND PATCH SIDING TO MATCH HISTORIC.
- (P4.1) EXISTING ROOF STRUCTURE TO REMAIN. INCREASE STRUCTURE PER STRUCTURAL DRAWINGS.
- (P5) EXISTING FASCIA AND TRIM DETAILS TO BE RETAINED. WHERE REQUIRED, REFINISH AND RESTORE ORNAMENTAL DETAILS TO MAINTAIN EXISTING FORM.
- (P6) EXISTING WOOD DOOR TO REMAIN. STABILIZE THE FRAME FROM WITHIN AND MAKE DOOR OPERABLE AND SEALED

DEMOLITION KEYED NOTES

- (D1) SHORE UP MAIN FLOOR AND REMOVE LOWER FLOOR LEVEL WALLS FOR NEW FOUNDATION
- (D2) EXCAVATE EXISTING BASEMENT FOUNDATION AND REPLACE OLD SUBSTANDARD FOUNDATION ONE WALL AT A TIME TO PRESERVE SETBACKS. FOUNDATION TO BE REPLACED PER STRUCTURAL.
- (D3) REMOVE EXISTING NON-HISTORIC DOOR
- (D4) REMOVE NON-HISTORIC WINDOW FOR NEW WINDOW MATCHING HISTORIC
- (D5) REMOVE EXISTING HVAC SYSTEM AND DUCT WORK
- (D6) REMOVE EXISTING PLUMBING SYSTEM INCLUDING PIPING AND FIXTURES
- (D7) REMOVE EXISTING WIRING AND ELECTRICAL EQUIPMENT. CAP AND REMOVE TO PANEL
- (D8) SHORE UP MAIN STRUCTURE AND REMOVE INTERIOR WALLS FOR ADDITION AND REMODEL
- (D9) SHORE UP EXISTING RAFTERS FOR SHORING FROM BENEATH
- (D10) REMOVE EXISTING WOOD SHINGLES AND SUB ROOF FINISHES DOWN TO EXISTING RAFTERS
- (D11) REMOVE STOOP ROOF FOR NEW PORCH CONSTRUCTION
- (D12) REMOVE 3 OF 4 EXISTING WALLS OF GARAGE ADDITION AND ALL OF BEDROOM ADDITION. PROTECT EXISTING HISTORIC STRUCTURE TO REMAIN
- (D13) REMOVE CORNER OF OLDER ADDITION FOR NEW STAIR AND ELEVATOR TOWER
- (D14) EXISTING GARAGE FOUNDATION TO REMAIN. GARAGE SLAB TO BE LOWERED WITHIN EXISTING WALLS
- (D15) EXISTING EXTERIOR DECK TO REMAIN. DECK TO BE RECONSTRUCTED TO CANTILEVER WITH NO STRUCTURAL SUPPORT IN EASEMENT. REMOVE TRELLIS ABOVE.
- (D16) REMOVE CONCRETE DRIVE & WALKS & RETAINING WALL FOR NEW EXCAVATION

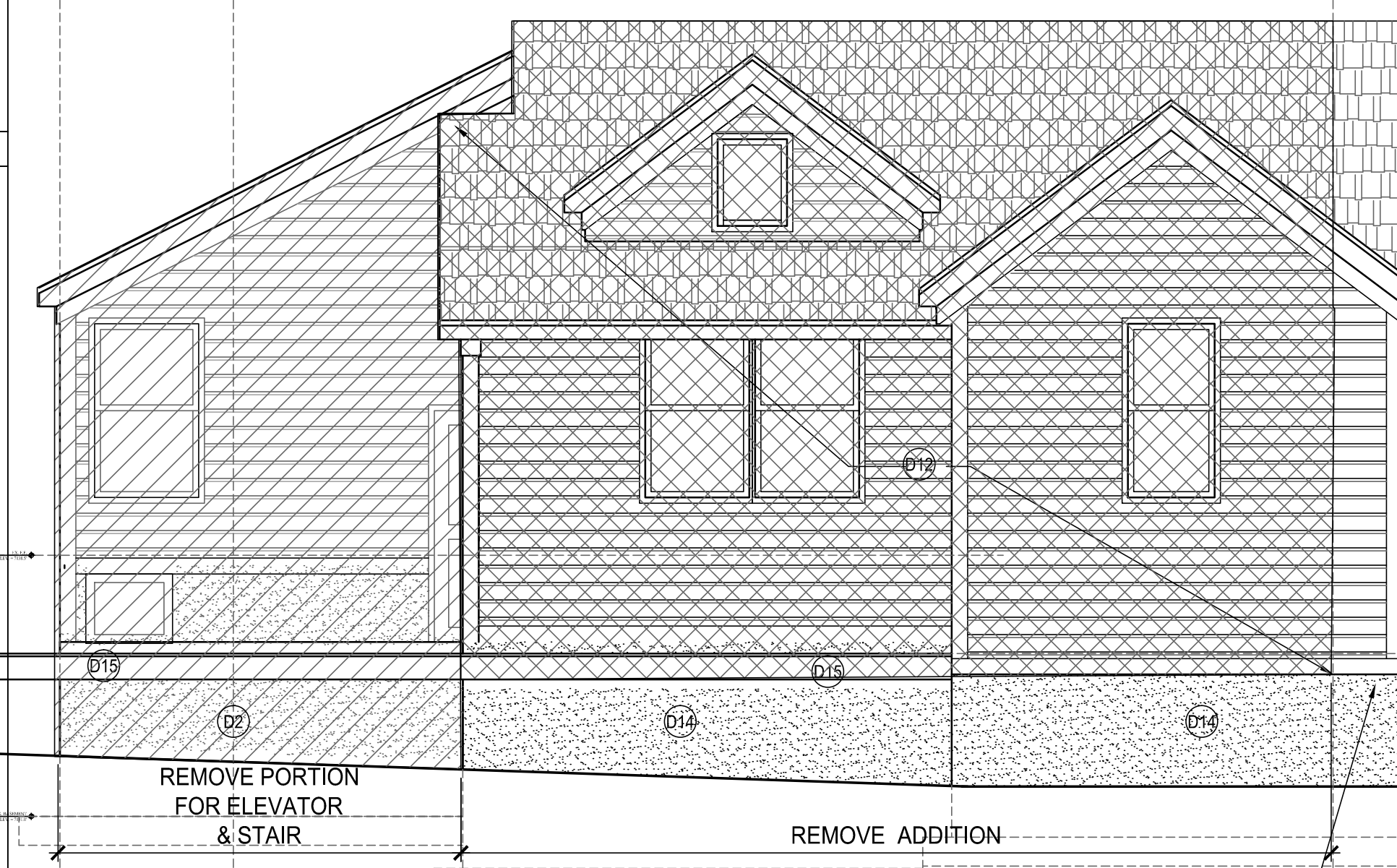
DEMOLITION GENERAL NOTES

1. ITEMS SHOWN DASHED ARE TO BE REMOVED. DEMO TO BASE SUBSTRATE.
2. PROTECT FINISHES NOT INVOLVED IN DEMOLITION. PATCH AND REPAIR ALL EXISTING FINISHES OF WALLS, CEILINGS, FLOORS, OR SURFACES THAT ARE EXPOSED OR DAMAGED DURING DEMOLITION. MATCH EXISTING AND/OR PROVIDE NEW FINISHES AS REQUIRED.
3. PROVIDE CLEAN SEAMLESS TRANSITION BETWEEN NEW AND EXISTING MATERIALS AND FINISHES.
4. FIELD VERIFY EXISTING STRUCTURE AND BUILDING CONDITIONS. PROVIDE PROPER AND ADEQUATE SUPPORT OF EXISTING STRUCTURE. SHORE-UP EXISTING WALLS AND STRUCTURE AS REQ PRIOR TO STARTING ANY DEMOLITION. PLAN AND PREPARE AS REQ. TO ACCOMPLISH THE DEMOLITION AND CONSTRUCTION.
5. FINAL GRADING SHALL BE EXECUTED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE HOUSE AT ALL POINTS.
6. FIELD VERIFY ALL CURRENT EXISTING CONDITIONS & COORD. SCOPE OF PROJECT W/ ARCHITECT PRIOR TO STARTING ANY WORK.
7. IDENTIFY CURRENT EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS AND CONDITIONS. PLAN AND PREPARE AS REQ. TO ACCOMPLISH THE DEMOLITION AND CONSTRUCTION.
8. FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO STARTING ANY WORK.
9. TAKE ALL NECESSARY AND REQUIRED STEPS TO ENSURE THE SAFETY OF ALL WORKERS DURING DEMOLITION AND RECONSTRUCTION.
10. DISPOSE OF ALL CONSTRUCTION DEBRIS ACCORDING TO SALT LAKE COUNTY REQUIREMENTS IN AN APPROVED SALT LAKE COUNTY LANDFILL



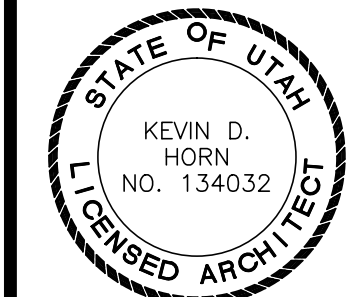
FRONT ELEVATION (WEST)

SCALE: 1/4" = 1'-0"



REAR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



ELIZABETH & ED GODYCKI
158 MAIN ST
PARK CITY, UTAH 84060
OWNER

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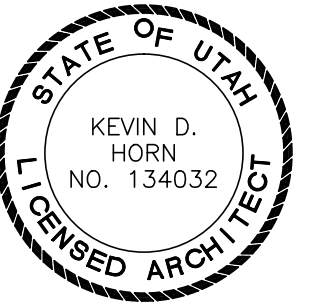
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ELEVATIONS DEMOLITION

D3.01



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SITE PLAN

A1.01

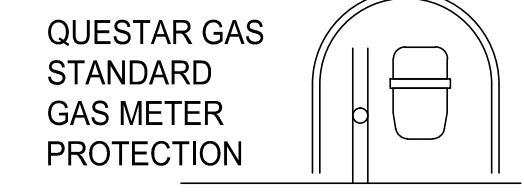
SITE NOTES:

- ① EXISTING TREES TO REMAIN
- ③ NEW MULCH AREA
- ④ REPAIR IRRIGATION AND REPLACE LAWN
- ⑤ L.O.D. SEE DETAIL AND EROSION CONTROL
- ⑥ CONSTR. ACCESS & PARKING
- ⑦ EXISTING LANDSCAPE TO BE RESTORED
- ⑧ DUMPSTER
- ⑨ PORTABLE TOILET W/ APPROVED MASKING
- ⑩ REMOVE CMU RETAINING WALL
- ⑪ NEW CONC. RETAINING WALL

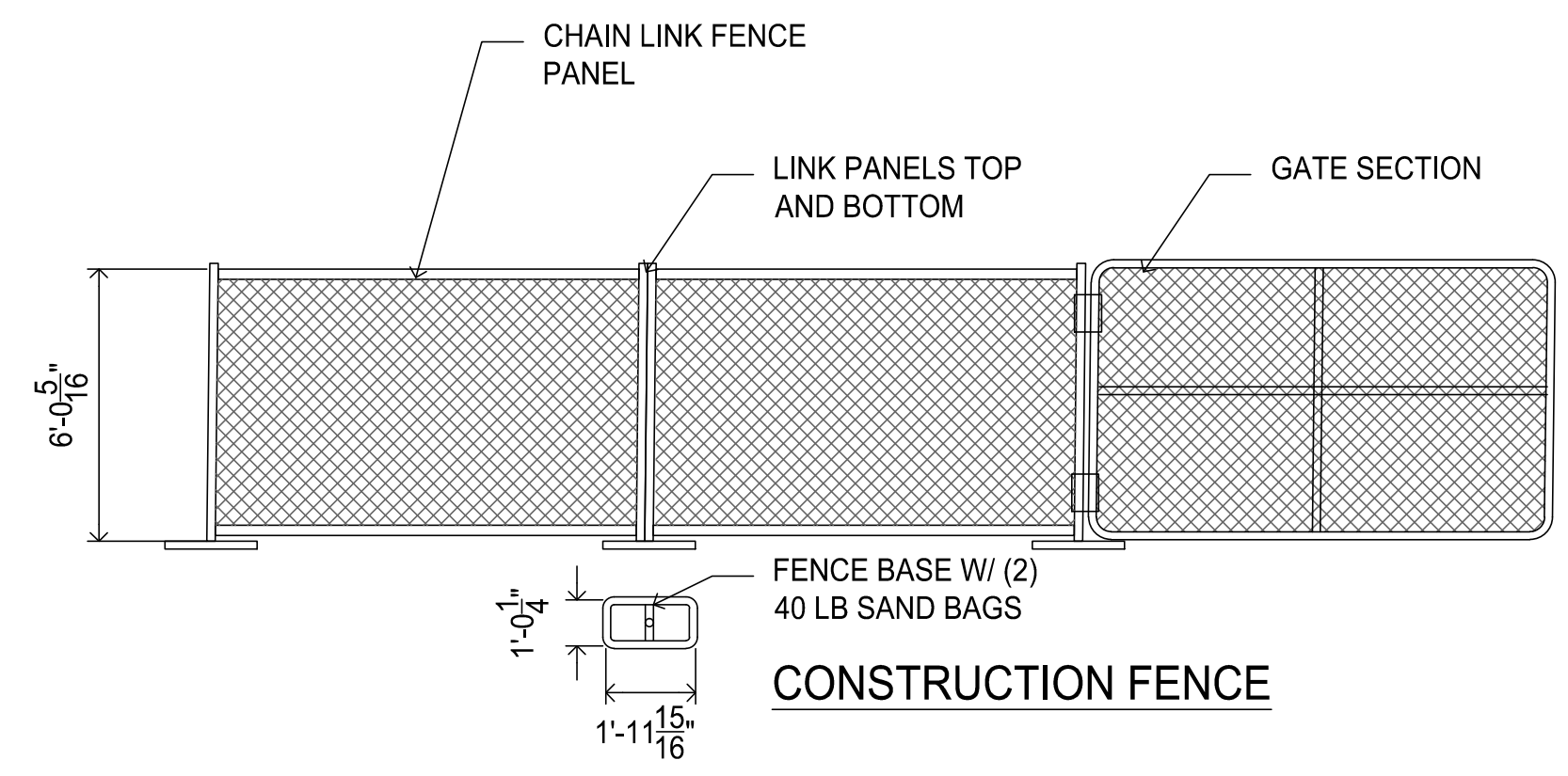
NOTE:
GENERAL CONTRACTOR IS TO ARRANGE A MEETING WITH THE PLAN CHECKER, THE GENERAL CONTRACTOR AND EXCAVATOR FOR THIS PROJECT PRIOR TO ANY PERMITS BEING ISSUED

NOTE:
APPLICATION TO WORK IN A PUBLIC RIGHT-OF-WAY IS REQUIRED PRIOR TO DRIVEWAY CURB CUT AND APRON CONSTRUCTION.

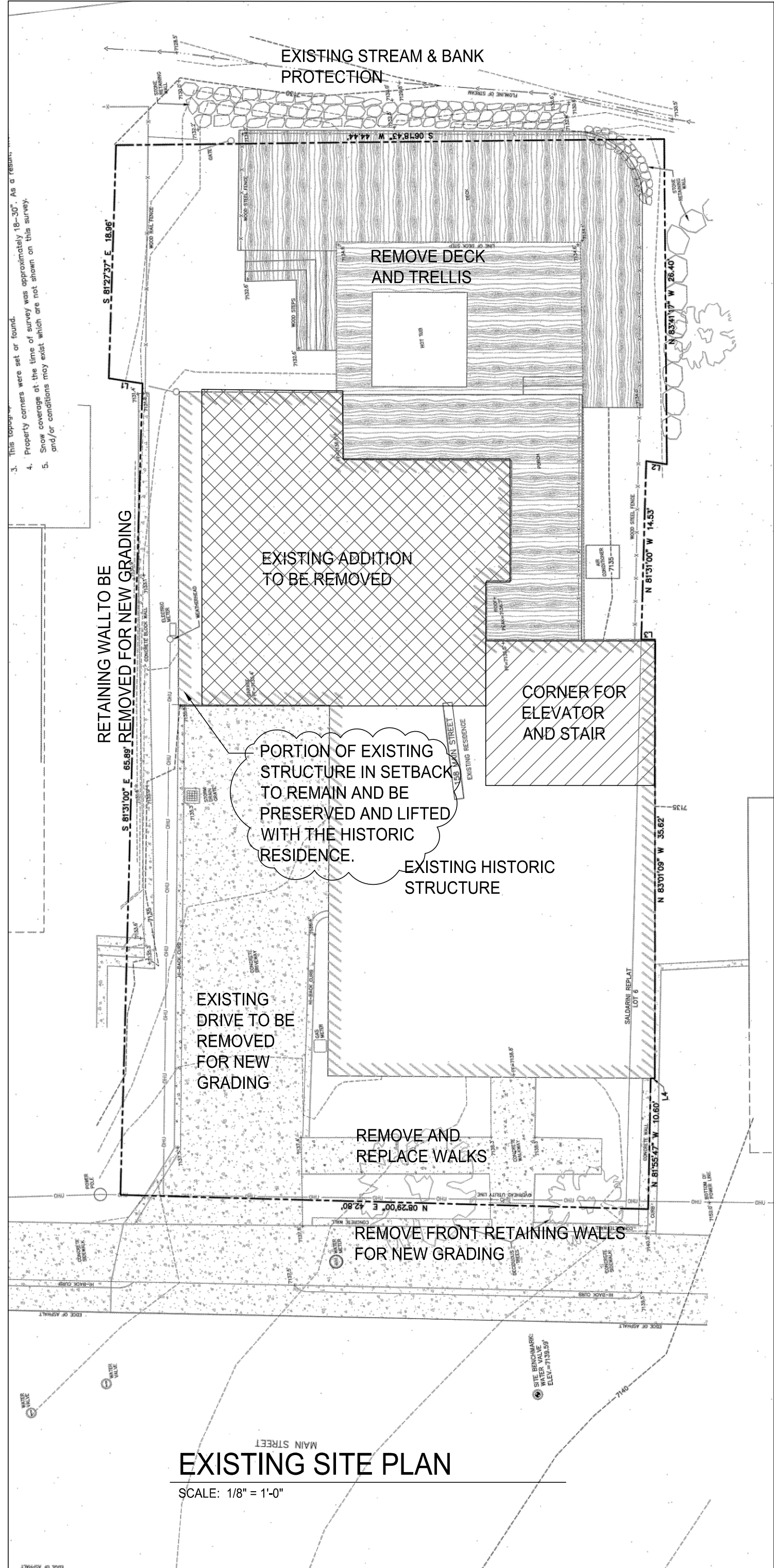
SITE CALCULATIONS:
SITE AREA 3,692 SF
F.A.R. COVERAGE 1,499 SF
PROPOSED COVERAGE 1,491 SF



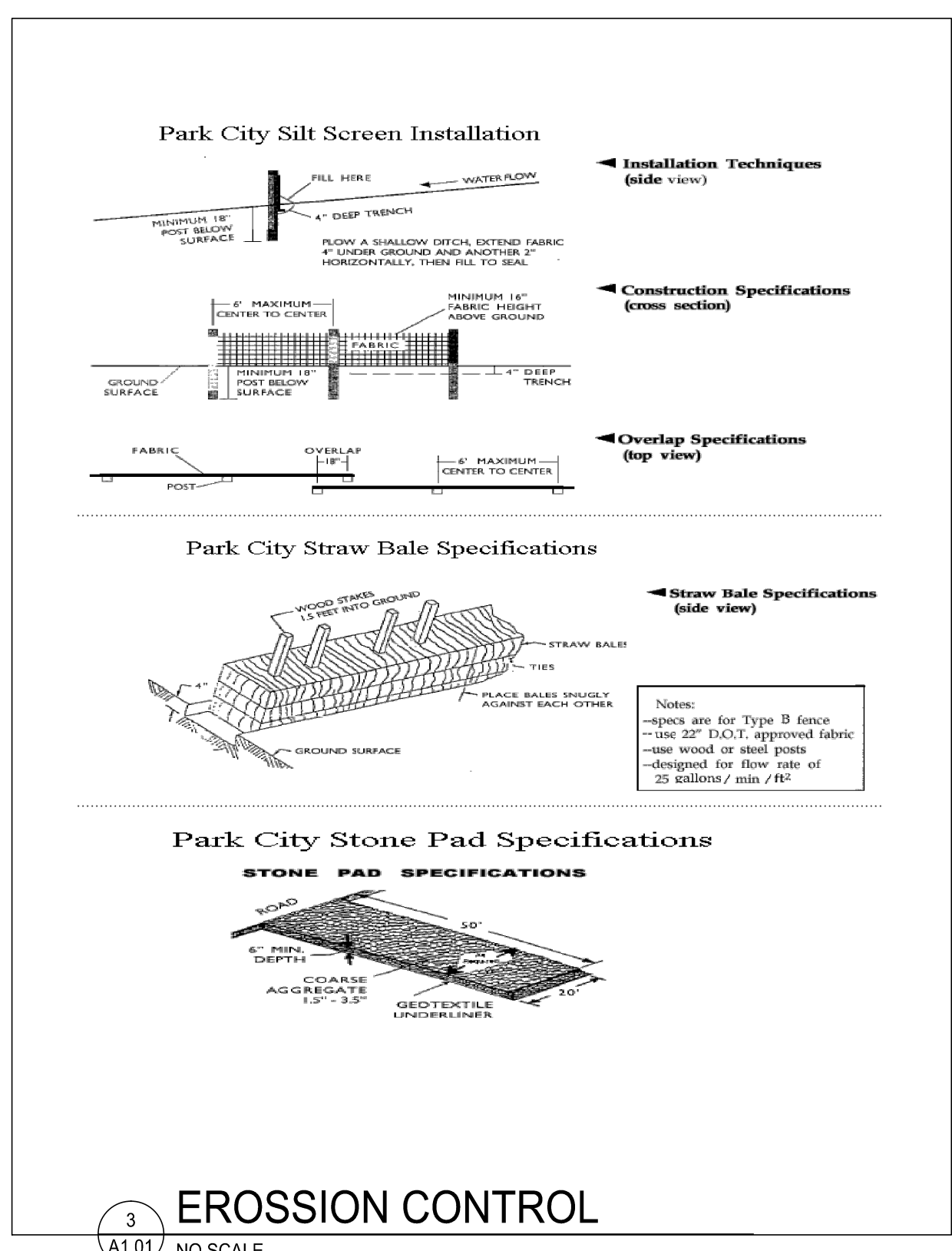
GAS METER PROTECTION



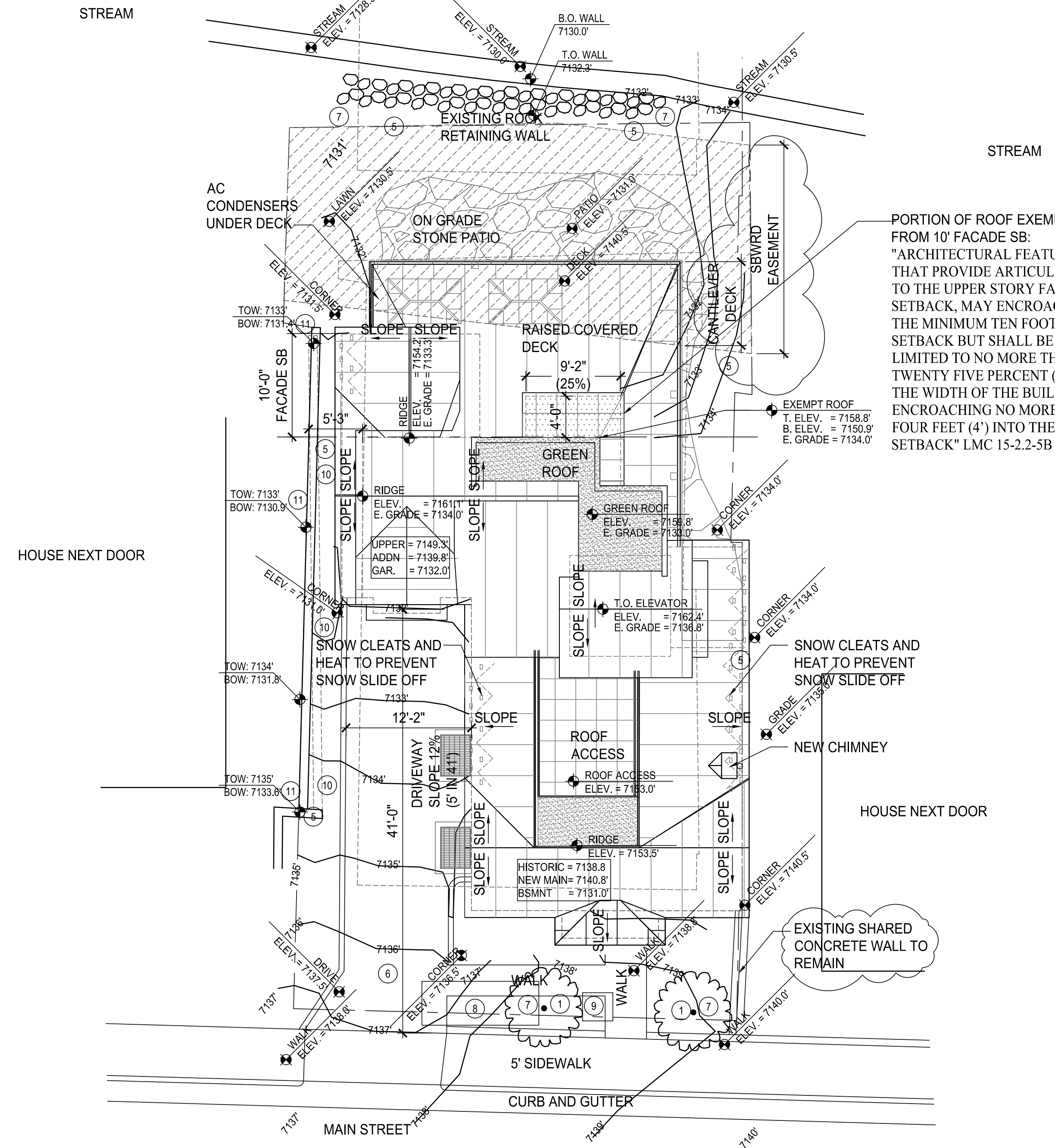
CONSTRUCTION FENCE



EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



EROSION CONTROL
NO SCALE



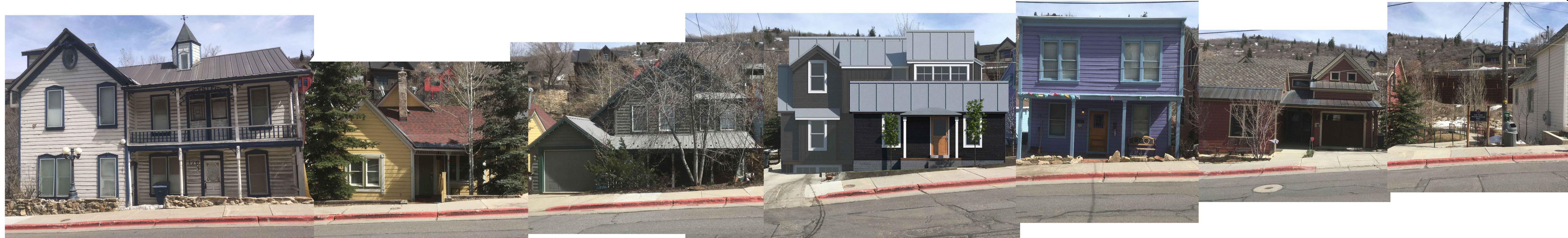
PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

PORTION OF ROOF EXEMPT FROM 10' FAÇADE SB:
"ARCHITECTURAL FEATURES, THAT PROVIDE ARTICULATION TO THE UPPER STORY FAÇADE SETBACK, MAY ENCR OACH INTO THE MINIMUM TEN FOOT (10') SETBACK BUT SHALL BE LIMITED TO NO MORE THAN TWENTY FIVE PERCENT (25%) OF THE WIDTH OF THE BUILDING ENCR OACHING NO MORE THAN FOUR FEET (4') INTO THE SETBACK" LMC 15-2.2-5B



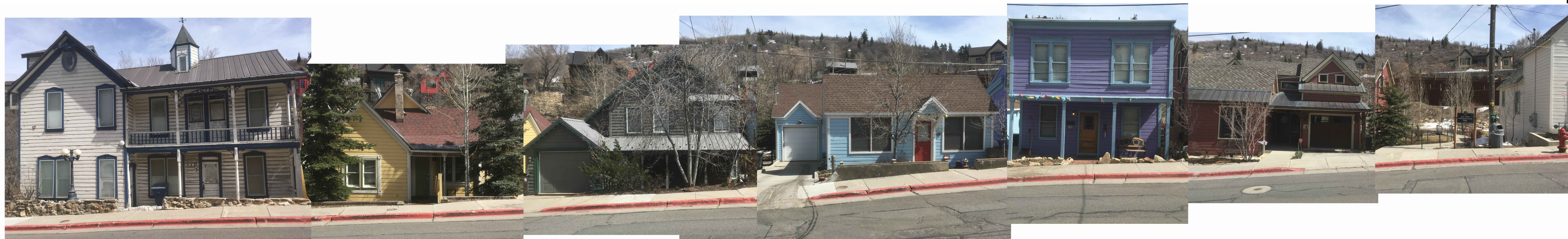
PROPOSED STREETSCAPE

NO SCALE



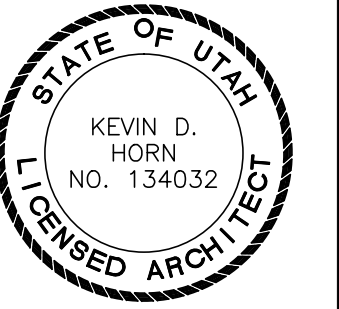
PROPOSED STREETSCAPE

NO SCALE



EXISTING STREETSCAPE

NO SCALE



ELIZABETH & ED GODYCKI
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OWNER

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STREETSCAPE

A1.02

Landscape Notes


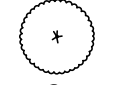
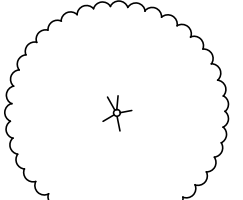
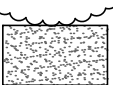
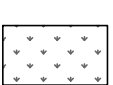
- All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas a 12 inch depth of topsoil. Topsoil material is not available at the site and must be imported from an approved local source. All topsoil to be used shall be of a sandy loam consistency.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation.
- Upon completion of planting operations, all shrub and tree wells shall receive a 3 inch depth of appropriate mulch cover. All perennial areas (if any) shall receive a 3 inch depth of fine ground bark ("Soil Pep") tilled into the top 6 inches of topsoil.
- All lawn and shrub areas shall be separated with pvc border, to be installed per manufacturer's recommendations.
- All landscape boulders shall be of similar color to any exterior building stone, etc. that may be used in the construction.
- The project shall be swept clean of dirt and debris prior to completion of the project.
- The landscape contractor shall be responsible for maintaining the entire project for a period through the second mowing of the lawn, or 30 days, whichever is greater.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and acceptance.
- The contractor shall line all planting areas with weed barrier fabric, and bark.

Irrigation Notes

- Provide a complete underground irrigation system including all back flow preventers piping, automated control valves, controls, sprinkler heads, and control wiring for a complete system as required to support plantings.
- Provide the following key noted irrigation systems on the cycle indicated (1 thru 12)

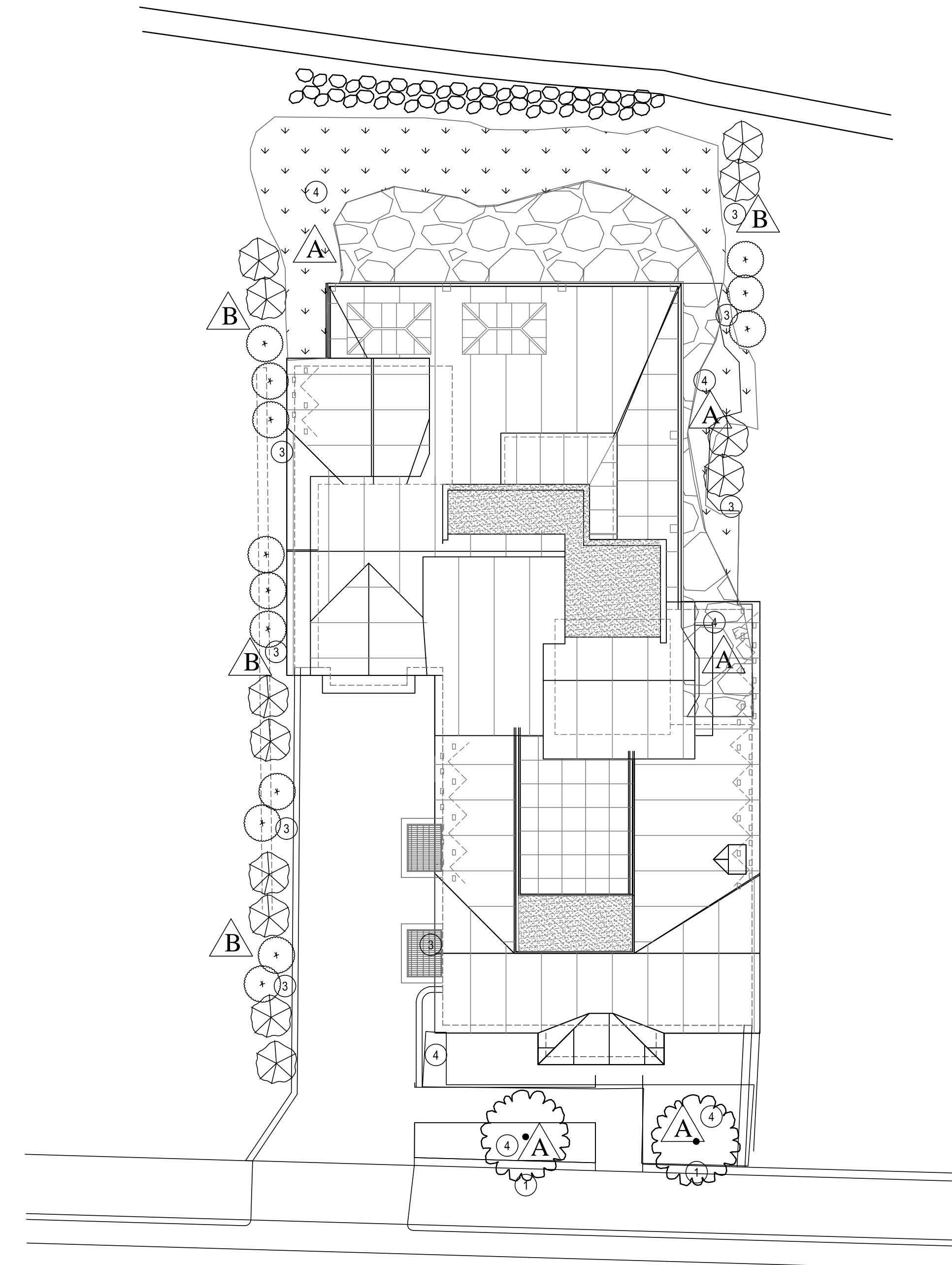
- A** Area pop-up spray heads for turf.
- B** Area tall spray heads for shrubs.
- C** Drip system.

LANDSCAPE LEGEND

-  NEW DWARF MUGO PINE SHRUB (7) 2 GAL.
-  EUONIMUS SHRUB (49) 5 GAL.
-  EXISTING TREE
-  SHREDED MULCH
-  TURF - KENTUCKY BLUE GRASS MIX SOD

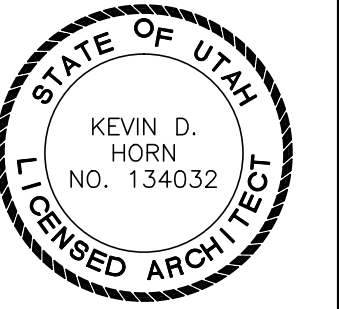
SITE NOTES:

- ① EXISTING TREES TO REMAIN
- ② REMOVE EXISTING TREES FOR NEW CONSTR.
- ③ NEW MULCH AREA AROUND SHRUBS
- ④ REPAIR IRRIGATION AND REPLACE LAWN
- ⑤ L.O.D. SEE DETAIL FOR ERROSION CONTROL



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



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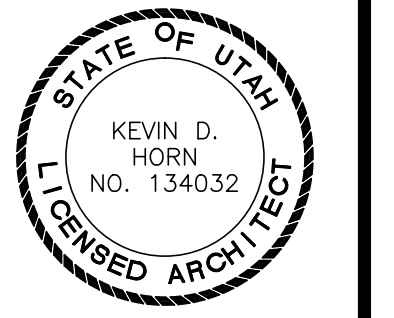
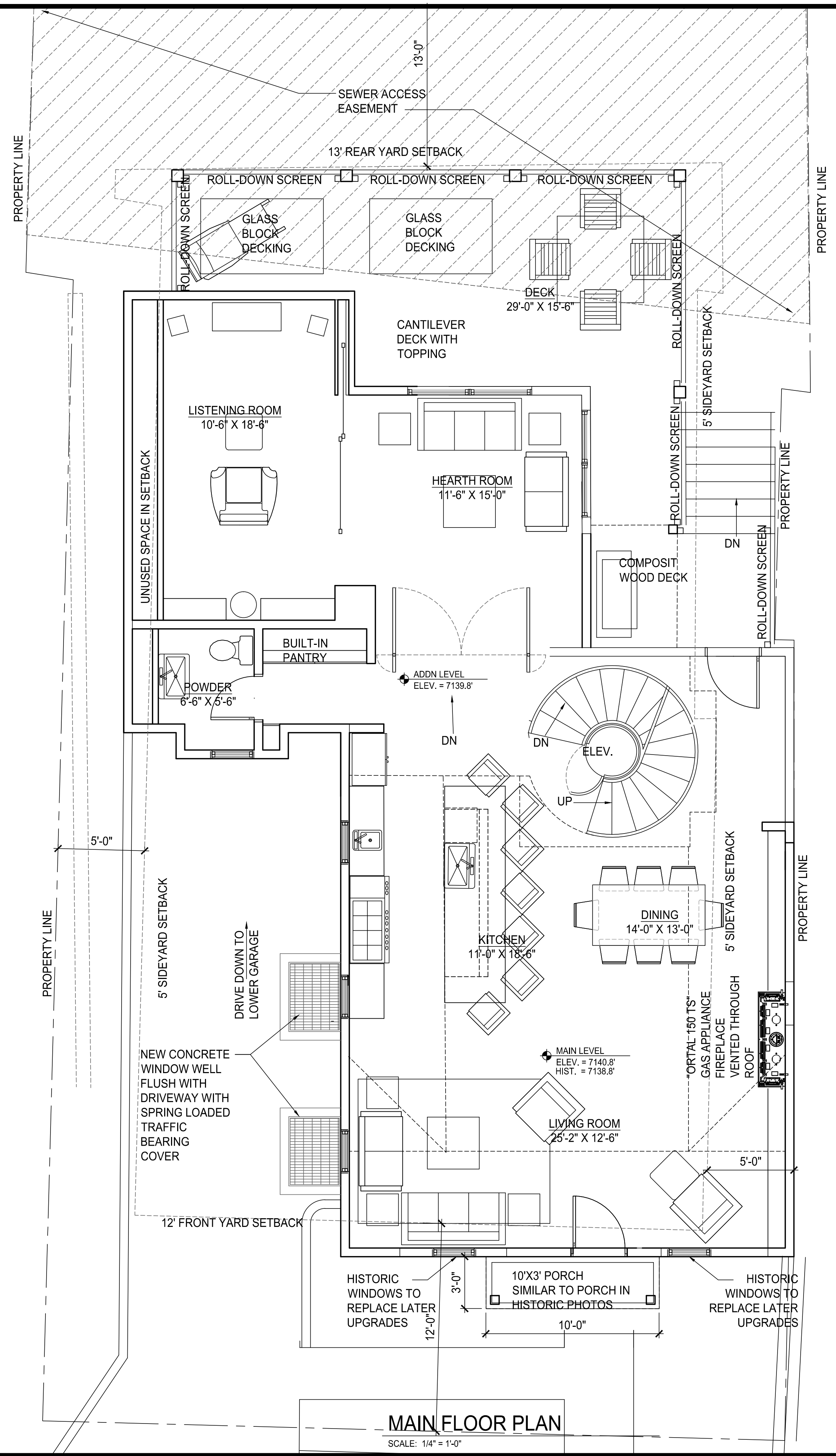
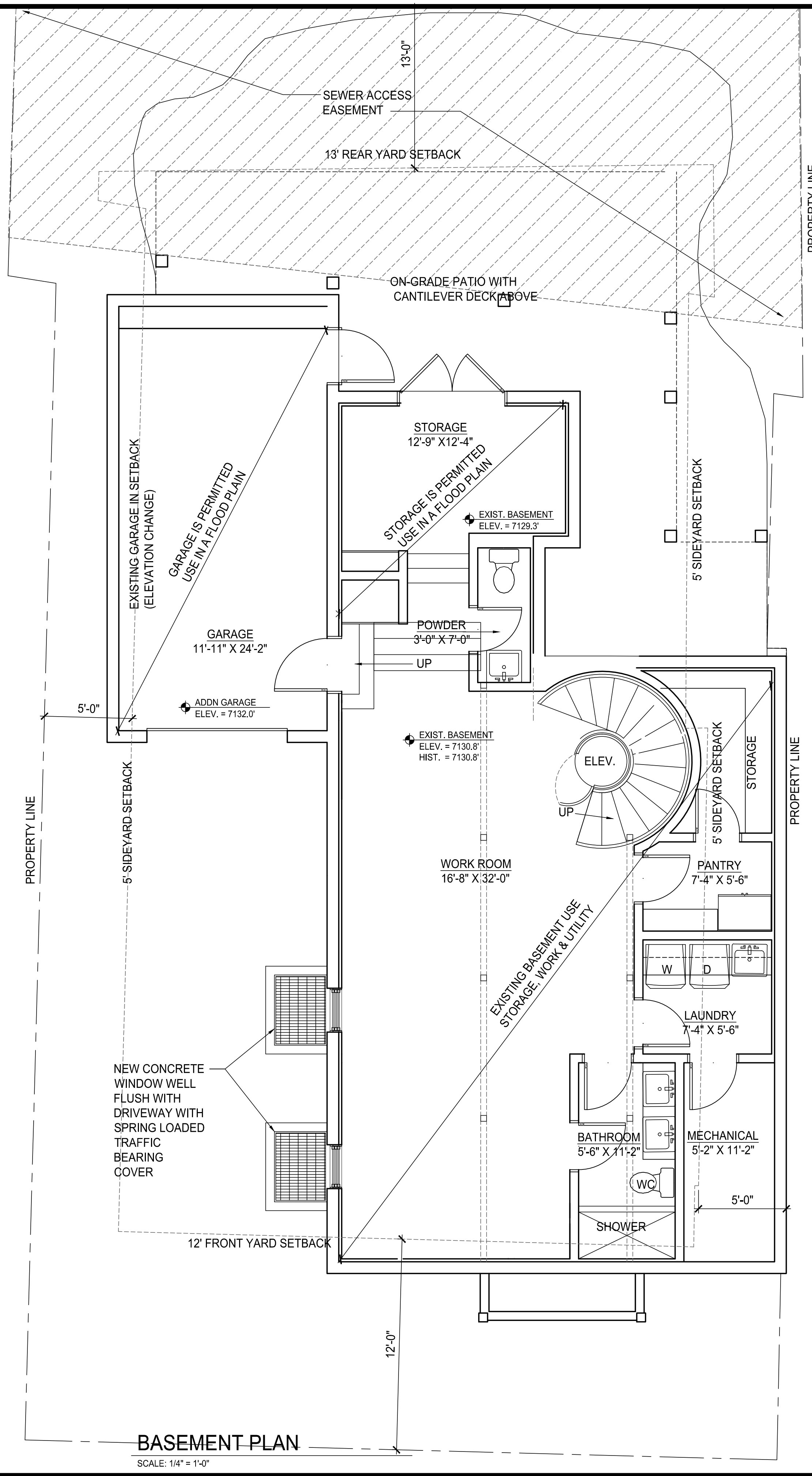
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PROJECT

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LANDSCAPE PLAN

L1.01



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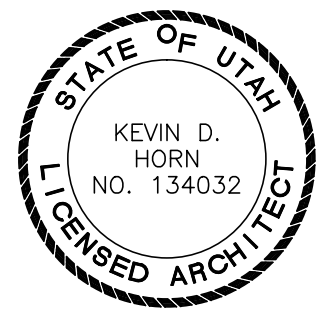
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FLOOR PLAN
A2.01



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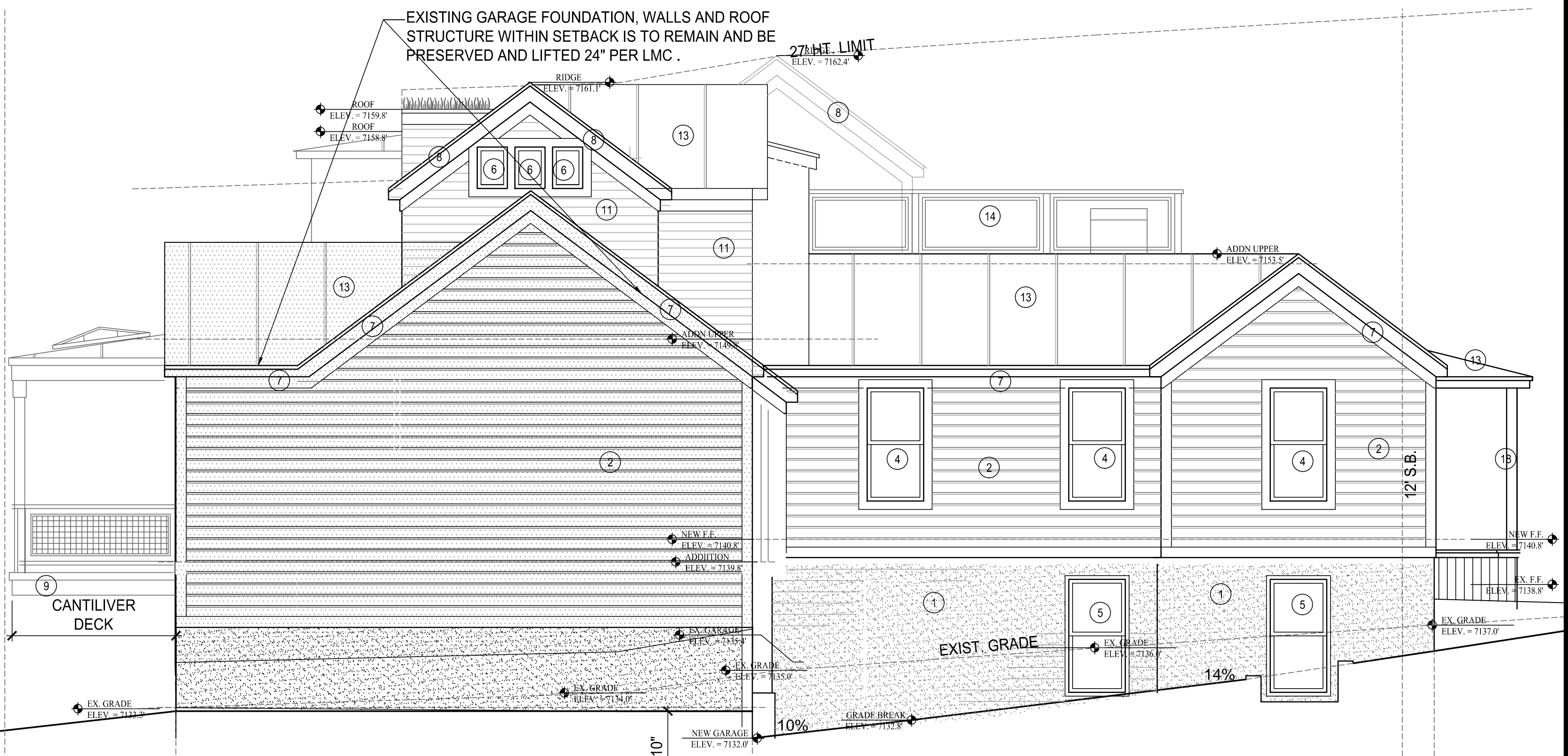
PROJ
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NEW ELEVATIONS

A3.01

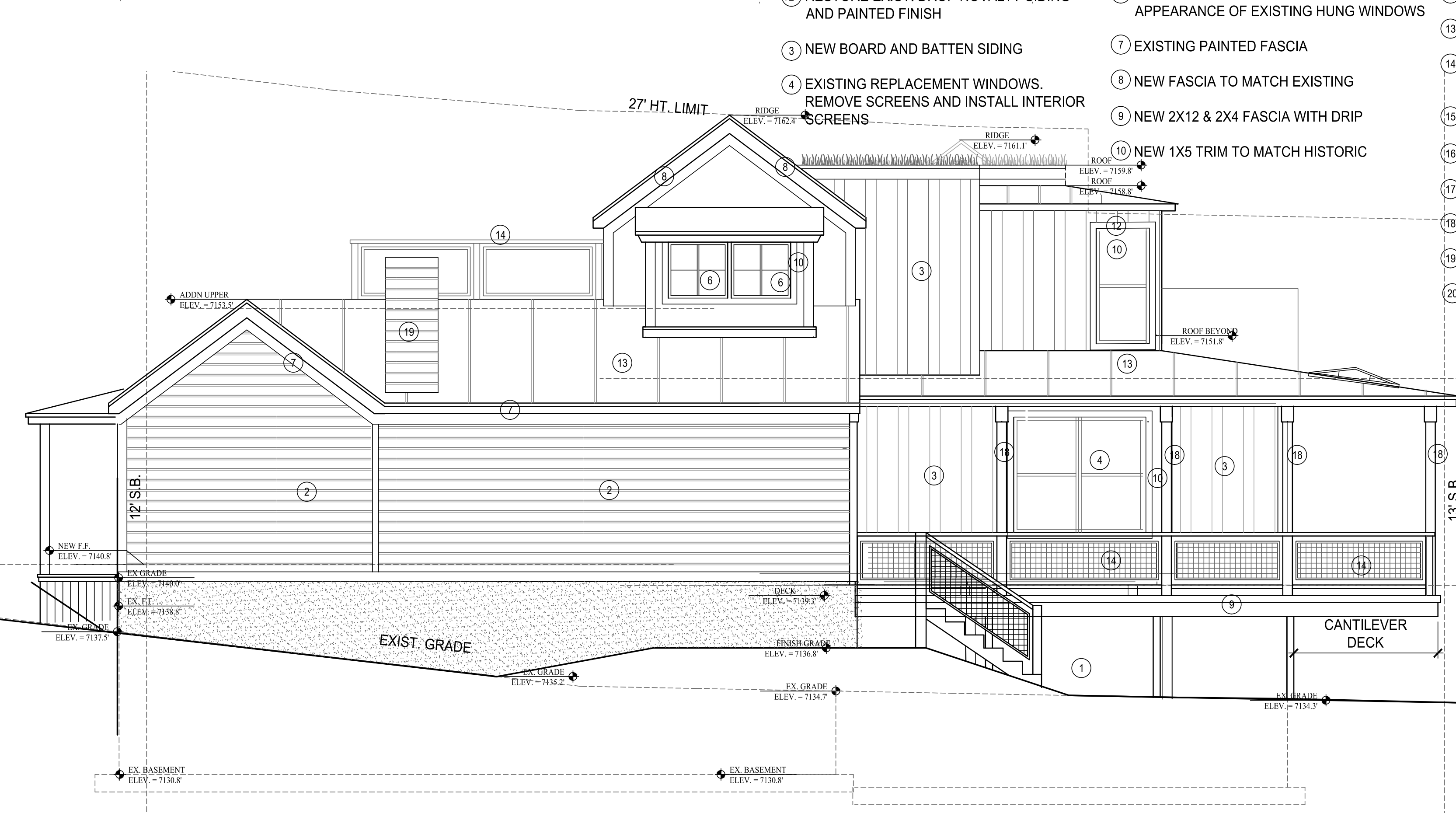


FRONT ELEVATION (WEST)
 SCALE: 1/4" = 1'-0"

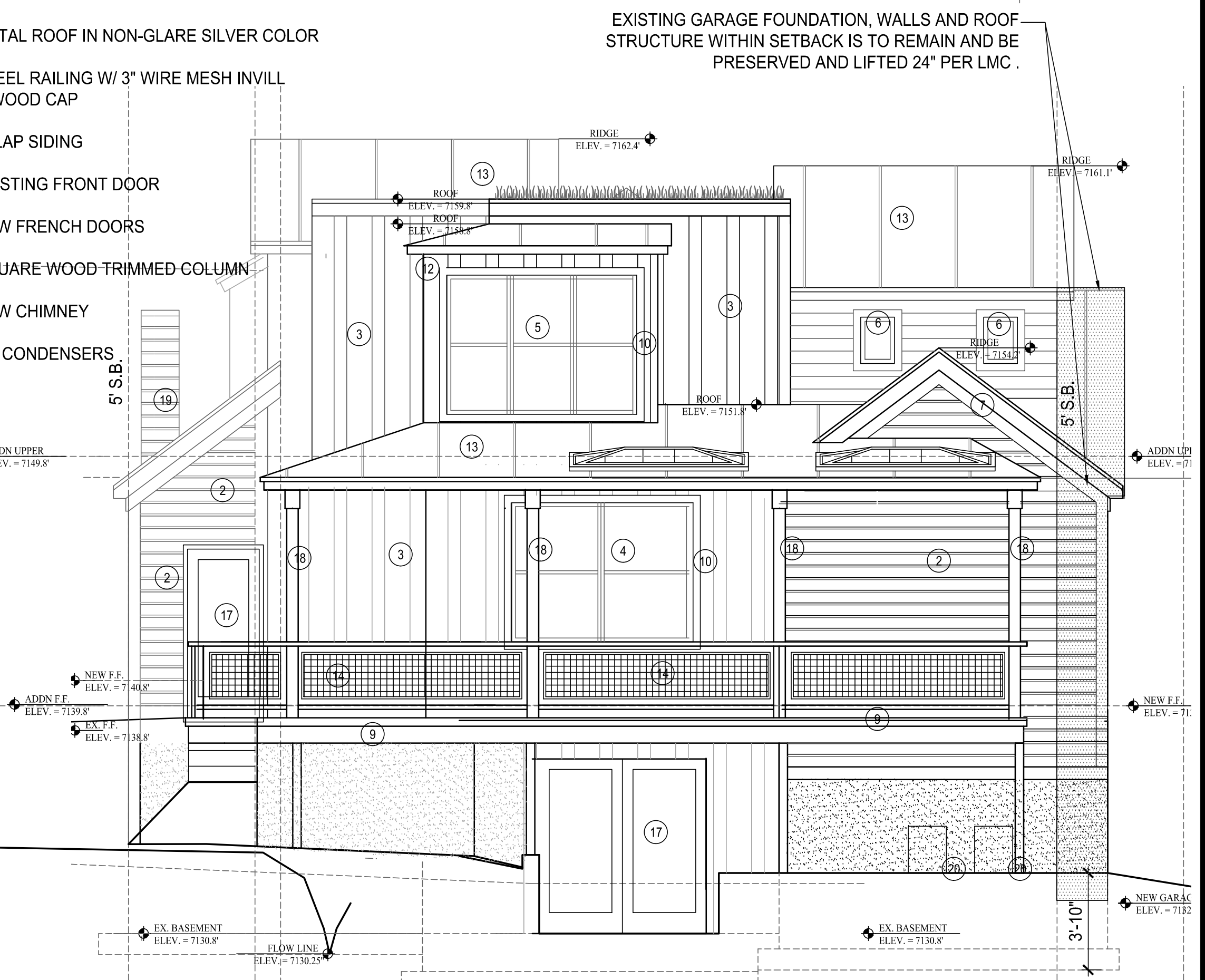


SIDE ELEVATION (NORTH)
 SCALE: 1/4" = 1'-0"

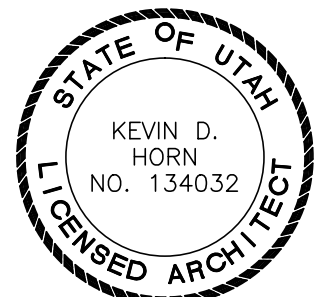
- EXTERIOR FINISHES:**
- 1 BOARD FORMED CONC. FOUNDATION
 - 2 RESTORE EXIST. DROP NOVALTY SIDING AND PAINTED FINISH
 - 3 NEW BOARD AND BATTEN SIDING
 - 4 EXISTING REPLACEMENT WINDOWS. REMOVE SCREENS AND INSTALL INTERIOR SCREENS
 - 5 NEW HUNG WINDOW TO MATCH EXISTING
 - 6 NEW CASEMENT WINDOWS TO HAVE APPEARANCE OF EXISTING HUNG WINDOWS
 - 7 EXISTING PAINTED FASCIA
 - 8 NEW FASCIA TO MATCH EXISTING
 - 9 NEW 2X12 & 2X4 FASCIA WITH DRIP
 - 10 NEW 1X5 TRIM TO MATCH HISTORIC
 - 11 STUD WALL W/ 6" LAP SIDING FINISH
 - 12 BAY WINDOW W/ 1X TRIM AND SIDING
 - 13 METAL ROOF IN NON-GLARE SILVER COLOR
 - 14 STEEL RAILING W/ 3" WIRE MESH INVILL & WOOD CAP
 - 15 6" LAP SIDING
 - 16 EXISTING FRONT DOOR
 - 17 NEW FRENCH DOORS
 - 18 SQUARE WOOD TRIMMED COLUMN
 - 19 NEW CHIMNEY
 - 20 AC CONDENSERS.



SIDE ELEVATION (SOUTH)
 SCALE: 1/4" = 1'-0"



REAR ELEVATION (EAST)
 SCALE: 1/4" = 1'-0"



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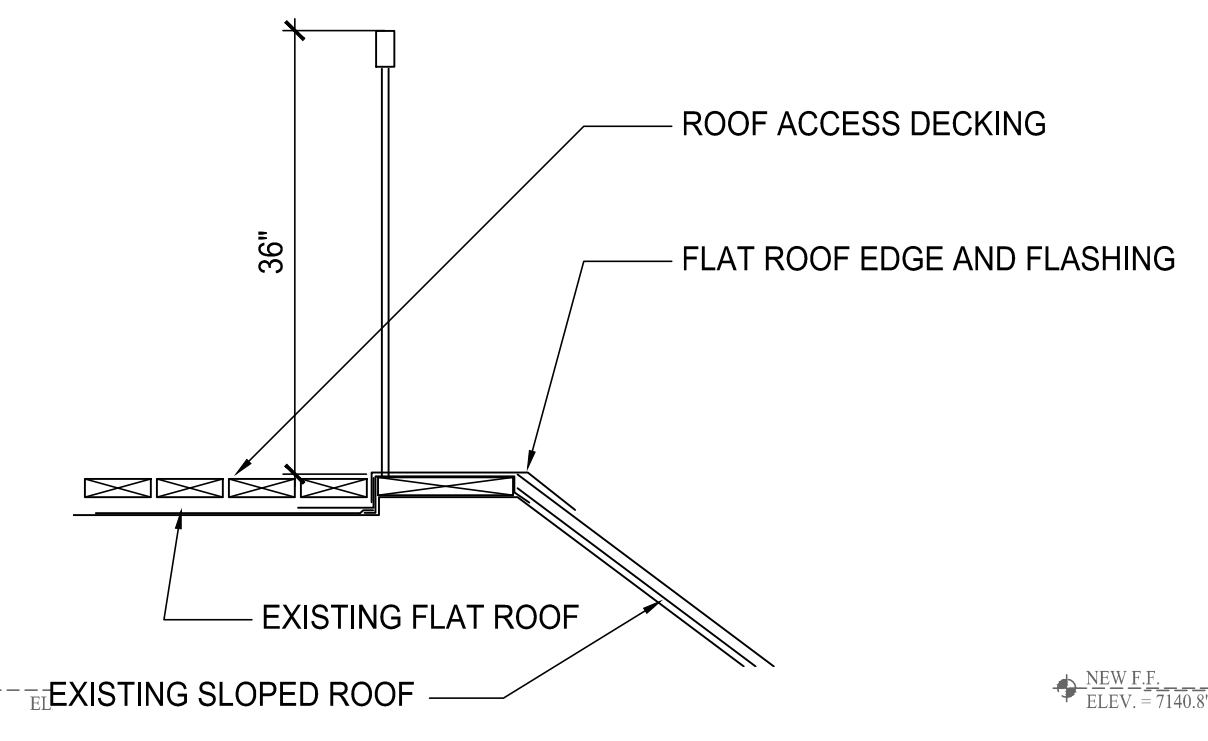
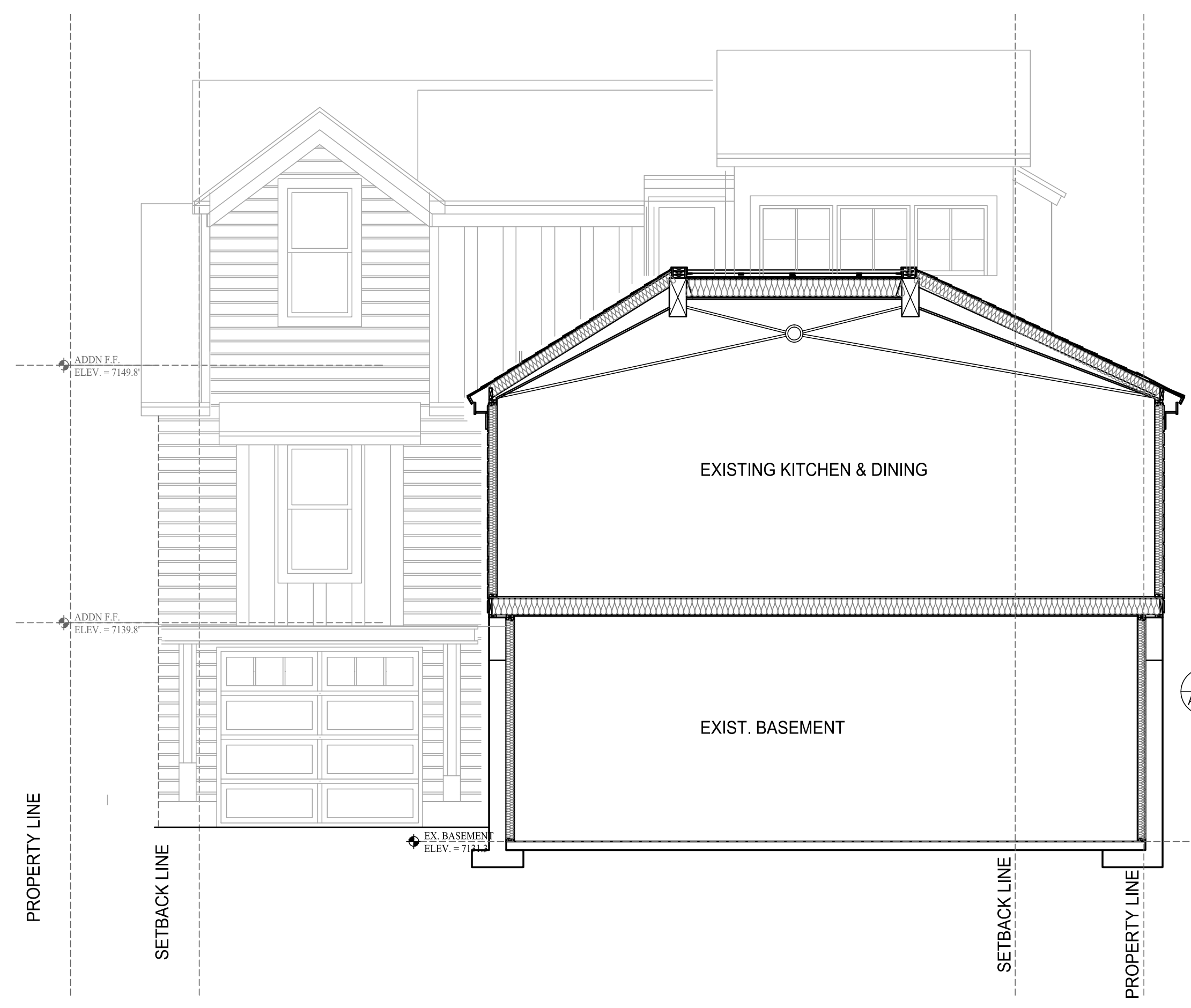
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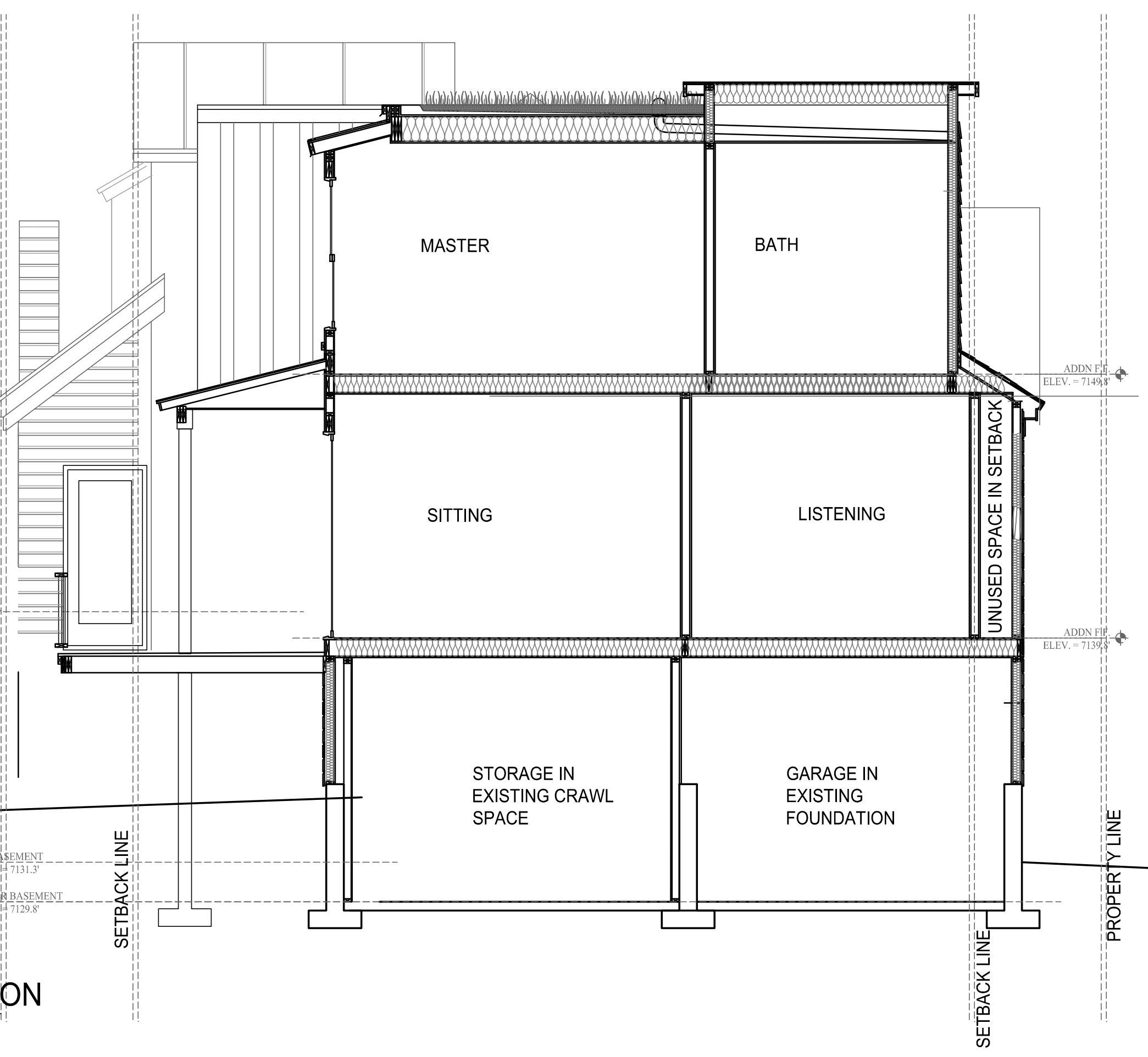
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SITE SECTION ELEVATIONS

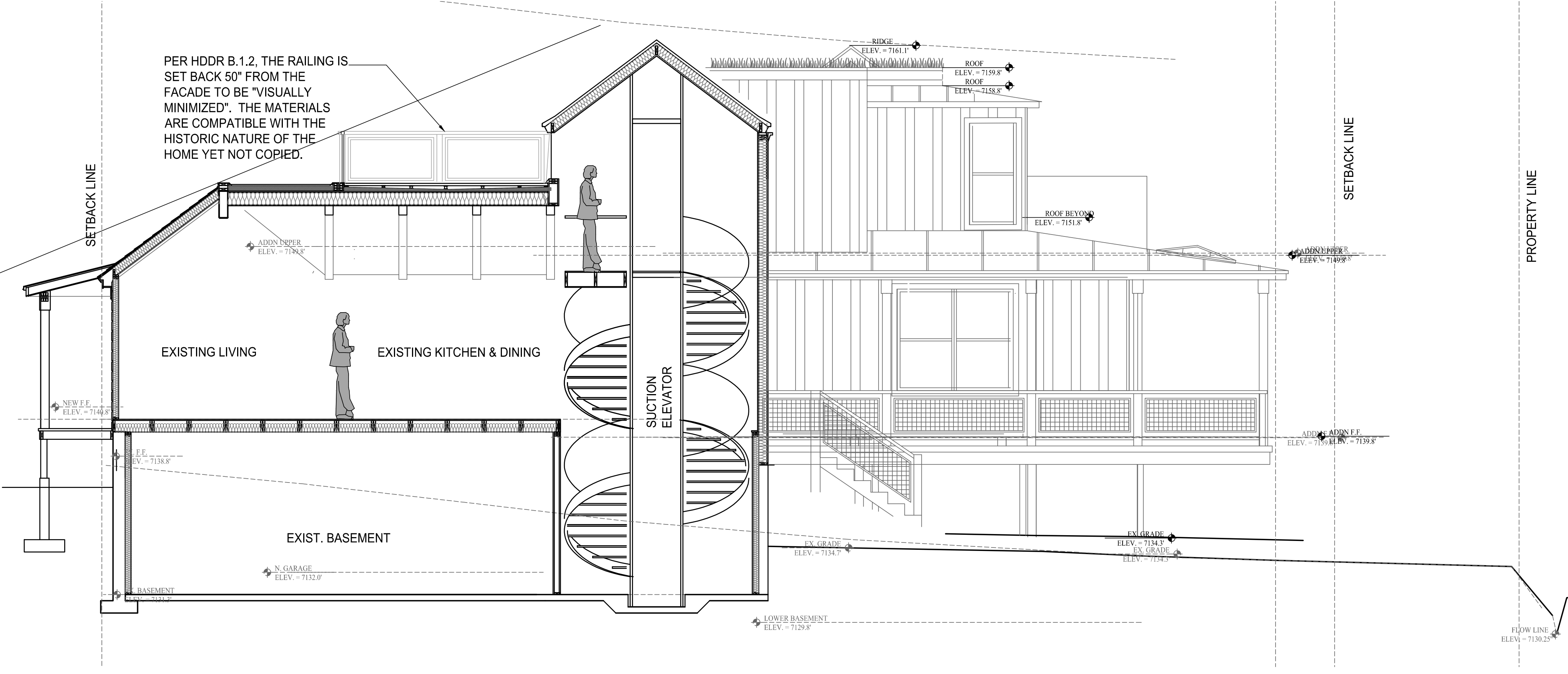
A3.02



1
A3.02
ROOF EDGE PROTECTION
SCALE: 3/4" = 1'-0"
GUARDS NOT REQUIRED WHERE SURFACE IS LESS THAN 30" ABOVE ADJACENT GRADE WITHIN 36" HORIZONTALLY PER IRC R312.1.1



SECTION AT SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



SECTION AT SOUTH ELEVATION
SCALE: 1/4" = 1'-0"