























**Exhibit E**  
Historic District Design Review Historic Preservation Plan

PARK CITY MUNICIPAL CORPORATION  
PLANNING DEPARTMENT  
445 MARSAC AVE - PO BOX 1480  
PARK CITY, UT 84060  
(435) 615-5060



## HISTORIC PRESERVATION PLAN

For Use with the *Historic District/Site Design Review Application*

### For Official Use Only

PLANNER: \_\_\_\_\_ APPLICATION #: \_\_\_\_\_

DATE RECEIVED: \_\_\_\_\_

PLANNING DIRECTOR \_\_\_\_\_ CHIEF BUILDING OFFICIAL \_\_\_\_\_

APPROVAL DATE/INITIALS: \_\_\_\_\_ APPROVAL DATE/INITIALS: \_\_\_\_\_

### PROJECT INFORMATION

LANDMARK  SIGNIFICANT DISTRICT: \_\_\_\_\_

NAME: Residence

ADDRESS: 173 Daly Avenue

Park City, UT 84060

TAX ID: PC-622 OR \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ OR \_\_\_\_\_

SURVEY: \_\_\_\_\_ LOT #: \_\_\_\_\_ BLOCK #: \_\_\_\_\_

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### APPLICANT INFORMATION

NAME: Jonathan DeGray, Architect

PHONE #: (435) 649-7263 FAX #: ( ) -

EMAIL: degrayarch@qwestoffice.net

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**Site Design**

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Element/Feature: **Retaining Walls and Fences**

- This involves:     Preservation             Restoration  
                           Reconstruction         Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

There is an existing stack rubble wall on the east side of the building at the toe of the slope. This wall will be removed to allow for the construction of a new foundation at the home..

A new stacked rock retaining wall will be built just inside the east property line to retain the steep slope to east once the new foundation has been constructed.

**Structure**

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Foundation and Framing**

- This involves:     Preservation             Restoration  
                           Reconstruction         Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Area below existing historic house and area of proposed accessory building are to be excavated for new basement living space. A new code compliant foundation will be constructed at the home, garage and shed.

The existing floor framing is rotted and is not serviceable. See Photos 1-7FC. The wall panels have been stripped of all siding and are rotted at the base in many locations. See Wall Panel Photos 1-11WP

Existing roof, per structural evaluation , is not code compliant and needs to be re-framed. Based on conditions the building will be re-framed with new material to meet building codes. The north and west panel of garage will be panelized. Any serviceable existing material will be reused.

**Roof**

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: **Roofs**

- This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All existing roofs are to be removed and reconstructed per structural engineer. New architectural composition shingles are to be installed at historic home, historic shed (converted to 1/2 bath and mud room), proposed utility room connector, and proposed accessory building. New standing seam metal roof to be installed at historic garage.

**Chimney**

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Chimneys**

- This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Existing brick chimney has been removed above roof line. This chimney will be removed completely. A new faux brick chimney with metal cap will be built at the south facing slope of the hip roof on the most prominent form of the historic home.

## Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: **Wall Framing**

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing floor framing is rotted and is not serviceable. See Photos 1-7FC. The wall panels have been stripped of all siding and are rotted at the base in many locations. See Wall Panel Photos 1-11WP  
Based on conditions the building will be re-framed with new material to meet building codes. The north and west panel of garage will be panelized. Any serviceable existing material will be reused.

Element/Feature: **Siding**

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Based on Wall Panel Photos 1-11WP, no exiting historic siding remains.  
Walls are to be clad with new siding.  
Main house, garage, and upper level of accessory building to be drop siding with profile to match remaining historic siding at east wall of home.  
Historic shed, utility connector, and main level of accessory building to be 12" vertical wood lap siding.

**Foundation**

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: **Concrete Foundation**

- This involves:     Preservation         Restoration  
                           Reconstruction     Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All historic structures (house, garage, shed) will be re-constructed on a new code compliant concrete foundation.

**Porches**

Use this section to describe the proposed scope of work and preservation treatment for all porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: **Porches**

- This involves:     Preservation         Restoration  
                           Reconstruction     Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing porches, while historic in form, have no historic material. We will reconstruct these porches to match historic photos.

## Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: **Doors**

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All remaining historic doors are in disrepair and are to be removed and replaced with new doors of historic scale and design. New doors added to the historic structure and additions to also be of historic character.

Element/Feature: **Faux Door**

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The historic entry door at the west side of the most prominent historic form will be closed off. A faux door will be built at this location to match the design and finish of the new door installed to the left (north)



**Windows**

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: **Windows** \_\_\_\_\_

- This involves:     Preservation     Restoration  
                      Reconstruction     Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All remaining historic windows are in disrepair and are to be removed and replaced with new windows of historic scale and design.  
  
See attached evaluation by window restoration consultant.

Element/Feature: \_\_\_\_\_

- This involves:     Preservation     Restoration  
                      Reconstruction     Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**Mechanical System, Utility Systems, Service Equipment & Electrical**

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: **MEP Systems**

- This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All existing mechanical, electrical, and plumbing systems are to be removed and replaced with new code compliant systems.

**Additions**

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: **Additions**

- This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

An addition will be made to the north end of the west wall of the historic home. This utility space will act as a connector to the historic shed, chicken coop, which will be rehabilitated as additional living space. Accessory garage and chicken coop will be stabilized, lifted and reconstructed on new foundations.

A new accessory building will be added to the site on the south-west area of the lot, currently a large paved parking area. This building will be connected to the existing home through a common basement.

**4. PROJECT TEAM**

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

**5. SITE HISTORY**

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

**6. FINANCIAL GUARANTEE**

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

**7. ACKNOWLEDGMENT OF RESPONSIBILITY**

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant: \_\_\_\_\_ Date: 1-10-18

Name of Applicant: Jonathan DeGray

**Exhibit F**  
Historic District Design Review Plans



**SURVEYOR'S CERTIFICATE**

I, Mark A. Morrison, do hereby certify that I am a registered land surveyor in the State of Ohio, my registration number is 104527, and I am duly qualified to perform the survey shown on this map. I further certify that the survey was conducted in accordance with the Ohio Surveying and Mapping Act, R.S. 1701.01 et seq., and that the survey is a correct representation of the facts surveyed at the time the survey was conducted and in compliance with generally accepted industry standards for accuracy.

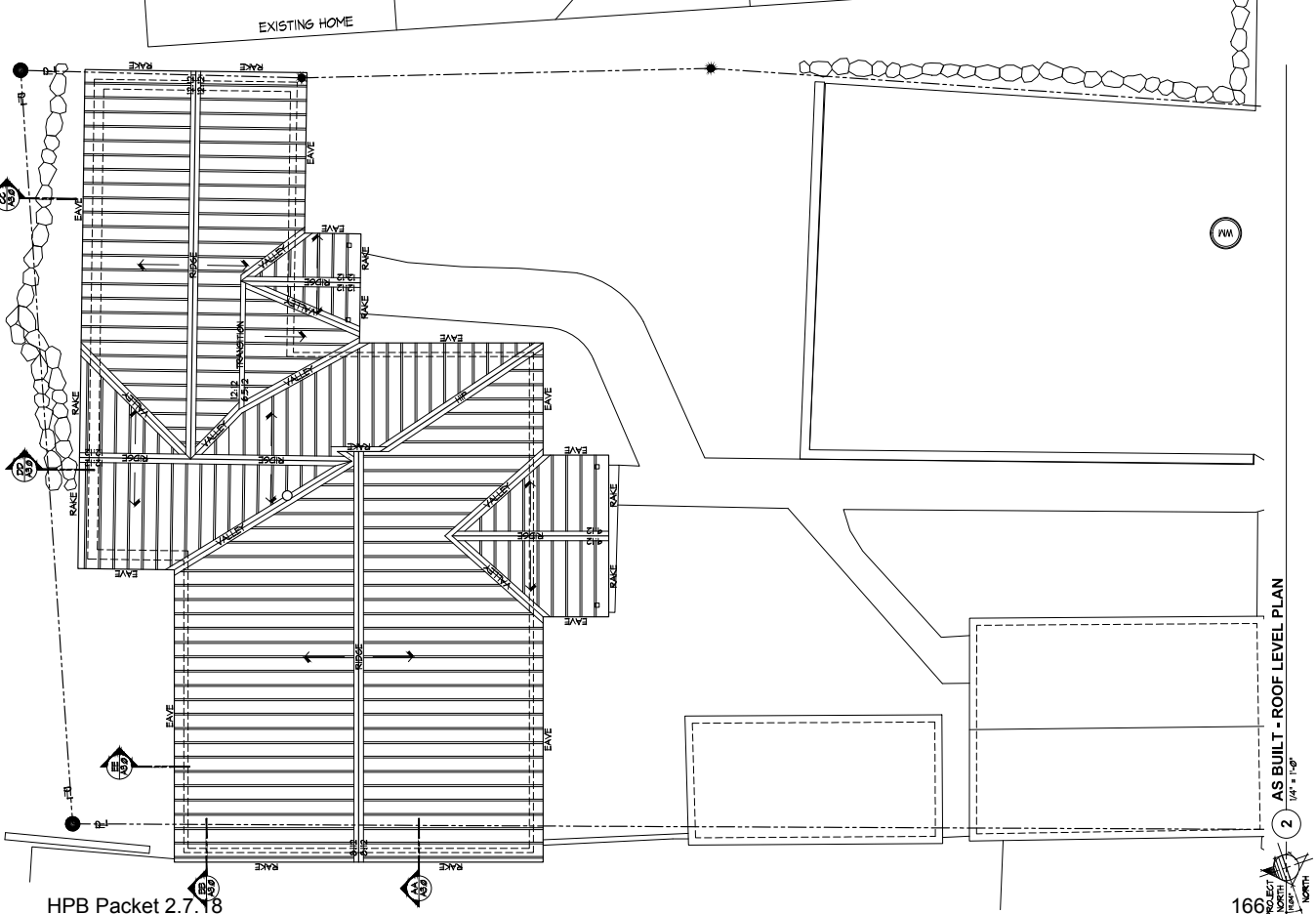
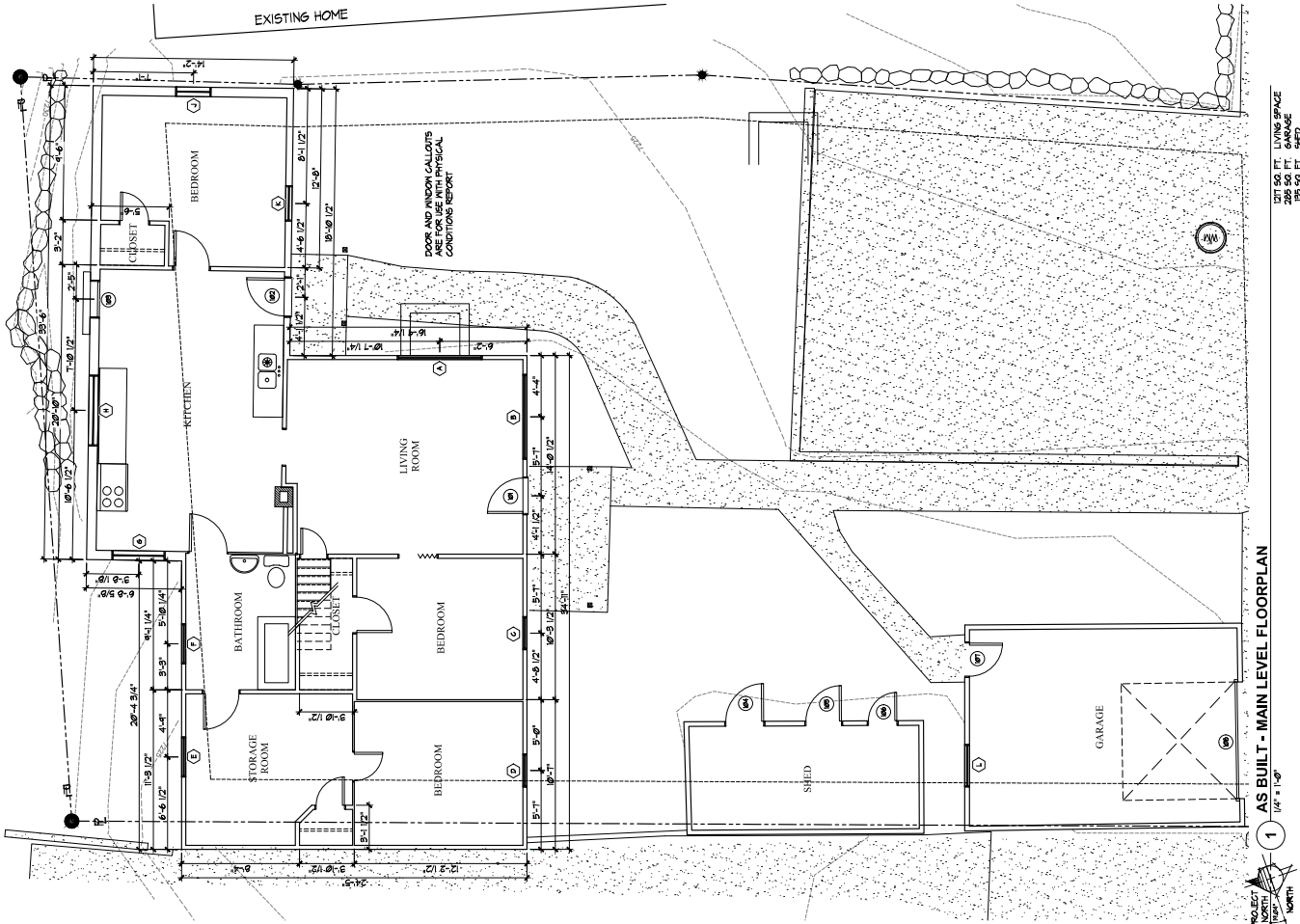


**NOTES**

1. Site Benchmark: Water Meter Lid  
Elevation = 722.617'
2. The architect is responsible for verifying building setbacks, zoning requirements and building height.
3. 2007 NAD 83 datum used.
4. Property corners were set.

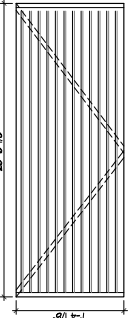


|   |  |                       |
|---|--|-----------------------|
| EXISTING CONDITIONS & TOPOGRAPHIC MAP<br>173 DALY AVENUE<br>BLOCK 73, PARK CITY SURVEY<br>FOR: G BUSH CONSTRUCTION<br>JOB NO.: 11-8-12<br>FILE: \\ParkCitySurvey\GWS\173020.DWG, 102815.dwg |  | SHEET<br>1<br>OF<br>1 |
| STAFF:<br>BOB HARRISON<br>MARY HARRISON<br>JESSE HARRISON   |  | DATE: 5/10/15         |

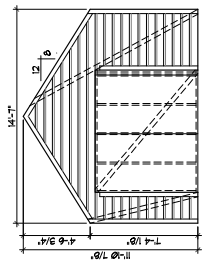


**PANELIZATION NOTES**

- PANEL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED.
- PANELIZATION TO BE FIELD VERIFIED.
- TEMPORARY FRAMED WALL 2x4 @ 24" O.C. W/ 1/2" SHEATHING.
- WALLS ARE TO BE MADE SQUARE AND PLUMB THE STABILIZED.
- USING 2x4 CROSS BRACING. 2x2 @ 18"

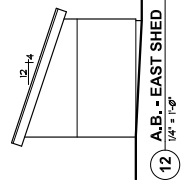


14 PANELIZED NORTH GARAGE WALL  
1/4" = 1'-0"

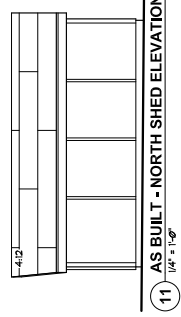


13 PANELIZED WEST GARAGE WALL  
1/4" = 1'-0"

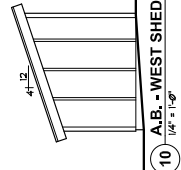
**PANELIZATION DRAWINGS**



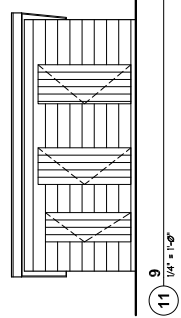
12 A.B. - EAST SHED  
1/4" = 1'-0"



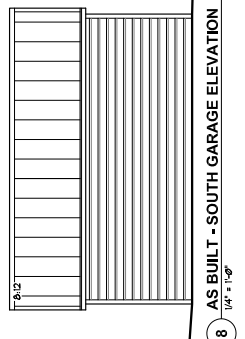
11 AS BUILT - NORTH SHED ELEVATION  
1/4" = 1'-0"



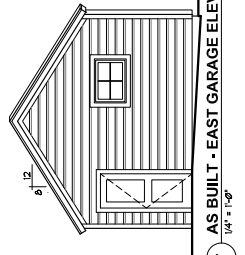
10 A.B. - WEST SHED  
1/4" = 1'-0"



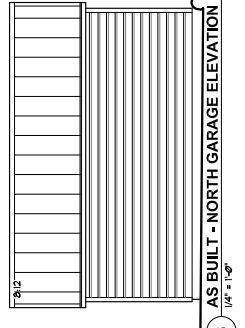
11 AS BUILT - WEST GARAGE ELEV.  
1/4" = 1'-0"



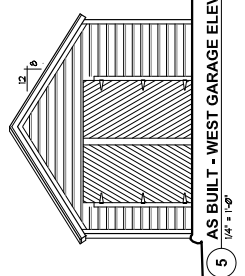
8 AS BUILT - SOUTH GARAGE ELEVATION  
1/4" = 1'-0"



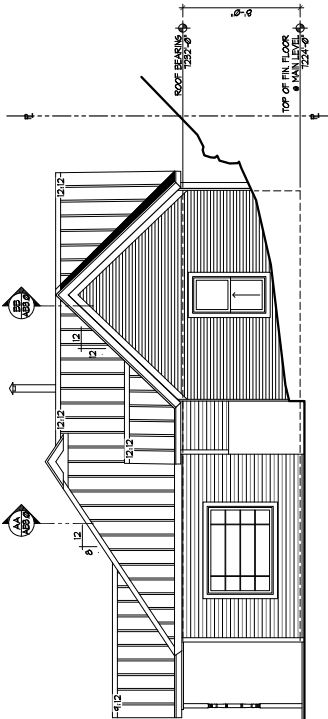
7 AS BUILT - EAST GARAGE ELEV.  
1/4" = 1'-0"



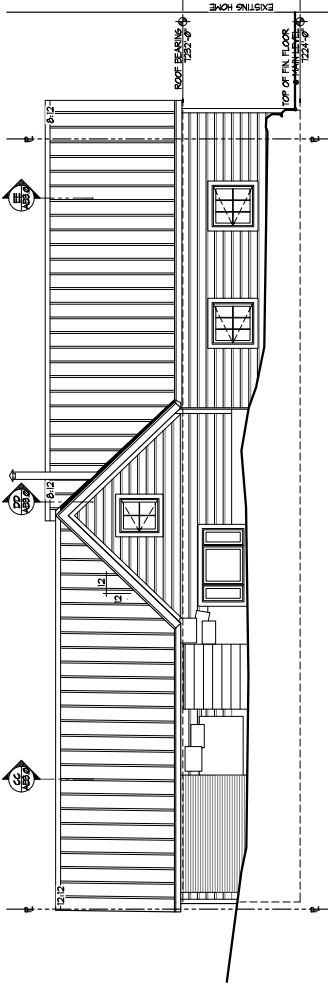
6 AS BUILT - NORTH GARAGE ELEVATION  
1/4" = 1'-0"



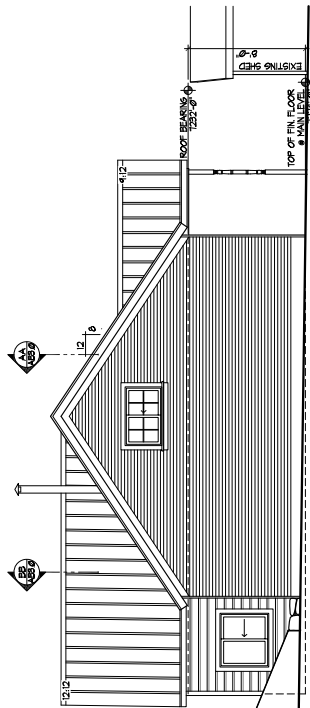
5 AS BUILT - WEST GARAGE ELEV.  
1/4" = 1'-0"



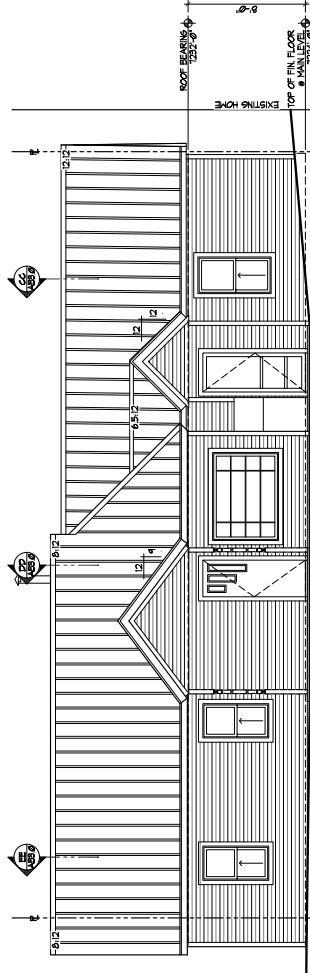
4 AS BUILT - SOUTH ELEVATION  
1/4" = 1'-0"



3 AS BUILT - EAST ELEVATION  
1/4" = 1'-0"



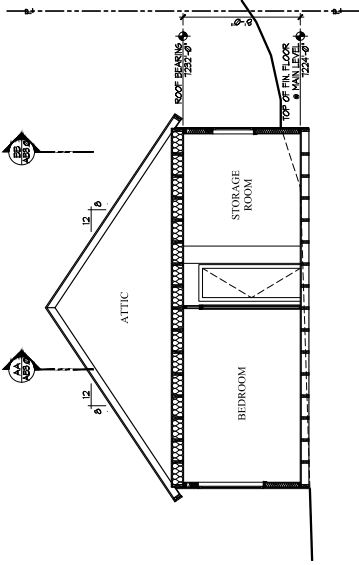
2 AS BUILT - NORTH ELEVATION  
1/4" = 1'-0"



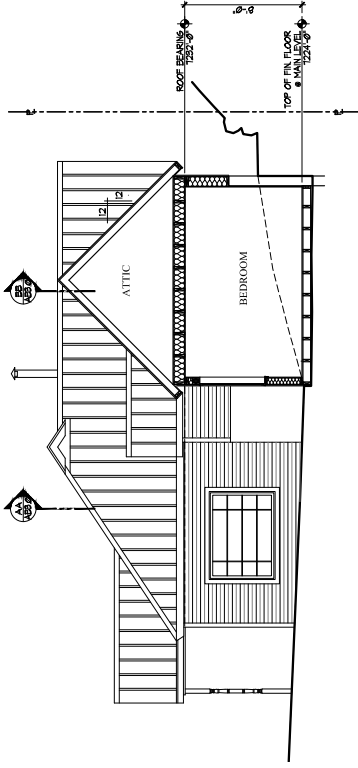
1 AS BUILT - WEST ELEVATION  
1/4" = 1'-0"



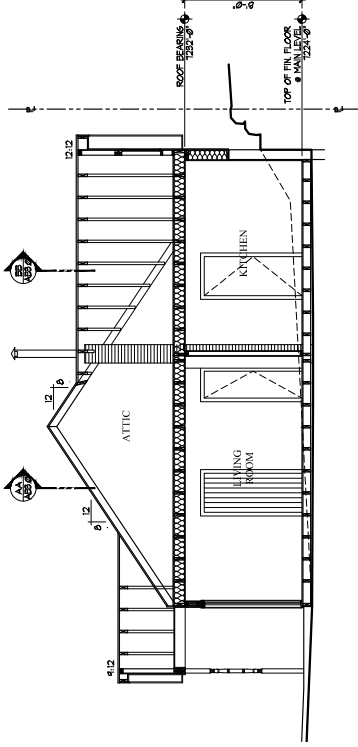
|  |   |                               |   |
|--|---|-------------------------------|---|
| Jonathan DeGray<br>Architect<br>P.O. Box 1074, 614 Main Street, Suite 202, Park City, Utah 84000<br>Tel: 435-647-2523, Email: jgray@jonathandegray.com | RESIDENCE<br>173 DALY AVENUE<br>PARK CITY, UT 84060 | AS BUILT<br>BUILDING SECTIONS | SHEET NUMBER:<br><b>AB3.0</b><br>DATE:<br>11/02/17<br>PROJECT NUMBER:<br> |
|--|---|-------------------------------|---|



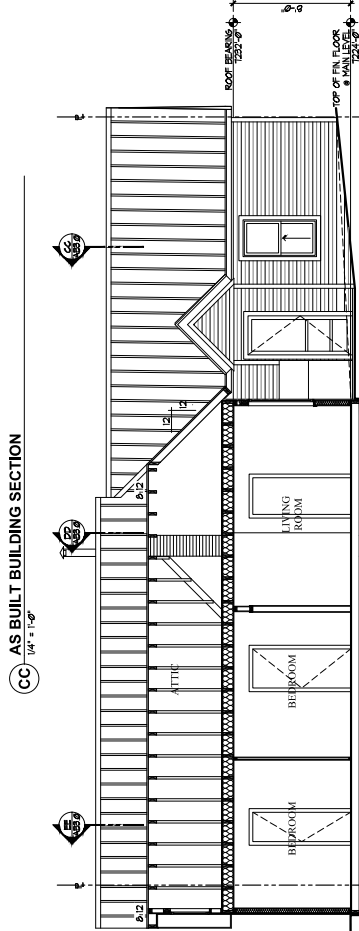
AA AS BUILT BUILDING SECTION  
1/4" = 1'-0"



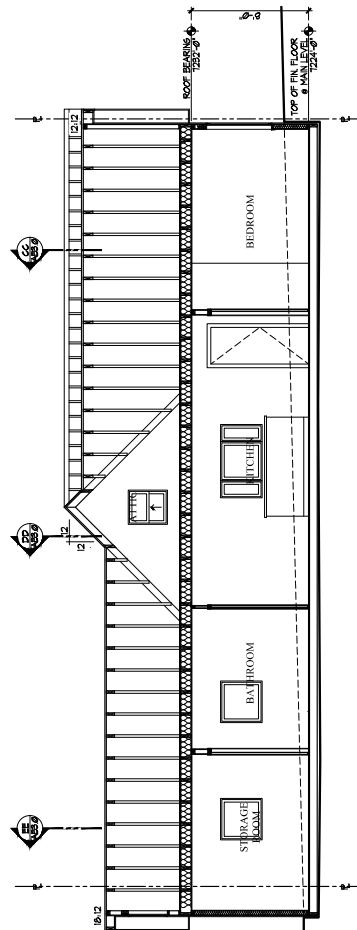
BB AS BUILT BUILDING SECTION  
1/4" = 1'-0"



CC AS BUILT BUILDING SECTION  
1/4" = 1'-0"



DD AS BUILT BUILDING SECTION  
1/4" = 1'-0"



EE AS BUILT BUILDING SECTION  
1/4" = 1'-0"

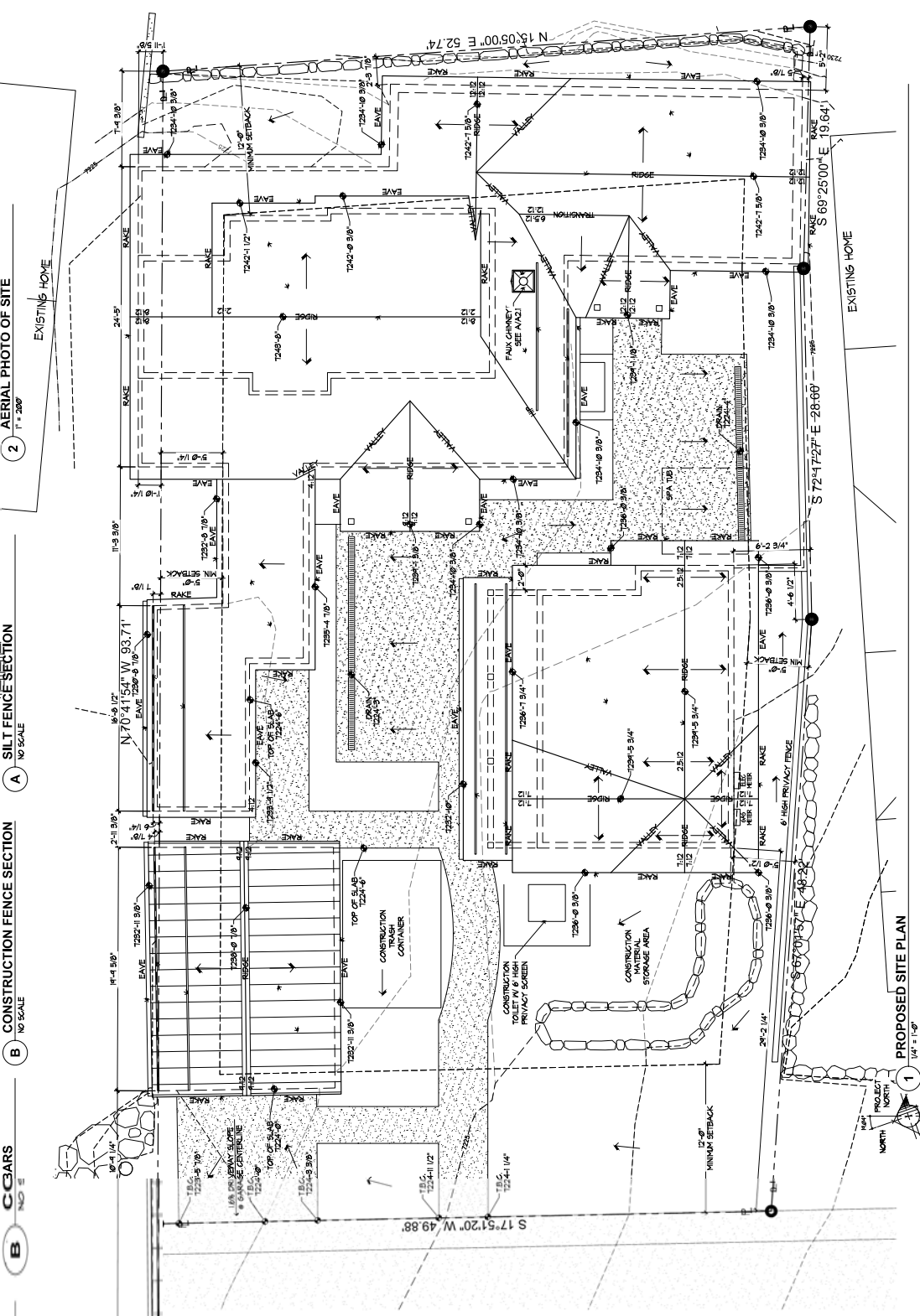
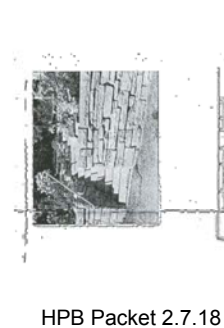
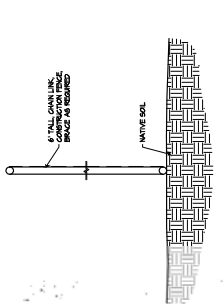
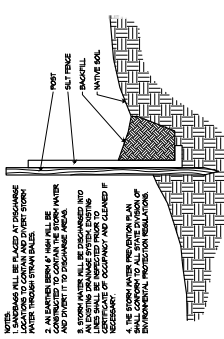
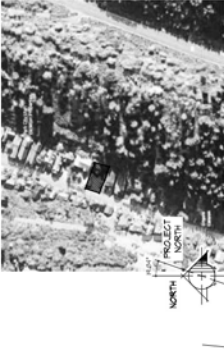
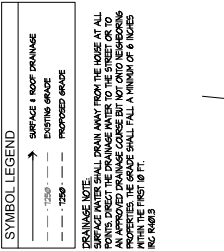
AA AS BUILT BUILDING SECTION  
1/4" = 1'-0"

BB AS BUILT BUILDING SECTION  
1/4" = 1'-0"

CC AS BUILT BUILDING SECTION  
1/4" = 1'-0"

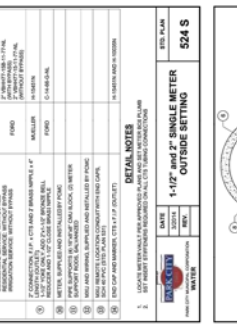
DD AS BUILT BUILDING SECTION  
1/4" = 1'-0"

EE AS BUILT BUILDING SECTION  
1/4" = 1'-0"



**LEGEND AND APPROVED PANEL LIST**

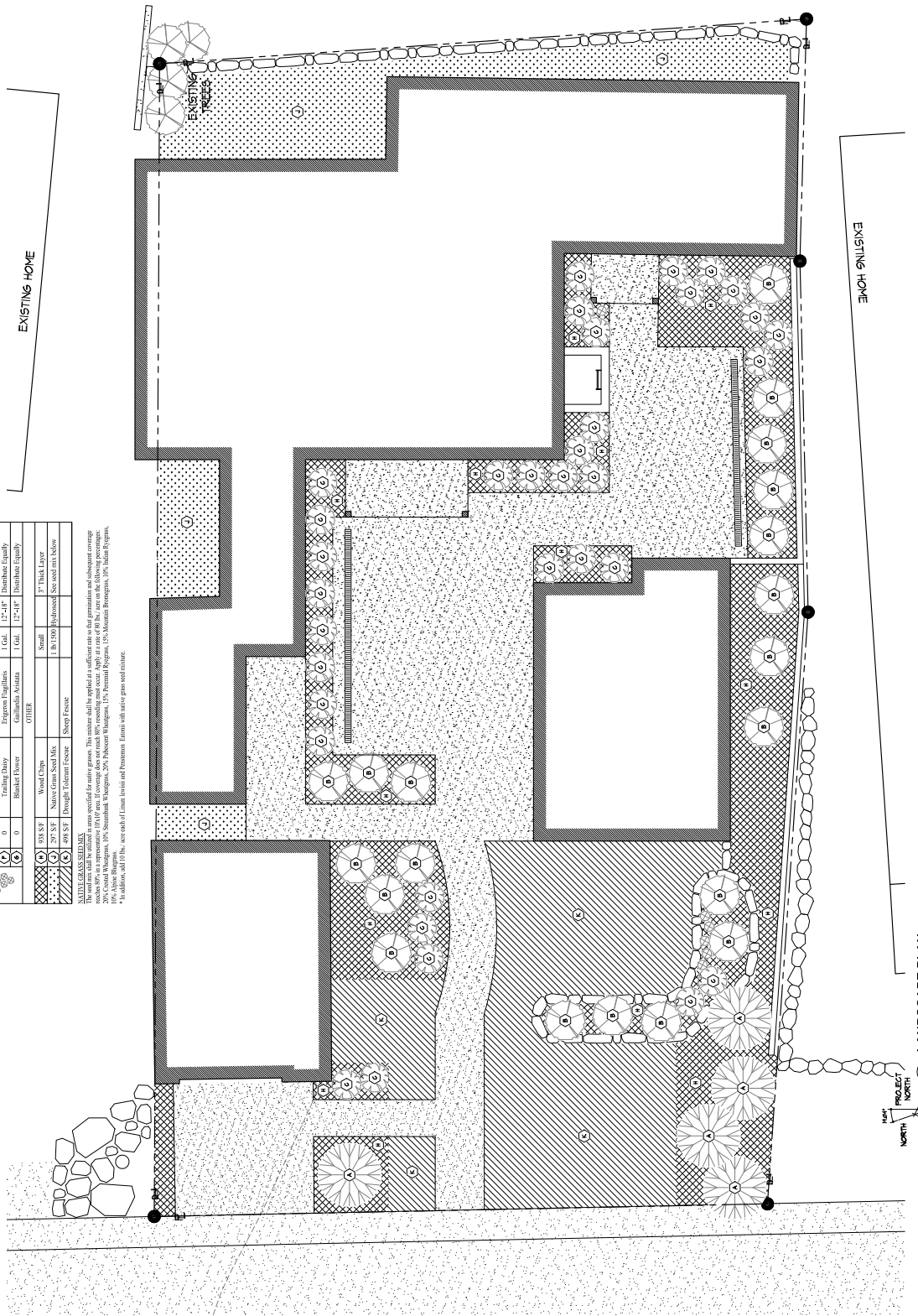
| ITEM | DESCRIPTION                 | MANUFACTURER                | WORKS                       |
|------|-----------------------------|-----------------------------|-----------------------------|
| 1    | CONCRETE                    | CONCRETE                    | CONCRETE                    |
| 2    | ROOFING                     | ROOFING                     | ROOFING                     |
| 3    | FOUNDATION                  | FOUNDATION                  | FOUNDATION                  |
| 4    | WALLS                       | WALLS                       | WALLS                       |
| 5    | FLOORING                    | FLOORING                    | FLOORING                    |
| 6    | CEILING                     | CEILING                     | CEILING                     |
| 7    | MECHANICAL                  | MECHANICAL                  | MECHANICAL                  |
| 8    | ELECTRICAL                  | ELECTRICAL                  | ELECTRICAL                  |
| 9    | PLUMBING                    | PLUMBING                    | PLUMBING                    |
| 10   | PAINT                       | PAINT                       | PAINT                       |
| 11   | LANDSCAPE                   | LANDSCAPE                   | LANDSCAPE                   |
| 12   | EXTERIOR FINISHES           | EXTERIOR FINISHES           | EXTERIOR FINISHES           |
| 13   | INTERIOR FINISHES           | INTERIOR FINISHES           | INTERIOR FINISHES           |
| 14   | MECHANICAL EQUIPMENT        | MECHANICAL EQUIPMENT        | MECHANICAL EQUIPMENT        |
| 15   | ELECTRICAL EQUIPMENT        | ELECTRICAL EQUIPMENT        | ELECTRICAL EQUIPMENT        |
| 16   | PLUMBING EQUIPMENT          | PLUMBING EQUIPMENT          | PLUMBING EQUIPMENT          |
| 17   | LANDSCAPE EQUIPMENT         | LANDSCAPE EQUIPMENT         | LANDSCAPE EQUIPMENT         |
| 18   | EXTERIOR FINISHES EQUIPMENT | EXTERIOR FINISHES EQUIPMENT | EXTERIOR FINISHES EQUIPMENT |
| 19   | INTERIOR FINISHES EQUIPMENT | INTERIOR FINISHES EQUIPMENT | INTERIOR FINISHES EQUIPMENT |
| 20   | MECHANICAL EQUIPMENT        | MECHANICAL EQUIPMENT        | MECHANICAL EQUIPMENT        |
| 21   | ELECTRICAL EQUIPMENT        | ELECTRICAL EQUIPMENT        | ELECTRICAL EQUIPMENT        |
| 22   | PLUMBING EQUIPMENT          | PLUMBING EQUIPMENT          | PLUMBING EQUIPMENT          |
| 23   | LANDSCAPE EQUIPMENT         | LANDSCAPE EQUIPMENT         | LANDSCAPE EQUIPMENT         |
| 24   | EXTERIOR FINISHES EQUIPMENT | EXTERIOR FINISHES EQUIPMENT | EXTERIOR FINISHES EQUIPMENT |
| 25   | INTERIOR FINISHES EQUIPMENT | INTERIOR FINISHES EQUIPMENT | INTERIOR FINISHES EQUIPMENT |



### PLANT SCHEDULE

| SYMBOL       | QTY | COMMON NAME          | SCIENTIFIC NAME        | SIZE       | SPACING   | COMMENTS                 |
|--------------|-----|----------------------|------------------------|------------|-----------|--------------------------|
| (A)          | 5   | Colorado Blue Spruce | Pinus pungens          | 3" Dia.    | 6'-8' Sp. | 6" - 8' tall             |
| (B)          | 20  | Aspen                | Populus tremuloides    | 3" Dia.    | 6'-8' Sp. |                          |
| (C)          | 14  | Redwing Blackbird    | Corvus corax           | 3" Gal.    |           | Spacing as noted on plan |
| (D)          | 0   | Blackbird            | Common                 | 1 Gal.     | 12'-14"   | Distribute Equally       |
| (E)          | 0   | Colubine             | Anagallis arvensis     | 1 Gal.     | 12'-14"   | Distribute Equally       |
| (F)          | 0   | Treading Thru        | Eriogonum fasciculatum | 1 Gal.     | 12'-14"   | Distribute Equally       |
| (G)          | 0   | Blanket Flower       | Gallium aparine        | 1 Gal.     | 12'-14"   | Distribute Equally       |
| <b>OTHER</b> |     |                      |                        |            |           |                          |
| (H)          | 20  | Wood Chips           | Native Grass Seed Mix  | Small      |           | 3" Thick Layer           |
| (I)          | 20  | Drainage Fabric      | Native Grass Seed Mix  | 1.8" x 10" |           | See notes on plan below  |
| (J)          | 20  | Drainage Fabric      | Drainage Fabric        | 48" x 6'   |           | See notes on plan below  |

**MULTI-GRASS SEED MIX**  
 Multi-grass seed mix is used for all areas. This mixture will be applied at a sufficient rate so that maintenance and observed coverage reaches 95% at approximately 100% area. If coverage does not reach 90% seedling area occur. Apply at rates of 80 lbs. area on the following percentage:  
 20% Grass Wiggins, 10% Bonanza Wiggins, 20% Pilsbury Wiggins, 15% Vermont Region, 15% Western Homogony, 10% Iolan Region.  
 \* In addition, add 1 lb. area each of: Linn's Linn and Peppercorn. Examine both native grass seed mixture.



- ### PLANTING NOTES
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION OF PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES, SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.
  - AUTOMATIC IRRIGATION REQUIRED. PROVIDE SHOP DRAWINGS FOR APPROVAL BY ALL APPLICABLE AGENCIES AND STANDARDS SPECIFICATIONS.
  - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWINGS, DETAILS AND SPECIFICATIONS.
  - CONTRACTOR SHALL COMPANTEE ALL PLANTING WITH REGULATION CONTRACTOR AS SET FORTH.
  - IN THE EVENT OF A DISCREPANCY NOTIFY THE ARCHITECT OR OWNER IMMEDIATELY.
  - SHRUB BIRDS SHALL BE PLANTED AT THE END OF THE LINE.
  - SHRUB BIRDS SHALL BE PLANTED TO BE PROTECTED FROM PLANTING OPERATIONS. IT SHALL SEPARATE ALL SHRUB BIRDS NATIVE GRASS LOCATIONS.
  - ALL PLANTS AND ALL PLANT PARTS SHALL BE SET FORTH IN A CONTAINER WITH PROTECTIVE COVERS. PLANTS SHALL BE WATERED AT TIME OF PLANTING AND PROPERLY IRRIGATED.
  - NO BARE ROOT STOCKS SHALL BE USED.
  - FOR PLANTING BACKFILL SHALL MEET SPECIFICATIONS.





**KEYED NOTES**

- 1 ARCHITECTURAL GRADE COMPOSITION PER SQUARE YARD ON LE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE MANUFACTURERS DIRECTIONS • 2-4" O.C. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
- 2 20' SPAN BEAMS SPACING SHALL BE 24" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER CE AND WATER MEMBRANE. ALL BEAMS SHALL BE GRADE UP TO 24" DOWN FROM RIDGE TYP.
- 3 FUNK BRICK CHIMNEY WITH METAL FLASHING AND GUTTERS.
- 4 SWAN RESTRICTION BARS - ALPINE SNOW GUARDS PER 22 OR EQUAL. INSTALL PER MANUFACTURERS DIRECTIONS • 2-4" O.C.
- 5 1/2" CEDAR FASCIA - STAINED
- 6 1/2" CEDAR FASCIA - STAINED
- 7 1/2" CEDAR SOFFIT - STAINED
- 8 STEEL BRASS LAGBOLTS PERMANENTLY ATTACH TO CONCRETE FOUNDATION WALL.

- 9 WOOD WINDOWS AND DOORS • HISTORIC AND RESNAIS REPORT.
- 10 ALUMINUM GLAZED WOOD WINDOWS AND DOORS • HISTORIC AND RESNAIS REPORT.
- 11 CARRIAGE STYLE OVERHEAD GARAGE DOOR.
- 12 6" THICK 6" TALL BOARD FORMED CONCRETE PRIVACY WALL.
- 13 6" TALL WOOD PRIVACY FENCE IN GATE.
- 14 GAS FIRE PIT - DESIGN PER OWNER.

- 15 CONCRETE FOUNDATION - SEE SCHEDULE FOR HEATED CONCRETE PATIO/DRIVEWAY. BROOM FINISH NATURAL COLOR. 4" MIN. THICK. 1/2" REINFORCING BARS OVER 6" MIN. VAPOR BARRIER WITH JOINTS LAPPED 12" MIN. ALL SIZES OF FOUNDATION SHALL BE FILL & 50% COMPACTION. (SEE SECTION 4622.9)
- 16 1/2" CONCRETE FORMING WITH RADIANT HEATING FOR DECK.
- 17 STACKED STONE RETAINING WALL. SEE DETAIL DWG1.
- 18 TOUGH DRY VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP RESISTANT TO GRAVEL DRAIN TO SUMP. ALL SIZES OF FOUNDATION SHALL BE FILL & 50% COMPACTION.

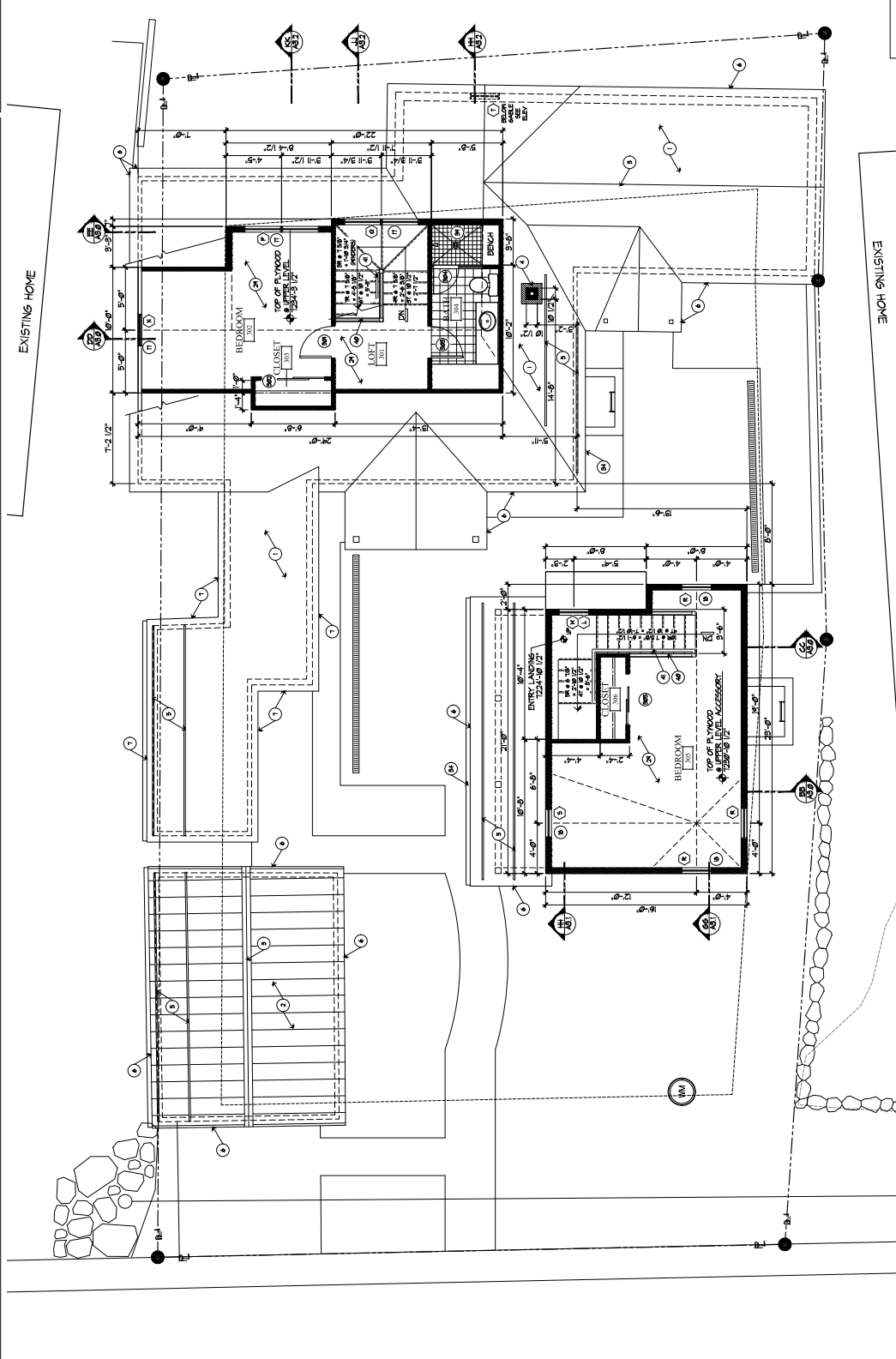
- 19 ENCLOSED GAS FIREPLACE OPENING LOCATED ON 1ST FLOOR. SEE PER PLAN.
- 20 TILES AND SHOWERS WITH TILED WALLS. APPLICATION FIBERGLASS OR GLASS MAT OVER GYPSUM BACKER BOARD IS ALLOWED IN THIS APPLICATION.
- 21 WOOD HANDRAIL AT STAIRWAY TO BE COMPLIANT AT ALL LOCATIONS OF VENTS. INSULATION TO BE ADDED TO MAINTAIN CLEARANCE AREA 1500 + MIN. REQ. VENT AREA. NOTES 9101(A) FOR REQUIREMENTS.

- 22 EXISTING WALL TO BE REMOVED EXISTING 2X FRAMED WALL.
- 23 NEW 2X FRAMED WALL.
- 24 NEW 8" CONCRETE WALL.
- 25 EXTERIOR WALLS TO BE 2X4 FRAMING AND 1/2" ALL FLOOR JOIST TO ROOF JOIST TO BE 170" TJI FRAMING I/O. TYPE ALL INSULATION PER RESNAIS REPORT.
- 26 VERIFY ALL EXISTING CONDITIONS.

- 27 EXISTING WALL TO BE REMOVED EXISTING 2X FRAMED WALL.
- 28 NEW 2X FRAMED WALL.
- 29 NEW 8" CONCRETE WALL.
- 30 EXTERIOR WALLS TO BE 2X4 FRAMING AND 1/2" ALL FLOOR JOIST TO ROOF JOIST TO BE 170" TJI FRAMING I/O. TYPE ALL INSULATION PER RESNAIS REPORT.
- 31 VERIFY ALL EXISTING CONDITIONS.

**GENERAL NOTES**

- 32 EXISTING WALL TO BE REMOVED EXISTING 2X FRAMED WALL.
- 33 NEW 2X FRAMED WALL.
- 34 NEW 8" CONCRETE WALL.
- 35 EXTERIOR WALLS TO BE 2X4 FRAMING AND 1/2" ALL FLOOR JOIST TO ROOF JOIST TO BE 170" TJI FRAMING I/O. TYPE ALL INSULATION PER RESNAIS REPORT.
- 36 VERIFY ALL EXISTING CONDITIONS.



| UPPER LEVEL SQUARE FOOTAGE |               |
|----------------------------|---------------|
| EXISTING:                  | 6,545 sq. ft. |
| NEW:                       | 1,500 sq. ft. |
| TOTAL:                     | 1,500 sq. ft. |

DATE: 11/20/17  
PROJECT NUMBER:  
SHEET NUMBER:  
A1.3

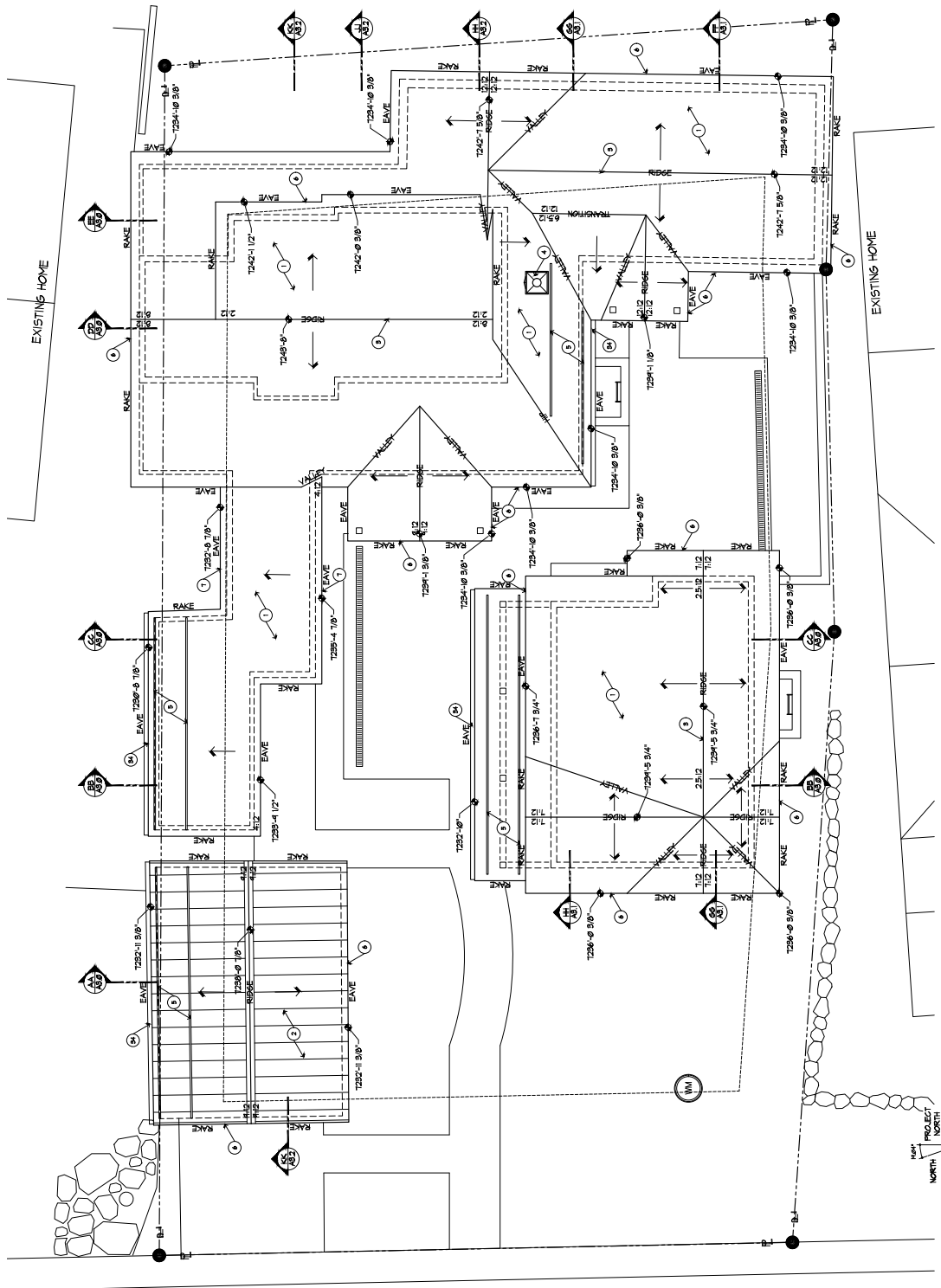
UPPER LEVEL FLOOR PLAN

EXISTING HOME

NEW HOME

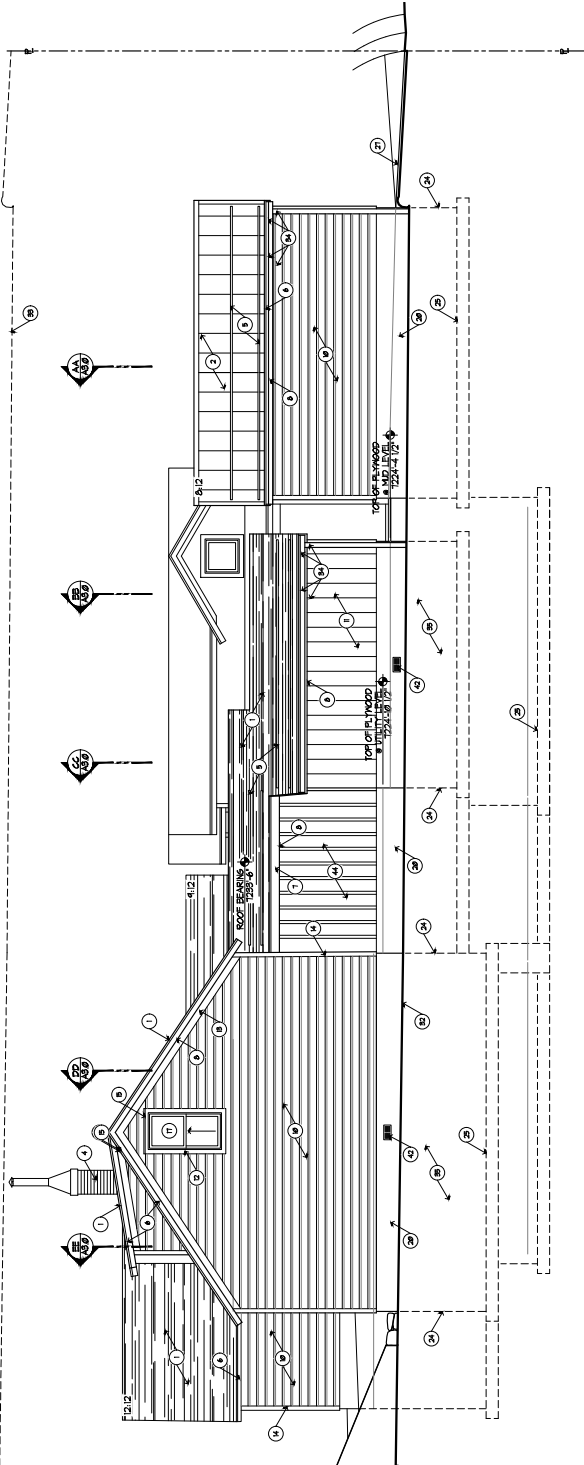
1 UPPER LEVEL FLOOR PLAN  
1/4" = 1'-0"

- KEYED NOTES**
- 1 ARCHITECTURAL GRADE COMPOSITION SHALL BE: 1" POLYSTYRENE INSULATION OVER 2" GYP BOARD PER SQUARE MIN ON LE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE. ALL MANUFACTURERS SHALL BE LISTED AT DOUBLE ENDORSEMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
  - 2 2X RANGE SPACING SEAM METAL ROOFING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS OVER LE AND WATER MEMBRANE. THE ROOF SHALL BE SLOPE UP TO 24" DOWN FROM RIDGE TO EAVE.
  - 3 1/2" ALUMINUM BRACKETS WITH METAL SHIMS SHALL BE USED TO ATTACH ROOF SHEETS TO STUDS. ALL PINE BOARDS SHALL BE 1/2" THICK AND WATER MANUFACTURERS DIRECTIONS & 2'-6" O.C.
  - 4 1/2" X 6" CEDAR FASCIA - STAINED
  - 5 METAL GUTTERS & DOWNPOUT TO DRAIN TO SUB-TERRANIAN FOUNDATION DRAIN.

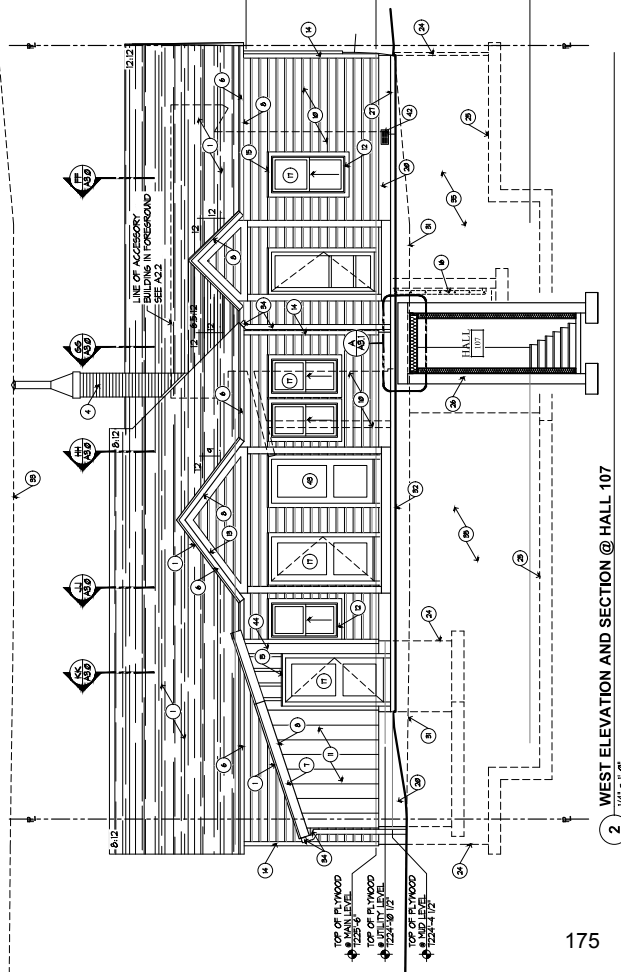


1 ROOF LEVEL PLAN  
1/4" = 1'-0"

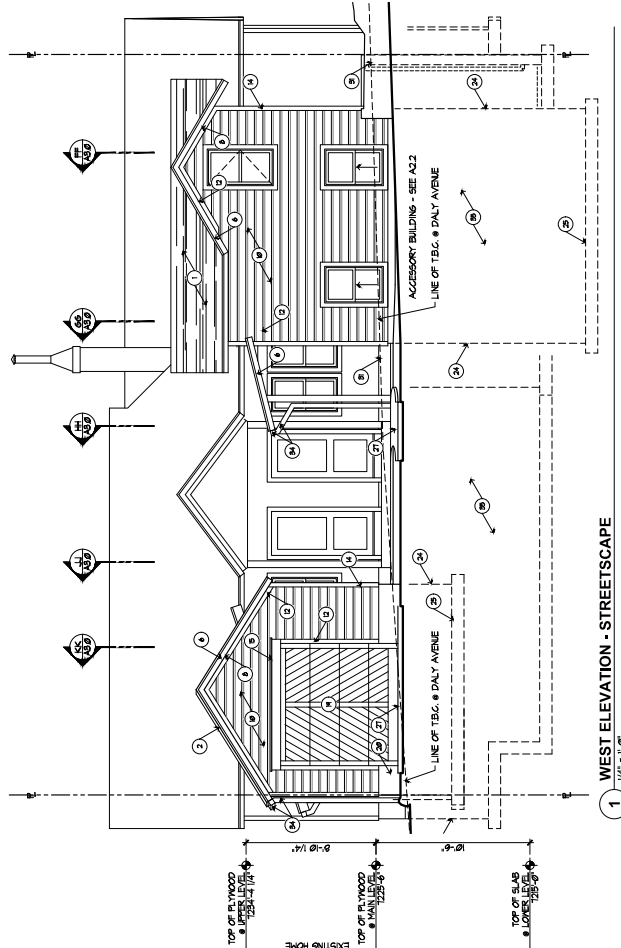
- KEYED NOTES**
- 1) ARCHITECTURAL GRADE COMPOSITION TO BE DETERMINED BY GEOTECHNICAL REPORT. PER SQUARE FOOT ON USE AND WATER REFRACTORY OVER ENTIRE ROOF SURFACE TO BE DETERMINED BY GEOTECHNICAL REPORT. DOUBLE INSULATION REQUIRED AT ALL ROOFS WITH SLOPE 4:12 OR LESS.
  - 2) 36 GAUGE STANDING SEAM METAL ROOF TO BE DETERMINED BY GEOTECHNICAL REPORT. SPECIFICATIONS OVER USE AND WATER REFRACTORY OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TO BE DETERMINED BY GEOTECHNICAL REPORT.
  - 3) FAUX BRICK CHIMNEY WITH METAL CHIMNEY CAP SEE A32.
  - 4) ALUMINUM SNOOK ALONE SNOOK GUARDS 1/2" OR EQUAL, INSTALL PER MANUFACTURERS DIRECTIONS & 2-4" O.C.
  - 5) PROPOSED FINAL GRADE
  - 6) 1x6 CEDAR FASCIA - STAINED
  - 7) 1x6 CEDAR SOFFIT - STAINED
  - 8) METAL GUTTER & DOWNSPOUT TO DRAIN TO SUB-IRREVERSANT TOLERANCE DRAIN OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4" CONTINUOUS DRAIN TO 5/8" ALL SIDES OF FOUNDATION. BACKFILL FOUNDATION WITH GRANULAR.
  - 9) 12" VERTICAL CEDAR SIDING WITH 5/4" BEVELED LAP ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS & 19" 1/2" X 3.5 1/2" CEDAR TRIM - STAINED
  - 10) 1/2" X 5 1/2" CEDAR TRIM - STAINED
  - 11) 1/2" X 5 1/2" CEDAR OUTSIDE CORNER BOARD 1/2" X 1 1/2" CEDAR INSIDE CORNER BOARD - STAINED
  - 12) HORIZONTAL CEDAR SIDING TO TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS & 19" 1/2" X 3.5 1/2" CEDAR TRIM - STAINED
  - 13) 1/2" X 5 1/2" CEDAR TRIM - STAINED
  - 14) 1/2" X 5 1/2" CEDAR TRIM - STAINED
  - 15) NEW DOORS, WINDOWS AND HORIZ. TRIM
  - 16) STEEL BRASS LATCHES PERMANENTLY TO BE DETERMINED BY GEOTECHNICAL REPORT.
  - 17) INSULATED GLASS - SEE SCHEDULE AND RESOURCE REPORT.
  - 18) ALUMINUM GLAD WOOD WINDOWS AND DOORS TO BE DETERMINED BY GEOTECHNICAL REPORT.
  - 19) GARAGE STYLE OVERHEAD GARAGE DOOR TO BE DETERMINED BY GEOTECHNICAL REPORT.
  - 20) RAS RUBBER CONCRETE FINISH
  - 21) FOUNDATION LINE SHOWN HOODEN - SEE STRUCTURAL FOR SIZE AND REINFORCING.
  - 22) FLOORING LINE SHOWN HOODEN - SEE STRUCTURAL FOR SIZE AND REINFORCING.
  - 23) CONCRETE FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
  - 24) BROOK FINISHED NATURAL COLOR 4" TRUCK W/ 866 KF X KF W/ W/ 117' DETAIL DRAW RETAINING WALL. SEE DETAIL DRAW.
  - 25) 21'-0" ABOVE PROPOSED FINAL GRADE
  - 26) 1x6 CEDAR FASCIA - STAINED
  - 27) METAL GUTTER & DOWNSPOUT TO DRAIN TO SUB-IRREVERSANT TOLERANCE DRAIN OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4" CONTINUOUS DRAIN TO 5/8" ALL SIDES OF FOUNDATION. BACKFILL FOUNDATION WITH GRANULAR.
  - 28) VENTILATION TO BE COMPLIANT AT ALL GRANULAR AREAS. SEE FOOTING AND LOCATIONS OF VENTS. VENTILATION TO BE HELD BACK TO MAINTAIN CLEARANCE AREAS AS SHOWN.
  - 29) FAUX DOOR - SEE DETAIL A14.2
  - 30) 1/2" X 5 1/2" CEDAR TRIM - STAINED
  - 31) 1/2" X 5 1/2" CEDAR TRIM - STAINED
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  - 100) 1/2" X 5 1/2" CEDAR TRIM - STAINED



3 NORTH ELEVATION  
1/4" = 1'-0"

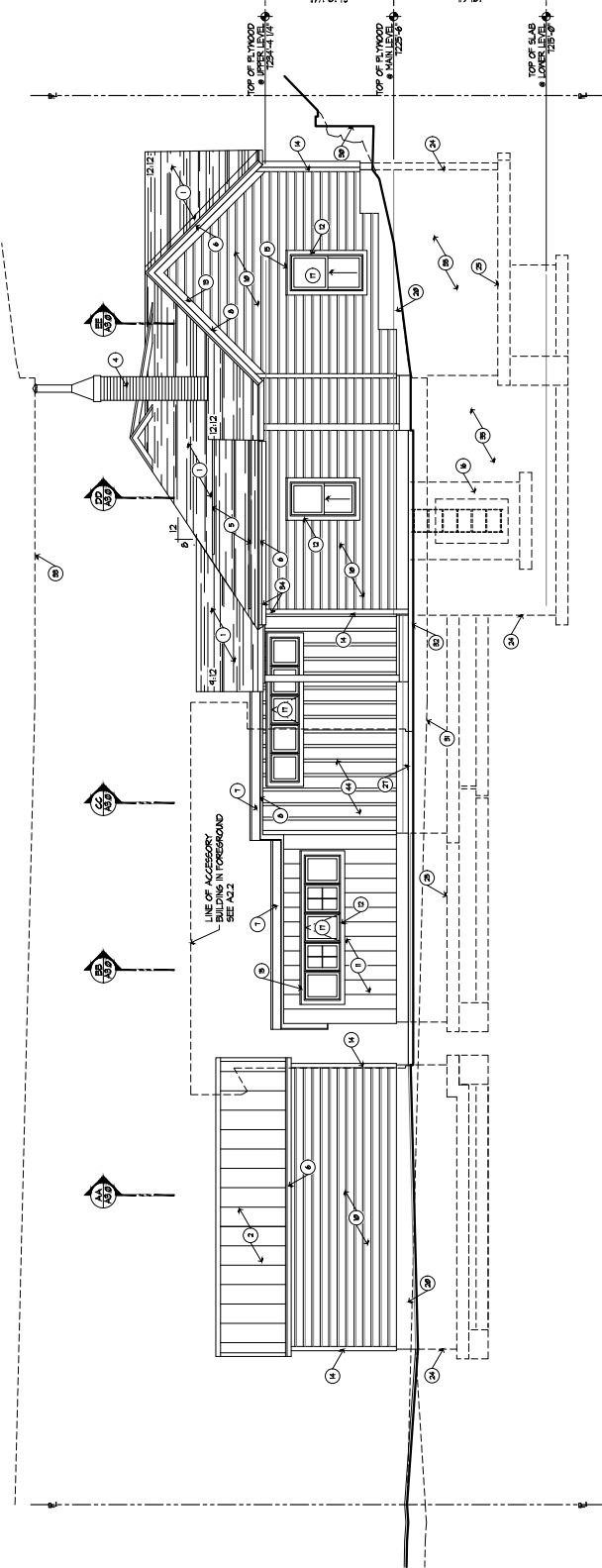


2 WEST ELEVATION AND SECTION @ HALL 107  
1/4" = 1'-0"

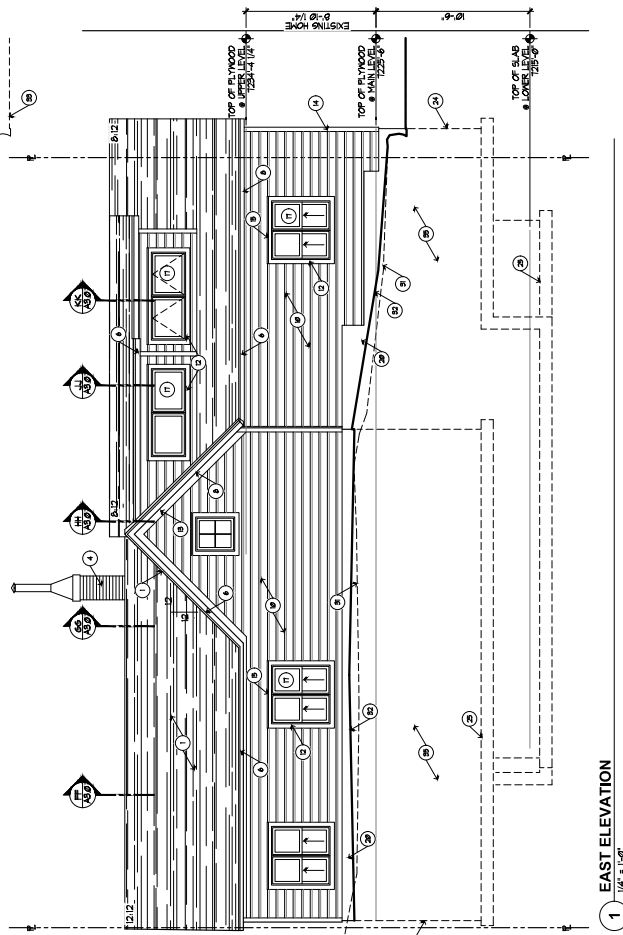


1 WEST ELEVATION - STREETSCAPE  
1/4" = 1'-0"



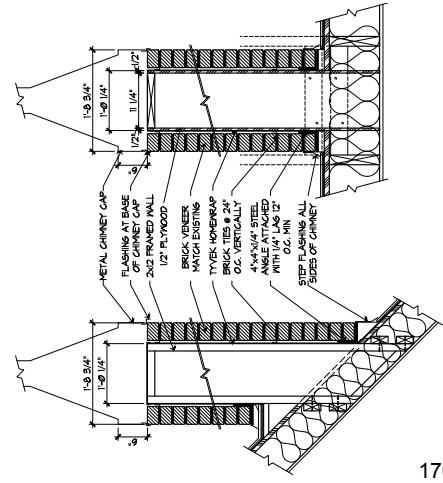


2 SOUTH ELEVATION  
1/4" = 1'-0"



1 EAST ELEVATION  
1/4" = 1'-0"

- KEYED NOTES**
- 1 ARCHITECTURAL GRADE COMPOSITION
  - 2 26 GAUGE STANDING SEAM METAL ROOF
  - 3 1/2" X 1/2" CEDAR TRIM - STAINED
  - 4 FAUX BRICK CHIMNEY WITH METAL
  - 5 METAL CHIMNEY CAP
  - 6 1/2" X 1/2" CEDAR TRIM - STAINED
  - 7 1/2" X 1/2" CEDAR TRIM - STAINED
  - 8 1/2" X 1/2" CEDAR TRIM - STAINED
  - 9 1/2" X 1/2" CEDAR TRIM - STAINED
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  - 100 1/2" X 1/2" CEDAR TRIM - STAINED

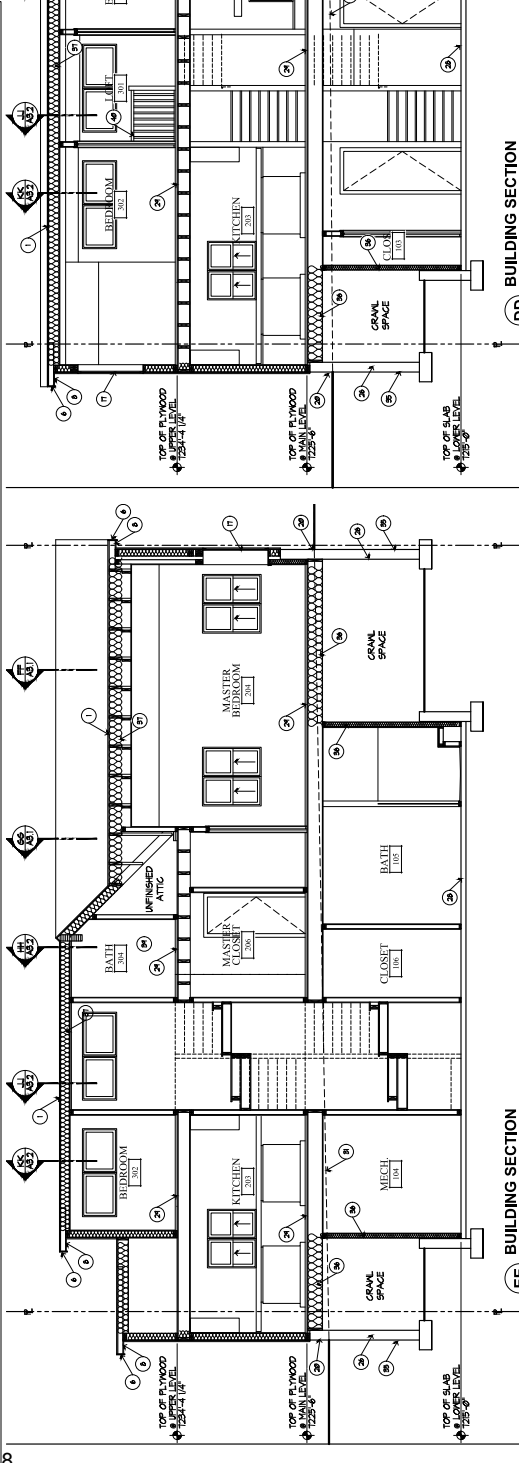


A FAUX CHIMNEY CONSTRUCTION  
1" = 1'-0"

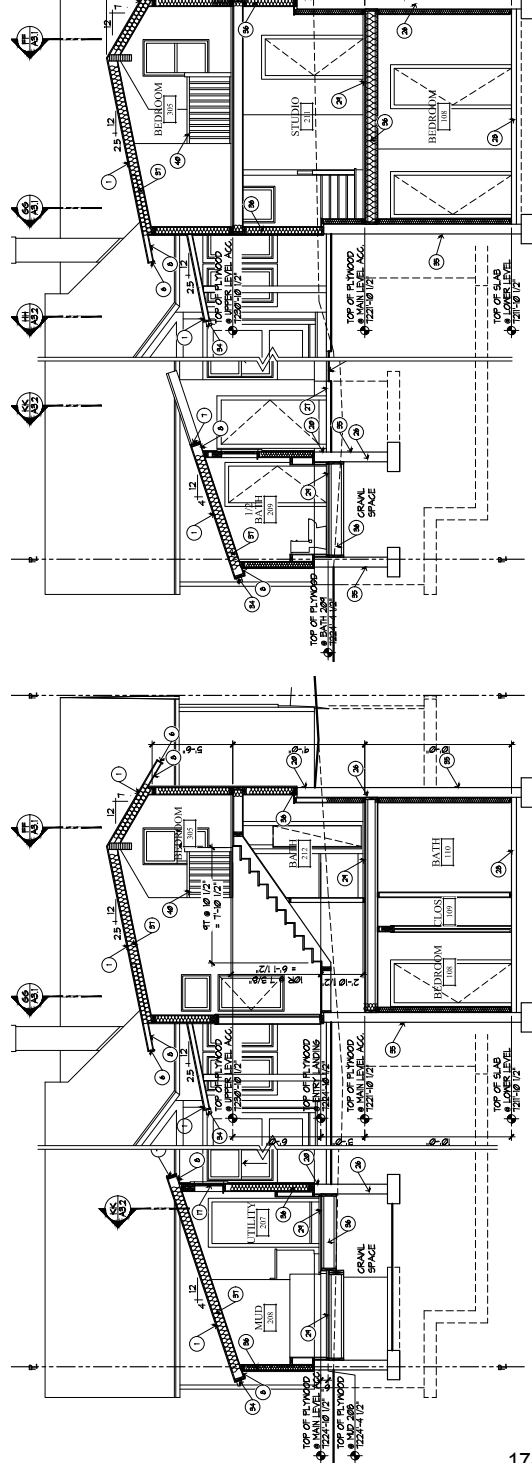


**KEYED NOTES**

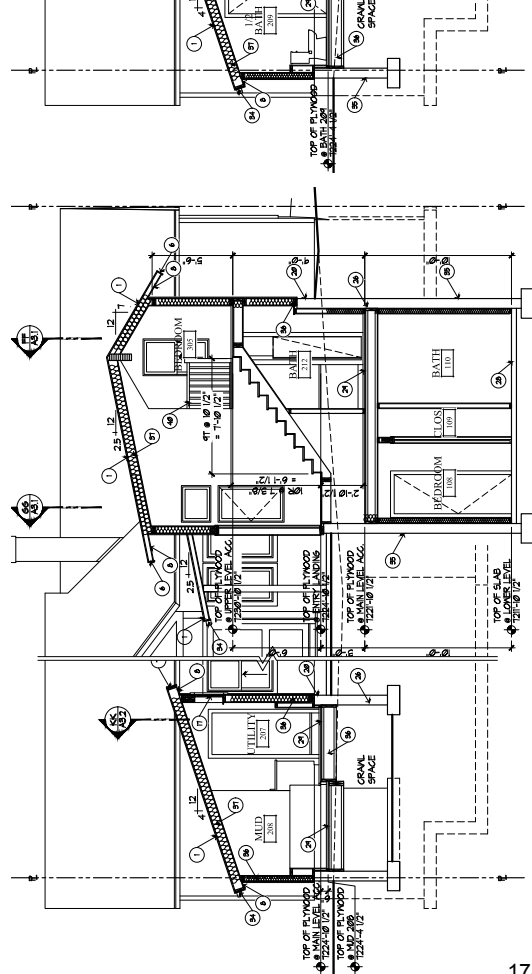
- ① ARCHITECTURAL GRADE COMPOSITION PER SQUARE IN ON LEAD AND WATER RESISTANT OVER ENTIRE ROOF SURFACE. DOUBLE INSULATION REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS. IN NON-REFLECTIVE FINISH MEMBRANES O.C. INSTALLED PER MANUFACTURER'S INSTRUCTIONS OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP.
- ② 1x6 CEDAR FASCIA - STAINED.
- ③ 1x6 CEDAR SOFFIT - STAINED.
- ④ WOOD WINDOWS AND DOORS - HISTORIC AND REPRODUCTIONS. SEE SCHEDULE AND RESURFACING REPORT.
- ⑤ ALUMINUM CLAD WOOD WINDOWS AND DOORS WITH SLOPE 4:12 OR LESS. SCHEDULE AND RESURFACING REPORT.
- ⑥ CARBIDE STYLE OVERHEAD GARAGE DOOR.
- ⑦ 2x4 SILLING OVER ENTIRE ROOF SURFACE WITH 2x4 DOWN FROM RIDGE TYP.
- ⑧ 2x8 CEDAR FASCIA - STAINED.
- ⑨ 1x6 CEDAR SOFFIT - STAINED.
- ⑩ HEATED CONC. PORCH (PATIO) PREVENT: THICK IN 6x6 R.I.C. R.V.P. TYP.
- ⑪ HEATED CONCRETE FLOOR SLAB WITH VAPOR BARRIER WITH JOISTS LAPPED AND REBAR. NOT LESS THAN 4" OVER 6" GRANULAR PROPPING TO DRAIN TO 4" CONTIGUOUS DRAINAGE. BACKFILL TO 30" BELOW GRADE SHALL BE FULL 4" 50% COMPACTION.
- ⑫ NATURAL GRADE.
- ⑬ METAL GUTTER 1" DOWNSPOUT TO DRAIN TO 4" CONTIGUOUS DRAINAGE. BACKFILL TO 30" BELOW GRADE SHALL BE FULL 4" 50% COMPACTION.
- ⑭ TOBACCO VERTICAL DRAIN BAND OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4" CONTIGUOUS DRAINAGE. BACKFILL TO 30" BELOW GRADE SHALL BE FULL 4" 50% COMPACTION.
- ⑮ SLOW-VAPOR FIBERGLASS BATT INSULATION MINIMUM 4-HL R.O. VENTILATE VAPOR RETARDER OVER THE INSULATION ON THE WALLS AND ROOF CEILING. R12 R1921 WALLS AND ROOF CEILING. R12 R1921 INSULATION ENTIRE CAVITY (R-31) FRAMED ON 16" FLOOR JOIST PER PLAN.
- ⑯ ROOF JOISTS WITH TILED WALLS. USE A POLYURETHANE FOAM APPLICATION FIBER-GLASS OR GLASS MAT SPUN BUCKLE (GIBSON BOARD) UNDER CLADDING IN THIS PRODUCTION.
- ⑰ FINISH BRICK GARMENT WITH METAL.
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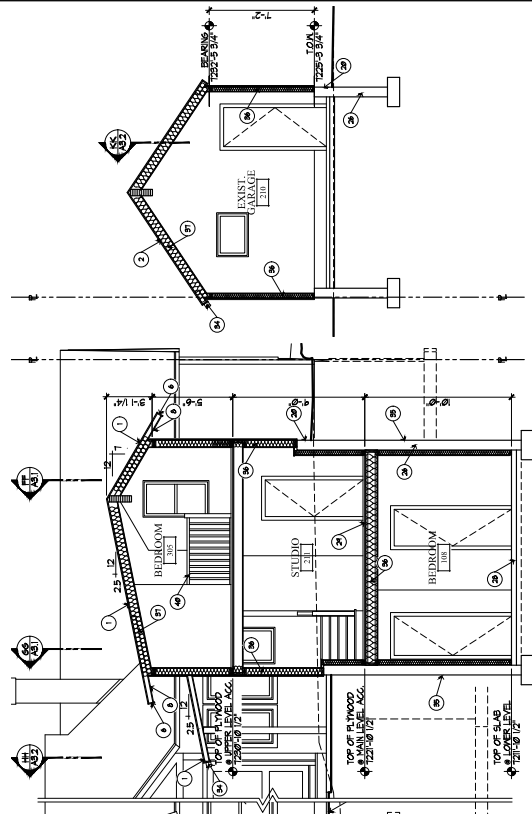
**DD BUILDING SECTION**  
1/4" = 1'-0"



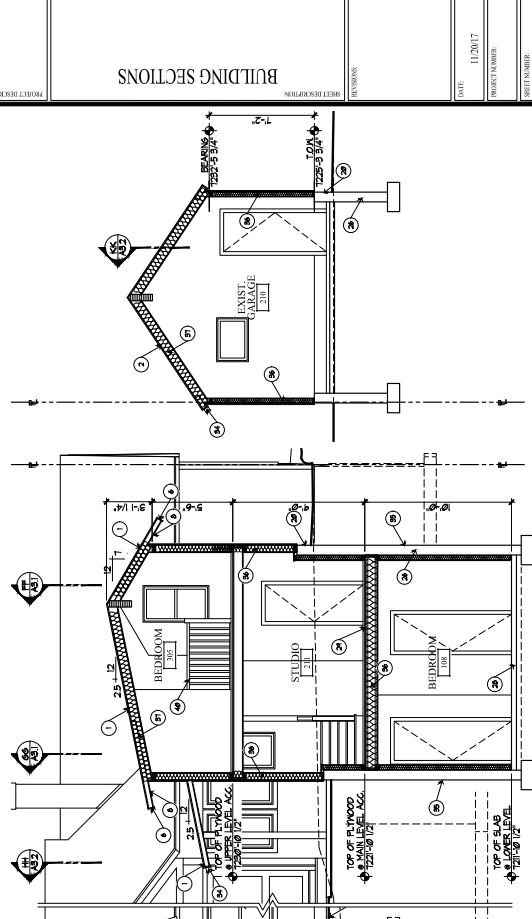
**EE BUILDING SECTION**  
1/4" = 1'-0"



**BB BUILDING SECTION**  
1/4" = 1'-0"



**CC BUILDING SECTION**  
1/4" = 1'-0"



BUILDING SECTIONS

DATE: 11/20/17  
PROJECT NUMBER:  
SHEET NUMBER:

**A3.0**

Jonathan DeGray  
Architect

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