

# TREASURE - PARK CITY, UTAH

## 2017 SUBMITTAL

V17.2 - 2017 Refinements #2 to the 2009 Submittal  
Including V17.1 - 2017 Refinements #1  
Update #1 - August 7, 2017

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S.7	BUILDING & SITE SECTION
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**VISUALIZATION DRAWINGS:** Digital copies of the following updated visualization drawings will be provided with this submittal.

**VIEW POINTS:**  
Updated versions of Sheets V-22 thru V-27 of 2009 Submittal (See Sheet V-21 of 2009 Submittal for map of viewpoint locations)

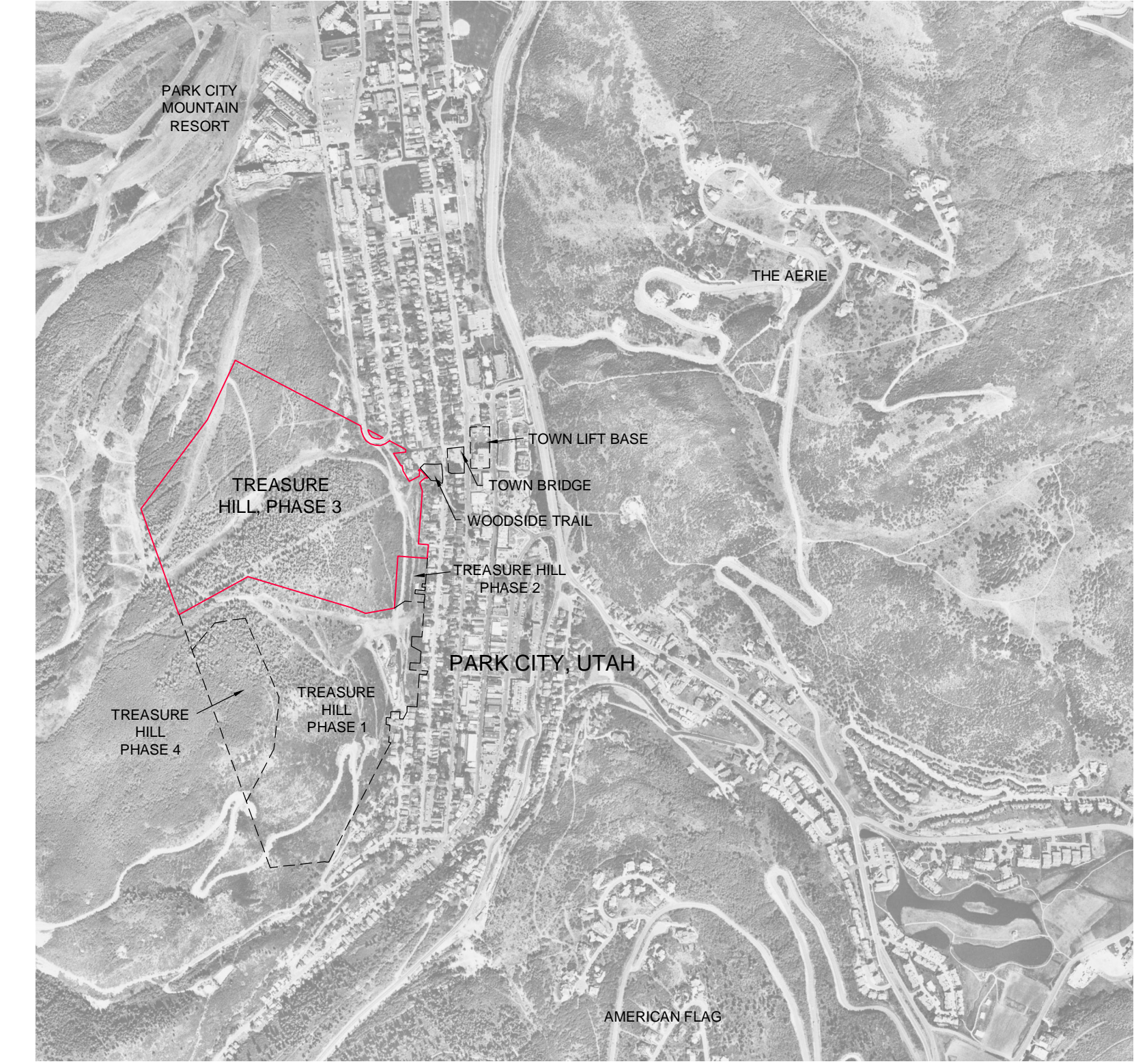
- \* VP.1 PARK CITY MOUNTAIN RESORT (BUS STOP)
- \* VP.2 PARK CITY GOLF COURSE
- \* VP.3 PEAKS HOTEL
- \* VP.4 CITY PARK
- \* VP.5 9th STREET TURNAROUND
- \* VP.6 AERIE (SWITCHBACK 2)
- \* VP.7 TOWN LIFT DECK
- \* VP.8 HEBER & MAIN
- \* VP.9 ROUNDABOUT
- \* VP.10 MARSAC BUILDING
- \* VP.11 5th STREET

#### SIGNATURE STILL PHOTO RENDERINGS:

- \* SS.1 FALL
- \* SS.2 SUMMER 1
- \* SS.3 WINTER 1
- \* SS.4 SUMMER 2
- \* SS.5 SUMMER 3
- \* SS.6 SUMMER 4
- \* SS.7 WINTER 2
- \* SS.8 WINTER 3

#### \* VIDEO RENDERINGS

NOTE: Documents denoted with an asterisk (\*) are not included in this submittal and will be submitted under separate cover in the future.



LOCATION MAP

#### SUMMARY OF REFINEMENTS COMPARED TO 2009 and V17.1 - 2017 REFINEMENTS #1 SUBMITTALS

THE ARCHITECTURAL DRAWINGS HAVE BEEN FURTHER REFINED TO REFLECT WHAT THE TREASURE DESIGN TEAM BELIEVES IT HAS HEARD FROM THE CURRENT PLANNING COMMISSION. MODIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

ACCEPTED THE EXISTING GRADE FOR THE LOWELL-EMPIRE CONNECTION, RESULTING IN LESS EXCAVATION.

ELIMINATED BUILDINGS 5B & 5D, INCLUDING BELOW-GRADE ACCESSORY SPACES.

TRANSFERRED ABOVE-GRADE RESIDENTIAL SPACES FROM BUILDINGS 5B & 5D TO BUILDINGS 5A, 5C, & 4B WHILE PRESERVING THE STEPPED MASSING AT THE UPPER STORIES.

COMPRESSED THE FOOTPRINT OF BUILDING 4B BY REDUCING THE AREA BETWEEN 4A & 4B AND THE WIDTH OF THE CONNECTION BETWEEN THE NORTH & SOUTH WINGS, RESULTING IN INCREASED WIDTH FOR THE CREOLE SKI TRAIL, LESS OUTDOOR AMENITY SPACE, AND REDUCED CLIFFSCAPE.

ELIMINATED DUPLICATE BELOW-GRADE AND ABOVE-GRADE LOBBIES IN BUILDINGS 1B, 4B & 5A BY PROVIDING A SINGLE CHECK-IN LOBBY IN CREOLE PARKING GARAGE, RESULTING IN MORE EFFICIENT PARKING AND UNDERGROUND VEHICULAR CIRCULATION AND ALLOWING THE MAIN ENTRY DRIVE TO MOVE FURTHER SOUTH AWAY FROM NEARBY RESIDENCE.

CONVERTED BUILDING 1C TO FLATS IN LIEU OF TOWNHOUSES, PERMITTING THE ELIMINATION OF ACCESSORY AND CIRCULATION SPACES.

UPDATES:  
#1 08/07/2017

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V17.2 - 2017 Refinements #2 to 2009 Submittal  
COVER SHEET

TREASURE - PARK CITY, UTAH

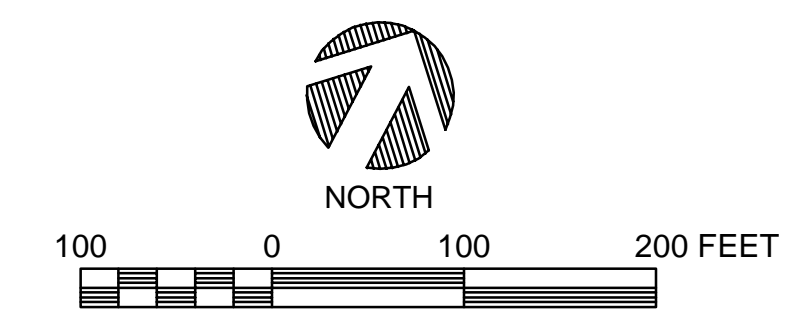
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COVER

DATE: 07/20/2017



GENERAL NOTES:

- 1) Ski trails will be field graded according to directives of Park City Mountain and revegetated with top soil and grasses. Island mounds, planted with fir and aspens (in addition to top soil and grasses) may serve to visually break up wide areas of the trail and accommodate additional fill.
- 2) Existing hiking/biking trails will be rerouted where necessary to result in trails of similar character; actual location to be determined pending final grading of the ski runs and cliffscapes.



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V17.2 - 2017 Refinements #2 to 2009 Submittal  
Grading Plan

TREASURE - PARK CITY, UTAH

SHEET NO.  
GP.1

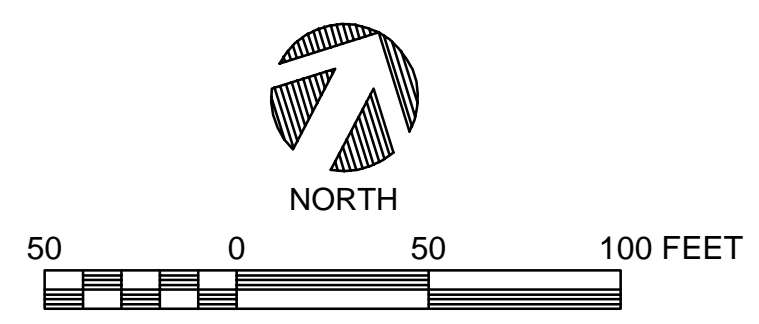
DATE: 07/20/2017



OPEN SPACE CALC.	
BLDG. NO.	BLDG. FOOTPRINT (1)
MIDSTATION SITE - LOT #8	
1A	5,026 S.F.
1B	9,462
1C	8,970
TOTAL	23,458 S.F.
SITE AREA	163,337 S.F. (3.75 ACRES)
OPEN SPACE	85.64 %
CREOLE SITE - LOT #9	
2	2,741 S.F.
EMP. HOUSING	633
3A	3,746
3B	5,291
3C	4,575 (2)
PLAZA STAIR/ELEV.	305
4A	21,220
4B	32,083
5A	7,569
5C	10,051
TOTAL	88,214 S.F.
SITE AREA	337,591 S.F. (7.75 ACRES)
OPEN SPACE	73.87 %
PROJECT TOTAL	
BLDG. AREA	111,672 S.F.
SITE AREA	500,928 S.F.
OPEN SPACE	77.71 %

(1) BUILDING FOOTPRINT AREAS USED IN THE OPEN SPACE CALCULATION (SHOWN SHADED) ARE MEASURED AT THE EXTERIOR FACE OF WALL AT FINISH GRADE, EXCEPT WHERE NOTED OTHERWISE. EXCLUDED ARE DRIVEWAYS, ROOF OVERHANGS, PRIVATE BALCONIES NOT ABOVE HABITABLE SPACE AND OPEN ON AT LEAST TWO SIDES, AND STRUCTURES BELOW LANDSCAPING OR PUBLIC PLAZAS.

(2) BUILDING 3C AREA INCLUDES THE HABITABLE SPACE ABOVE THE PLAZA WALKWAY (SHOWN DASHED).



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V17.2 - 2017 Refinements #2 to 2009 Submittal  
Site & Circulation Plan

TREASURE - PARK CITY, UTAH

SHEET NO.  
SP.1

DATE: 07/20/2017



**HEIGHT LIMITS LEGEND**

MAXIMUM BUILDING HEIGHT (MBH) RELATIVE TO EXISTING (NATURAL) GRADE

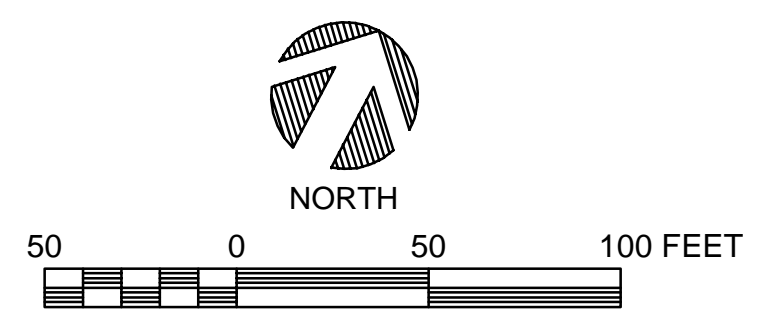
- 0'-0"
- 15'-0"
- 25'-0"
- 35'-0"
- 45'-0"
- 55'-0"
- 65'-0"
- 75'-0"

- Minimum existing grade  
E.G. 719' = 720' MAX.
- Maximum allowable roof height  
Note: Maximum allowable roof heights noted with asterisk (\*) include additional 5' above MBH for sloped roofs in accordance with Park City LMC, Section 15-2.10-4 (A) (1).
- Proposed roof height  
718'

**GENERAL NOTES:**

Height limits based on Height Exhibit, Sheet 22 of the Sweeney Properties Master Plan as approved October 1986.

(1) Indicates areas where access shafts may exceed maximum height by twenty feet.



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V17.2 - 2017 Refinements #2 to 2009 Submittal  
Heights Limit Plan

**TREASURE - PARK CITY, UTAH**

SHEET NO.

HL.1

DATE: 08/29/2008



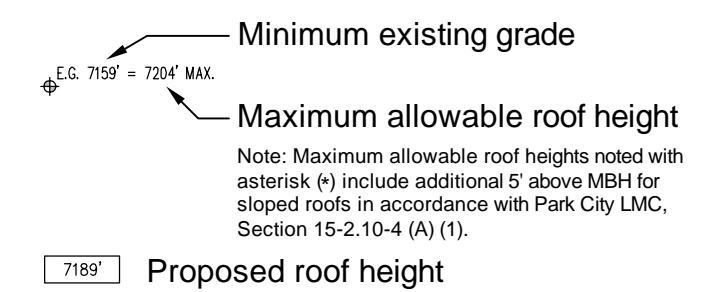
**AVERAGE ROOF HEIGHT CALCULATION RELATIVE TO EXISTING GRADE**

BLDG.	HEIGHT ZONE							BLDG. TOTAL
	BELOW EXIST'G GRADE	0'-15' ABOVE	15'+-25' ABOVE	25'+-35' ABOVE	35'+-45' ABOVE	45'+-55' ABOVE	55'+-65' ABOVE	
<b>MIDSTATION SITE</b>								
1a	0	0	5,025 S.F.	0	0	0	0	5,025 S.F.
1b	1,089 S.F.	2,721 S.F.	3,323	2,750 S.F.	455 S.F.	0	0	10,338
1c	4,094	4,080	911	436	0	0	0	9,521
SUBTOTAL	5,183 S.F.	6,801 S.F.	9,259 S.F.	3,186 S.F.	455 S.F.	0	0	24,884 S.F.
x Ave. HL*	x 0'	x 7.5'	x 20'	x 30'	x 40'	x 0'	x 0'	
VOLUME	0	51,008 C.F.	185,180 C.F.	95,580 C.F.	18,200 C.F.	0	0	349,968 C.F.
<b>AVERAGE HEIGHT ABOVE EXISTING GRADE:</b>		<b>TOTAL VOLUME</b>		<b>TOTAL AREA</b>		<b>AVERAGE HEIGHT</b>		
		349,968 C.F.		24,884 S.F.		14.06' = 10.94' LESS THAN ALLOWABLE @ 25'		
% TOTAL AREA		20.83 %	27.33 %	37.21 %	12.8 %	1.83 %	0	0
85.37% BELOW MPD ALLOWABLE AVERAGE								
		14.63% ABOVE MPD ALLOWABLE AVERAGE						
<b>CREOLE SITE</b>								
2	0	450 S.F.	1,535 S.F.	1,889 S.F.	0	0	0	3,874 S.F.
Emp. Hang.	0	0	651	0	0	0	0	651
3a	0	0	0	3,432	314 S.F.	0	0	3,746
3b	0	0	0	240	143	2,125 S.F.	1,889 S.F.	841 S.F.
3c	0	621	2,382	1,927	0	0	0	4,930
Stair/Elev.	0	0	0	305	0	0	0	305
4a	0	2,747	3,118	4,145	4,548	4,705	1,956	21,219
4b	510 S.F.	1,189	621	1,990	3,677	7,416	11,579	5,114
5a	247	1,800	2,368	2,233	1,398	324	0	8,370
5c	0	349	2,273	2,623	2,643	1,378	958	389
SUBTOTAL	757 S.F.	7,156 S.F.	12,948 S.F.	18,784 S.F.	12,723 S.F.	15,948 S.F.	16,382 S.F.	91,042 S.F.
x Ave. HL*	x 0'	x 7.5'	x 20'	x 30'	x 40'	x 50'	x 60'	x 70'
VOLUME	0	53,670 C.F.	258,960 C.F.	563,520 C.F.	508,920 C.F.	797,400 C.F.	982,920 C.F.	444,080 C.F.
<b>AVERAGE HEIGHT ABOVE EXISTING GRADE:</b>		<b>TOTAL VOLUME</b>		<b>TOTAL AREA</b>		<b>AVERAGE HEIGHT</b>		
		3,609,470 C.F.		91,042 S.F.		39.65' = 5.35' LESS THAN ALLOWABLE @ 45'		
% TOTAL AREA		0.83 %	7.86 %	14.22 %	20.63 %	13.97 %	17.52 %	17.99 %
57.52% BELOW MPD ALLOWABLE AVERAGE								42.48% ABOVE MPD ALLOWABLE AVERAGE

\* AVERAGE HEIGHT WITHIN EACH ZONE ASSUMED TO BE THE MID-POINT BETWEEN MINIMUM AND MAXIMUM HEIGHTS FOR THAT ZONE.  
NOTE: HEIGHT ZONE BOUNDARIES LOCATED BETWEEN CONTOUR INTERVALS VISUALLY INTERPOLATED.

**ROOF HEIGHTS vs. EXISTING (NATURAL) GRADE LEGEND**

- BELOW EXISTING GRADE
- 0' - 15' ABOVE
- 15' + - 25' ABOVE
- 25' + - 35' ABOVE
- 35' + - 45' ABOVE
- 45' + - 55' ABOVE
- 55' + - 65' ABOVE
- 65' + - 75' ABOVE

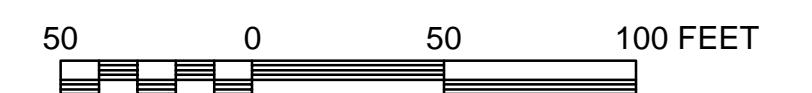


ABBREVIATIONS:

- E.G. = Existing (Natural) Grade
- F.G. = Finish Grade
- T.O.W. = Top of Wall

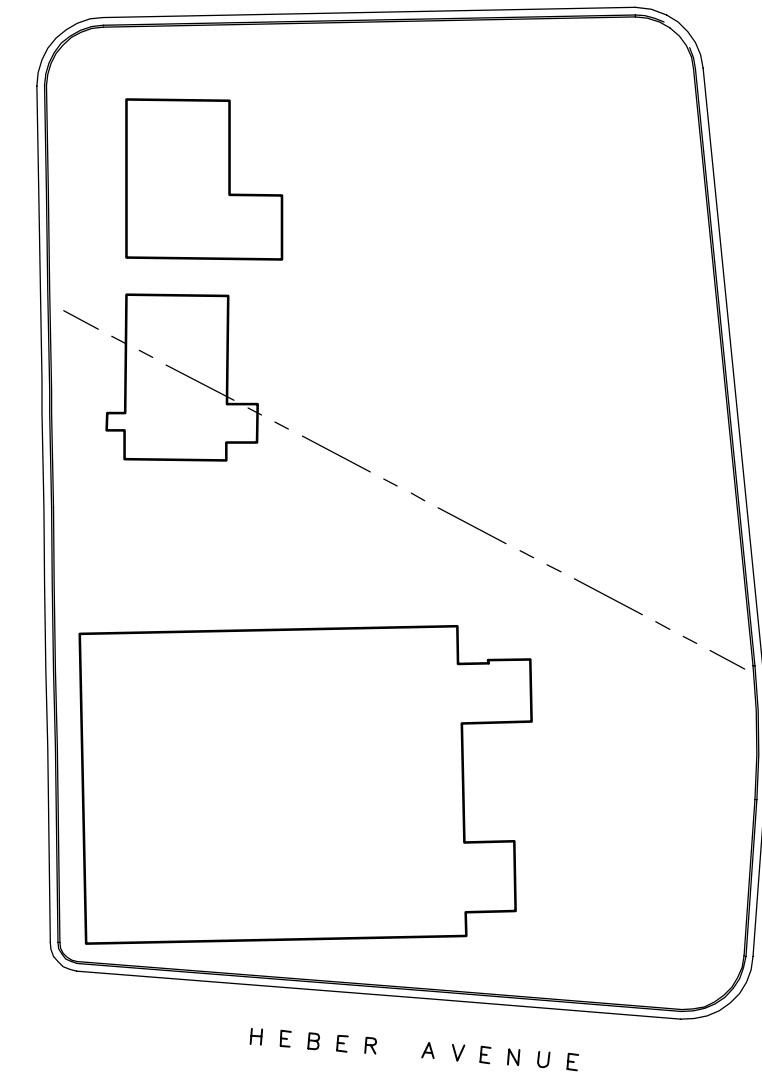
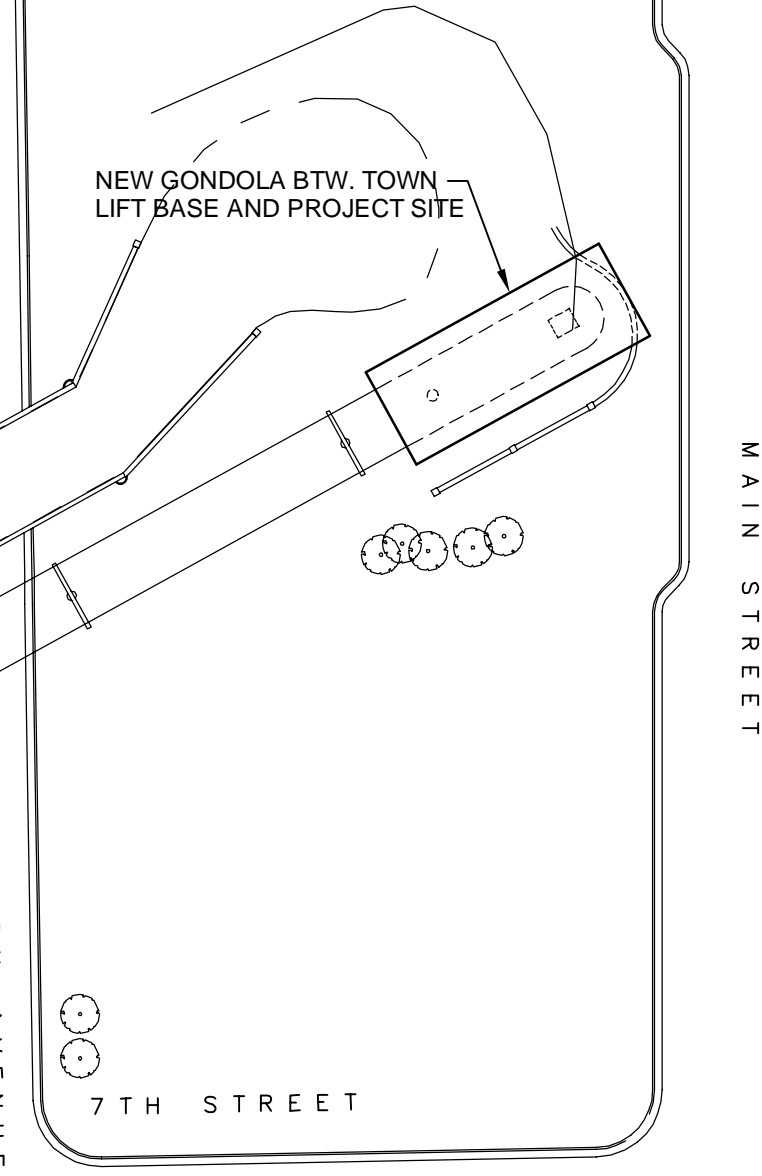
NOTES:

1. In accordance with the Sweeney Properties Master Plan the maximum average roof height above existing grade is less than 25' for the Midstation Site and less than 45' for the Creole Site.
2. No roofs of buildings on the Midstation Site exceed 35' above existing (natural) grade or the applicable maximum height limitations established by the Sweeney Properties Master Plan.
3. No roofs of buildings on the Creole Site exceed 75' above existing (natural) grade or the applicable maximum height limitations established by the Sweeney Properties Master Plan, except for circulation shafts or mechanical enclosures for which an exemption of 20' above such limitations was provided.

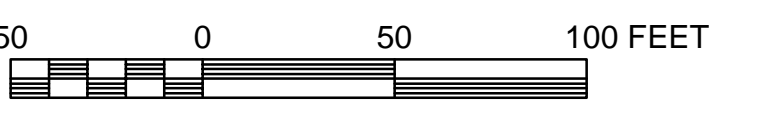




NOTE: FOR ADDITIONAL INFORMATION SEE THE LETTER OF UNDERSTANDING BETWEEN THE DEVELOPER, PARK CITY FIRE MARSHAL, AND PARK CITY FIRE SERVICE DISTRICT TITLED "TREASURE HILL - PHASE 3 FIRE PROTECTION MASTER PLAN DEVELOPMENT" DATED 1/9/04.



- LEGEND**
- EXTERIOR VEHICULAR ACCESS
  - - - INTERIOR VEHICULAR ACCESS - 14' CLEAR HEIGHT
  - · - · - INTERIOR VEHICULAR ACCESS - 12' CLEAR HEIGHT
  - Total Distance (including vertical height difference)
  - FIREFIGHTER'S ACCESS ROUTE
  - Height Difference (included in total distance)
  - EQUIDISTANT ALTERNATIVE ROUTE
  - SPOT ELEVATIONS ALONG ACCESS ROUTE
  - EGRESS STAIRWAY
  - MEDICAL ACCESS ELEVATOR
  - ROOF ACCESS DOOR (flat roofs with no door shown are accessible via habitable spaces - see floor plans)
  - VEHICULAR ACCESS LANE W/ SNOW-MELT SYSTEM
  - LOW-RISE BUILDING (1-3 Stories)
  - MID-RISE BUILDING (More Than 3 Stories But Not Qualifying As High-Rise)
  - LOW/MID-RISE CONSTRUCTED TO COMPLY W/ HIGH-RISE REQ'TS (Due to Limited Accessibility)
  - HIGH-RISE BUILDING (Highest Occupied Floor More Than 75' Above Vehicle Access Elev.)



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Fire Department Access Plan

**TREASURE - PARK CITY, UTAH**

SHEET NO.  
**FD.1**

DATE: 07/20/2017



- USE LEGEND**
- UE RESIDENTIAL: Hotel (Net Area)
  - UE RESIDENTIAL: Condominiums (Net Area)
  - UE COMMERCIAL
  - SUPPORT COMMERCIAL
  - MEETING SPACE
  - ACCESSORY SPACES \*
  - CIRCULATION & COMMON SPACE \*
  - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- \* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".  
 \* Includes public hallways, elevators, lobbies, etc. In residential structures it also includes individual unit perimeter walls.
- 5d** BUILDING NUMBER  
 BUILDING AREA  
 Note: All areas are gross unless in [brackets] which are net, measured from inside face of perimeter walls.  
 FINISH FLOOR ELEVATION  
 LEVEL NUMBER
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 48" BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER, therefore classified as a "Basement" per LMC 15-15-1.21 & 1.89 and excluded from Gross Area.
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 48" BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER, or more than 50% of the perimeter but the entire facade facing the City is exposed, therefore not classified as "Basement".

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 #1 08/07/2017

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V17.2 - 2017 Refinements #2 to 2009 Submittal  
 Level 1 Use Plan

**TREASURE - PARK CITY, UTAH**

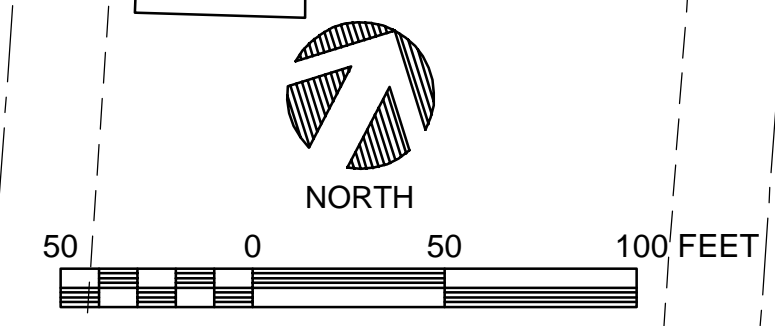
SHEET NO.  
**P.1**

DATE: 07/20/2017



**USE LEGEND**

- UE RESIDENTIAL: Hotel (Net Area)
  - UE RESIDENTIAL: Condominiums (Net Area)
  - UE COMMERCIAL
  - SUPPORT COMMERCIAL
  - MEETING SPACE
  - ACCESSORY SPACES \*
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- 5d** BUILDING NUMBER
- L1** (7215) 5,458 S.F.
- BUILDING AREA  
Note: All areas are gross unless in [brackets] which are net, measured from inside face of perimeter walls.
- FINISH FLOOR ELEVATION
- LEVEL NUMBER
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USE LEGEND

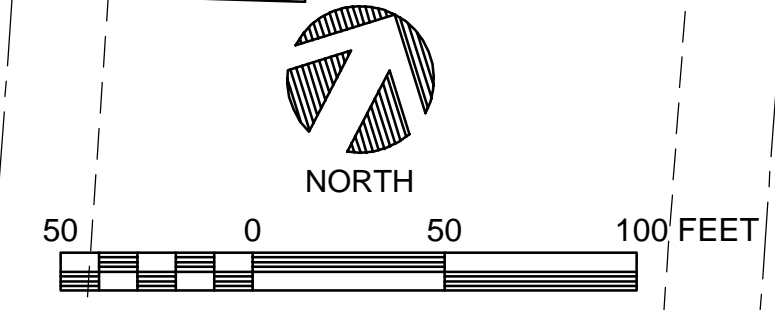
- UE RESIDENTIAL: Hotel (Net Area)
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  - SUPPORT COMMERCIAL
  - MEETING SPACE
  - ACCESSORY SPACES \*
  - CIRCULATION & COMMON SPACE \*
  - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- \* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
- \* Includes public hallways, elevators, lobbies, etc. In residential structures it also includes individual unit perimeter walls.
- 5d — BUILDING NUMBER
- LI (7215) 5,458 S.F. — BUILDING AREA  
Note: All areas are gross unless in [brackets] which are net, measured from inside face of perimeter walls.
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- LEVEL NUMBER
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USE LEGEND

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  - UE RESIDENTIAL: Condominiums (Net Area)
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  - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- \* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".  
\* Includes public hallways, elevators, lobbies, etc. In residential structures it also includes individual unit perimeter walls.

- BUILDING NUMBER
- BUILDING AREA  
Note: All areas are gross unless in [brackets] which are net, measured from inside face of perimeter walls.
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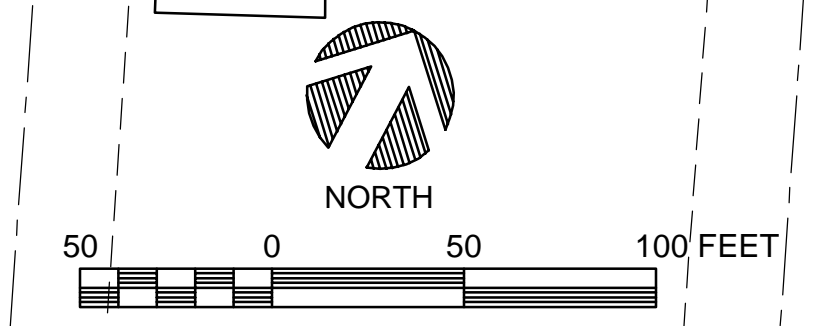
USE LEGEND

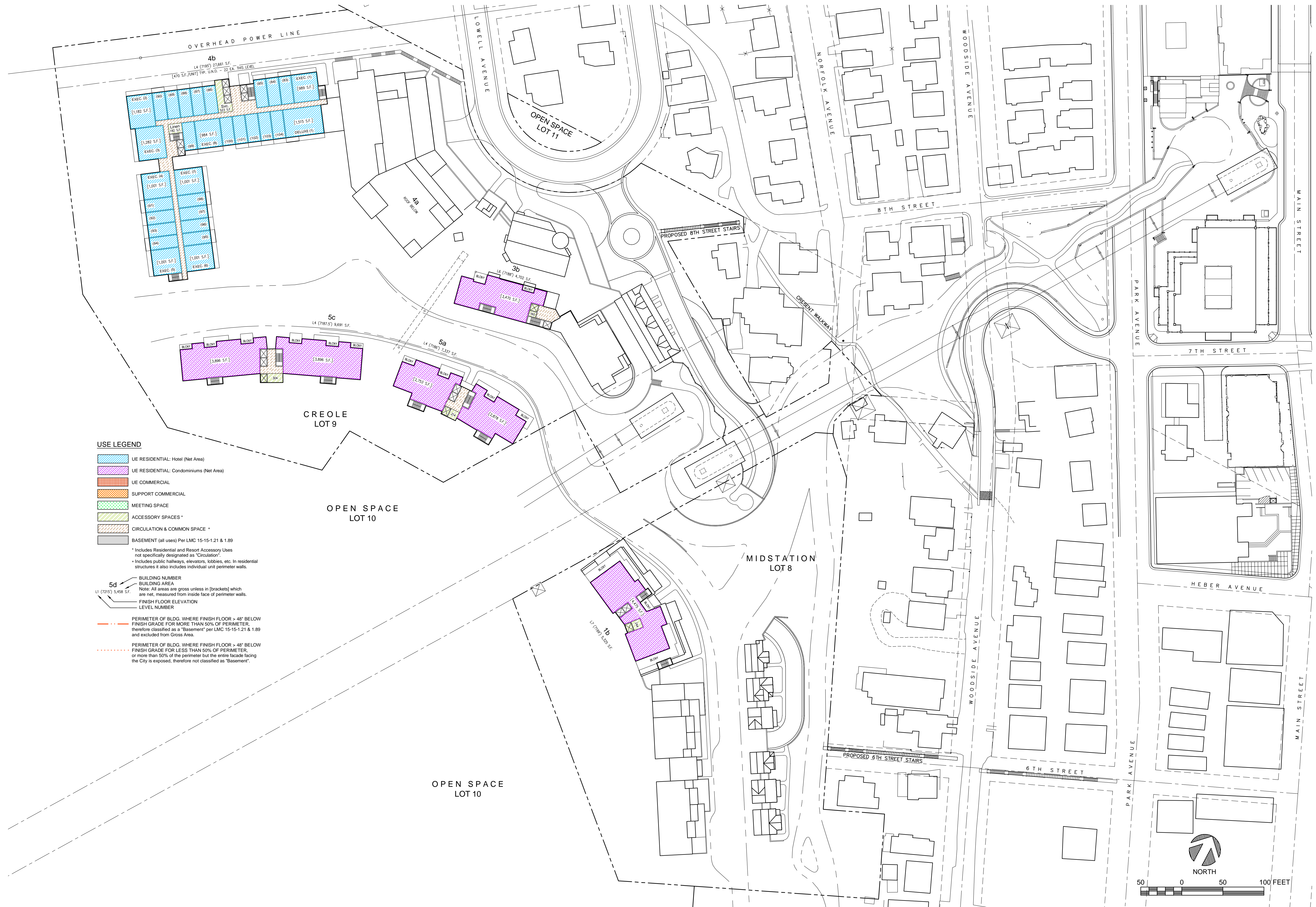
- UE RESIDENTIAL: Hotel (Net Area)
  - UE RESIDENTIAL: Condominiums (Net Area)
  - UE COMMERCIAL
  - SUPPORT COMMERCIAL
  - MEETING SPACE
  - ACCESSORY SPACES \*
  - CIRCULATION & COMMON SPACE \*
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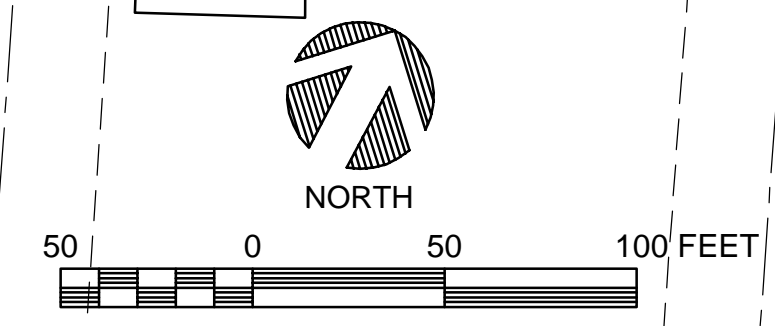
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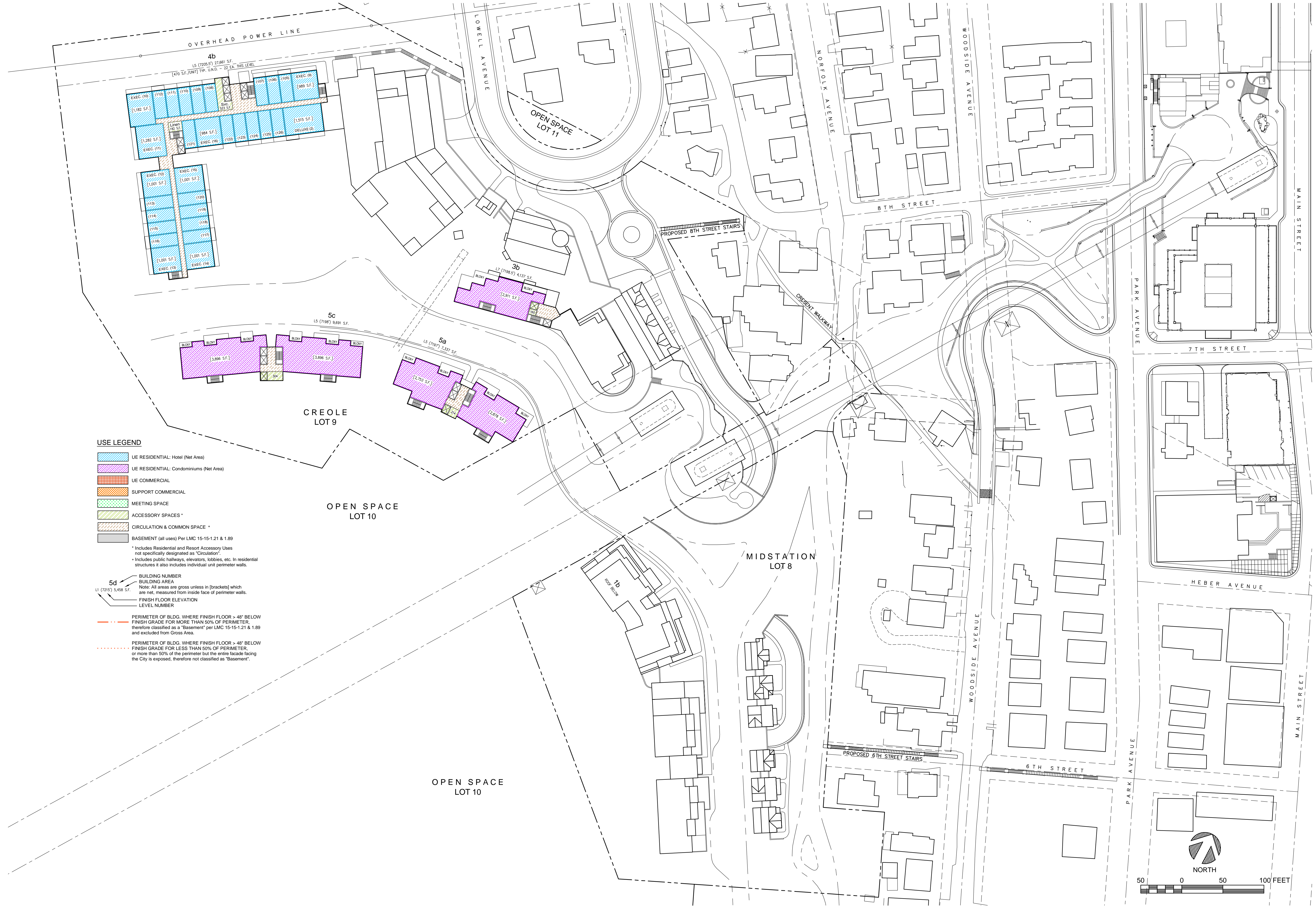




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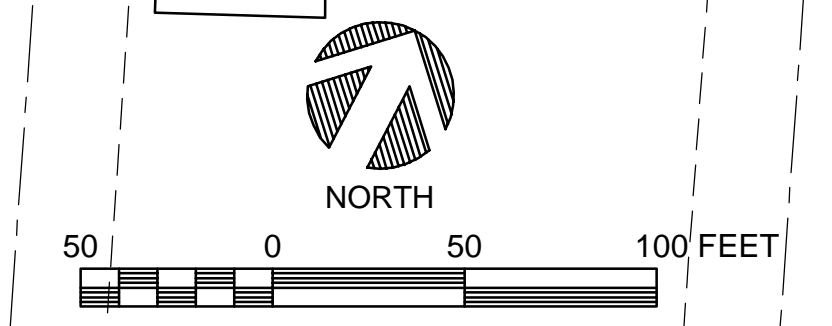
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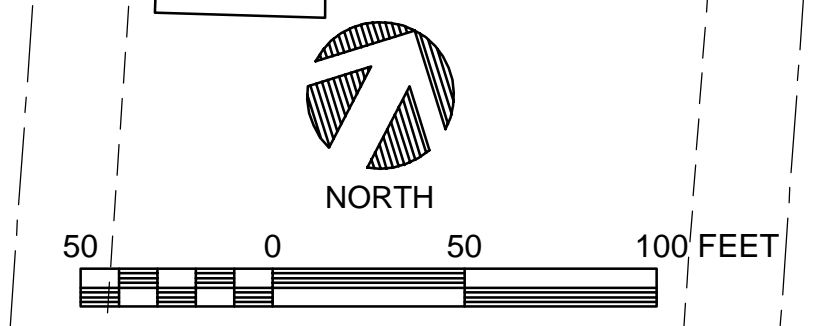
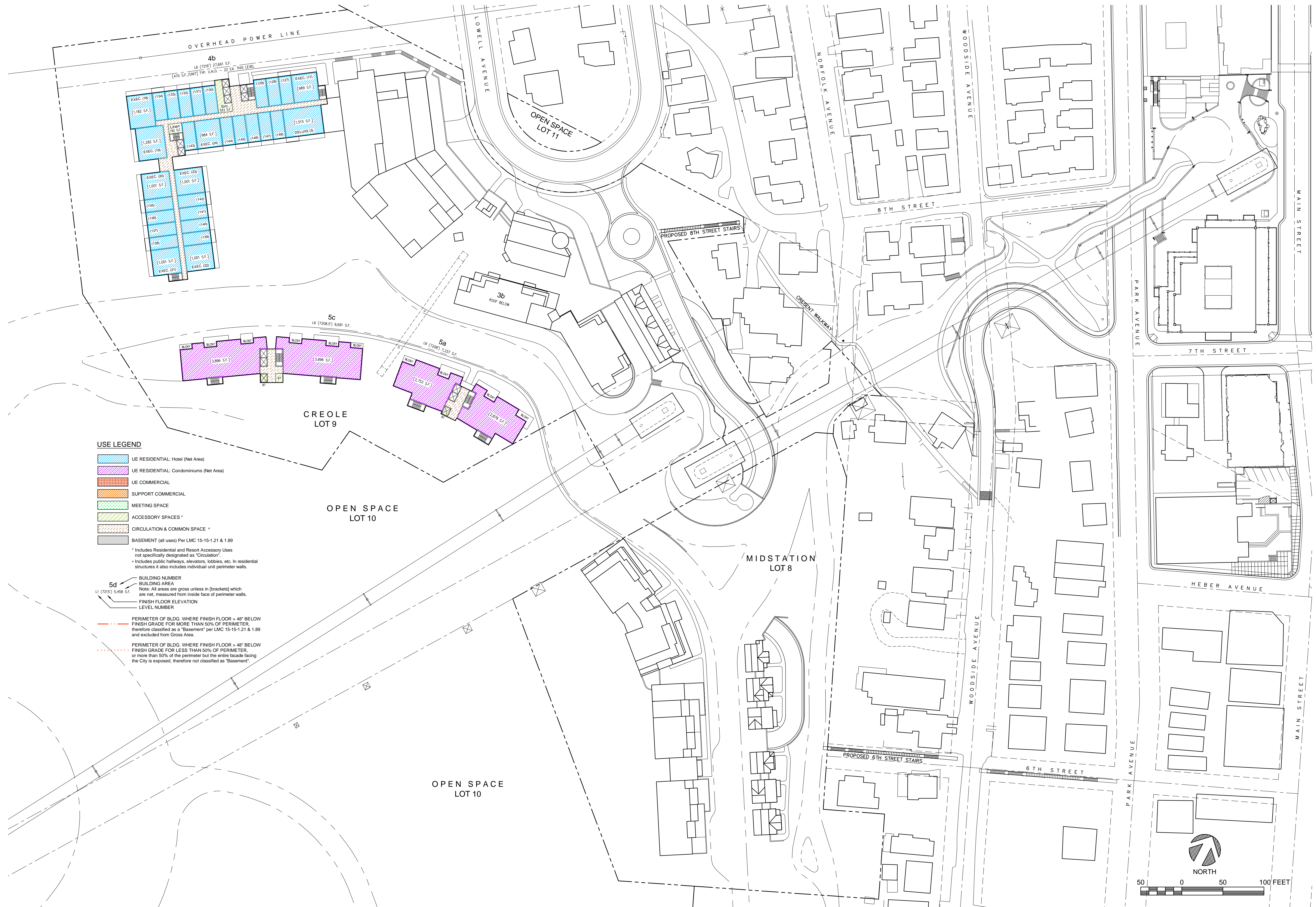




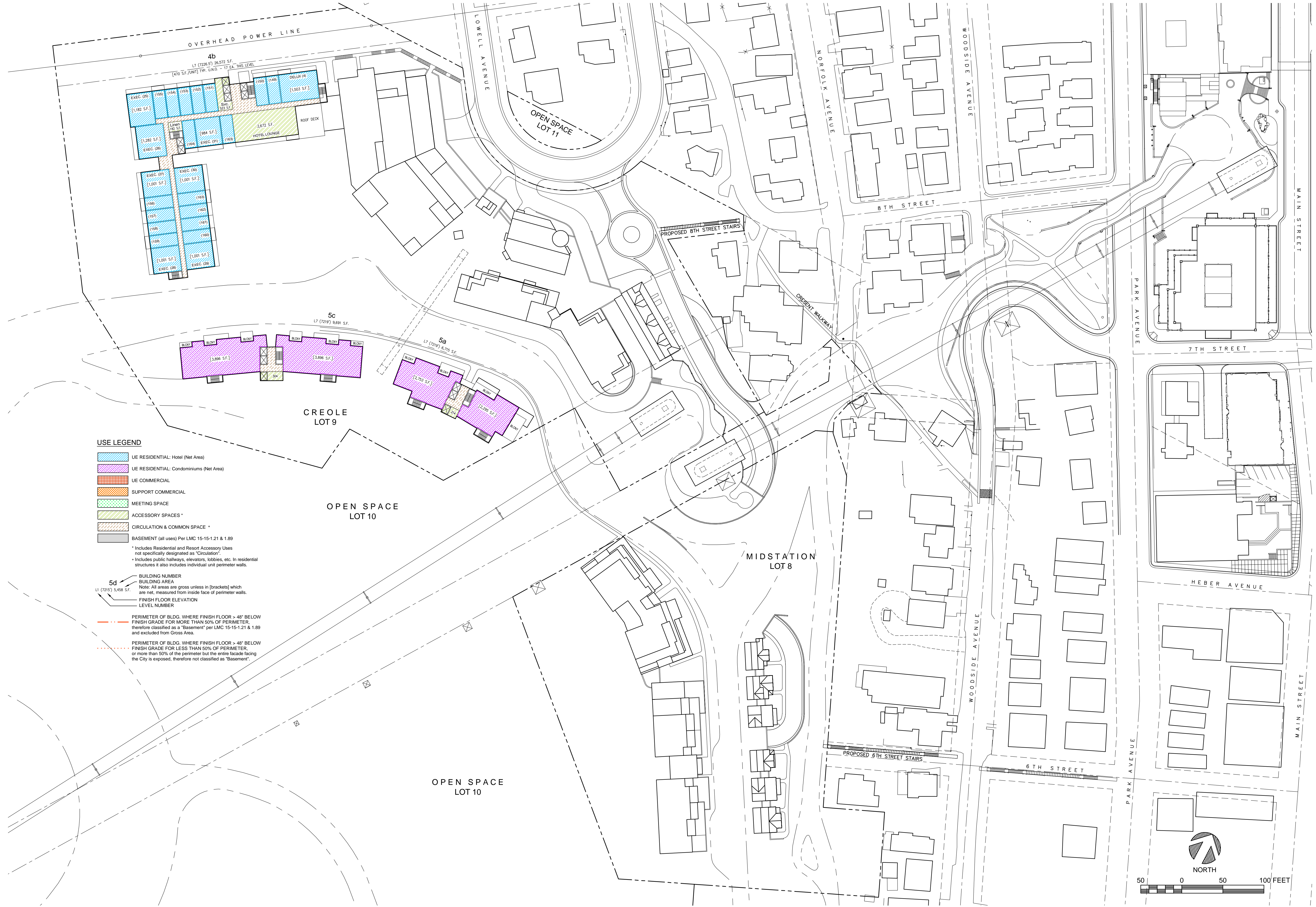
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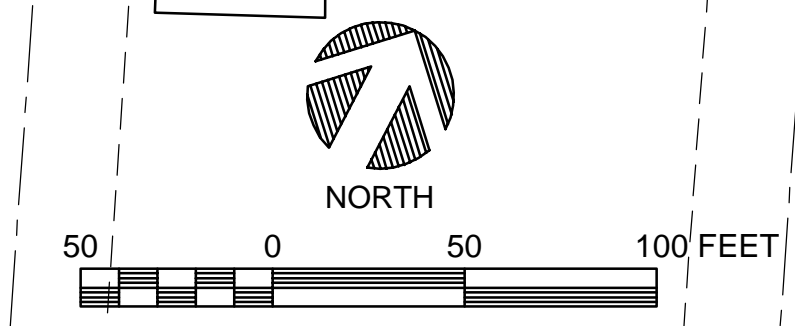


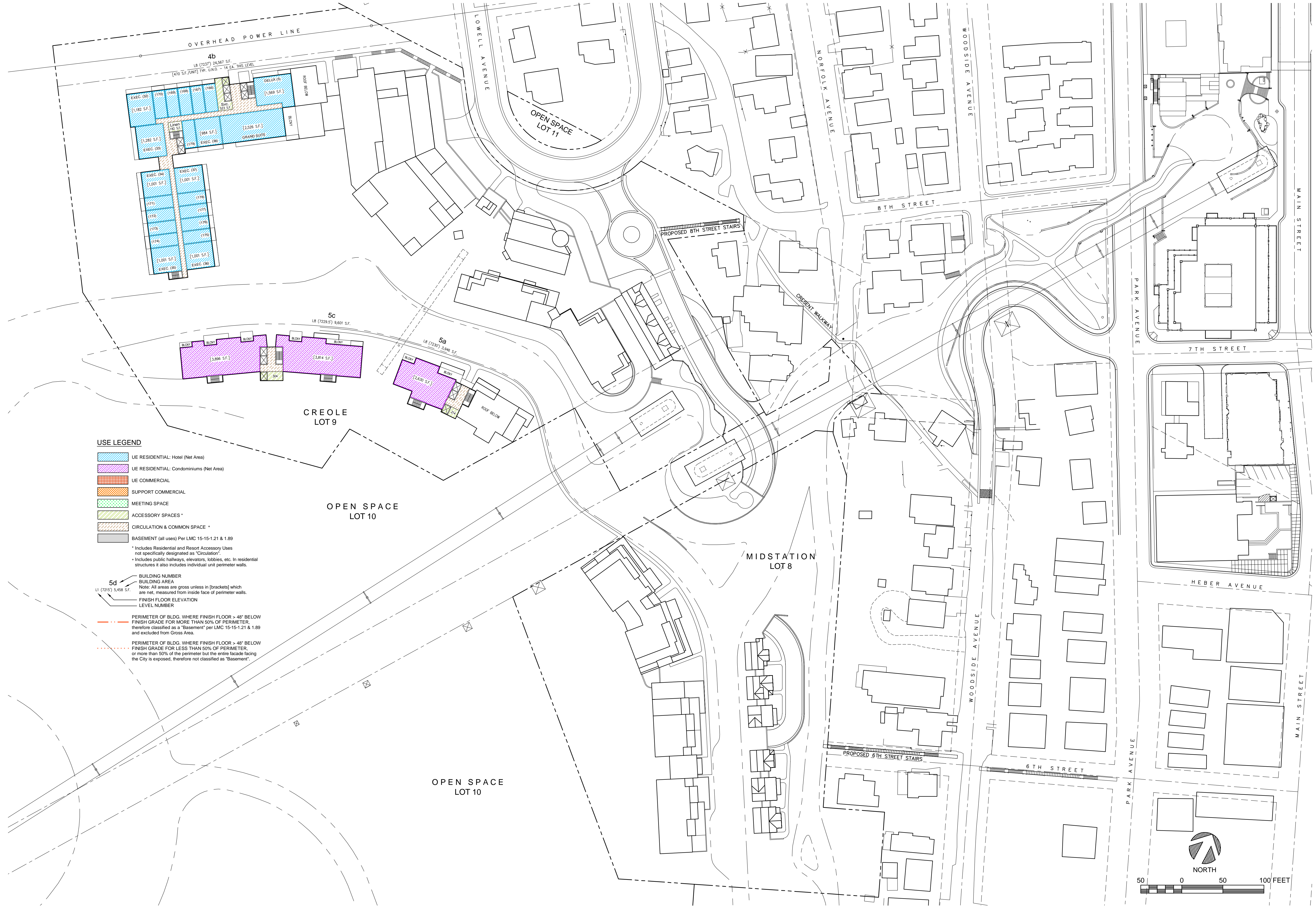


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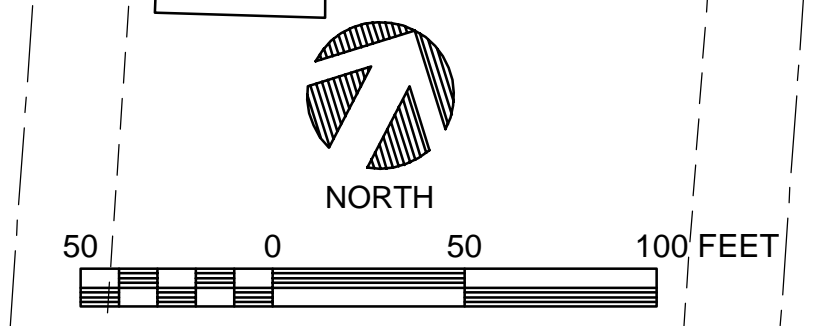


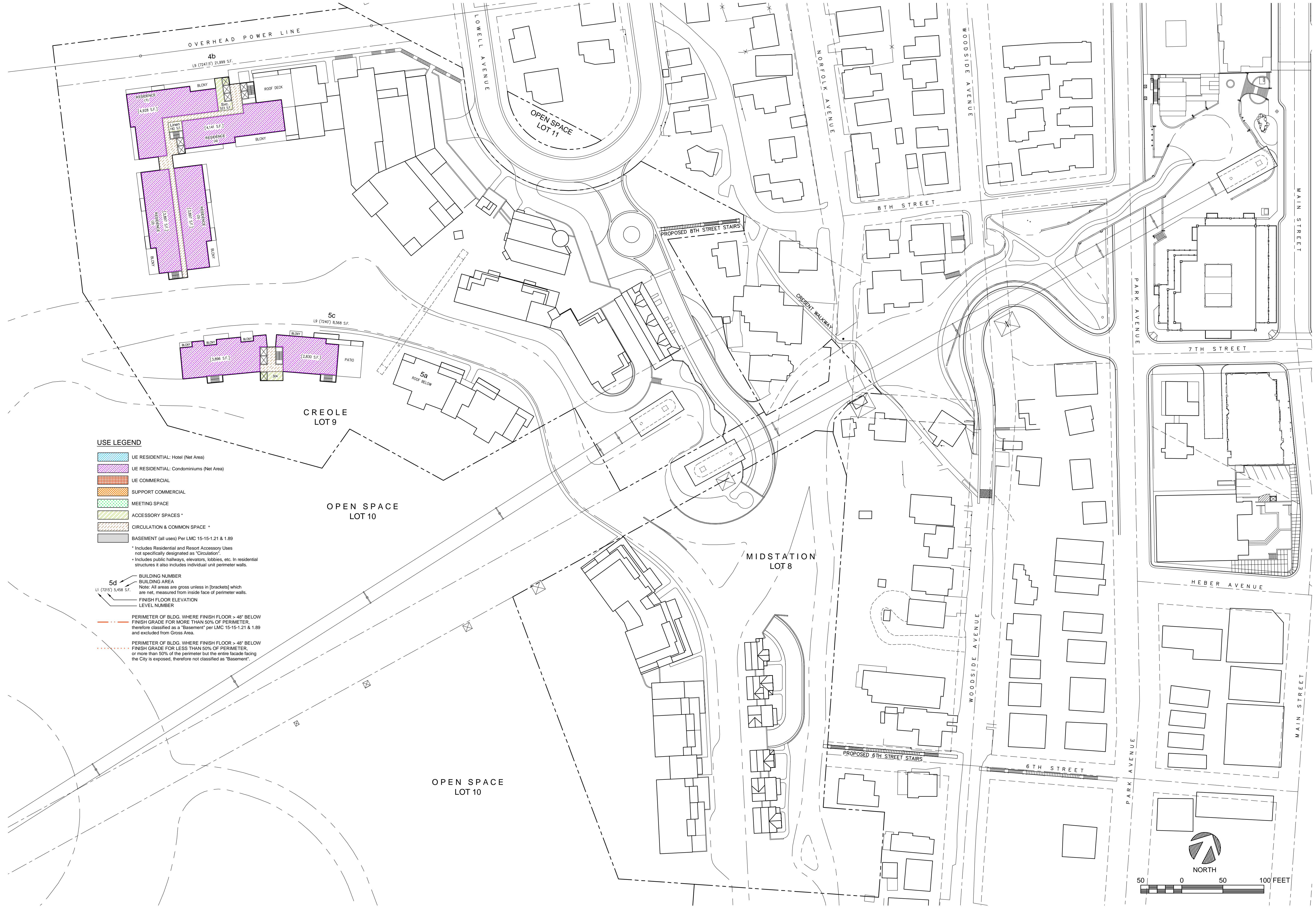


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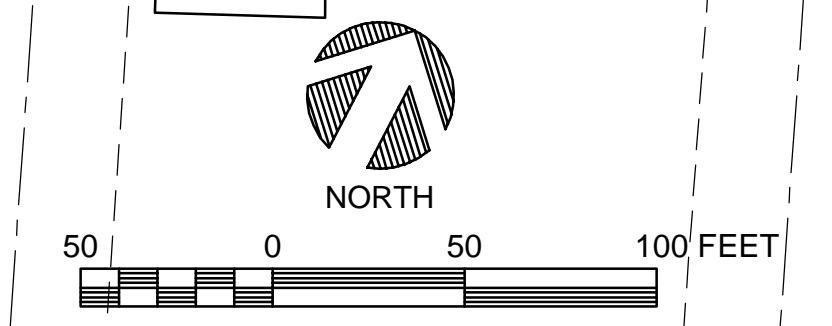


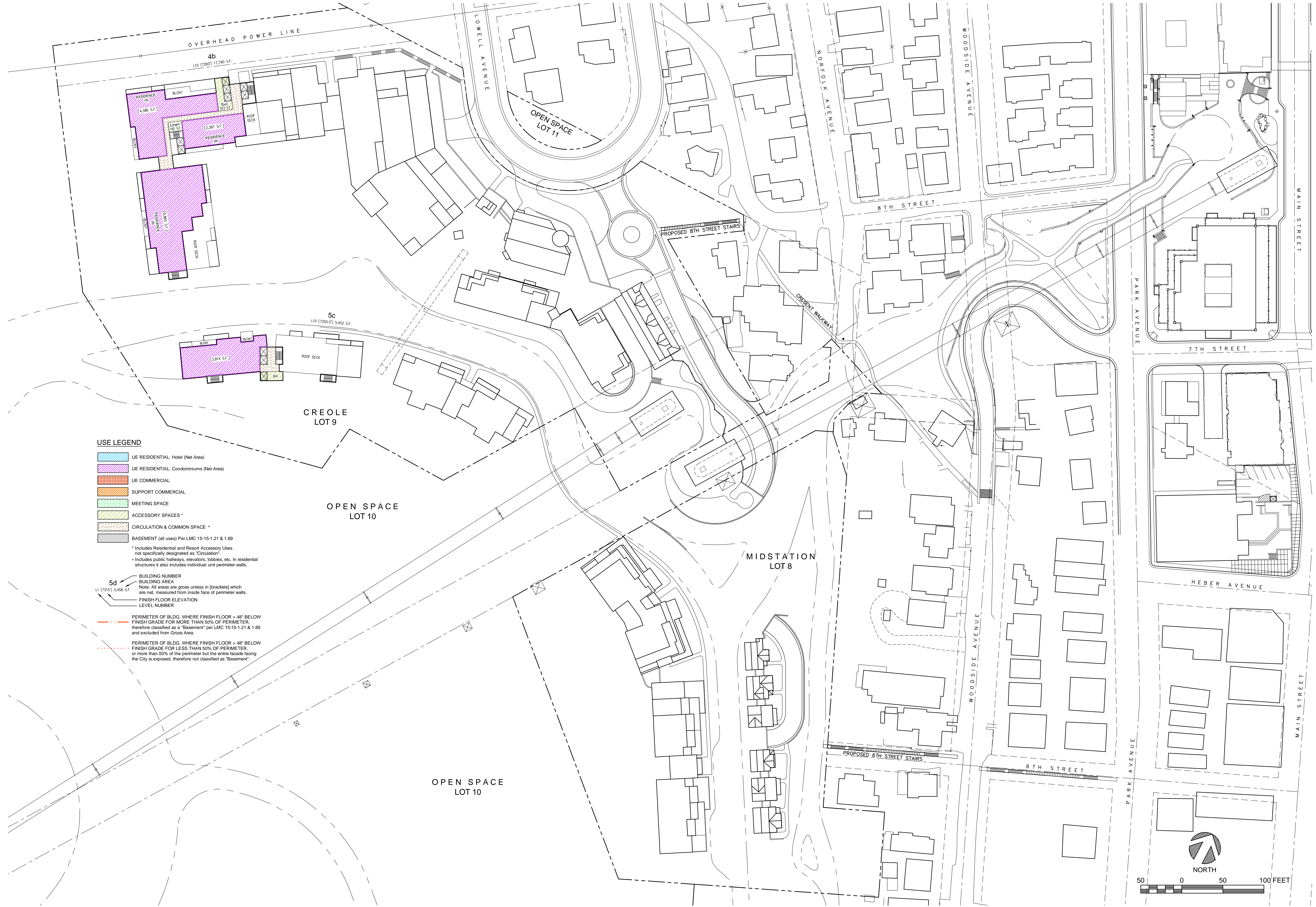


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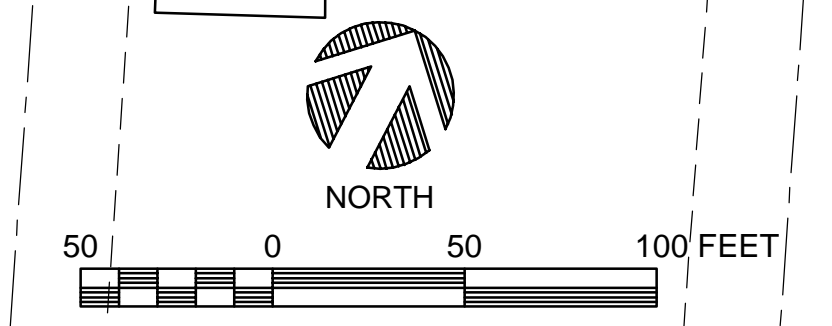


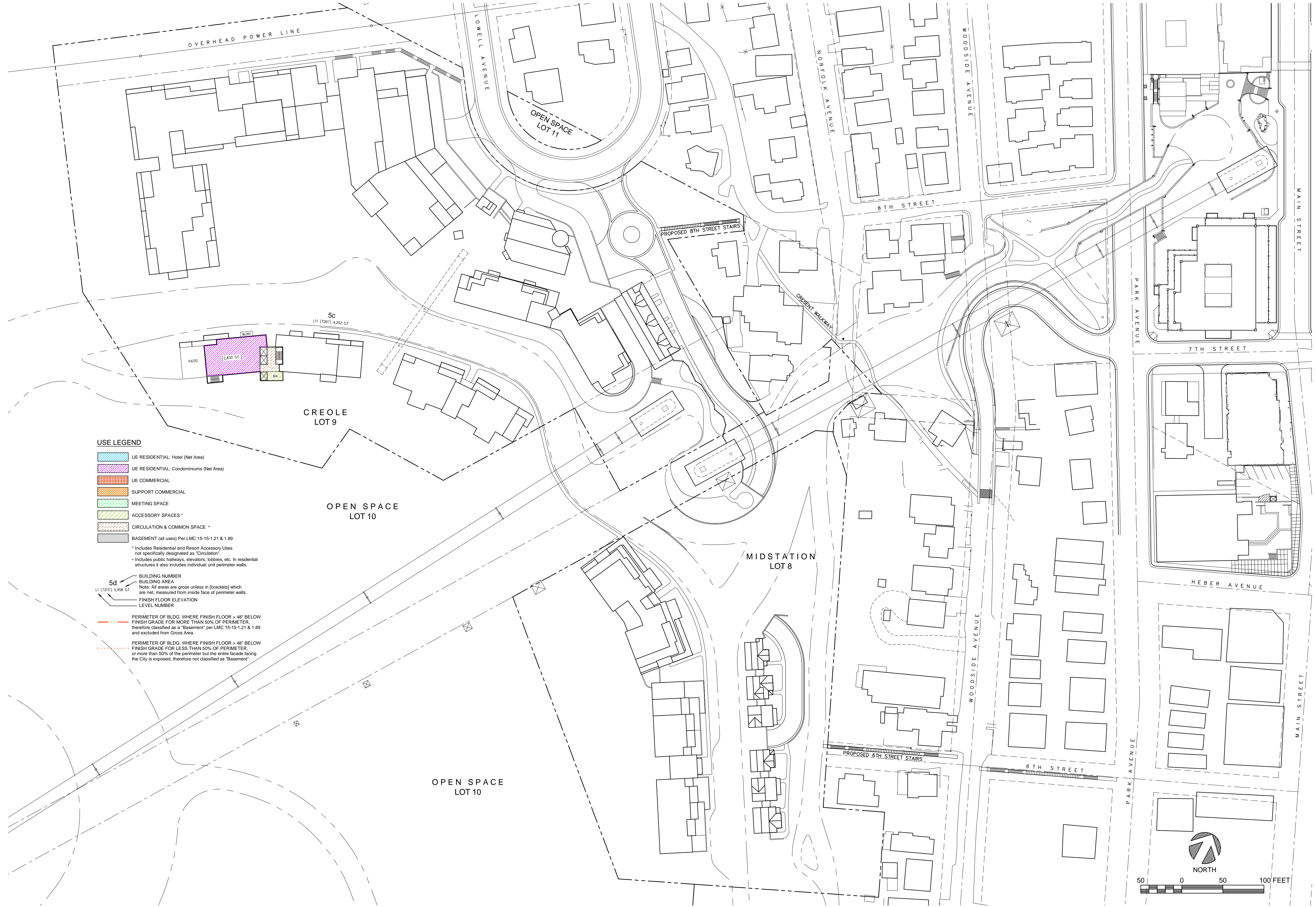


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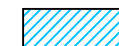
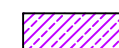




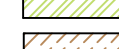

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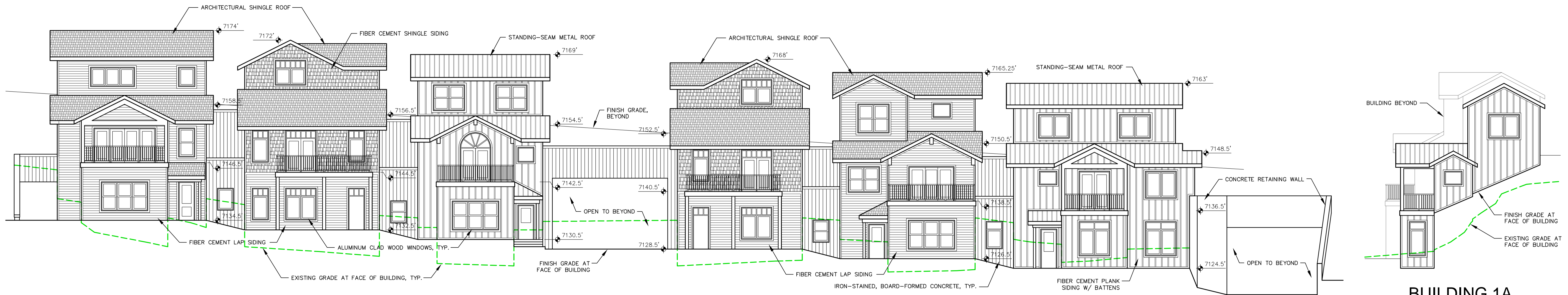


**USE LEGEND**

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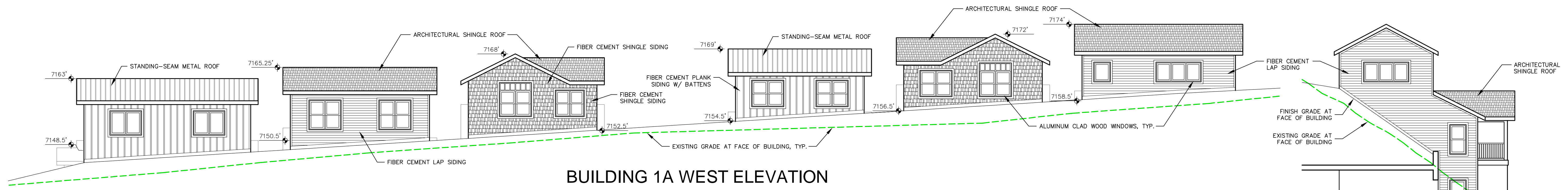
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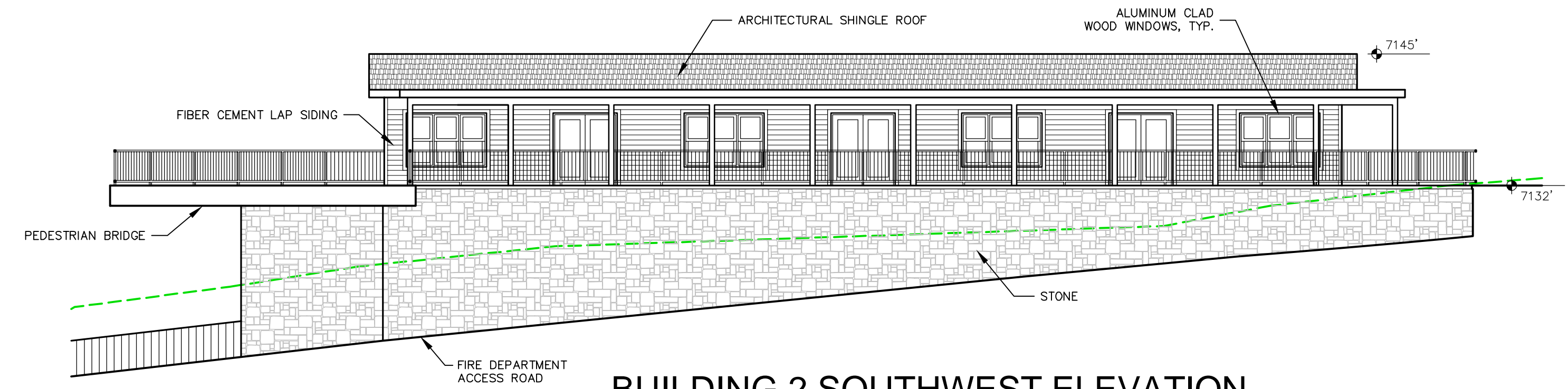
BUILDING 1A EAST ELEVATION

BUILDING 1A NORTH ELEVATION

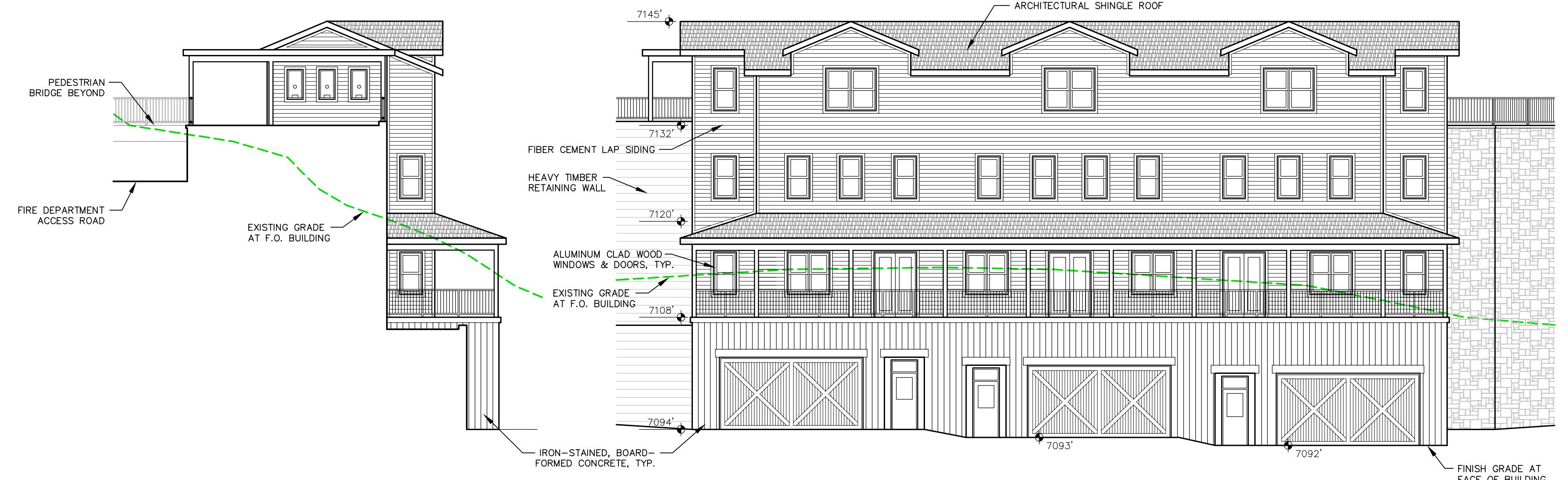


BUILDING 1A WEST ELEVATION

BUILDING 1A SOUTH ELEVATION

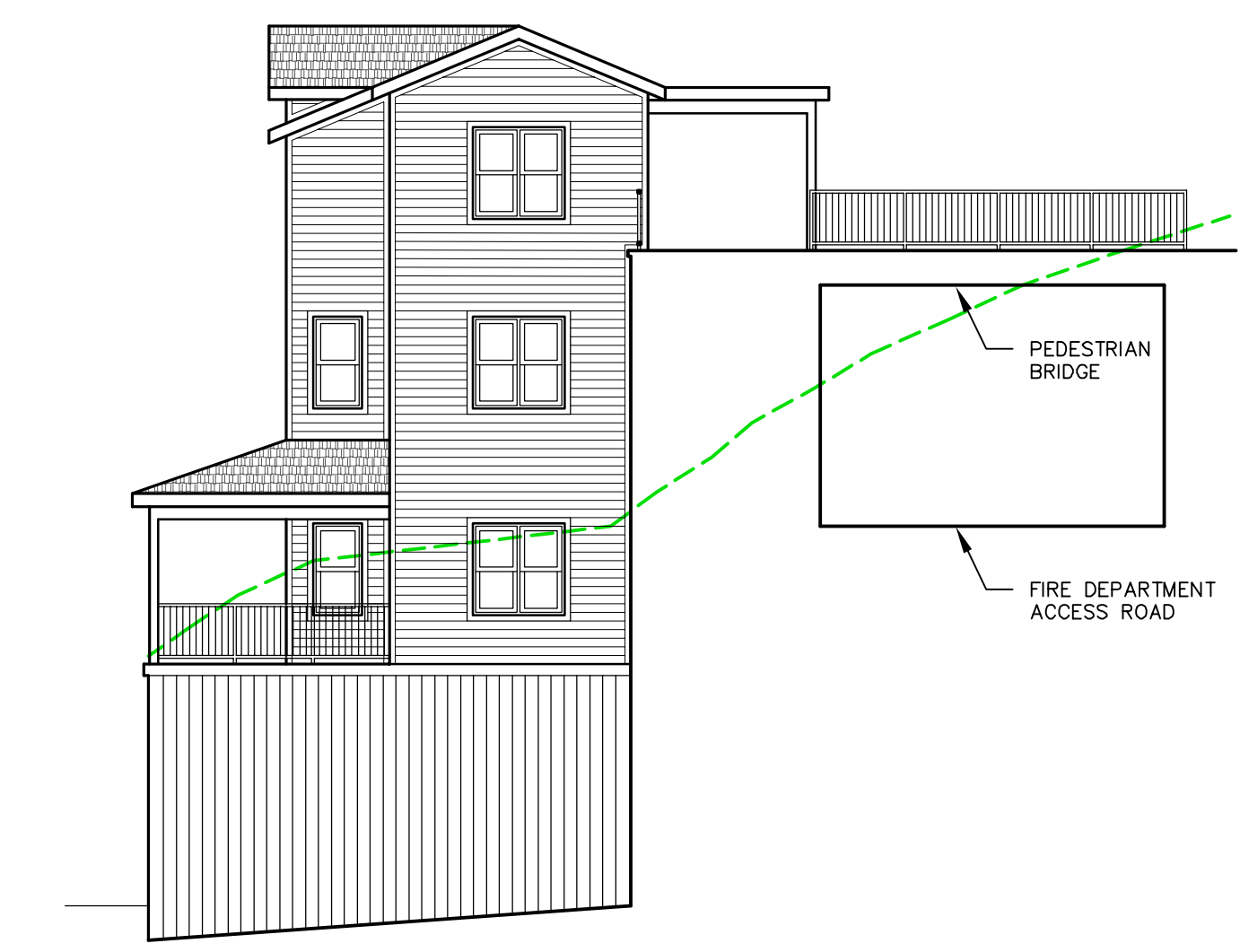


BUILDING 2 SOUTHWEST ELEVATION



BUILDING 2 SOUTHEAST ELEVATION

BUILDING 2 NORTHEAST ELEVATION



BUILDING 2 NORTHWEST ELEVATION

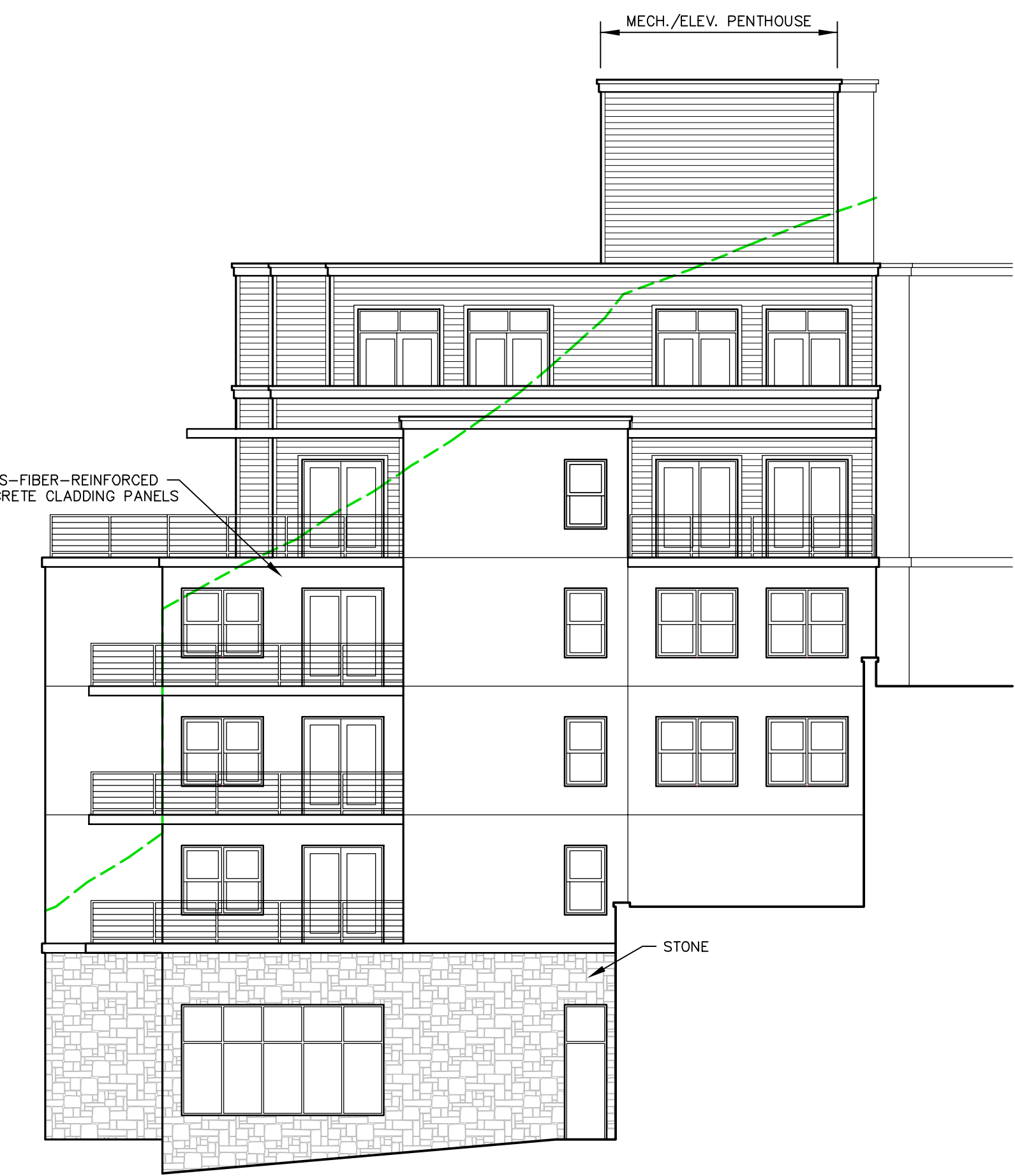




NORTHEAST ELEVATION - SOUTH WING



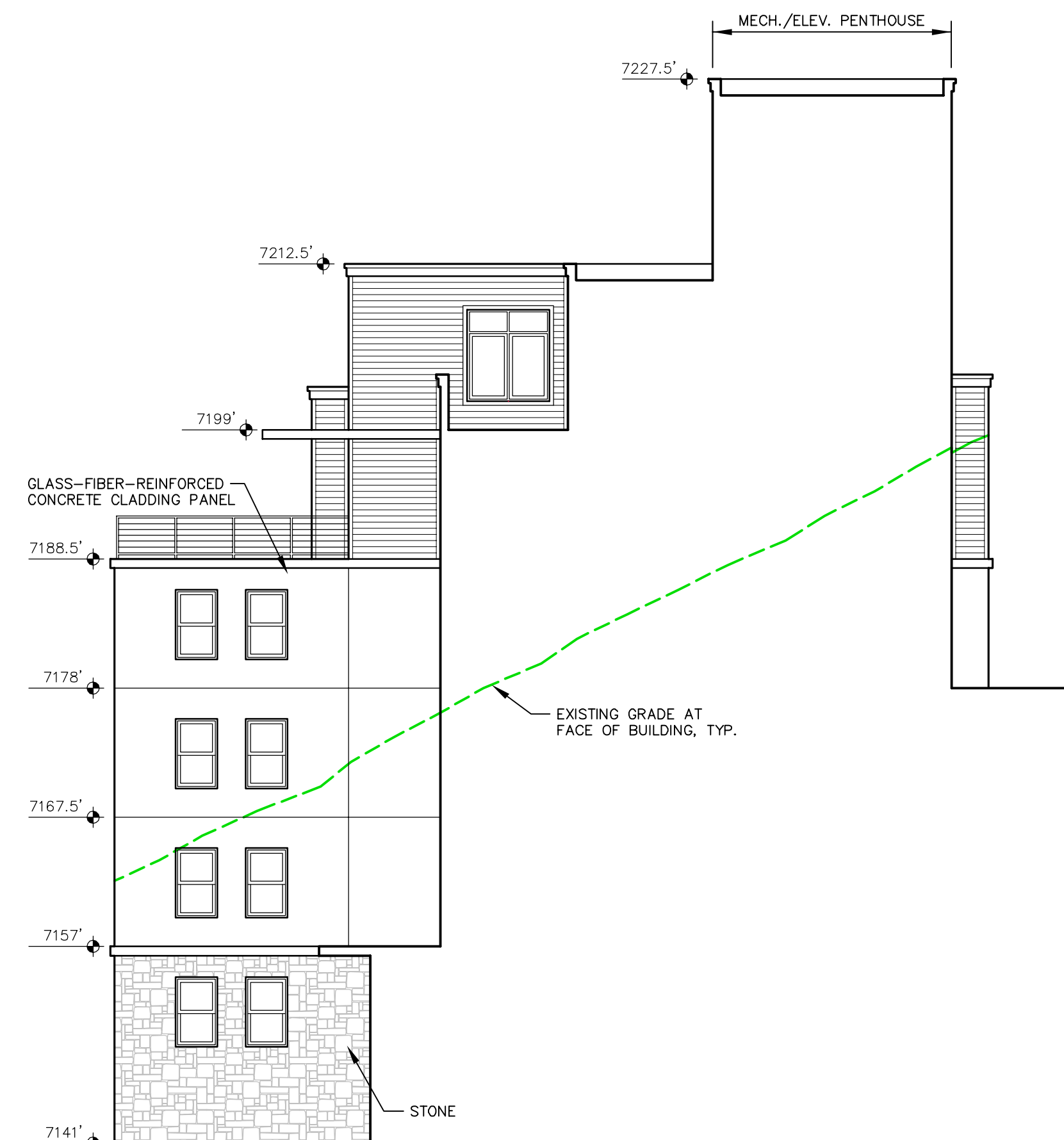
NORTHEAST ELEVATION - NORTH WING



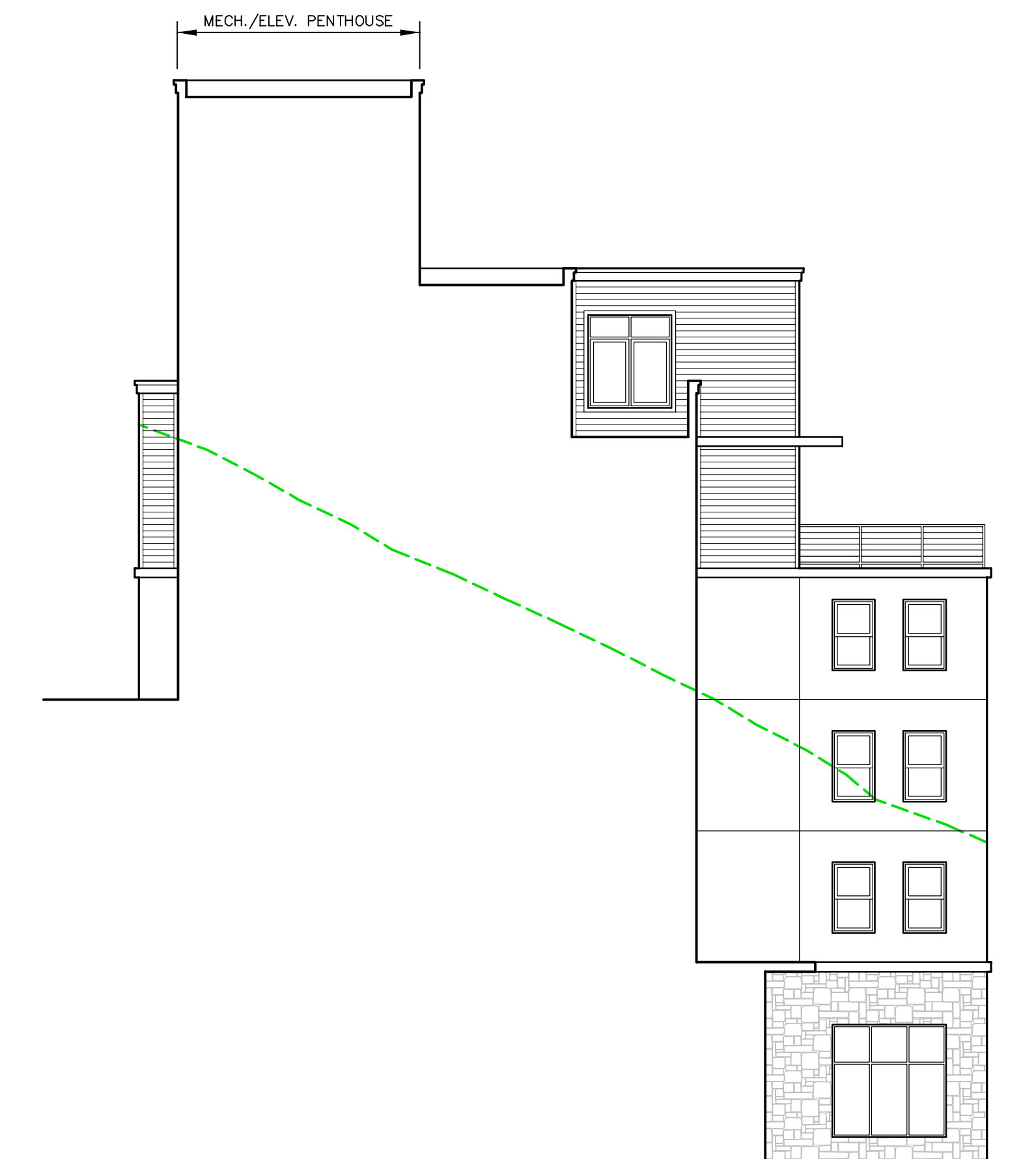
NORTHWEST ELEVATION



SOUTHEAST ELEVATION



NORTHWEST ELEVATION @ ENTRY



SOUTHEAST ELEVATION @ ENTRY



UPDATES:  
#1 08/07/2017

DAVID G. ELDRIDGE, ARCHITECT  
SALT LAKE CITY, UTAH 84103  
PHONE: 801.580.3783  
EMAIL: david@deldredge.com

Applicant: MPE Inc.  
P.O. Box 2429  
Park City, Utah 84060  
(435) 901-2077  
email: psbro23@mac.com

V17.2 - 2017 Refinements #2 to 2009 Submittal  
Building 1B Exterior Elevations

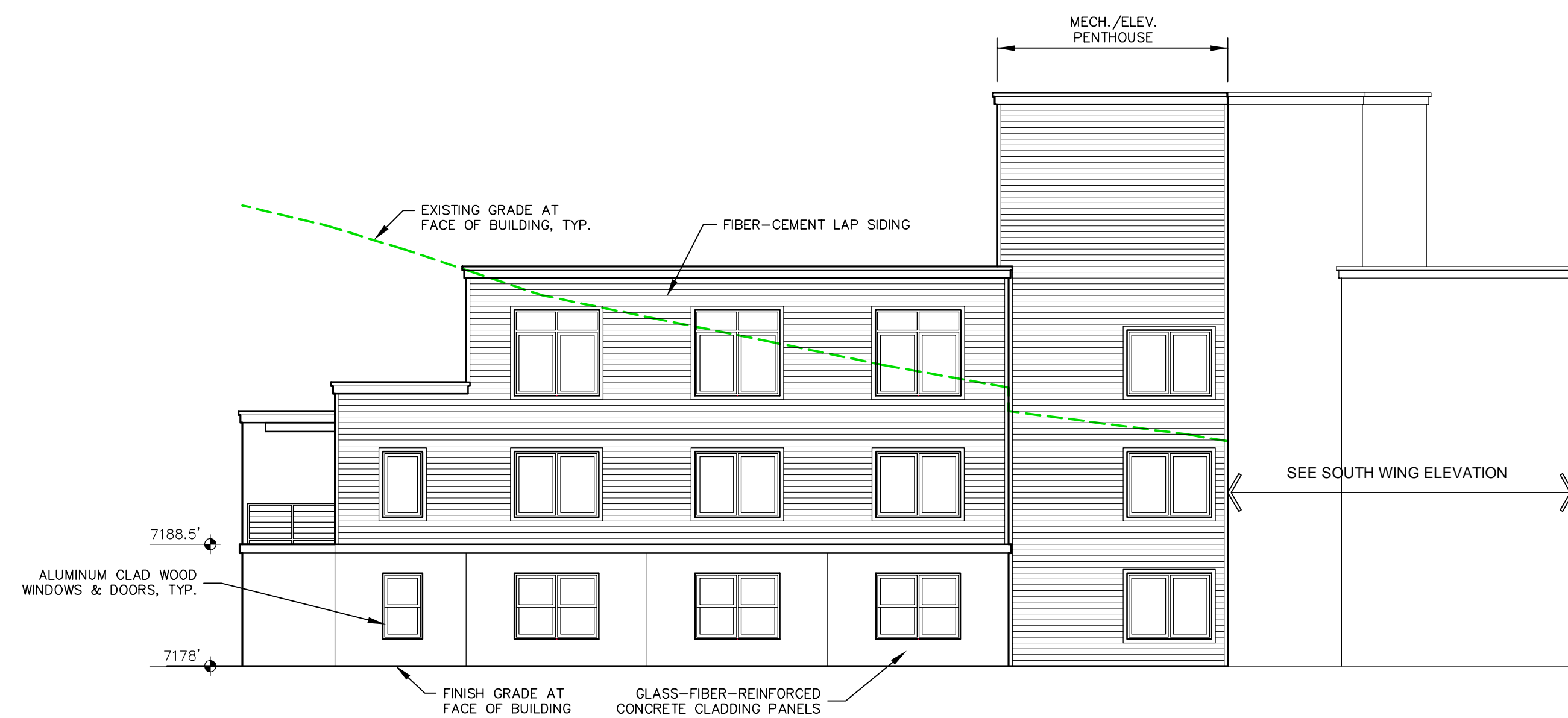
TREASURE - PARK CITY, UTAH

SHEET NO.

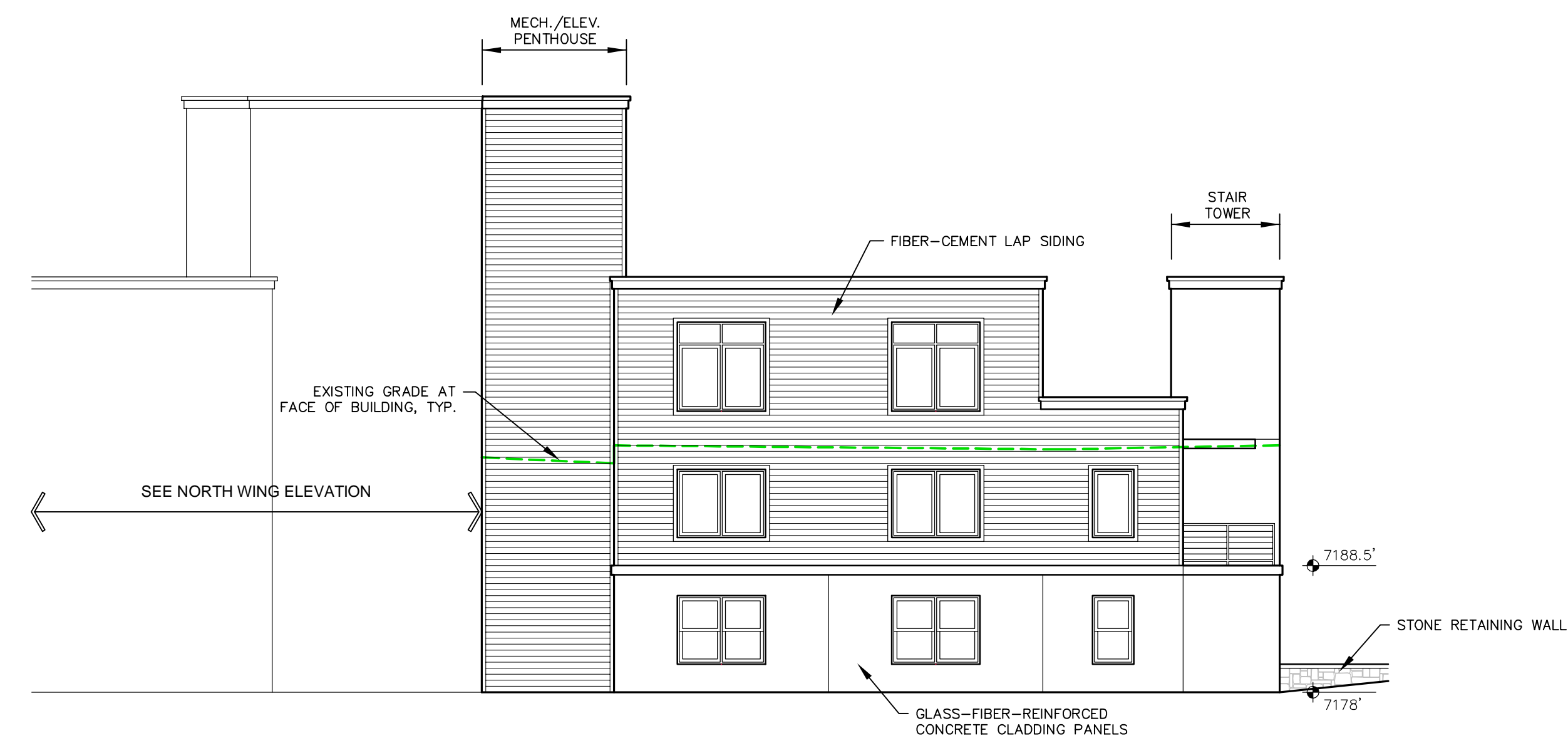
E.1B.1

DATE: 07/20/2017





SOUTHWEST ELEVATION - NORTH WING



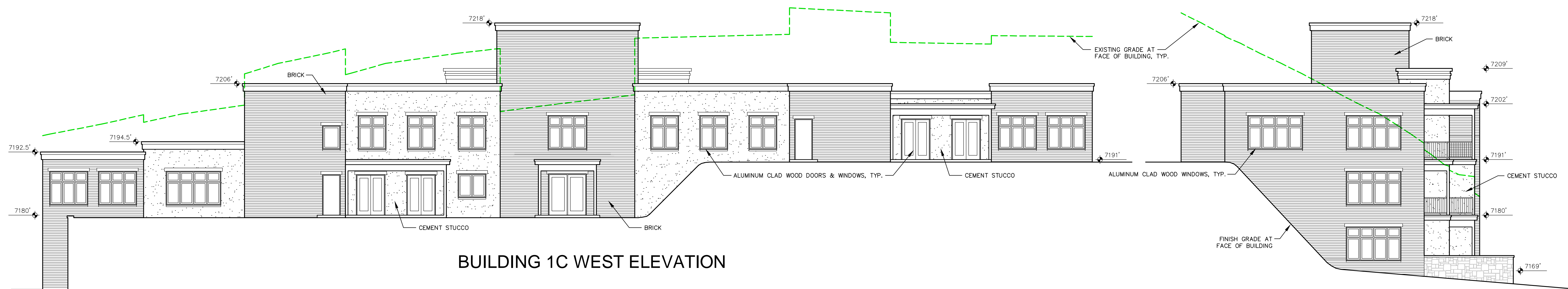
SOUTHWEST ELEVATION - SOUTH WING





BUILDING 1C EAST ELEVATION

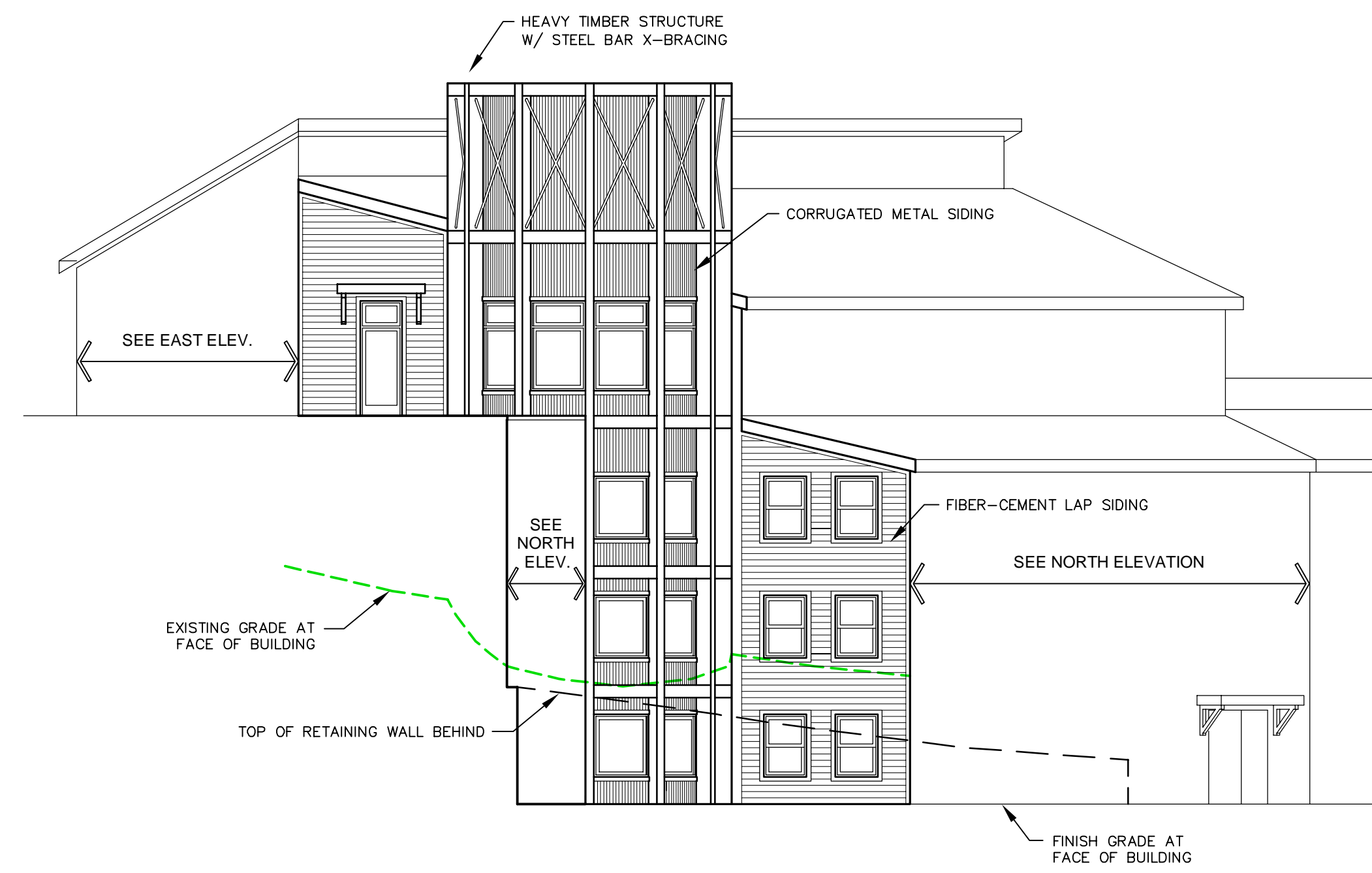
BUILDING 1C NORTH ELEVATION



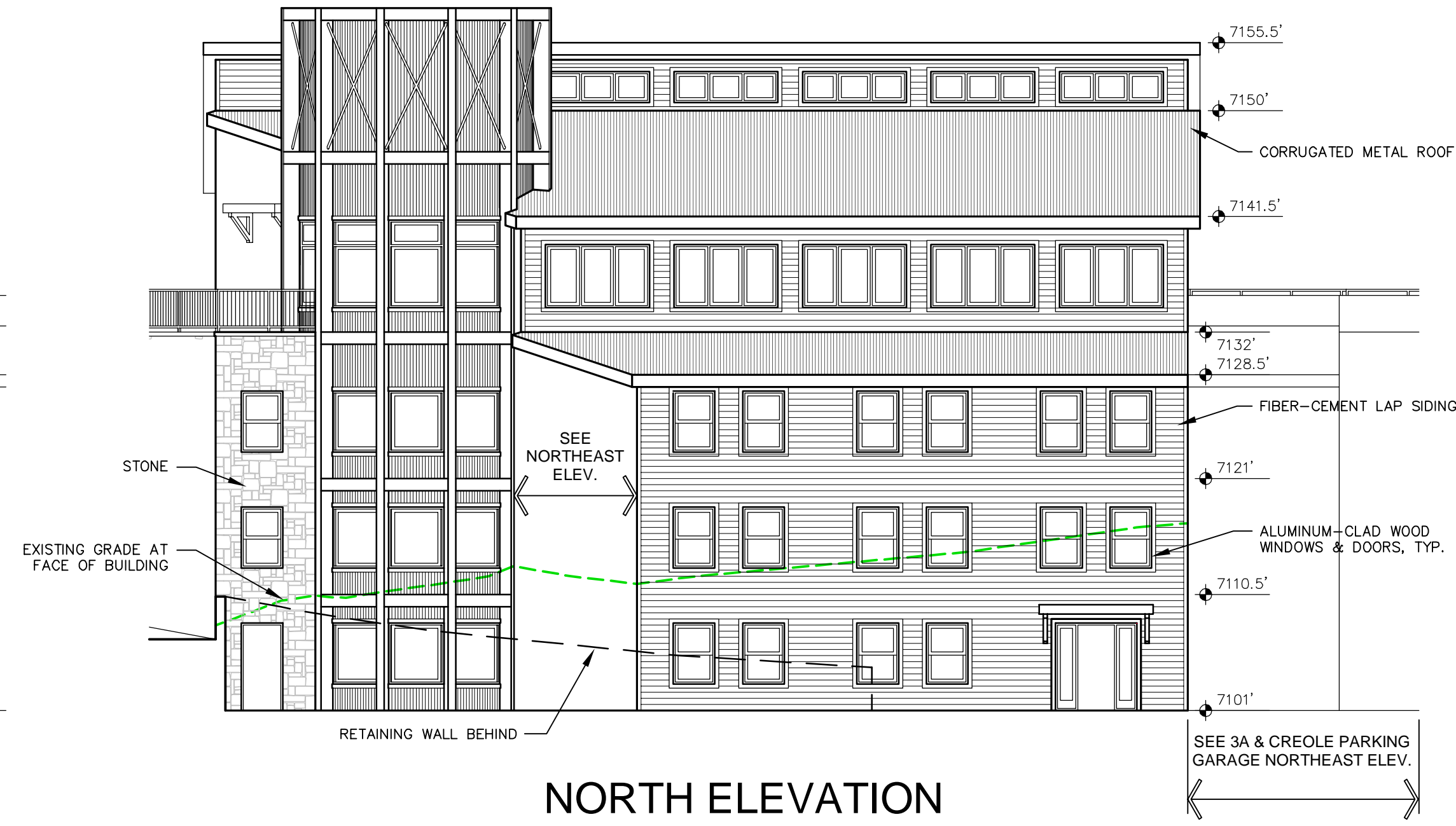
BUILDING 1C WEST ELEVATION

BUILDING 1C SOUTH ELEVATION

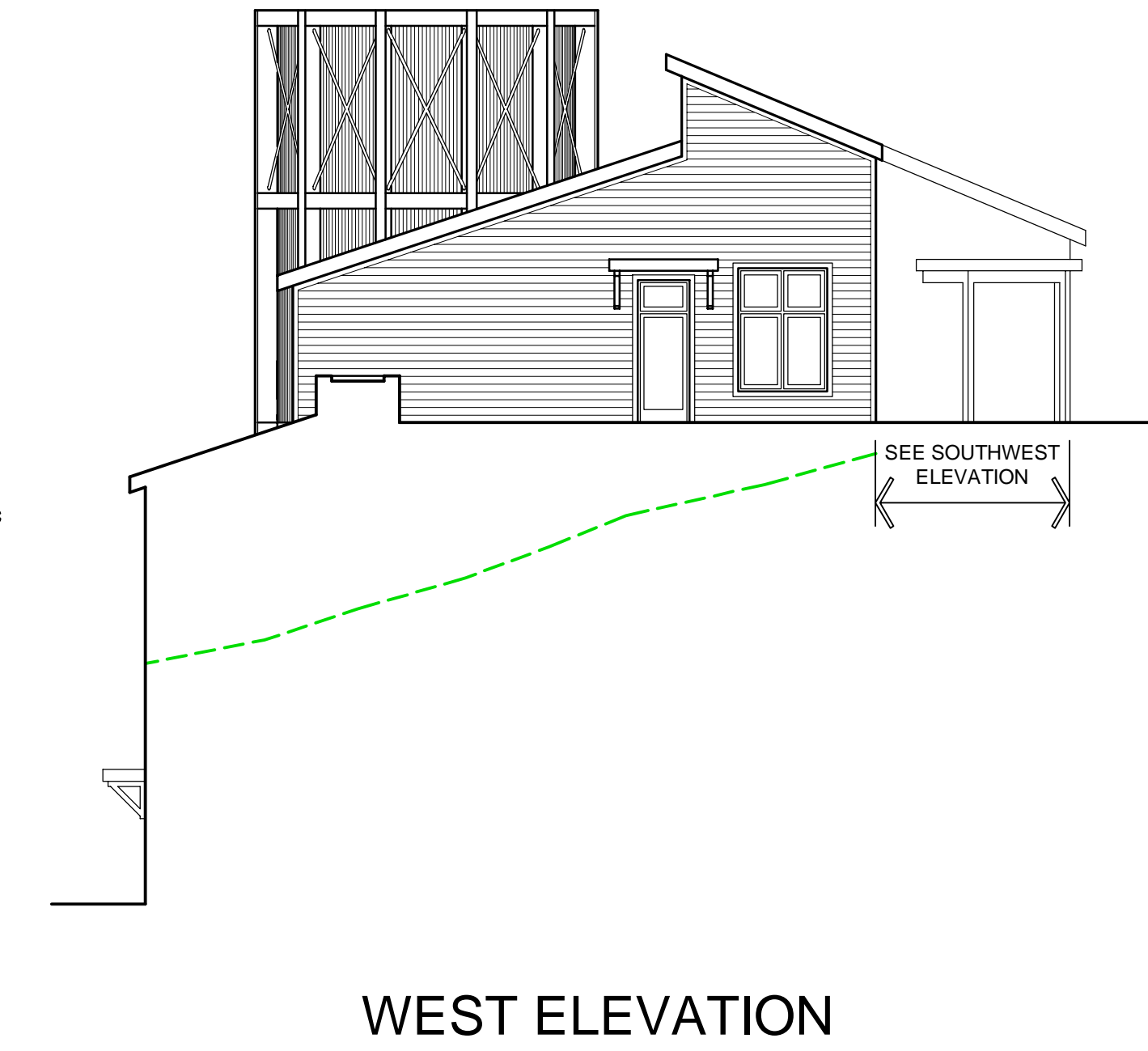




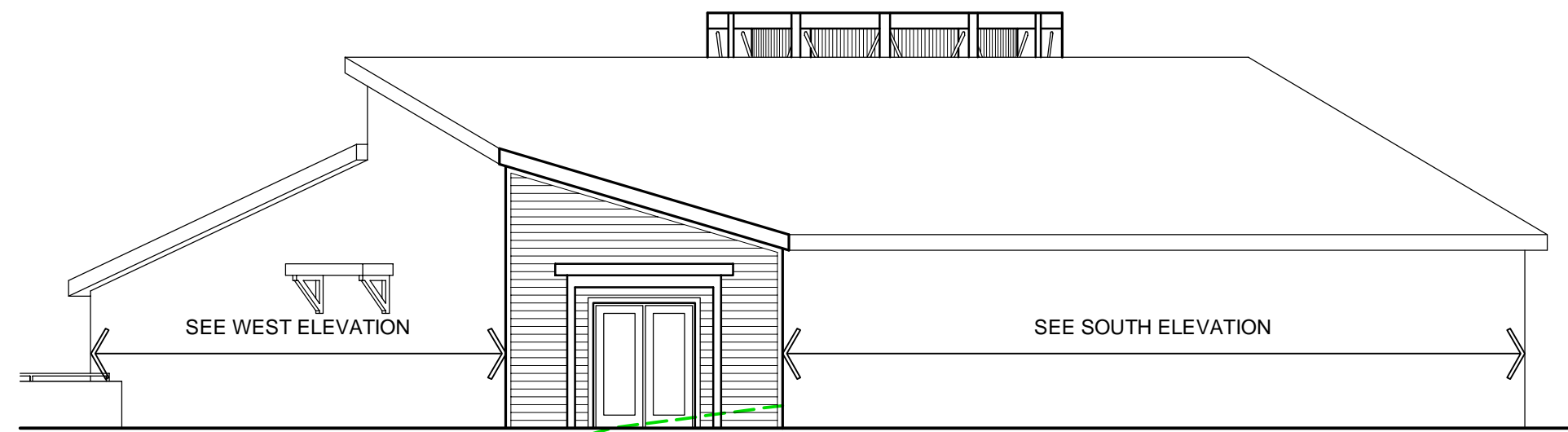
**NORTHEAST ELEVATION**



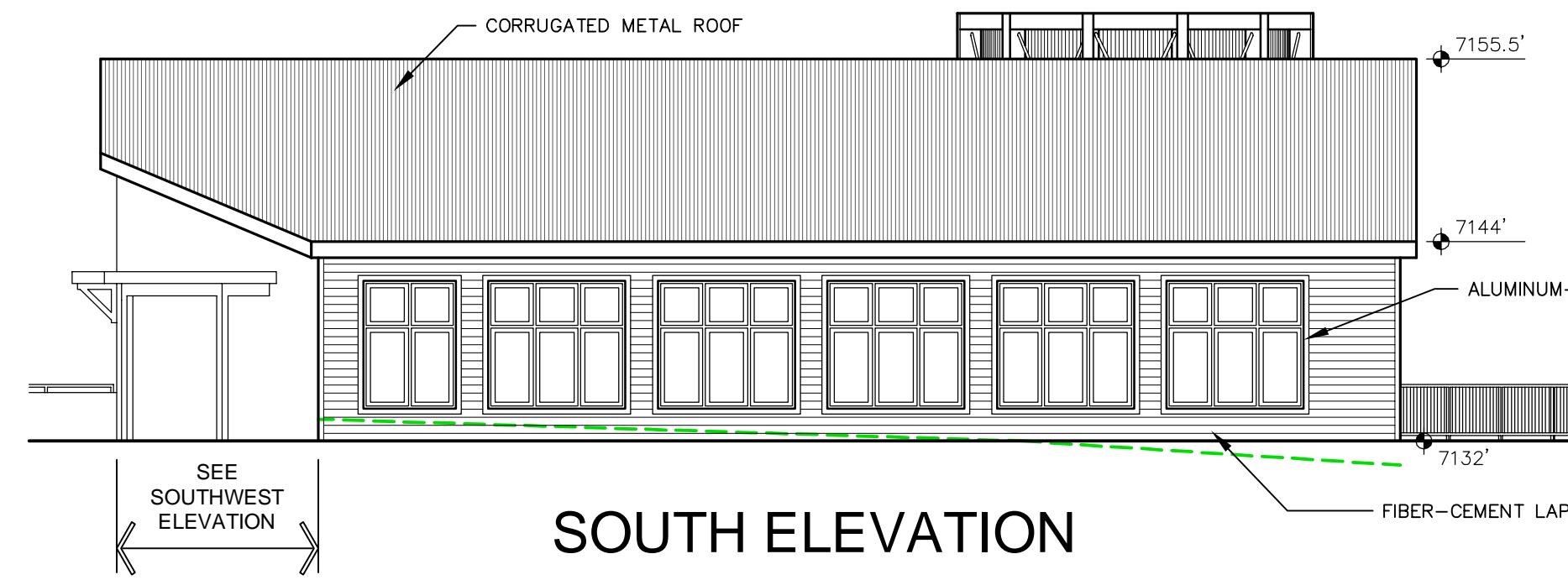
**NORTH ELEVATION**



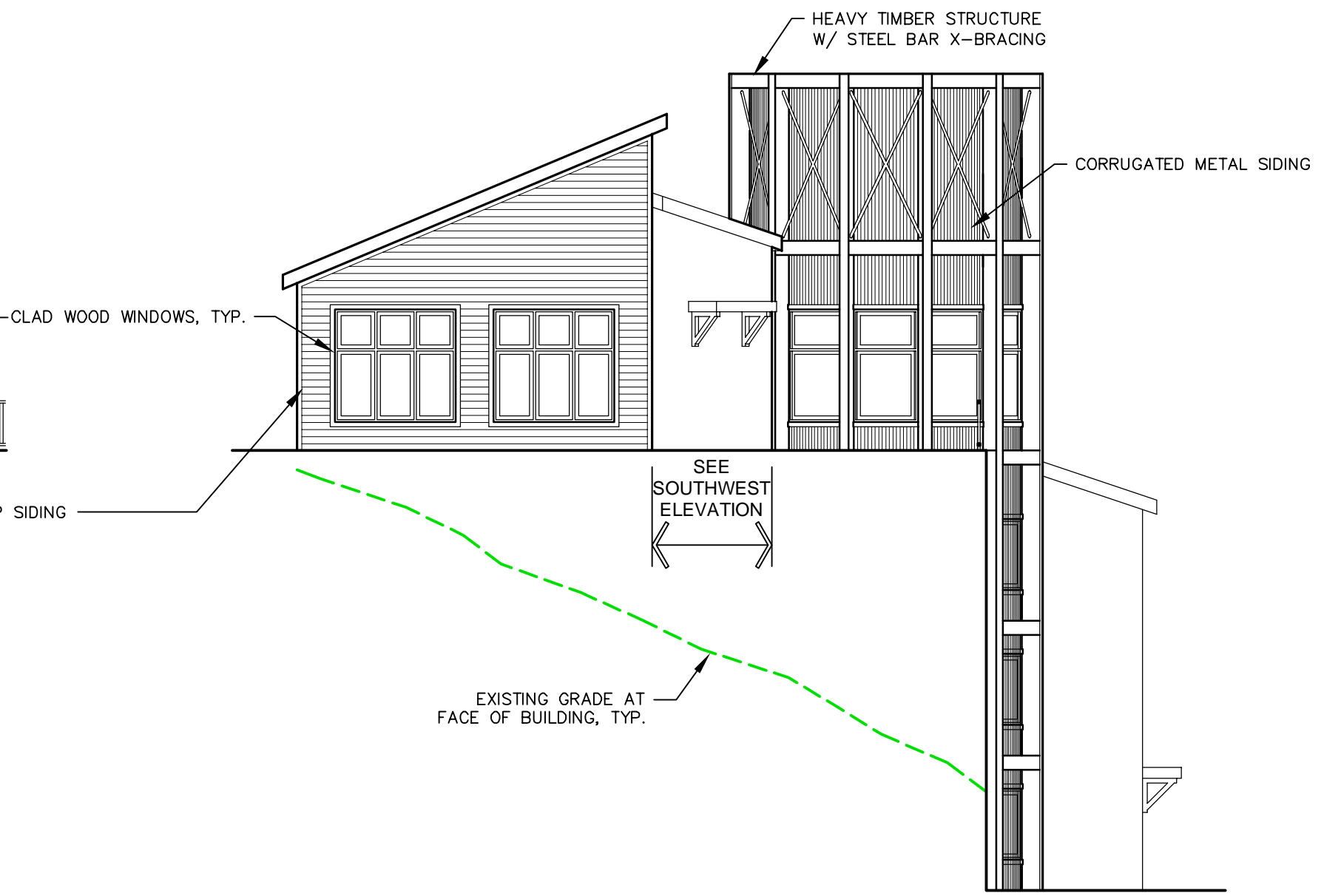
**WEST ELEVATION**



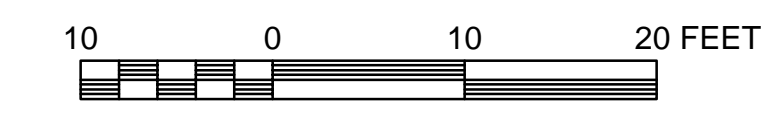
**SOUTHWEST ELEVATION**



**SOUTH ELEVATION**

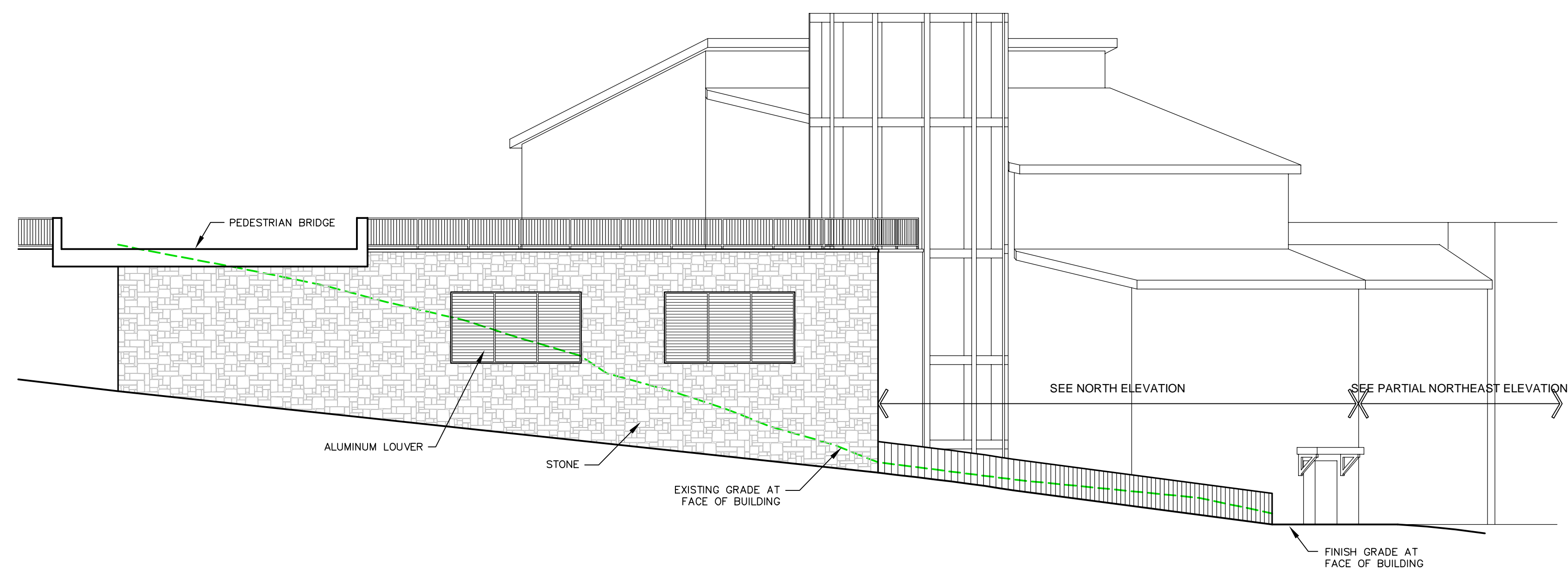


**EAST ELEVATION**

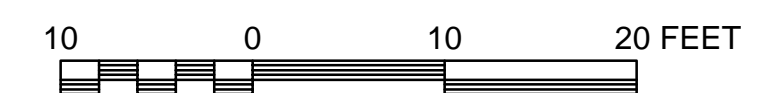




3A & CREOLE PARKING GARAGE NORTHEAST ELEVATION



CREOLE PARKING GARAGE EAST ELEVATION





EAST ELEVATION

NORTH ELEVATION

WEST ELEVATION





SOUTHEAST ELEVATION

NORTHEAST ELEVATION

NORTHWEST ELEVATION



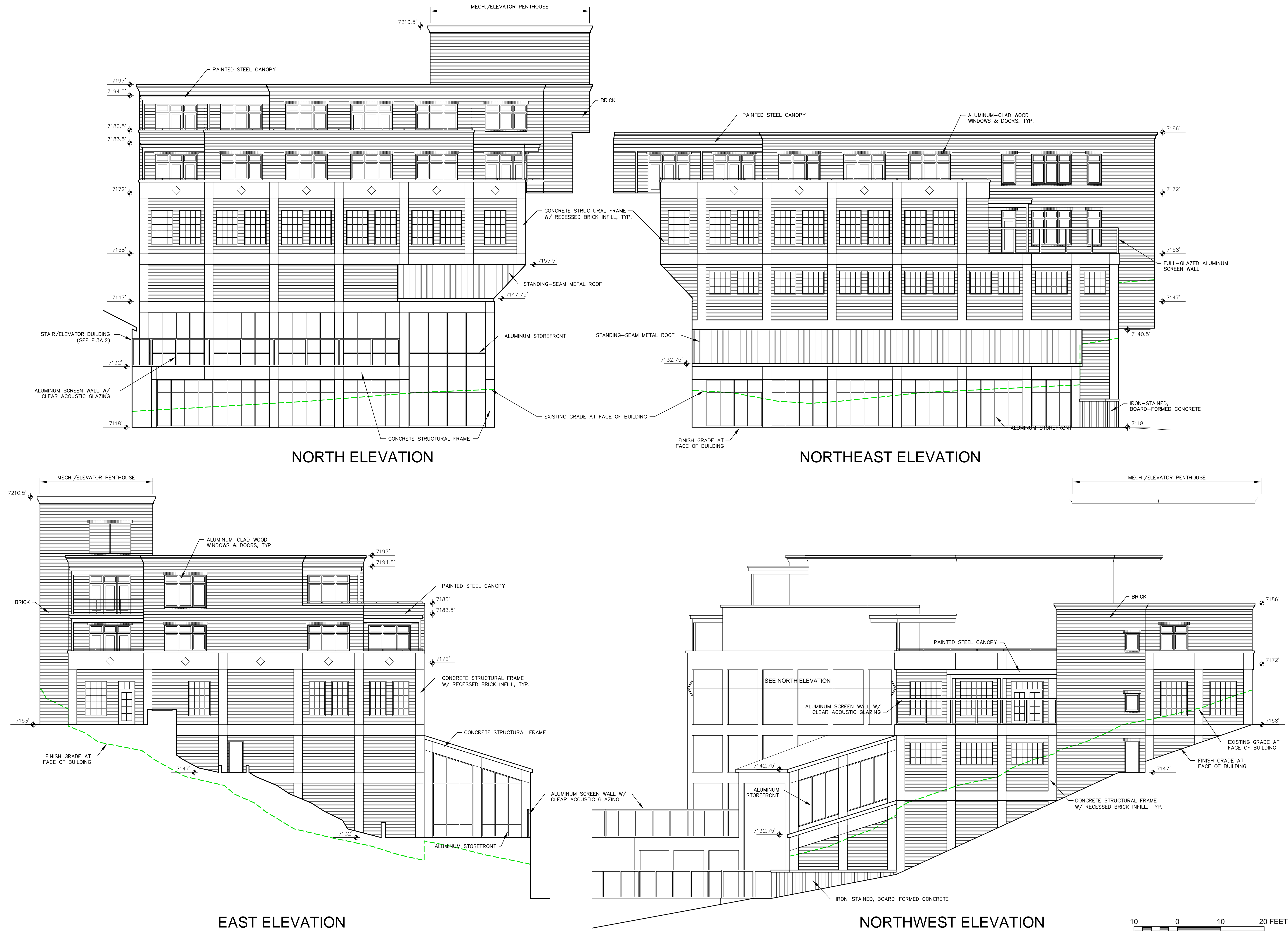


SOUTH ELEVATION



SOUTHWEST ELEVATION





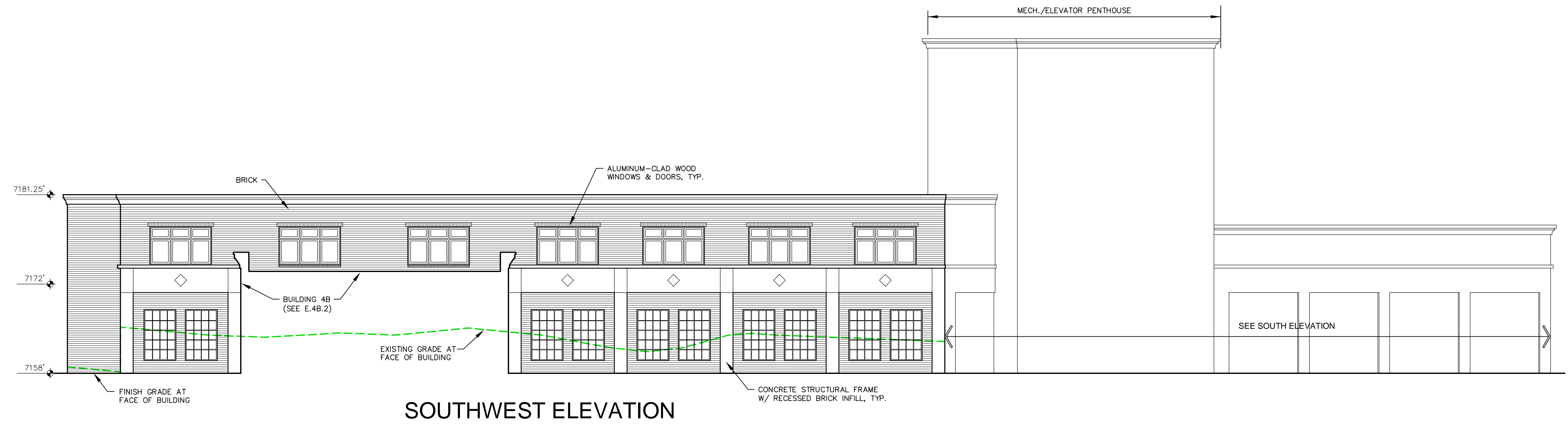
NORTH ELEVATION

NORTHEAST ELEVATION

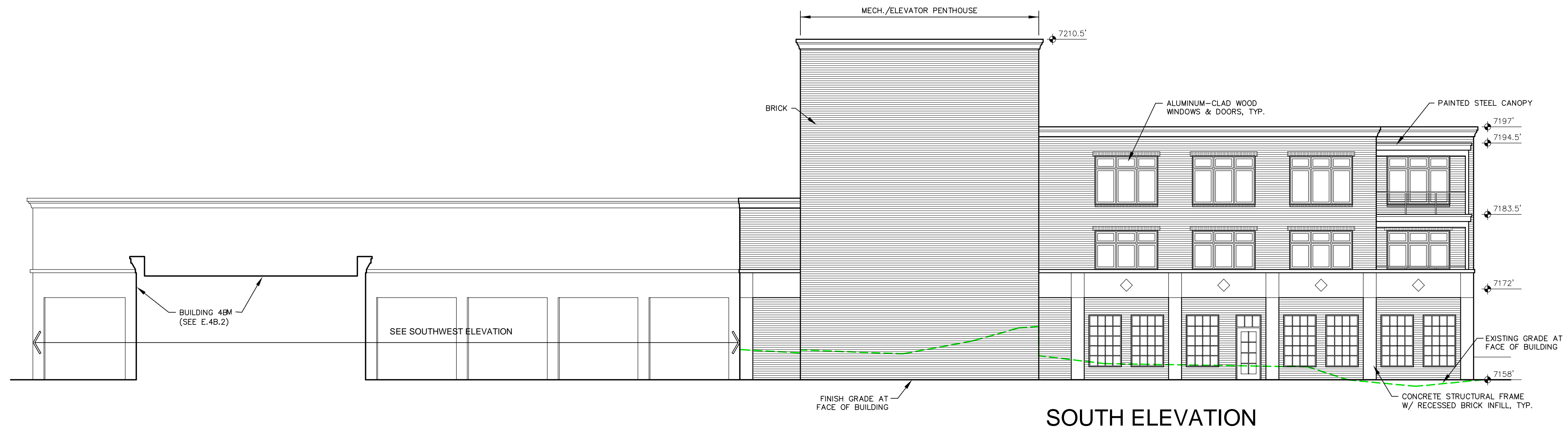
EAST ELEVATION

NORTHWEST ELEVATION

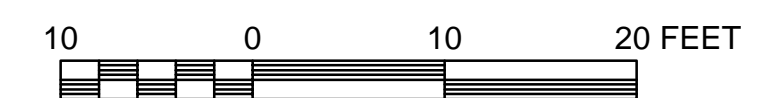




**SOUTHWEST ELEVATION**



**SOUTH ELEVATION**



UPDATES:  
#1 08/07/2017

DAVID G. ELDRIDGE, ARCHITECT  
SALT LAKE CITY, UTAH 84103  
PHONE: 801.580.3783  
EMAIL: david@deldredge.com

Applicant: MPE Inc.  
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V17.2 - 2017 Refinements #2 to 2009 Submittal  
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**TREASURE - PARK CITY, UTAH**

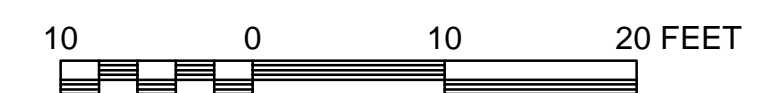
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**E.4A.2**

DATE: 07/20/2017

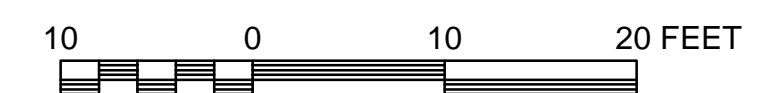


EAST ELEVATION



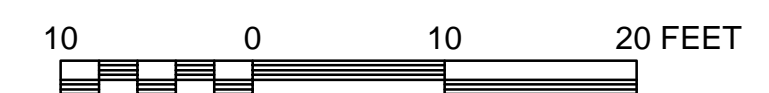


NORTH WING - SOUTH ELEVATION





NORTH WING - NORTH ELEVATION

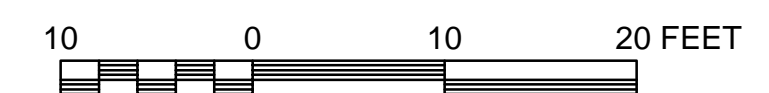




WEST ELEVATION



SOUTH WING - SOUTH ELEVATION

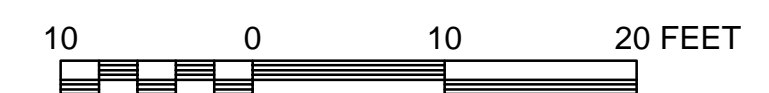


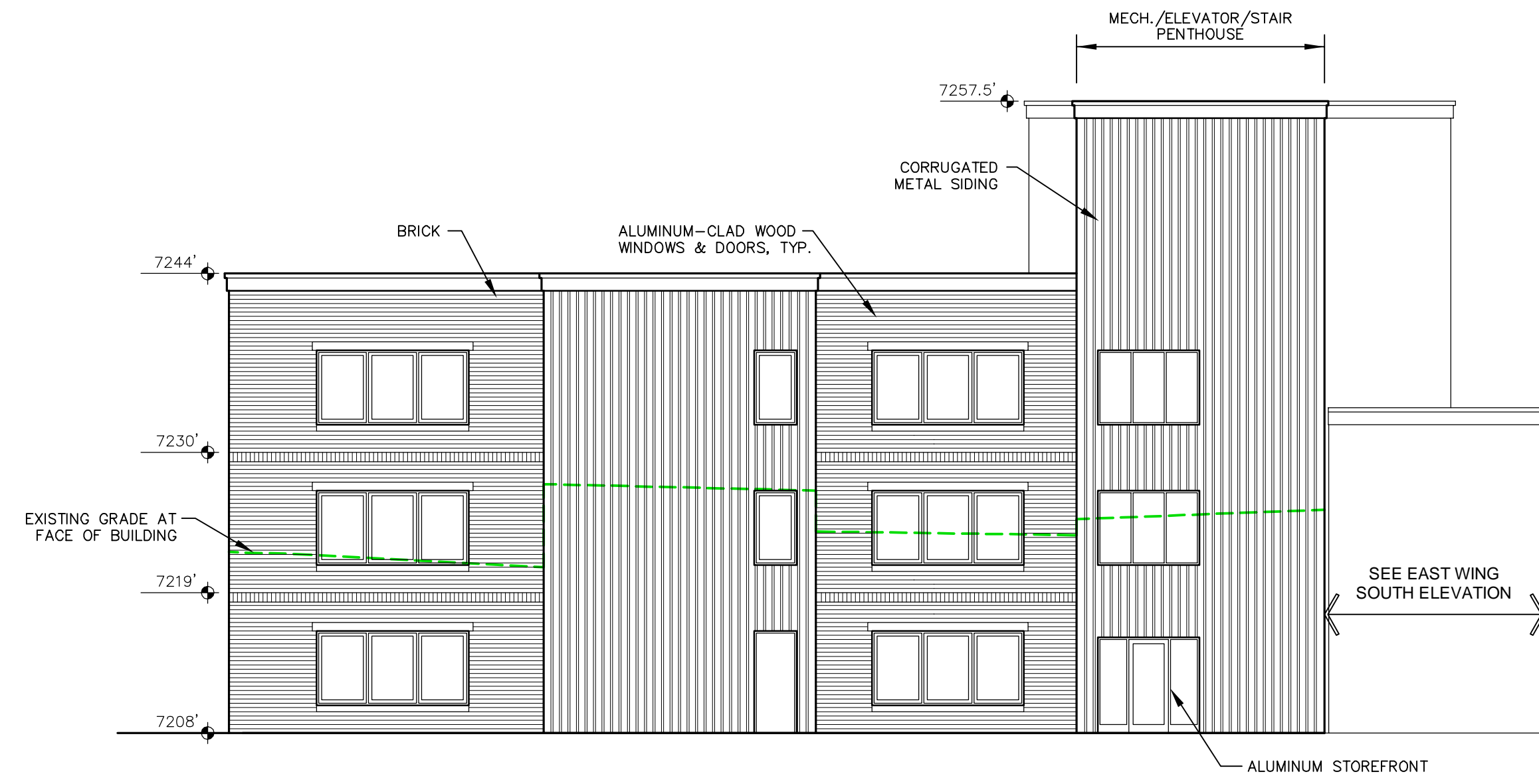


EAST WING - NORTH ELEVATION

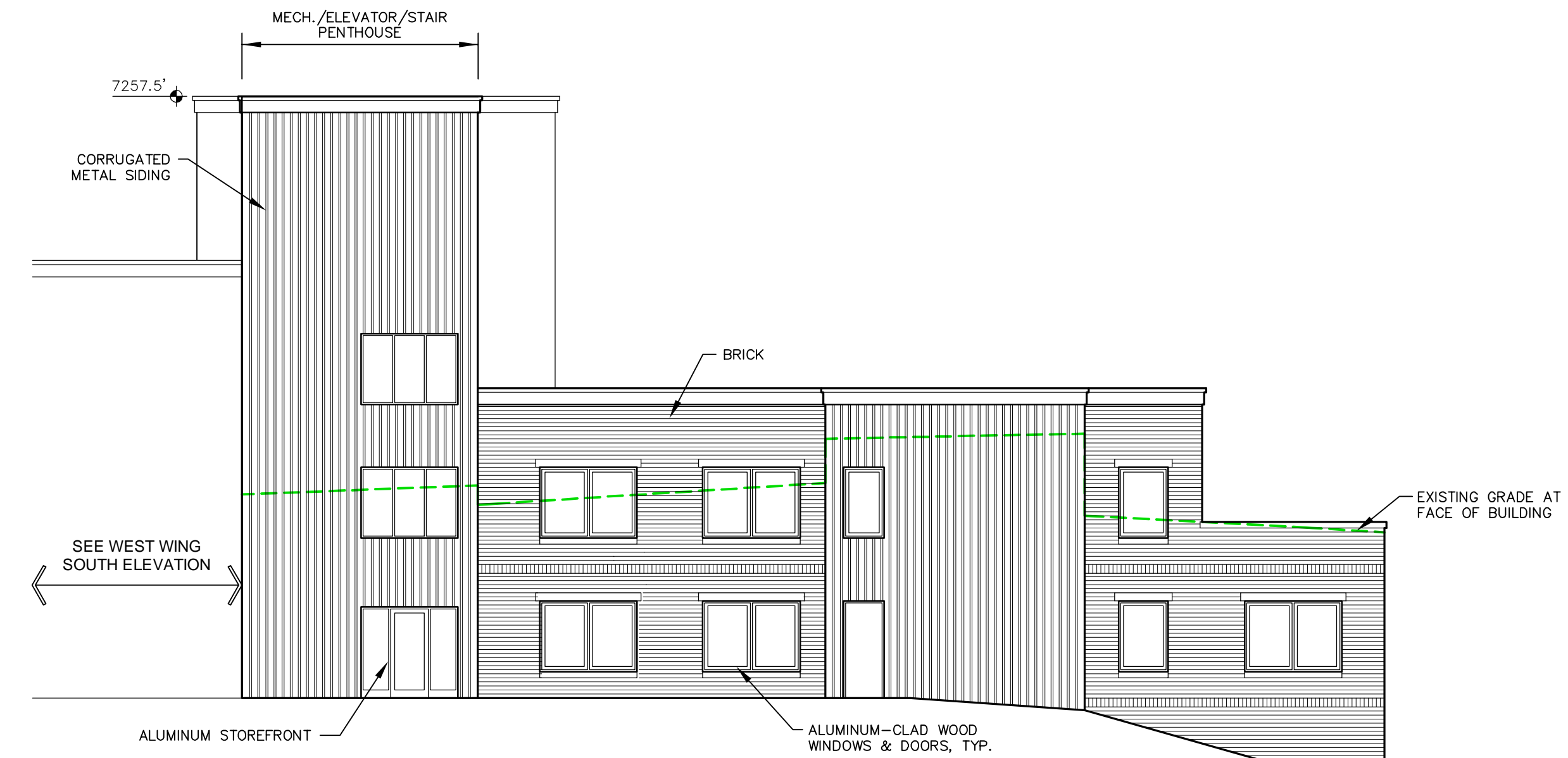


WEST WING - NORTH ELEVATION

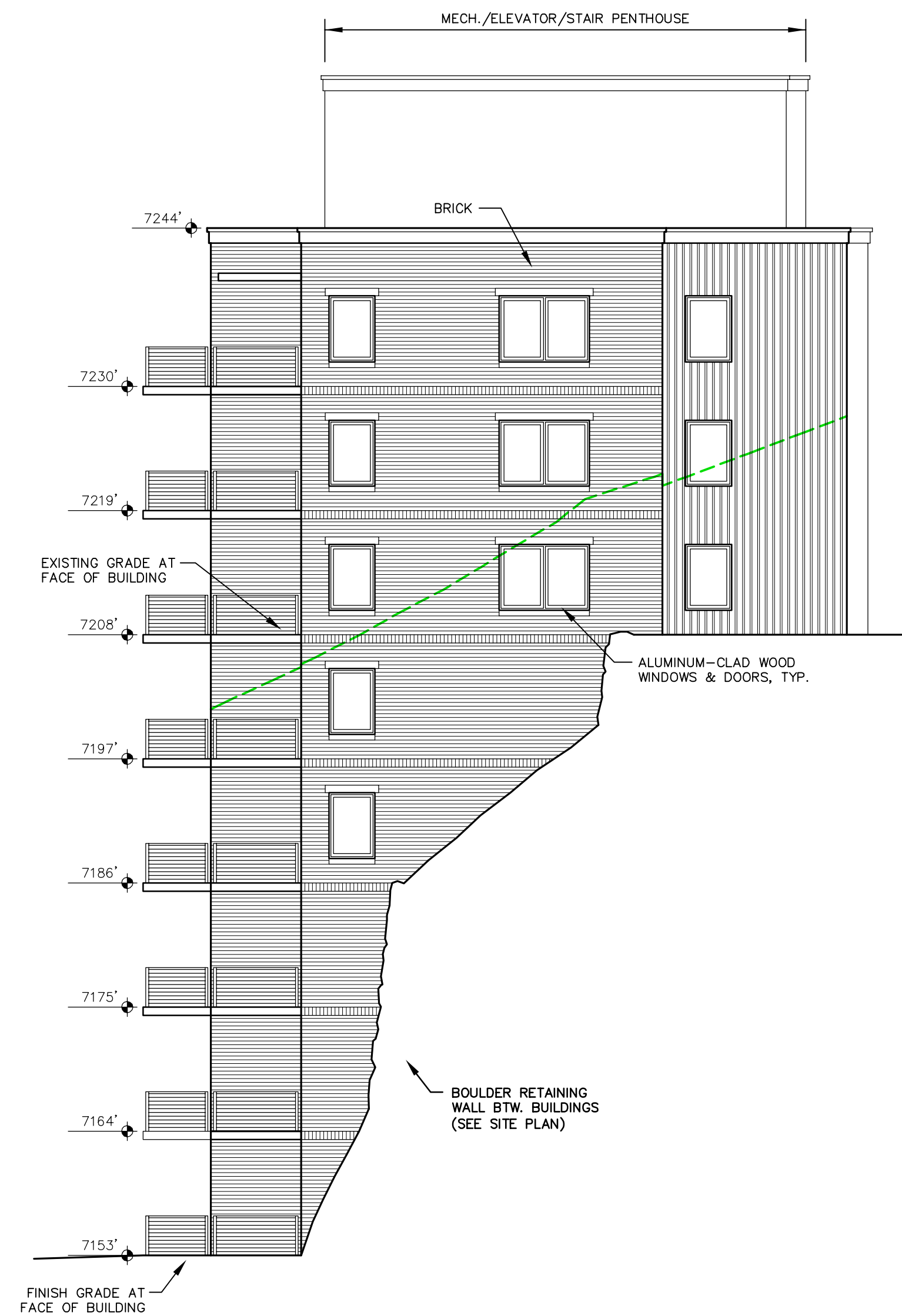




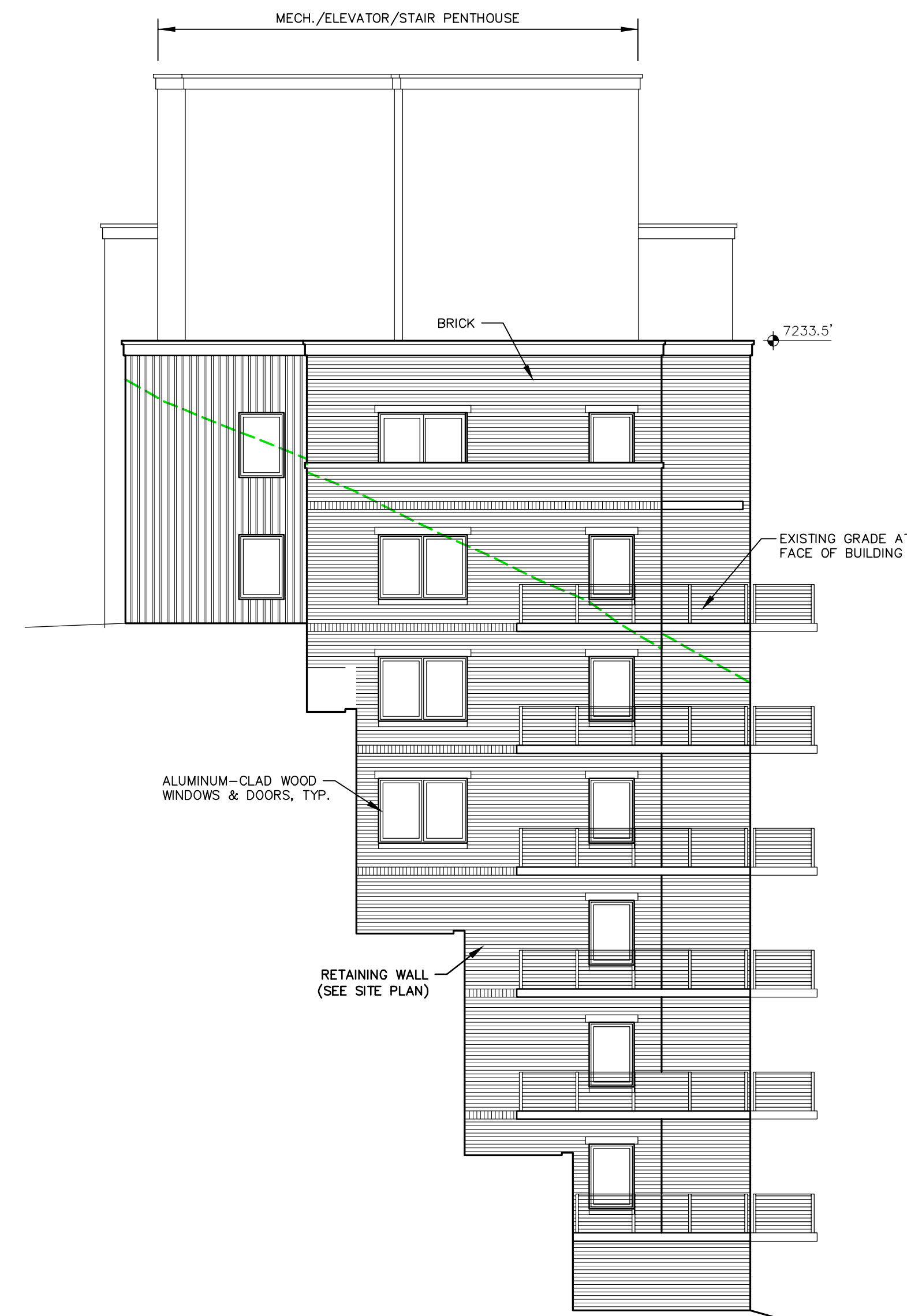
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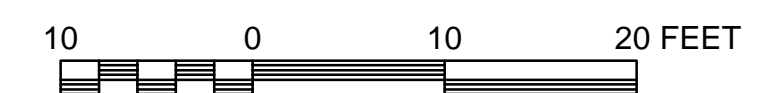
EAST WING - SOUTH ELEVATION



WEST WING - WEST ELEVATION



EAST WING - EAST ELEVATION



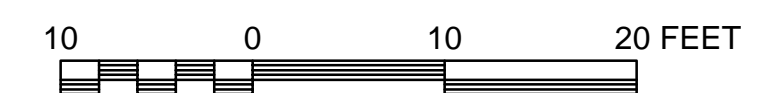


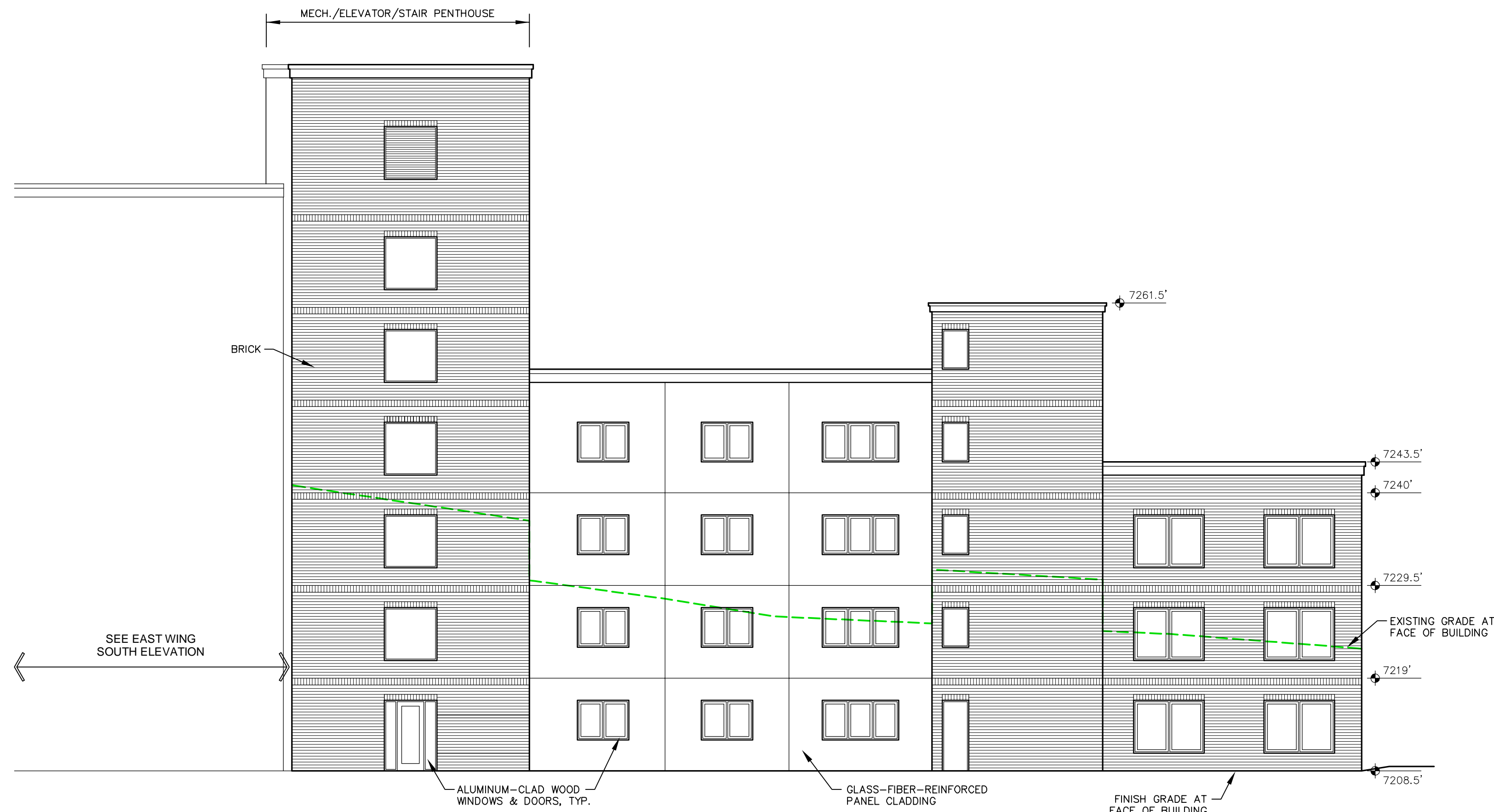


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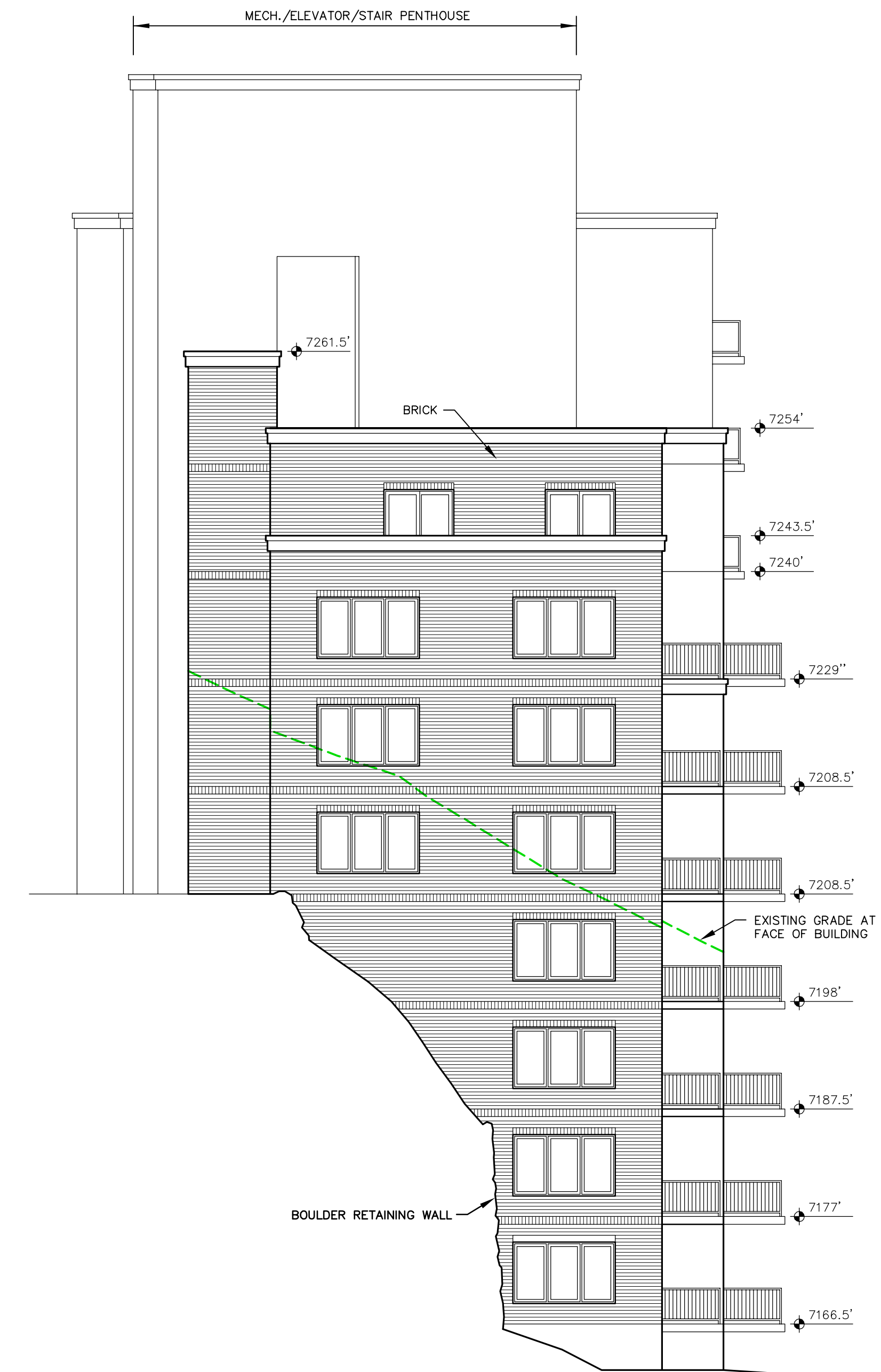


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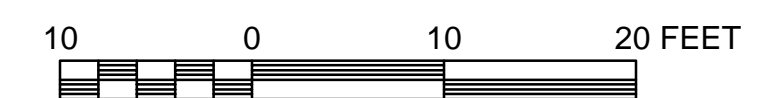


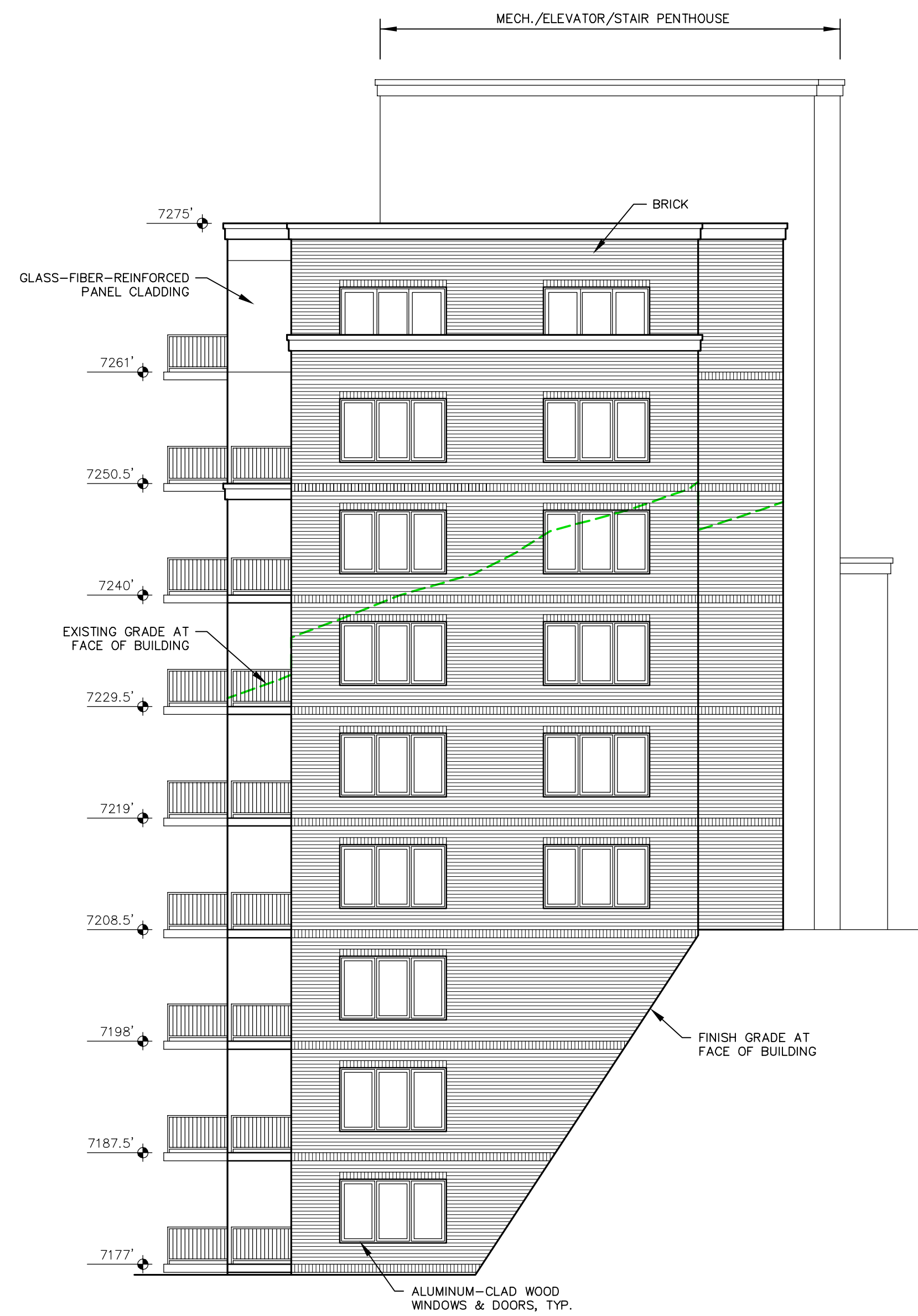


EAST WING - SOUTH ELEVATION



EAST WING - EAST ELEVATION





WEST WING - WEST ELEVATION



WEST WING - SOUTH ELEVATION



UPDATES:

DAVID G. ELDRIDGE, ARCHITECT  
SALT LAKE CITY, UTAH 84103  
PHONE: 801.580.3783  
EMAIL: david@deldredge.com

Applicant: MPE Inc.  
P.O. Box 2429  
Park City, Utah 84060  
(435) 901-2077  
email: psbro23@mac.com

V17.1 - 2017 Refinements #1 to 2009 Submittal  
Building 5C Exterior Elevations

TREASURE - PARK CITY, UTAH

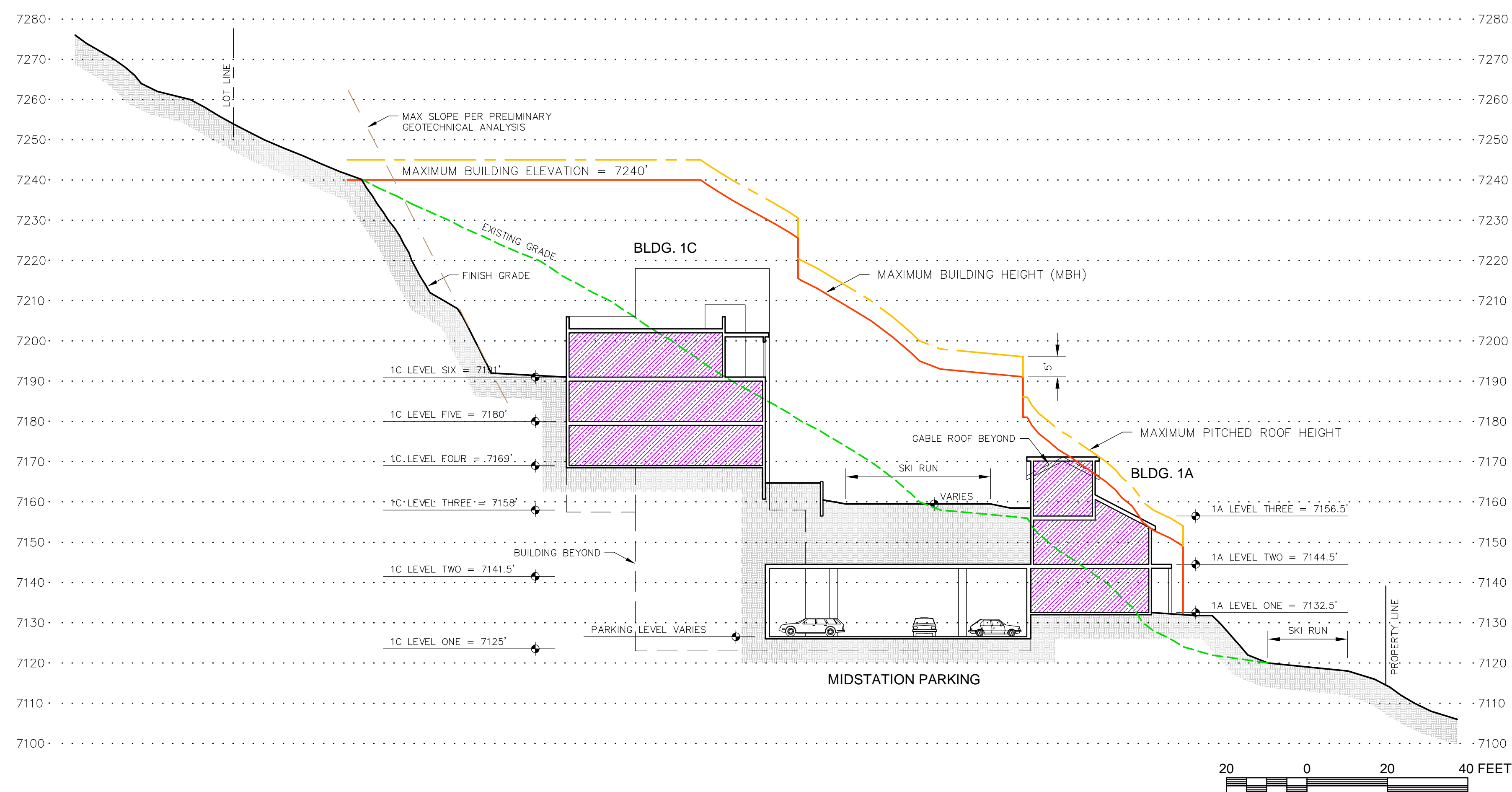
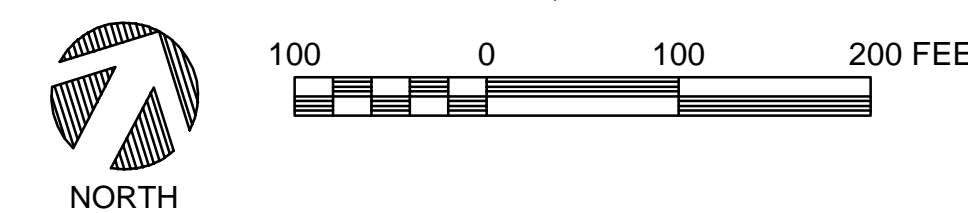
SHEET NO.

E.5C.3

DATE: 06/28/2008



KEY PLAN

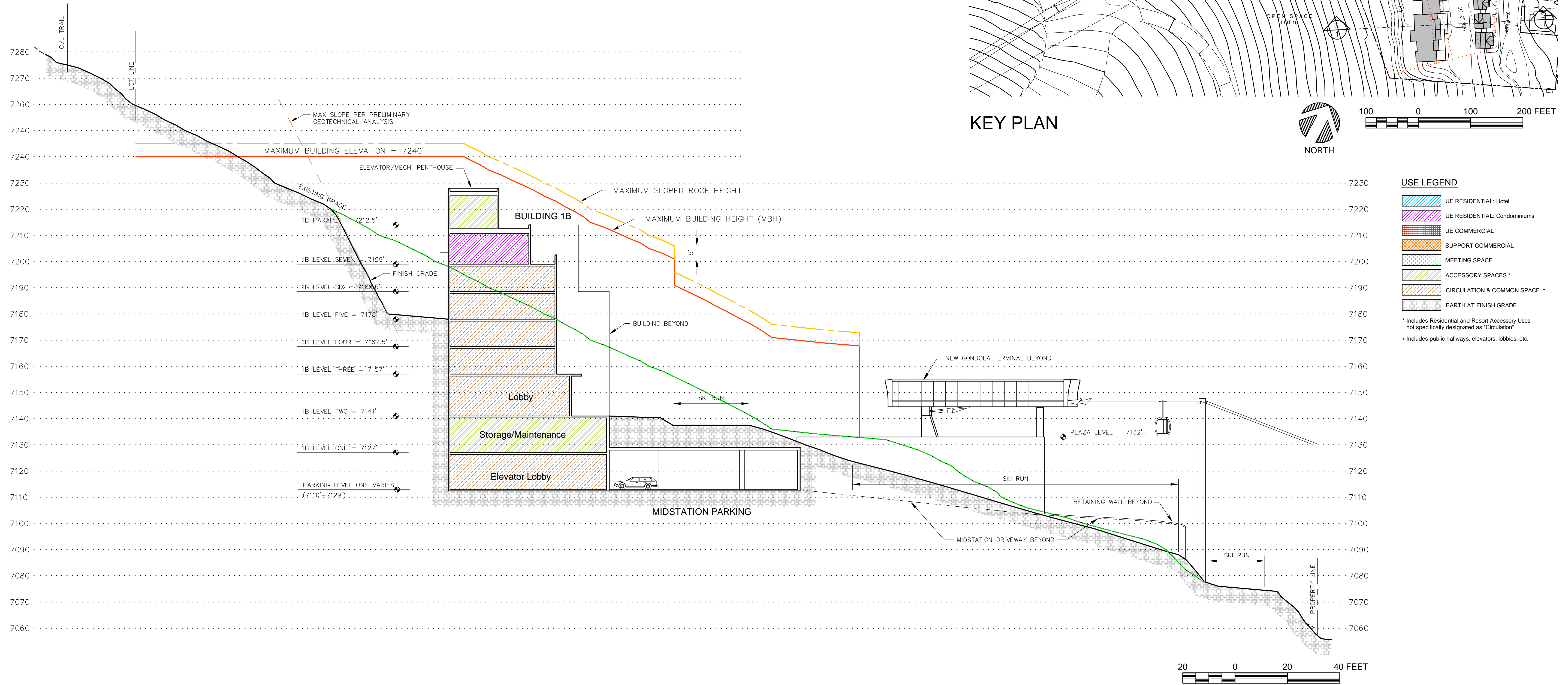


USE LEGEND

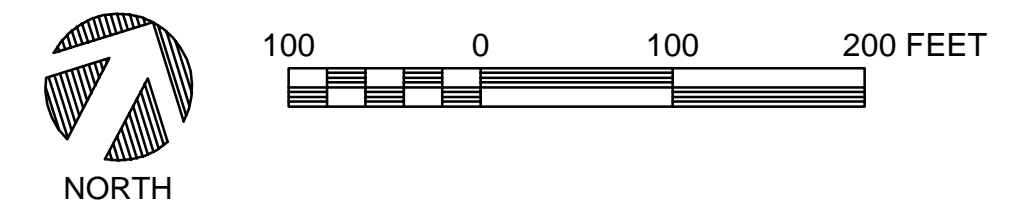
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- UE RESIDENTIAL: Condominiums
- UE COMMERCIAL
- SUPPORT COMMERCIAL
- MEETING SPACE
- ACCESSORY SPACES \*
- CIRCULATION & COMMON SPACE \*
- EARTH AT FINISH GRADE

\* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".

\* Includes public hallways, elevators, lobbies, etc.



KEY PLAN



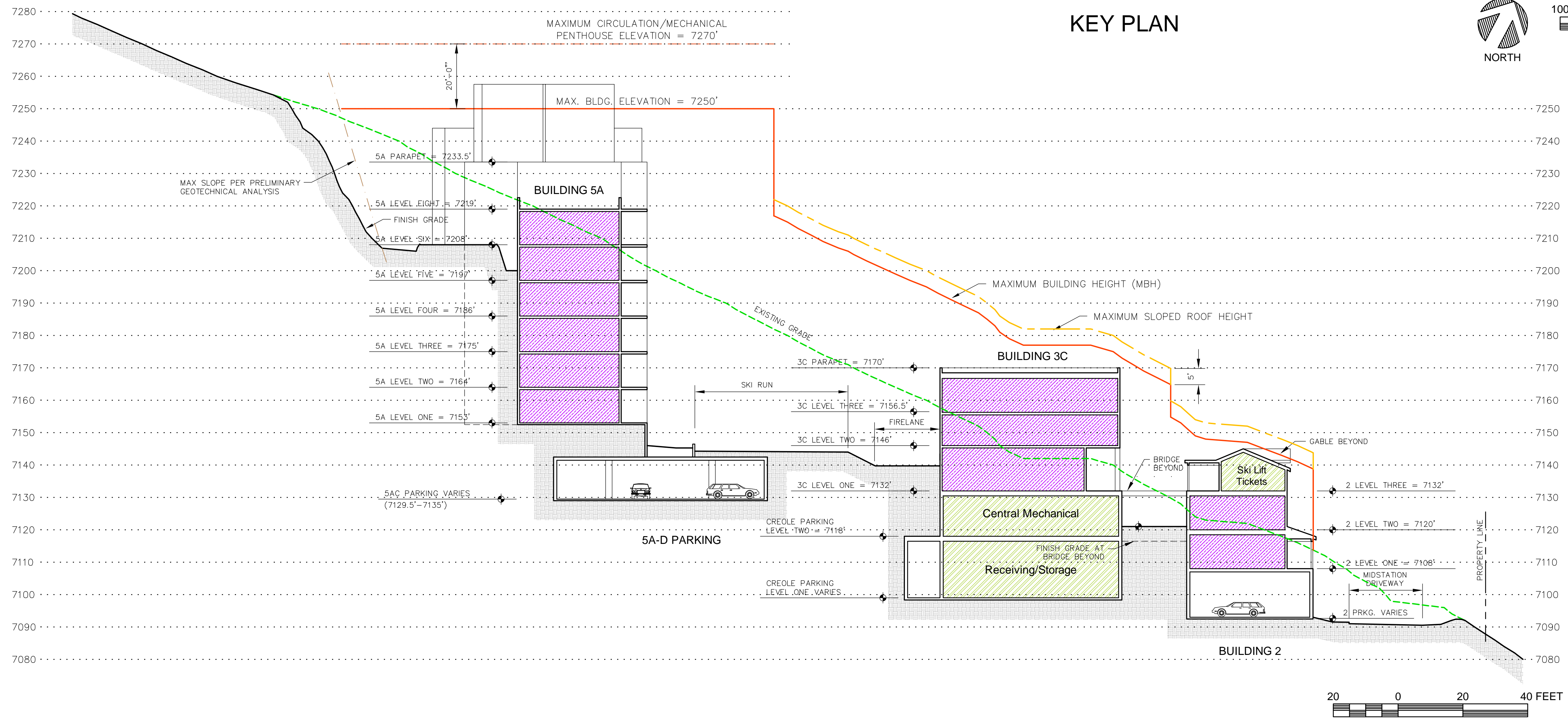
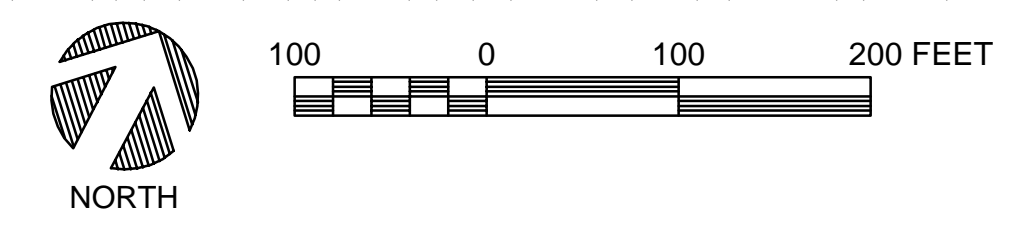
USE LEGEND

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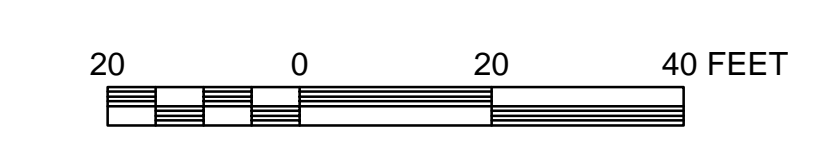
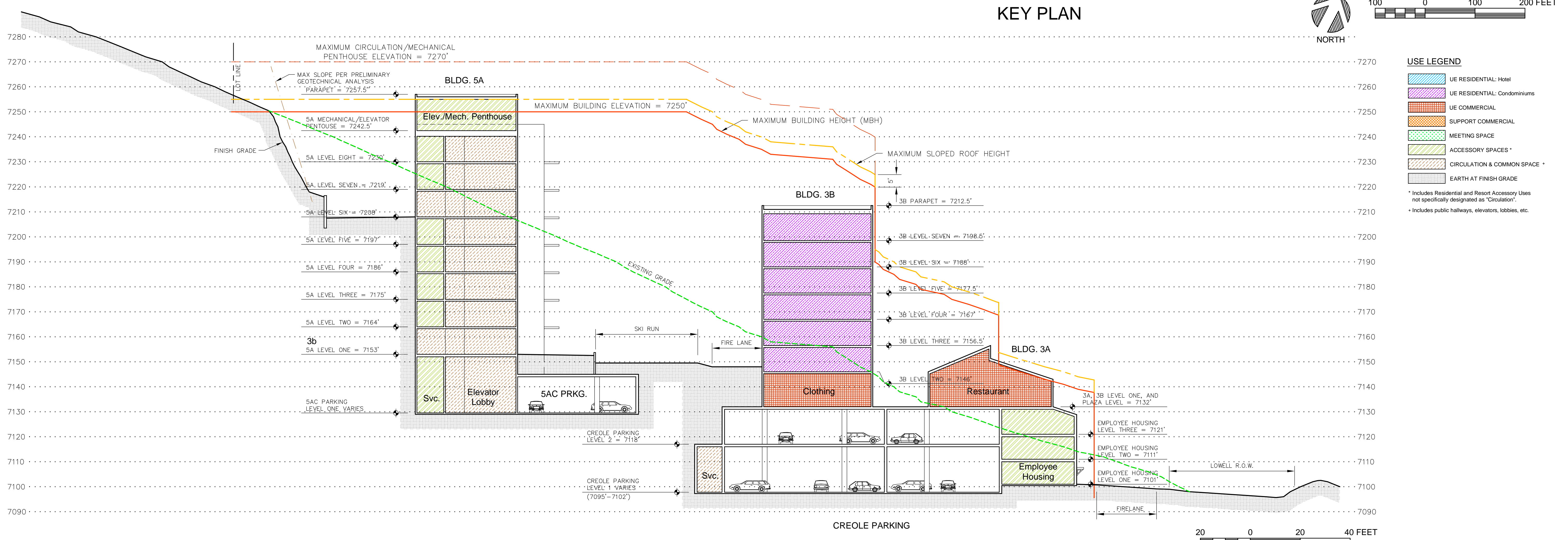
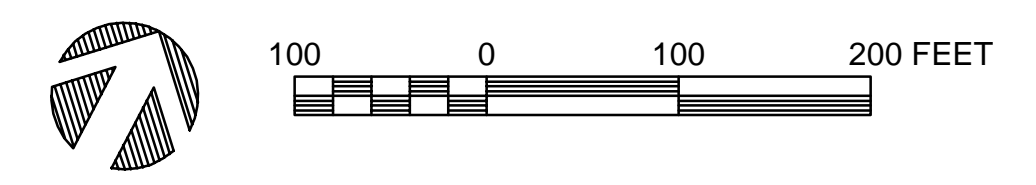


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KEY PLAN

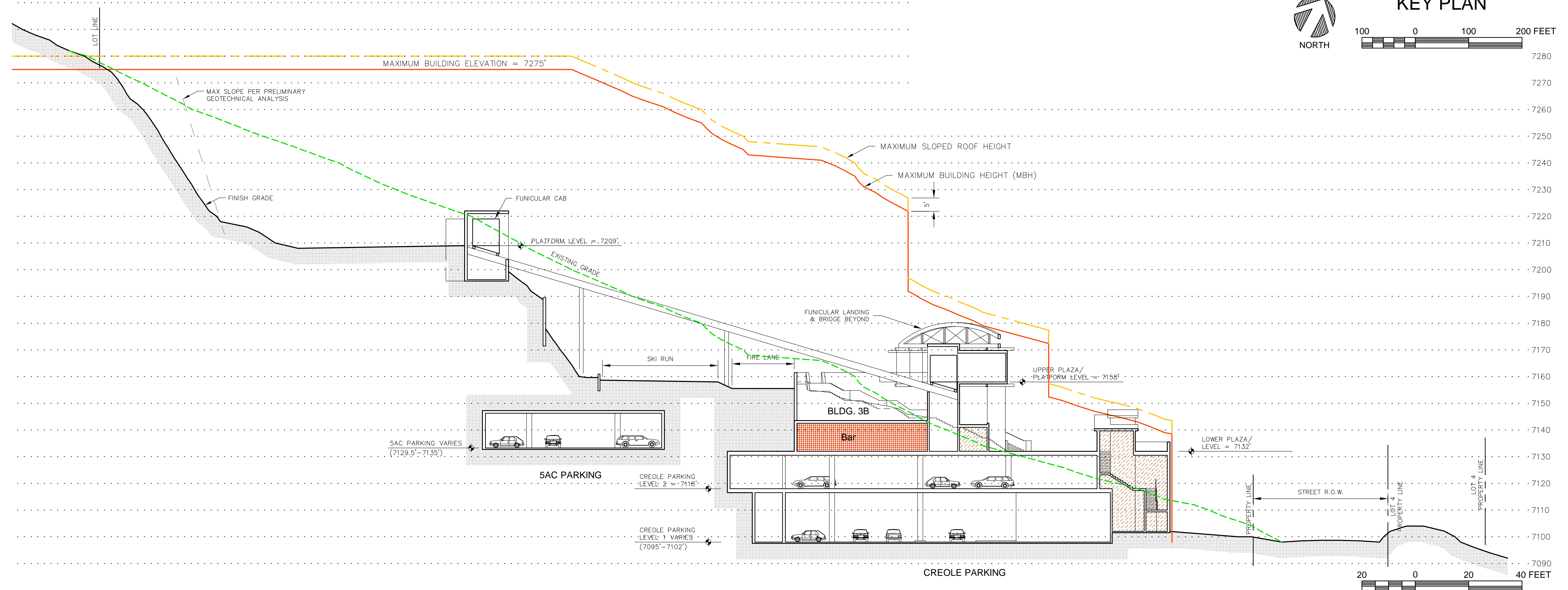




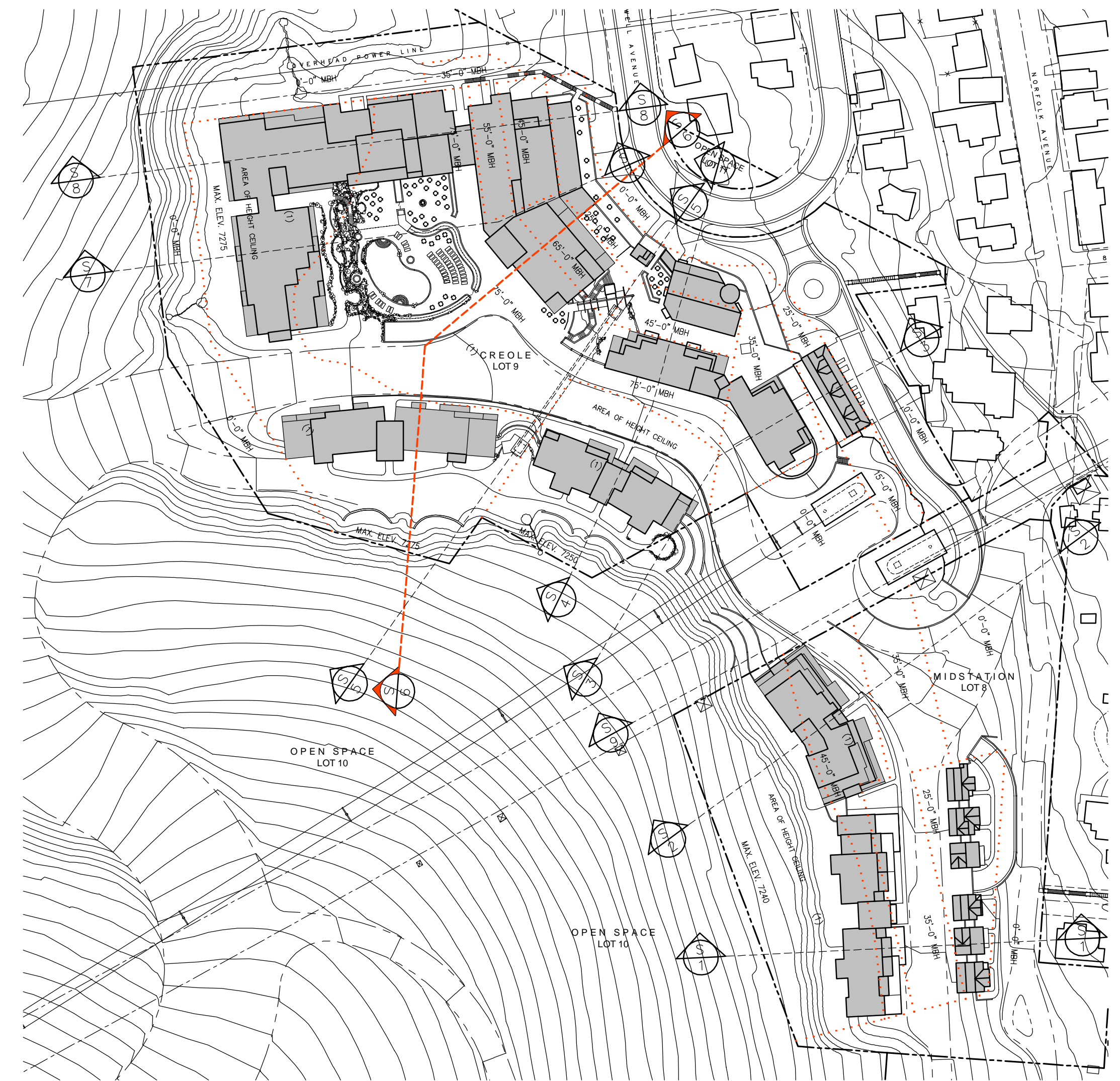
**USE LEGEND**

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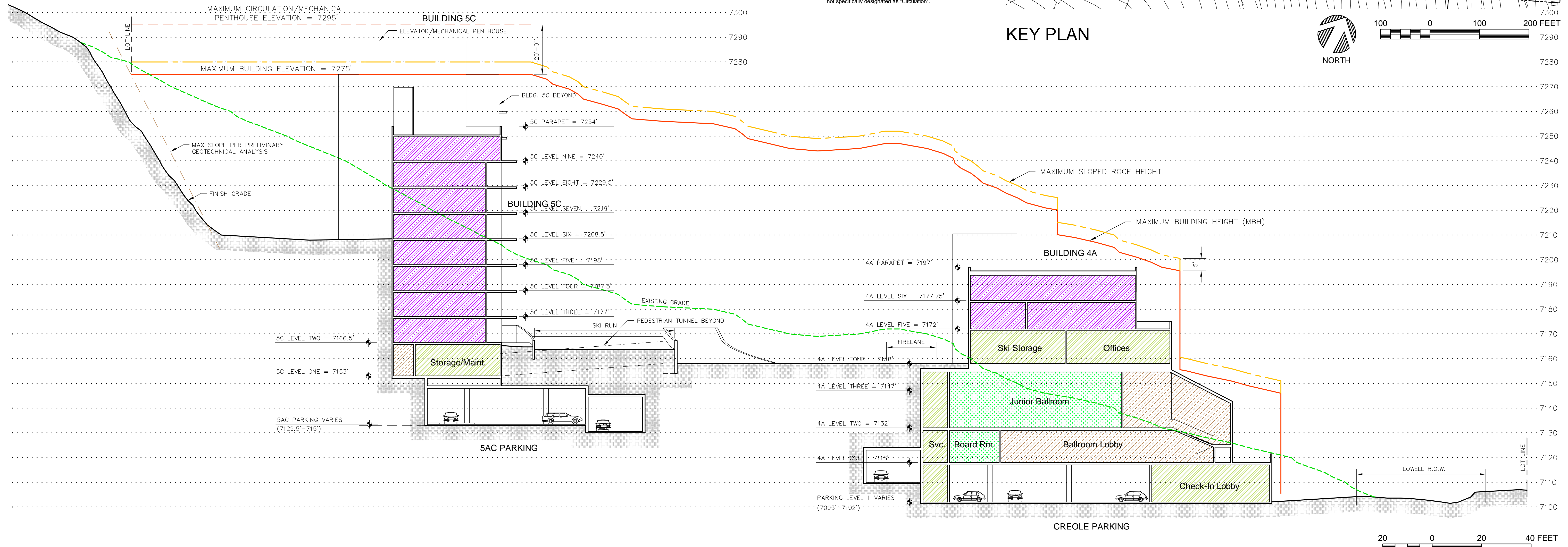




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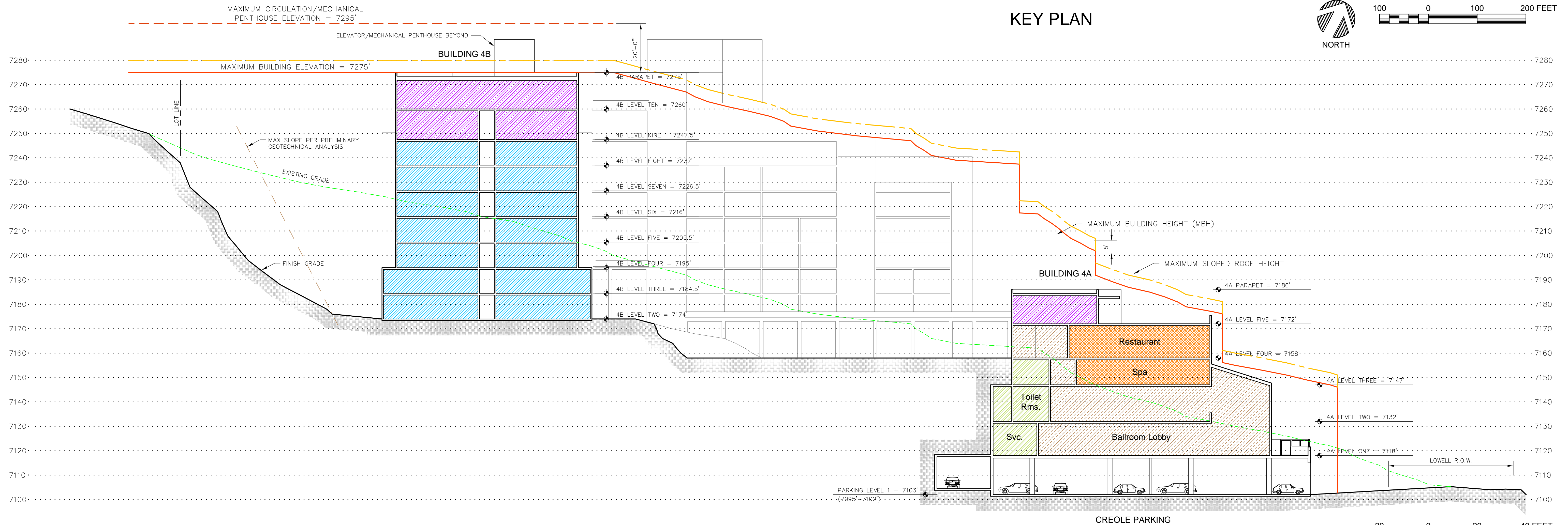
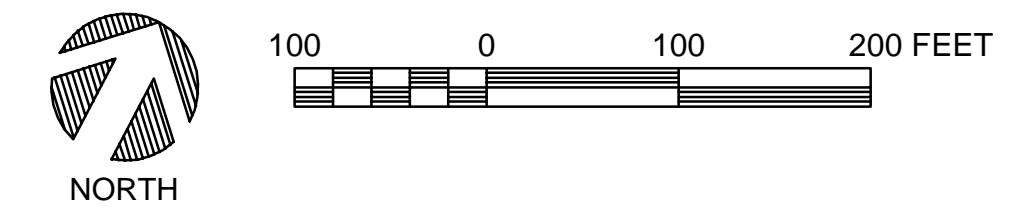


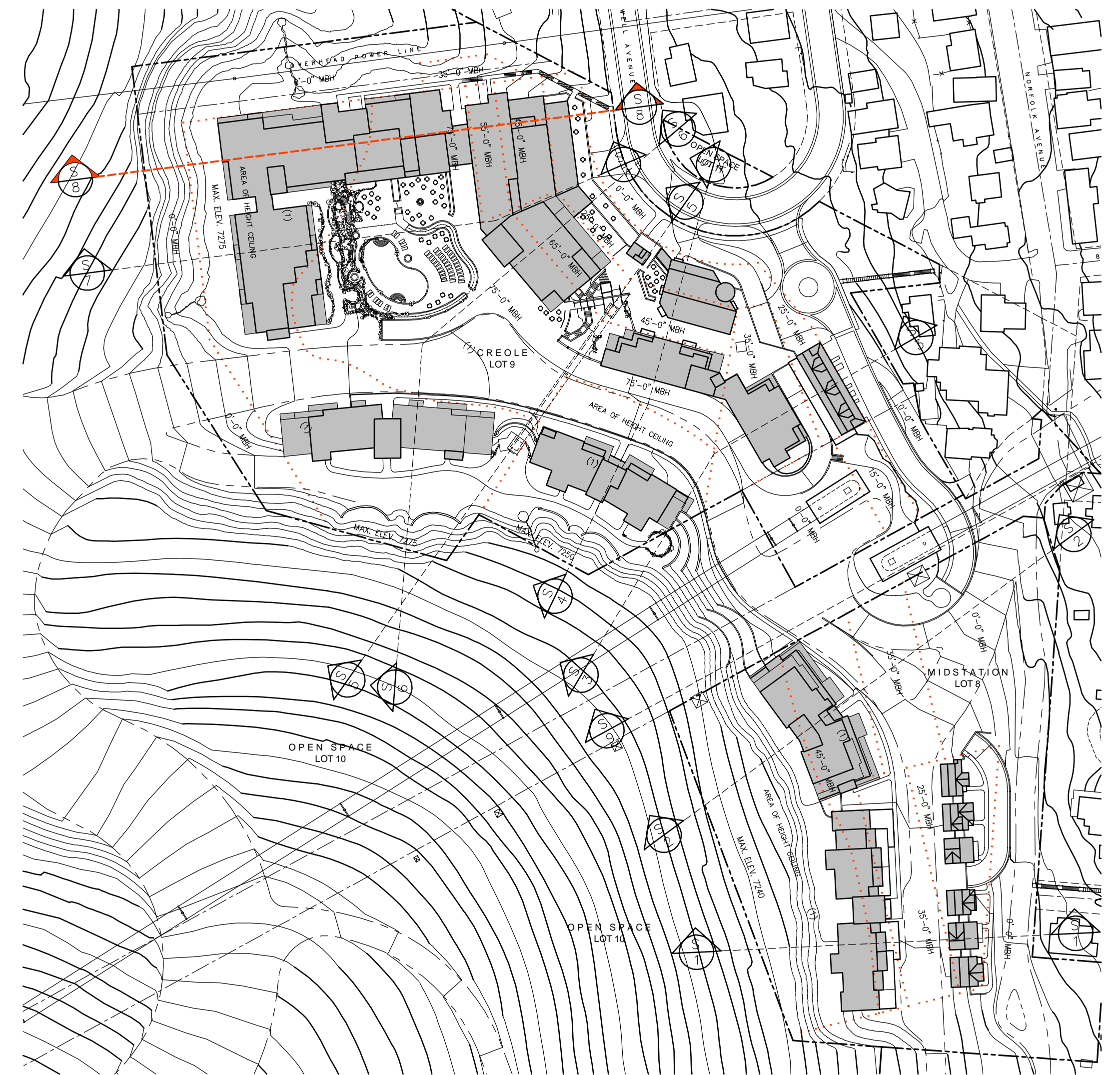
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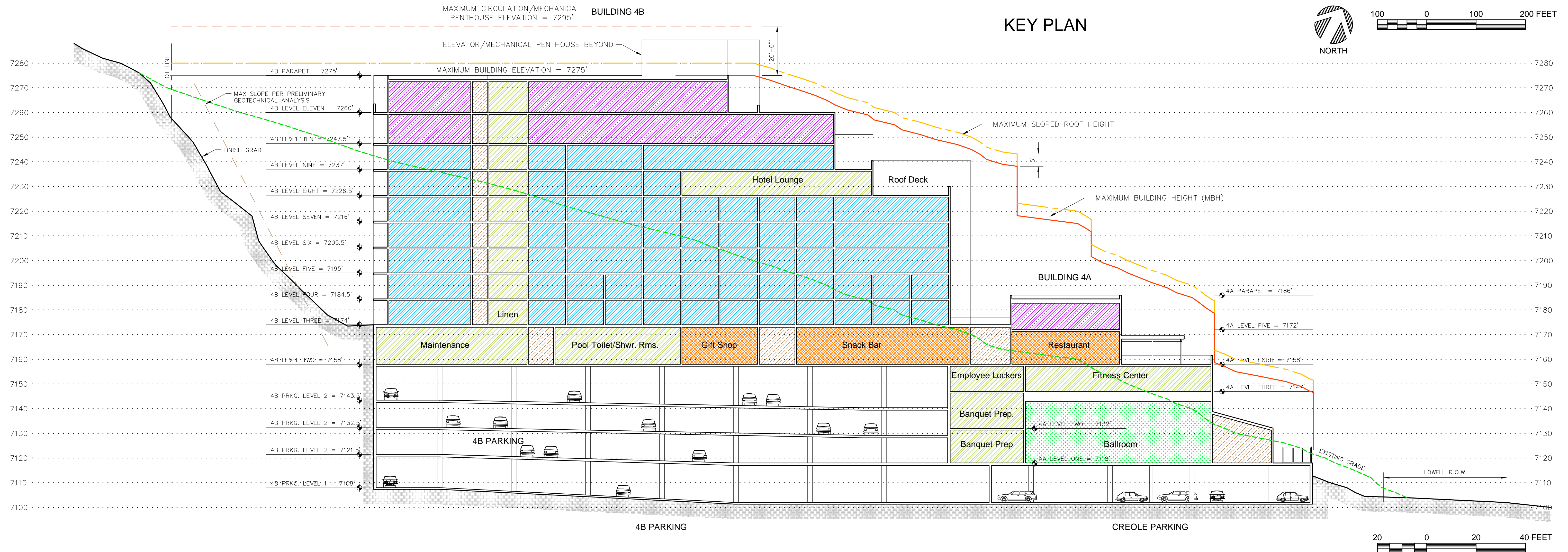




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KEY PLAN

