



Planning Department

## Historic Preservation Board Staff Report

**Author:** Hannah M. Tyler, Planner  
**Subject:** Reorientation and Material Deconstruction Review  
**Address:** 424 Woodside Avenue  
**Project Number:** PL-16-03379  
**Date:** July 19, 2017  
**Type of Item:** Administrative – Reorientation (Rotation and Lifting) and Disassembly/Reassembly (Panelization)

### **Summary Recommendation:**

Staff recommends the Historic Preservation Board review the (1) Reorientation (Rotation and Lifting) and (2) Disassembly/Reassembly (Panelization) of the Significant Structure at 424 Woodside Avenue, conduct a public hearing, and deny the Reorientation and Material Deconstruction pursuant to the following findings of fact, conclusions of law, and conditions of approval.

### **Topic:**

**Address:** 424 Woodside Avenue  
**Zoning:** Historic Residential (HR-1) District  
**Designation:** Significant  
**Applicant:** Jon and Heather Berkley (Represented by Jonathan DeGray, Architect)  
**Proposal:** (1) Reorient the Historic Structure towards Woodside Avenue (west). The primary façade of the Historic Structure currently faces towards Main Street (east), and the applicant is proposing to reorient the building 180 degrees towards Woodside Avenue. The Historic Structure will be lifted 7 feet 7 ¾ inches upon reorientation.  
(2) Panelize the Historic Structure in order to facilitate the reorientation.

### **Background:**

The Duplex Dwelling located at 424 Woodside Avenue is listed as “Significant” on the Park City Historic Sites Inventory (HSI). The property consists of a Historic Single-Family dwelling that had an addition constructed in 1993 to create a Duplex Dwelling. The property is located in the Historic Residential (HR-1) zone current use of the property is a Duplex Dwelling. The Historic portion of the existing Duplex Dwelling will be referred to as the “Historic Structure” herein.

The Historic Structure is oriented towards Main Street in that the original primary entrance faces east. In 1993, a 700 square foot (SF) addition was constructed to the south of the Historic Structure to create the Duplex Dwelling Use. The Historic Structure is one (1) unit of the Duplex and the 1993 addition contains the other unit. In 2005, a Plat Amendment was approved creating a 75 foot wide lot by combining three (3) existing lots into one legal lot of record.

In 2011, a Historic District Design Review (HDDR) application was submitted for the Reorientation and Relocation of the Historic Structure and construction of a new Addition. The HDDR proposal triggered a Variance. In 2011, the Variance application was submitted for a Height Exception and for Front and Side Yard Setback Exception(s) citing a hardship regarding the elevation of Woodside Avenue in relation to the Historic Structure and the orientation towards Main Street (east) rather than the modern-day Public Right-of-Way (Woodside Avenue).

Historically, the Historic Structure was associated with a network of pedestrian paths on the east side of the structure that connected the residence to Main Street. The networks of pedestrian paths would have been similar to those found today on the east side of Old Town that exists in the McHenry Avenue neighborhood, such as the connected walking paths that lead off of Shorty's Stairs.

The Variance was Denied by the Board of Adjustment (2011 Variance Staff Report – Exhibit E; 2011 Variance Minutes – Exhibit F). Staff finds that the conditions of the property in 2011, outlined specifically in Finding of Fact #16 of the Board of Adjustment Staff Report have not changed to date. Finding of Fact #16 states:

“The alleged hardship comes from conditions general to the neighborhood, not from circumstances peculiar to this property. Several houses on the downhill side of the street are situated in much the same way as the applicant's home. The positioning of the home on the lot is not unique to this area as many homes were constructed in a manner that allowed the home to face downward towards Main Street, The applicant previously combined three lots and has ample room to expand the existing non-historic portion of the home to add additional living space.”

On November 16, 2016, the applicant submitted a HDDR Application for the subject property. The project scope of the HDDR included:

- Reorient (rotate) the Historic Structure so that the primary entrance faces Woodside Avenue (west).
- Lift the Historic Structure 7 feet 7 <sup>3</sup>/<sub>4</sub> inches upon reorientation to “align with Woodside Avenue” and accommodate a basement addition.
- Panelize the Historic Structure in order to facilitate the reorientation.
- Remodel the existing non-historic addition.
- Construct an addition to the rear (now east facing) façade of the Historic Structure.

After working with the applicant on the required materials for their submittal, the current HDDR application was deemed complete on March 2, 2017. The current HDDR application submittal is very similar to that of the 2011 HDDR, however, as proposed, the current HDDR will comply with the applicable Land Management Code (LMC) requirements and will not require a Variance application.

The HDDR application is currently under review and has not yet been approved, as it is dependent on Historic Preservation Board's (HPB) review for Reorientation and Material

Deconstruction. If Reorientation is approved, staff will conduct further review of the proposal, provide comments to the applicant regarding the proposed design, and return to the HPB with a Material Deconstruction review once staff's comments are addressed. At this time, the HPB is only being asked to review the Reorientation and the Panelization.

Figures 1a through 1f identify the current conditions and existing orientation of the Historic Structure towards Main Street (east). Renderings provided by Jonathan DeGray. Photographs provided by Jonathan DeGray and CRSA.

**Figure 1a:** *Current Site Orientation – Photographs West Façade*



**Figure 1b:** *Current Site Orientation – As-Built Rendering West Façade*

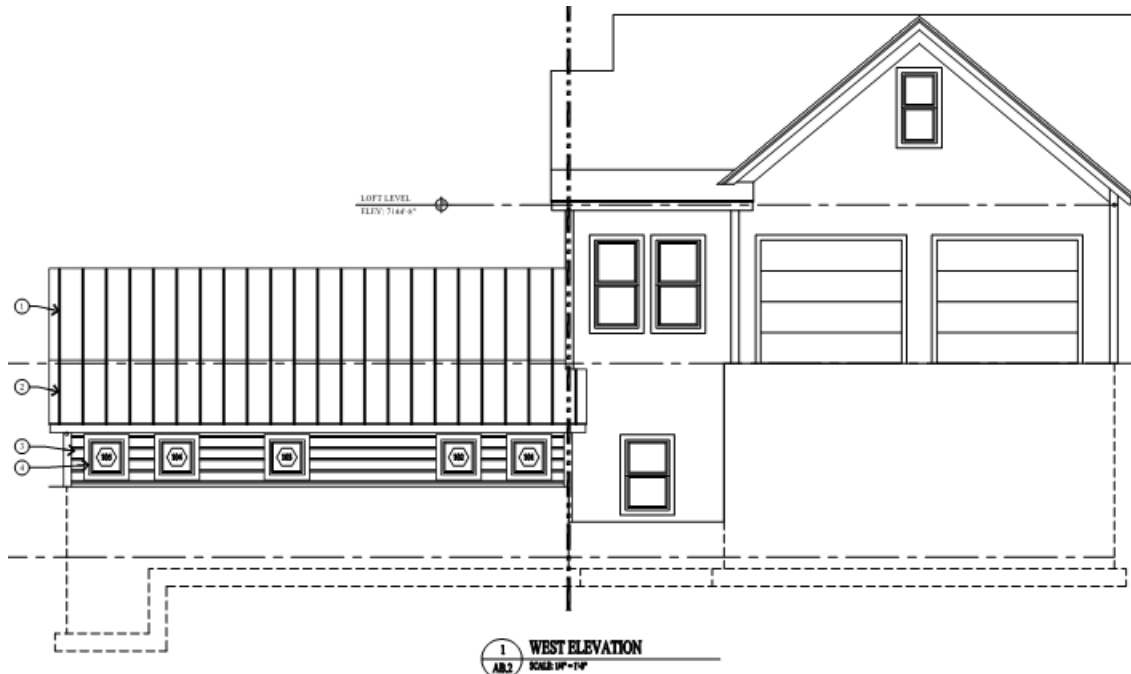


Figure 1c: Current Site Orientation – Photographs North Façade



Figure 1d: Current Site Orientation – As-Built Rendering North Façade





**Figure 1e:** Current Site Orientation – Photographs East Façade



**Figure 1f:** Current Site Orientation – As-Built Rendering East Façade

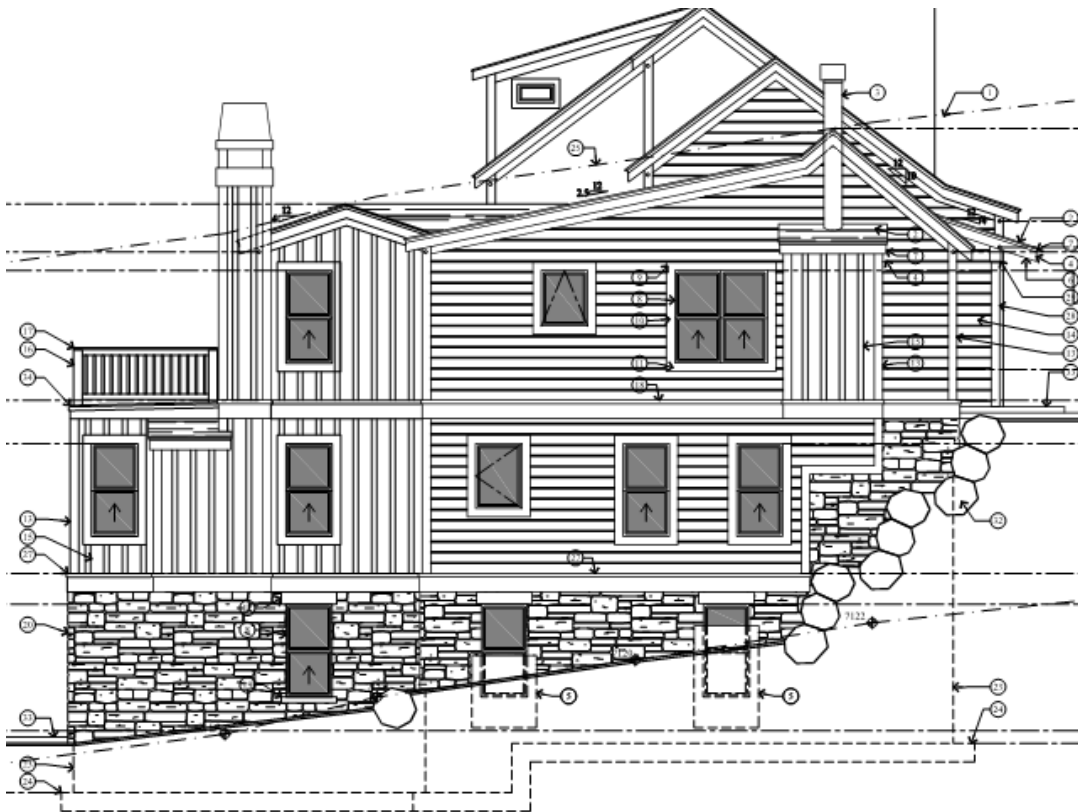


Figures 2a-2d identify the proposed reorientation of the Historic Structures towards Woodside Avenue (west). Renderings provided by Jonathan DeGray.

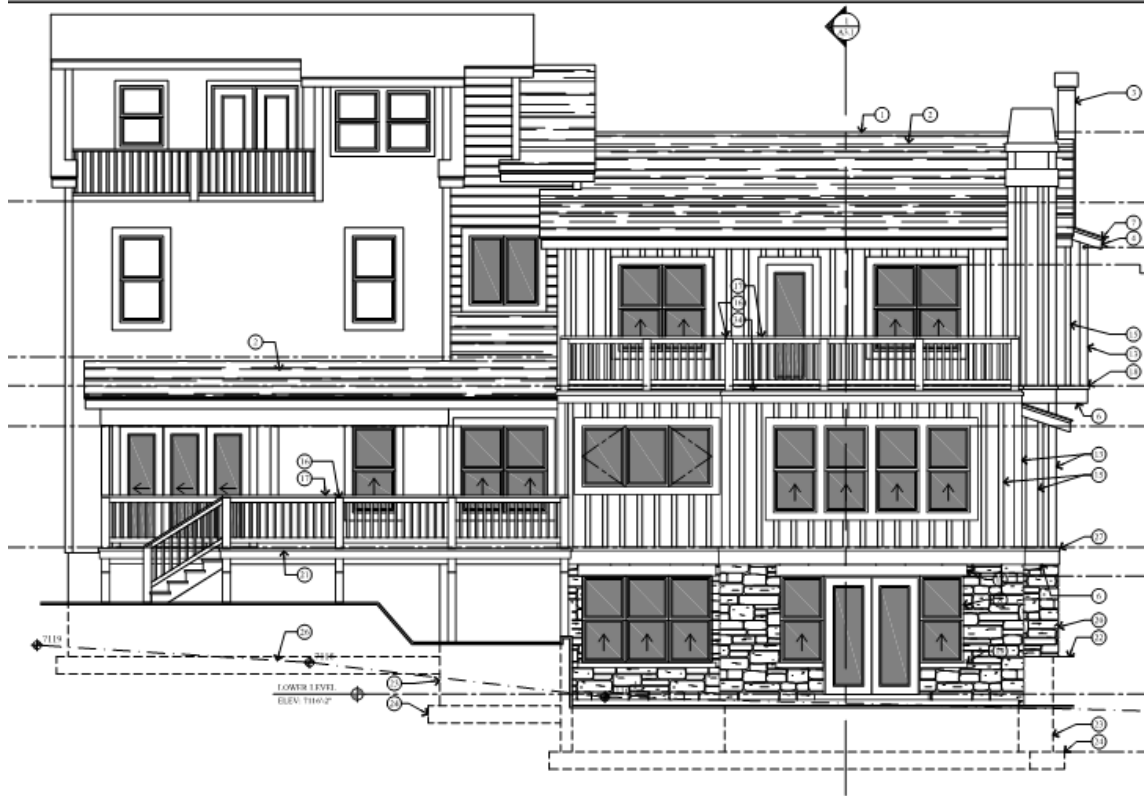
**Figure 2a:** *Proposed Reorientation – West Façade*



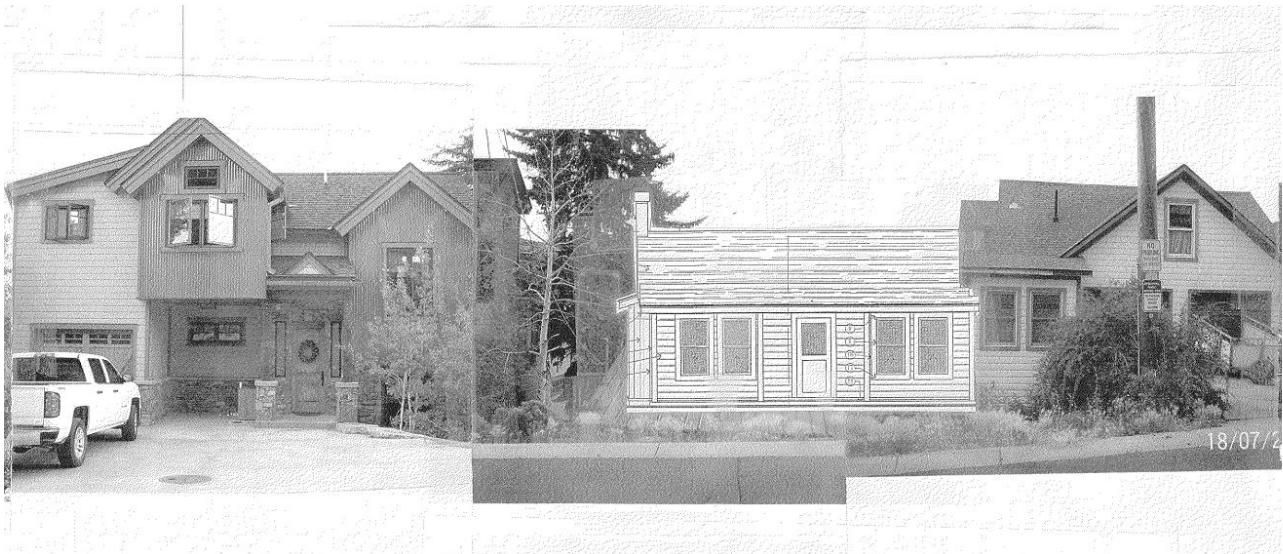
**Figure 2b:** *Proposed Reorientation – West Façade*



**Figure 2c: Proposed Reorientation – North Façade**



**Figure 2d: Proposed Reorientation – Streetscape View (West Façade)**



**424 Woodside Avenue Developmental History:**

The 424 Woodside Avenue Duplex Dwelling is designated as “Significant” on the Park City Historic Sites Inventory (HSI). According to Summit County, the Historic Structure located at 424 Woodside Avenue was constructed ca. 1900. Based on additional analysis by the Planning Department’s Historic Preservation Consultant, Anne Oliver

(Principal Investigator, SWCA Environmental Consultants), staff finds that the Historic Structure may have an earlier construction date (see Exhibit K for Anne Oliver's complete Assessment of Proposed Reorientation). According to the Intensive Level Survey (Exhibit D), the title search indicates that several mortgagees were taken out on the property in 1886, likely for the construction of a house. Anne Oliver finds that because of the title search evidence and the Sanborn Fire Insurance Maps (Sanborn Maps), the Historic Structure was likely constructed prior to 1900. Staff concurs with Anne Oliver and finds that the Historic Structure was constructed ca. 1886.

The Park City HSI identifies the Historic Structure as significant to the Mature Mining Era (1894-1930). Anne Oliver provided the following analysis depicted from historic photographs, Sanborn Maps, and current as-built drawings:

- Originally, the Historic Structure was a hall-parlor type single-family dwelling with a side-gabled roof; it was built on a relatively steep slope that was terraced toward the rear of the house (the Woodside Avenue side) to provide a more level building lot.
- The Historic Structure first appears on the 1889 Sanborn Fire Insurance Map as a wood-framed and wood-sided house originally faced east, providing a view of Main Street. Physical evidence and the 1889 Sanborn map indicate that it had a small shed-roofed wing on the south end of the rear (west) side but no front porch.
- By 1900, the original shed-roofed wing had been extended across the rear (west) side.

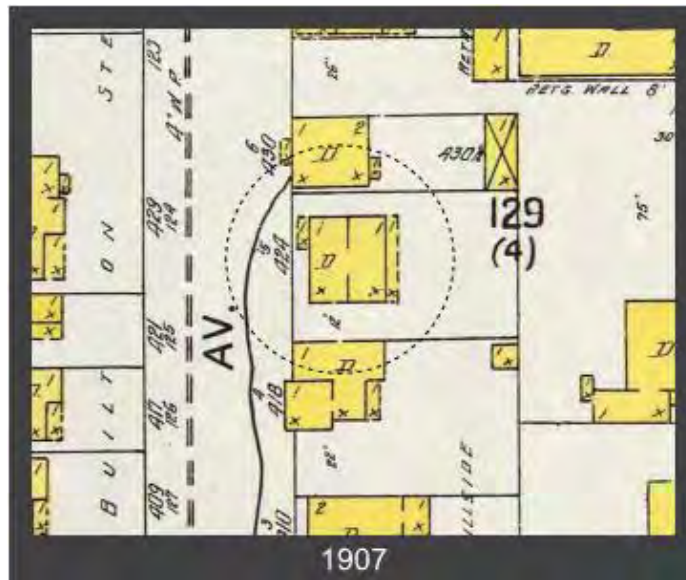
**Figure 3: 1889 and 1900 Sanborn Fire Insurance Map**



- The 1907 Sanborn Map indicates that a formal front porch was added to the east side, further defining it as the primary façade, at the same time that a secondary entry porch was added to the west side. The house retained this configuration through 1930.



**Figure 4:** 1907 Sanborn Fire Insurance Map



- As visible in historic photographs, the principal façade was composed of a central doorway flanked by a window on each side. Woodside Avenue was present to the west but, in the pedestrian-oriented city of the time, access to the house was via a footpath leading north from Fourth Street behind the Park Avenue houses, and then a short staircase leading up to the east façade (obscured by houses in the foreground). The orientation of houses along the uphill (west) side of Woodside was uniformly east-facing, while orientations along the downhill (east) side was mixed, with some facing Woodside Avenue and others Main Street.

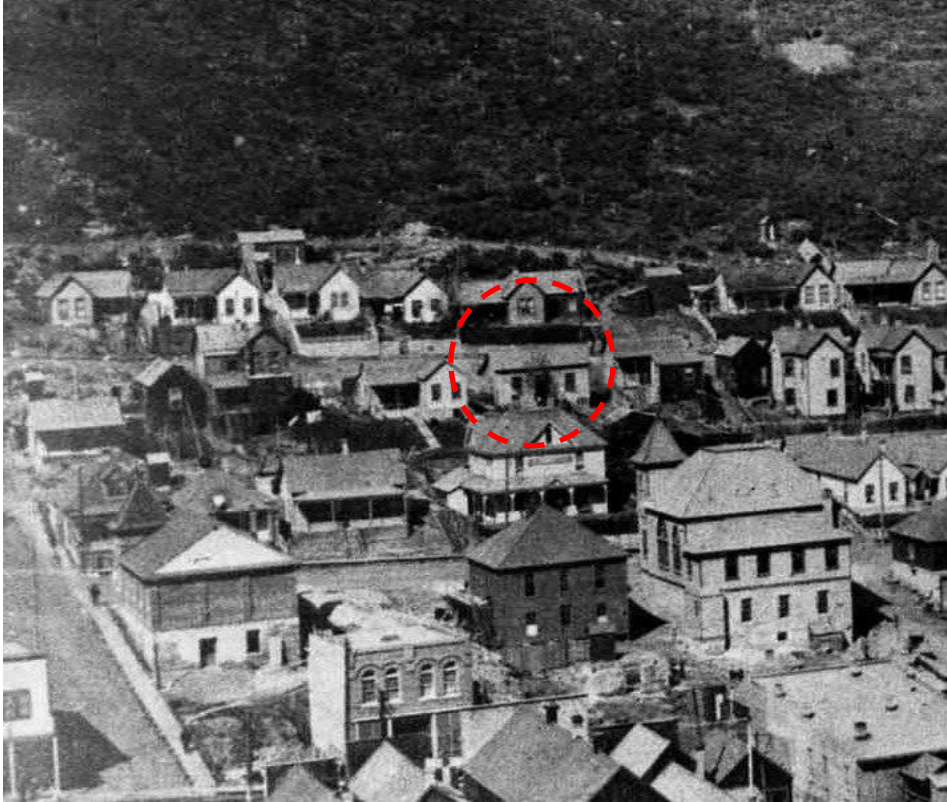
**Figure 5:** View of property ca. 1905-1907, facing west-northwest (circled in red). Note retention of simple hall-parlor form and continued absence of front porch on east side. Photograph provided by Jonathan DeGray courtesy of Park City Historical Society and Museum



**Figure 6:** View of property ca. 1905-1907 facing north-west (circled in red). Note retention of simple hall-parlor form and continued absence of front porch on east side. Photograph provided by Jonathan DeGray courtesy of Park City Historical Society and Museum



**Figure 7:** View of property in 1907, facing west-northwest (circled in red). Note simple hall-parlor form, east-facing aspect with a view across canyon, and access via a footpath leading north from Fourth Street behind the Park Avenue houses. Note the absence of a front porch on east side, although according to the 1907 Sanborn map a porch was added in this year. Also note the mix of house orientations along the downhill (east) side of Woodside, with some facing the street and others the canyon. Photograph provided by Jonathan DeGray courtesy of Park City Historical Society and Museum





**Figure 8:** 1929 Sanborn Fire Insurance Map



**Figure 9:** View of property at 424 Woodside in 1930, facing northwest. Note the retention of the simple hall-parlor form and addition of hip-roofed front porch, which was removed by 1941 according to the Sanborn Map. Photograph provided by Jonathan DeGray courtesy of Park City Historical Society and Museum.



- By 1941, a second shed-roofed addition had been built across the west side, incorporating the 1907 rear screened porch and essentially filling the terrace between the rear wall of the house and the retaining wall so that the eave was nearly at grade. The front porch had been removed and asbestos shingles had been applied over the original wood siding by this time.

**Figure 10:** 1941 Sanborn Fire Insurance Map



**Figure 11:** Tax appraisal photograph of property at 424 Woodside dating to ca. 1941, facing southeast.



- Asbestos shingle siding was also noted on the 1957 tax appraisal card, which also documents the absence of an east porch.
- The 1968 tax appraisal card indicates that a porch had been rebuilt across the east façade.
- Between 1978 and 1993, the east façade was modified by the addition of a sunroom across the north two-thirds (which likely was created by enclosing the ca. 1968 front porch), covering the original doorway and north window. The interior floor plan indicates that these historic openings were completely removed or covered at the time. As well, the south window on the east façade was enlarged to accommodate two one-over-one windows (see as-built drawings in Exhibit I). The asbestos shingles were also removed during this period and replaced with new drop siding; on the west and north elevations this was applied



over the original 1 x 12 vertical plank sheathing. It appears that all original windows and doors were replaced as well (see as-built drawings in Exhibit I).

- The historic house was extensively rehabilitated and altered in 1993, when the large south addition was built. The south wall of the historic house (between the historic house and the addition) was completely rebuilt and no original materials remain in the east wall. The south addition was enlarged with an east-facing dormer in about 2005 (see as-built drawings in Exhibit I).
- Through time, as Woodside Avenue has been paved, improved, and widened with curb, gutter, and sewer, the level of the road has risen higher above the rear (west) wall and terrace of the house at 424 Woodside. The change in width is uncertain, as is the change in historic grade, but it is likely to be a few feet in both cases.

### **Analysis:**

*Please note that staff is aware of discrepancies in the renderings of the reoriented Historic Structure regarding an accurate depiction of the Historic Form. Staff will address these and any other issues pertaining to the design after Final Action is taken by the HPB pertaining to the Reorientation and Panelization. After in-depth discussions with the applicant, staff determined that the first step in their review process shall be to determine if Reorientation is possible. If denied, there will be a redesign so this would save architectural fees and time allotted in the process. Staff is confident that regardless of the decision made by the HPB, the final design will be compliant with the LMC and applicable Design Guidelines. As stated previously, a Material Deconstruction review by HPB will be required at a later date – the renderings will be updated to staff's satisfaction prior to that HPB review.*

This analysis will address both proposals as they are closely related, though there are two (2) sets of Findings of Fact and Conclusions of Law:

*Proposal #1:* The applicant proposes to reorient (rotate) the Historic Structure towards Woodside Avenue. As a part of the reorientation, the structure will be panelized and lifted 7 feet 7 ¾ inches.

*Proposal #2:* The applicant is also proposing to panelize the Historic Structure in order to facilitate the reorientation.

The proposal will comply with the required ten foot (10') Front Yard Setback and minimum five foot (5') Side Yard Setback (total of 18 feet [18'] required), as dictated by the Historic Residential (HR-1) zoning district, described in [Land Management Code \(LMC\) 15-2.2-3](#). In addition, the Historic Structure will comply with the 27 foot height requirement, described in [LMC 15-2.2-5](#). Staff has provided analysis based on the [Design Guidelines for Historic Sites](#) and [LMC 15-11-13](#).

### **Design Guidelines for Historic Sites**

The *Design Guidelines for Historic Sites* provide guidance on lifting Historic Structures (page 31-32), the Relocation and/or Reorientation of Intact Buildings (pages 36-37), and Disassembly/Reassembly of all or part of Historic Structures (page 37-38). Staff commentary can be found in **bold** and *italics* below.

Staff and the Design Review Team have reviewed the proposed reorientation, lifting, and panelization of the Historic Structure using the Design Guidelines for Historic Sites. Staff and the Design Review team do not find that the proposal complies with Design Guidelines B.3 Foundations, E.1 Protection for the Historic Site and F. Disassembly/Reassembly of all or part of a Historic Structure. As stated previously in this staff report and in the 2011 Variance Staff Report (Exhibit E), the relationship between the orientation of the Historic Structure and Main Street is important in conveying the history of the Historic District and this site. Anne Oliver provided an in-depth analysis of the site significance and integrity using the National Park Service (NPS) definition of Significance and Integrity. She stated:

*“The house at 424 Woodside remains in its original location and therefore retains that aspect of integrity, including its original orientation to the east and its siting on a small terrace below the street. And although much of the original setting has been lost, including adjacent historic houses, footpaths, staircases, and open space, the house at 424 Woodside retains its relationship to that earlier setting through its orientation and position on a shallow terrace below street level. The property is one of the few reminders of the historic development pattern on a part of the street where much of it has been lost, and is thus important in maintaining a district-wide sense of the historic setting.*

*(...)*

*In summary, the house at 424 Woodside retains integrity in the component aspect of location, as well as diminished but significant integrity in the aspects of setting and design. Because the property has already been so altered, it will be critical to preserve these aspects if 424 Woodside is to remain a Significant Site on the HSI and a contributing resource in the historic district.”*

*The Design Guidelines address lifting Historic Structures to accommodate a foundation. The guidelines specifically state:*

## **B. PRIMARY STRUCTURES**

### **B.3. Foundations**

B.3.1 A new foundation should not raise or lower the historic structure generally more than two (2) feet from its original floor elevation. See D.4 for exceptions.

**Does not comply.**

B.3.2 The original placement, orientation, and grade of the historic building should be retained. **Does not comply.**

B.3.3 If the original grade cannot be achieved, no more than two (2) feet of the new foundation should be visible above finished grade on the primary and secondary facades. **Does not comply.**

*The proposal does not comply with Design Guideline B.3.1 as the proposed lifting will lift the structure 7 feet 7 ¾ inches from its existing floor elevation rather than the permitted 2 feet. Staff has not determined adverse or unique conditions that would warrant the disproportionate lifting. The current site conditions listed in the Findings of Fact of the 2011 Variance are still applicable. The Board of Adjustment based their Denial on conditions of the site that are still existent and are common to the neighborhood, including the elevation of Woodside Avenue.*

*The proposal would not comply with Design Guideline B.3.2 as the original placement, orientation, and grade of the historic building would not be retained. As stated previously, the original placement and orientation are essential to the integrity and significance of the site and prominence within the Historic District. The proposal does not comply with Design Guideline B.3.3 as the proposed lifting would require the foundation to be greater than 2 feet above Final Grade in several locations due to the topography.*

*The Design Guidelines also address the reorientation of Historic Structures. The guidelines specifically state:*

## **E. RELOCATION AND/OR REORIENTATION OF INTACT BUILDINGS**

### **E.1. Protection for the Historic Site**

E.1.1 Relocation and/or reorientation of historic buildings should be considered only after it has been determined by the Design Review Team that the integrity and significance of the historic building will not be diminished by such action and the application meets one of the criterion listed in the sidebar to the left. **Does not comply.**

*“SIDE BAR”:*

In the HRL, HR1, HR2, HRM, and HRC zones, existing Historic Sites that do not comply with building setbacks are considered valid complying structures. Therefore, proposals to relocate and/or reorient a historic building may be considered ONLY:

- if a portion of the historic building encroaches on an adjacent property and an easement cannot be secured **Not applicable**; or
- if relocating the building onto a different site is the only alternative to demolition **Not applicable**; or
- if the Planning Director and Chief Building Official determine that unique conditions warrant the relocation or reorientation on the existing site **Does not comply.**

E.1.2 Relocation and/or reorientation of historic buildings should be considered only after it has been determined that the structural soundness of the building will not be negatively impacted. **Does not comply.**

E.1.3 The structure should be protected from adverse weather conditions, water infiltration, and vandalism before, during, and after the relocation/reorientation process. **Complies.**

E.1.4 If rehabilitation of the structure will be delayed, temporary improvements should be made—roof repairs, windows/doors secured and/ or covered, adequate ventilation—to the structure to protect the historic fabric until rehabilitation can commence. **Complies.**

E.1.5 A written plan detailing the steps and procedures should be completed and approved by the Planning and Building Departments. **Complies.**

*The proposal does not comply with Design Guideline E.1.1 because the reorientation of the Historic Structure will diminish the integrity and significance of the site and its context (this has been discussed at length previously in this staff report and in Exhibit K). Bullet points 1 and 2 of the “Side Bars” are not applicable to the proposal as there are no encroachment issues and the structure is not currently threatened by demolition. The proposal does not comply with Design Guideline E.1.2 as the structure is currently structurally sound and panelization is only necessary to facilitate the proposed reorientation. The proposal would comply with Design Guidelines E.1.3 through E.1.5 as these would be mitigated through proper construction techniques and documentation processes.*

*The Design Guidelines also address disassembly/reassembly (penalization in this case) of Historic Structures. Please note that the LMC now guides Panelization; however, staff finds it important to identify compliance with applicable Design Guidelines. A complete LMC analysis will be provided later in this Analysis Section. The guidelines specifically state:*

## **F. DISASSEMBLY/REASSEMBLY OF ALL OR PART OF A HISTORIC STRUCTURE**

### **F.1. General Principles**

F.1.1 Disassembly of a historic building should be considered only after it has been determined by the Design Review Team that the application meets one of the criteria listed in the sidebar. **Does not comply.**

#### *“SIDE BAR”*

Disassembly/Reassembly of historic structures is not a common practice in the field of Historic Preservation. Therefore, a proposal to disassemble/reassemble a historic structure will be considered ONLY:

- if a licensed structural engineer certifies that the building cannot reasonably be moved intact **Does not comply**; or
- if disassembly/reassembly is the best alternative to demolition **Does not comply**; or
- if the building is determined by the Chief Building Official to be a hazardous or dangerous building, pursuant to Section 115.1 of the International Building Code **Does not comply**; or
- if the Planning Director and the Chief Building Official determine that unique conditions and overall quality of the historic preservation effort warrant the disassembly/reassembly of part or all of the building **Does not comply**, AND
- if it is to be accurately reassembled in its original form, location, placement and orientation **Complies**.

F.1.2 Though disassembly/reassembly is not a common practice in the preservation field, if it must be undertaken, it should be done using recognized preservation methods. **Complies.**



*The proposed panelization does not comply with F.1 General Principles of F. Disassembly/Reassembly of all or part of a Historic Structure. Staff finds that the panelization of the structure is not required as the current Historic Structure is structurally sound. The panelization would result from a “self-inflicted” issue (reorientation) which would result in additional loss of Historic materials and may compromise the little material that is remaining. Staff does not find that there are any conditions on the site that would warrant the additional material loss. As stated previously, staff and the Design Review Team have not determined unique or adverse conditions that would warrant the reorientation of the Historic Structure. Panelization is only necessary in order to reorient the structure towards Woodside Avenue.*

*The HPB shall also review the proposal against the HPB Criteria for Material Deconstruction Review (Exhibit B) and the Criteria for Disassembly found in LMC 15-11-14 (below). Staff does not find that the proposed panelization complies with the Design Guidelines for Disassembly/Reassembly as this structure is currently structurally sound and may risk further material loss.*

Land Management Code 15-11-13 RELOCATION AND/OR REORIENTATION OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.

Additionally, any relocation of a historic building or historic structure must comply with LMC 15-11-13. The HPB shall review staff’s analysis and find that the project complies with the following criteria in order for the relocation to occur. Staff commentary and analysis is in **bold** or *italics* below:

**15-11-13. RELOCATION AND/OR REORIENTATION OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.**

**B. PROCEDURE FOR THE RELOCATION AND/OR REORIENTATION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) TO A PERMANENT NEW SITE.** To approve a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site to a new site, the Historic Preservation Board shall find the project complies with the following criteria.

1. For either a Landmark or Significant Site, all of the following shall be met:
  - a. A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) can successfully be relocated and the applicant has demonstrated that a professional building mover will move the building and protect it while being stored; and
  - b. The proposed relocation will not have a detrimental effect on the structural soundness of the building or structure; **Does not comply.**

*The proposal does not comply as although the applicant has submitted a plan for rotation and staff will require a Structural Engineer’s report, the structure is currently structurally sound and panelization is only necessary to facilitate the proposed reorientation.*

2. Landmark structures shall only be permitted to be relocated to a new site if the relocation will abate demolition and the Planning Director and Chief Building Official find that the relocation will abate a hazardous condition at the present setting and enhance the preservation of the structure. **Not Applicable.**

*This is not applicable as the structure is designated as "Significant" on the Park City Historic Sites Inventory.*

3. For Significant Sites, at least one of the following must be met:
  - a. The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or **Not Applicable.**

*This is not applicable as the structure is not threatened by demolition.*

- b. The Planning Director and Chief Building Official determine that the building is threatened in its present setting because of hazardous conditions and the preservation of the building will be enhanced by relocating it; or **Does not comply.**

*The proposal does not comply as the structure is not threatened by hazardous conditions and the preservation of the building will not be enhanced by relocating it.*

- c. The Historic Preservation Board, with input from the Planning Director and the Chief Building Official, determines that unique conditions warrant the proposed relocation and/or reorientation to a new Site. This criterion is only available to Significant Sites. Unique conditions shall include all of the following:
    - i. The relocation/reorientation will not negatively affect the historic integrity of the Historic District, nor the area of receiving site; and **Does not Comply.**

*As stated previously, staff and the Design Review Team find that the Historic Structure at 424 Woodside Avenue retains integrity in the component aspect of location, as well as diminished but significant integrity in the aspects of setting and design. Because the property has already been so altered, it will be critical to preserve these aspects if 424 Woodside Avenue is to remain a Significant Site on the HSI and a contributing resource in the Historic District.*

- ii. One of the following must also be met:
      - a. The historic building is located within the Historic districts, but its historic context and setting have become so radically

altered that the building may be enhanced by its new setting if the receiving site is more similar to its historic setting in terms of architecture, style, period, height, mass, volume, scale, use and location of the structure on the lot as well as neighborhood features and uses; or **Does not Comply**.

*As stated previously, staff and the Design Review Team find that the house at 424 Woodside remains in its original location and therefore retains that aspect of integrity, including its original orientation to the east and its siting on a small terrace below the street. And although much of the original setting has been lost, including adjacent historic houses, footpaths, staircases, and open space, the house at 424 Woodside retains its relationship to that earlier setting through its orientation and position on a shallow terrace below street level. The property is one of the few reminders of the historic development pattern on a part of the street where much of it has been lost, and is thus important in maintaining a district-wide sense of the historic setting.*

*Anne Oliver stated: "The historic context of 424 Woodside has been radically altered through the construction of additions to the historic house and associated development of non-historic residential infill along the street and on surrounding lots. However, reorienting the building will destroy its remaining integrity, which lies solely in the aspects of location, setting, and design. Reorientation will render the property incapable of conveying its significance in the history of Park City and make it impossible to interpret its historic character."*

- b. The historic building is located outside of the Historic districts, and its historic context and setting have been so radically altered that the building may be enhanced by its new setting if the receiving site is more similar to its historic setting in terms of architecture, style, period, height, mass, volume, scale, use, and location of the structure on the lot as well as neighborhood features and uses; or **Not Applicable**.

*This is not applicable as the Historic Structure is located within the HR-1 Zoning District.*

- d. City Council, with input from the Historic Preservation Board, Planning Director, and Chief Building Official, determines that the Historic Building(s) and/or Structure(s) is deterrent to a major improvement program outside of the Historic districts that will be of Substantial Benefit to the community, such as, but not limited to:
  - a. The relocation of the Historic Building(s) and/or Structure(s) will result in the restoration of the house—both the interior and exterior—in compliance with the Secretary of the Interior's Standards and the relocation will aid in the interpretation of the

history of the Historic Building(s) and/or Structure(s); or **Does not Comply.**

*As stated previously, the reorientation and lifting of the structure will not result aid in the interpretation of the historic of the Historic Building and/or site as the original orientation is crucial to maintaining the remaining integrity that the site retains.*

- b. The relocation of the Historic Building(s) and/or Structure(s) will result in the revitalization of the receiving neighborhood due to the relocation; or **Not applicable.**

*The proposal is not to relocate the Historic Structure to a different site. The reorientation will not result in the revitalization of the existing site.*

- c. The relocation of the Historic Building(s) and/or Structure(s) will result in a new affordable housing development on the original site that creates more units than currently provided on the existing site and the rehabilitation of the Historic Building(s) and/or Structure(s) on the new receiving site. **Does not comply.**

*The proposal will not result in Affordable Housing.*

Land Management Code 15-11-14 DISASSEMBLY AND REASSEMBLY OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.

Additionally, any disassembly/relocation of a historic building or historic structure must comply with LMC 15-11-14. The HPB shall review staff's analysis and find that the project complies with the following criteria in order for the relocation to occur. Staff commentary and analysis is in **bold** or *italics* below:

**15-11-14 DISASSEMBLY AND REASSEMBLY OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.** It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the disassembly and reassembly of Historic Buildings, Structures, and Sites.

- A. **CRITERIA FOR DISASSEMBLY AND REASSEMBLY OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR SIGNIFICANT SITE.** In approving a Historic District or Historic Site design review Application involving disassembly and reassembly of the Historic Building(s) and/or Structure(s) on a Landmark Site or Significant Site, the Historic Preservation Board shall find the project complies with the following criteria:

- 1. A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) cannot reasonably be moved intact **Complies**; and



*The applicant is proposing panelization because the structure cannot be reoriented (rotated) in one piece due to a lack of area to rotate the structure between the neighboring property and the 1993 addition. See Historic Preservation Plan in Exhibit G.*

2. At least one of the following:

- a. The proposed disassembly and reassembly will abate demolition of the Historic Building(s) and/or Structure(s) on the Site **Does not comply**; or

*The proposal does not comply as the Historic Structure is not threatened by demolition.*

- b. The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code **Does not comply**; or

*The proposal does not comply as the historic structure is not threatened by hazardous or dangerous conditions pursuant to Section 116.1 of the International Building Code.*

- c. The Historic Preservation Board determines, with input from the Planning Director and the Chief Building Official, that unique conditions and the quality of the Historic Preservation Plan warrant the proposed disassembly and reassembly; unique conditions include but are not limited to:

1. If problematic site or structural conditions preclude temporarily lifting or moving a building as a single unit **Does not comply**; or

*The Planning Director and Chief Building Official do not find unique site conditions that would warrant a disassembly and reassembly. The structure is currently structurally sound; however the proposal to reorient the structure towards Woodside Avenue would result in the disassembly/reassembly (panelization) of the structure. While there is limited space between the neighboring property and the 1993 addition, staff finds that the current orientation of the structure would facilitate redevelopment without harming the historic structure or creating the potential for further historic material loss.*

2. If the physical conditions of the existing materials prevent temporarily lifting or moving a building and the applicant has demonstrated that panelization will result in the preservation of a greater amount of historic material **Does not comply**; or

*The proposal does not comply as the physical conditions of the existing materials are not in disrepair. The panelization would result in the loss of historic materials and is not required to facilitate a remodel/restoration of the structure.*

3. All other alternatives have been shown to result in additional damage or loss of historic materials.

*The proposal does not comply as a remodel/restoration of the structure is possible in its current location/orientation and would not require panelization.*

Under all of the above criteria, the Historic Structure(s) and or Building(s) must be reassembled using the original materials that are found to be safe and/or serviceable condition in combination with new materials; and

The Building(s) and/or Structure(s) will be reassembled in their original form, location, placement, and orientation.

*As can be seen in Exhibit K, Anne Oliver provided a conclusion to her analysis that staff finds sums up the Design Review Team's analysis and provided an alternative to the proposed Reorientation (rotation and lifting) and Material Deconstruction (Panelization):*

*The reorientation of the historic house at 424 Woodside Avenue will have a significant effect on its integrity, which has already been compromised by an addition and alterations on the east side and the large addition on the south side. In fact reorientation will diminish integrity to the degree that the property can no longer be considered a Significant Site as defined in PCMC's LMC and Design Guidelines.*

*An option consistent with PCMC's LMC and Historic District Design Guidelines would be to raise the house two feet while maintaining its original orientation (see Section B.3. Foundations). This will allow for the addition of a modern foundation, promote material preservation of the house, and improve visibility from Woodside, thereby counteracting the adverse effects of the raised and widened roadbed to a significant degree. Raising the historic house two feet is also encouraged because it will improve the relationship with the south addition by making the historic house less visually and physically subordinate and increasing general compatibility, as discussed in Section D (Additions to Historic Structures) of the Design Guidelines.*

**Process:**

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the "Criteria for Relocation and/or Reorientation of the Historic Structure." The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

**Notice:**

On July 1, 2017 Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces. Staff sent a mailing notice to property owners within 100 feet on and posted the property on July 5, 2017.

**Recommendation:**

Staff recommends the Historic Preservation Board review the (1) Reorientation (Rotation and Lifting) and (2) Disassembly/Reassembly(Panelization) of the Significant Structure at 424 Woodside Avenue, conduct a public hearing, and deny the Reorientation and Material Deconstruction pursuant to the following findings of fact, conclusions of law, and conditions of approval.

**Finding of Fact for Proposal #1: Reorientation of a Historic Structure:**

1. The applicant, Jon and Heather Berkley (Represented by Jonathan DeGray, Architect), are proposing to (1) Reorient the Historic Structure towards Woodside Avenue (west). The primary façade of the Historic Structure currently faces towards Main Street (east), and the applicant is proposing to reorient the building 180 degrees towards Woodside Avenue. The Historic Structure will be lifted 7 feet 7 <sup>3</sup>/<sub>4</sub> inches upon reorientation. (2) Panelize the Historic Structure in order to facilitate the reorientation.
2. The Duplex Dwelling located at 424 Woodside Avenue is listed as “Significant” on the Park City Historic Sites Inventory (HSI).
3. The property is located in the Historic Residential (HR-1) zone.
4. The Historic Structure faces towards Main Street in that the original primary entrance faces east. In 1993, a 700 square foot (SF) addition was constructed to the south of the Historic Structure to create the Duplex Dwelling Use.
5. In 2005 a Plat Amendment was approved creating a 75 foot wide lot by combining three (3) existing lots into one legal lot of record. The Historic Structure straddles two (2) of the three (3) lots that were combined.
6. In 2011, a Historic District Design Review (HDDR) application was submitted for the Reorientation and Relocation of the Historic Structure and construction of a new Addition. The HDDR proposal triggered a Variance.
7. In 2011, the Variance application was submitted for a Height Exception and for Front and Side Yard Setback Exception(s) citing a hardship regarding the elevation of Woodside Avenue in relation to the Historic Structure and the orientation towards Main Street (east) rather than the modern-day Public Right-of-Way (Woodside Avenue).
8. The Variance was Denied by the Board of Adjustment. Staff finds that the conditions of the property in 2011, outlined specifically in Finding of Fact #16 of the 2011 Variance Staff Report have not changed to date.

9. Historically, the Historic Structure was associated with a network of pedestrian paths on the east side of the structure that connected the residence to Main Street.
10. On November 16, 2016, the applicant submitted a HDDR Application for the subject property. The project scope of the HDDR included: Reorient (rotate) the Historic Structure so that the primary entrance faces Woodside Avenue (west); Lift the Historic Structure 7 feet 7 <sup>3</sup>/<sub>4</sub> inches upon reorientation to "align with Woodside Avenue" and accommodate a basement addition; Panelize the Historic Structure in order to facilitate the reorientation; Remodel the existing non-historic addition; and Construct an addition to the rear (now east facing) façade of the Historic Structure.
11. After working with the applicant on the required materials for their submittal, the current HDDR application was deemed complete on March 2, 2017.
12. The HDDR application is currently under review and has not yet been approved, as it is dependent on Historic Preservation Board's (HPB) review for Reorientation and Material Deconstruction.
13. The Historic Structure was constructed ca. 1886. The Park City HSI identifies the Historic Structure as significant to the Mature Mining Era (1894-1930).
14. Originally, the Historic Structure was a hall-parlor type single-family dwelling with a side-gabled roof; it was built on a relatively steep slope that was terraced toward the rear of the house (the Woodside Avenue side) to provide a more level building lot.
15. The Historic Structure first appears on the 1889 Sanborn Fire Insurance Map as a wood-framed and wood-sided house originally faced east, providing a view over Main Street. Physical evidence and the 1889 Sanborn map indicate that it had a small shed-roofed wing on the south end of the rear (west) side but no front porch.
16. By 1900, the original shed-roofed wing had been extended across the rear (west) side.
17. In 1907, the Sanborn Map indicates that a formal front porch was added to the east side, further defining it as the primary façade, at the same time that a secondary entry porch was added to the west side. The house retained this configuration through 1930.
18. The principal façade was composed of a central doorway flanked by a window on each side. Woodside Avenue was present to the west but, access to the house was via a footpath leading north from Fourth Street behind the Park Avenue houses, and then a short staircase leading up to the east façade. The orientation of houses along the uphill (west) side of Woodside was uniformly east-facing, while orientations along the downhill (east) side was mixed, with some facing the street and others the canyon.
19. By 1941, a second shed-roofed addition had been built across the west side, incorporating the 1907 rear screened porch and essentially filling the terrace between the rear wall of the house and the retaining wall so that the eave was nearly at grade. The front porch had been removed and asbestos shingles had been applied over the original wood siding by this time.
20. Asbestos shingle siding was noted on the 1957 tax appraisal card, which also documents the absence of an east porch.
21. The 1968 tax appraisal card indicates that a porch had been rebuilt across the east façade.
22. Between 1978 and 1993, the east façade was modified by the addition of a sunroom across the north two-thirds, covering the original doorway and north window.

23. The proposal will comply with the required ten foot (10') Front Yard Setback and minimum five foot (5') Side Yard Setback (total of 18 feet [18'] required), as dictated by the Historic Residential (HR-1) zoning district, described in Land Management Code (LMC) 15-2.2-3. In addition, the Historic Structure will comply with the 27 foot height requirement, described in LMC 15-2.2-5.
24. The proposal does not comply with Design Guideline B.3.1 as the proposed lifting will lift the structure 7 feet 7 ¾ inches from its existing floor elevation rather than the permitted 2 feet. Staff has not determined adverse or unique conditions that would warrant the disproportionate lifting.
25. The current site conditions listed in the Findings of Fact of the 2011 Variance are still applicable. The Board of Adjustment based their Denial on conditions of the site that are still existent and are common to the neighborhood, including the elevation of Woodside Avenue.
26. The proposal would not comply with Design Guideline B.3.2 as the original placement, orientation, and grade of the historic building would not be retained. The relationship between the orientation of the Historic Structure and Main Street is important in conveying the history of the Historic District and this site.
27. The proposal does not comply with Design Guideline B.3.3 as the proposed lifting would require the foundation to be greater than 2 feet above Final Grade in several locations due to the topography.
28. The proposal does not comply with Design Guideline E.1.1 because the reorientation of the Historic Structure will diminish the integrity and significance of the site and its context.
29. Bullet points 1 and 2 of the "Side Bars" for E.1.1 are not applicable to the proposal as there are no encroachment issues and the structure is not currently threatened by demolition.
30. The proposal would comply with Design Guidelines E.1.2 through E.1.5 as these would be mitigated through proper construction techniques and documentation processes.
31. The proposal complies with LMC 15-11-13(B)(1) as the applicant has submitted a plan for rotation and staff will require a Structural Engineer's report. The Historic Structure would remain structurally sound when it was reattached to a new structure in the new orientation.
32. LMC 15-11-13(B)(2) is not applicable as the structure is designated as "Significant" on the Park City Historic Sites Inventory.
33. LMC 15-11-13(B)(3)(a) is not applicable as the structure is not threatened by demolition.
34. The proposal does not comply with LMC 15-11-13(B)(3)(b) as the structure is not threatened by hazardous conditions and the preservation of the building will not be enhanced by relocating it.
35. The proposal does not comply with LMC 15-11-13(B)(3)(c)(i) as staff and the Design Review Team find that the Historic Structure at 424 Woodside Avenue retains integrity in the component aspect of location, as well as diminished but significant integrity in the aspects of setting and design. Because the property has already been so altered, it will be critical to preserve these aspects if 424 Woodside Avenue is to remain a Significant Site on the HSI and a contributing resource in the Historic District.

36. The proposal does not comply with LMC 15-11-13(B)(3)(c)(ii)(a) as staff and the Design Review Team find that the house at 424 Woodside remains in its original location and therefore retains that aspect of integrity, including its original orientation to the east and its siting on a small terrace below the street. And although much of the original setting has been lost, including adjacent historic houses, footpaths, staircases, and open space, the house at 424 Woodside retains its relationship to that earlier setting through its orientation and position on a shallow terrace below street level. The property is one of the few reminders of the historic development pattern on a part of the street where much of it has been lost, and is thus important in maintaining a district-wide sense of the historic setting.
37. LMC 15-11-13(B)(3)(c)(ii)(b) is not applicable as the Historic Structure is located within the HR-1 Zoning District.
38. The proposal does not comply with LMC 15-11-13(B)(3)(d)(a) as the reorientation and lifting of the structure will not result aid in the interpretation of the historic of the Historic Building and/or site as the original orientation is crucial to maintaining the remaining integrity that the site retains.
39. LMC 15-11-13(B)(3)(d)(b) is not applicable as the proposal is not to relocate the Historic Structure to a different site. The reorientation will not result in the revitalization of the existing site.
40. The proposal does not comply with LMC 15-11-13(B)(3)(d)(c) as the proposal will not result in Affordable Housing.
41. The reorientation of the historic house at 424 Woodside Avenue will have a significant effect on its integrity, which has already been compromised by an addition and alterations on the east side and the large addition on the south side. Reorientation will diminish integrity to the degree that the property can no longer be considered a Significant Site as defined in the LMC and Design Guidelines.

### **Conclusions of Law:**

1. The proposal does not meet the criteria for reorientation pursuant to LMC 15-11-13 Reorientation of a Historic Building or Historic Structure.

### **Finding of Fact for Proposal #2: Material Deconstruction (Panelization):**

1. The applicant, Jon and Heather Berkley (Represented by Jonathan DeGray, Architect), are proposing to (1) Reorient the Historic Structure towards Woodside Avenue (west). The primary façade of the Historic Structure currently faces towards Main Street (east), and the applicant is proposing to reorient the building 180 degrees towards Woodside Avenue. The Historic Structure will be lifted 7 feet 7 ¾ inches upon reorientation. (2) Panelize the Historic Structure in order to facilitate the reorientation.
2. The Duplex Dwelling located at 424 Woodside Avenue is listed as “Significant” on the Park City Historic Sites Inventory (HSI).
3. The property is located in the Historic Residential (HR-1) zone.
4. The Historic Structure faces towards Main Street in that the original primary entrance faces east. In 1993, a 700 square foot (SF) addition was constructed to the south of the Historic Structure to create the Duplex Dwelling Use.

5. In 2005 a Plat Amendment was approved creating a 75 foot wide lot by combining three (3) existing lots into one legal lot of record. The Historic Structure straddles two (2) of the three (3) lots that were combined.
6. In 2011, a Historic District Design Review (HDDR) application was submitted for the Reorientation and Relocation of the Historic Structure and construction of a new Addition. The HDDR proposal triggered a Variance.
7. In 2011, the Variance application was submitted for a Height Exception and for Front and Side Yard Setback Exception(s) citing a hardship regarding the elevation of Woodside Avenue in relation to the Historic Structure and the orientation towards Main Street (east) rather than the modern-day Public Right-of-Way (Woodside Avenue).
8. The Variance was Denied by the Board of Adjustment. Staff finds that the conditions of the property in 2011, outlined specifically in Finding of Fact #16 of the 2011 Variance Staff Report have not changed to date.
9. Historically, the Historic Structure was associated with a network of pedestrian paths on the east side of the structure that connected the residence to Main Street.
10. On November 16, 2016, the applicant submitted a HDDR Application for the subject property. The project scope of the HDDR included: Reorient (rotate) the Historic Structure so that the primary entrance faces Woodside Avenue (west); Lift the Historic Structure 7 feet 7 ¾ inches upon reorientation to “align with Woodside Avenue” and accommodate a basement addition; Panelize the Historic Structure in order to facilitate the reorientation; Remodel the existing non-historic addition; and Construct an addition to the rear (now east facing) façade of the Historic Structure.
11. After working with the applicant on the required materials for their submittal, the current HDDR application was deemed complete on March 2, 2017.
12. The HDDR application is currently under review and has not yet been approved, as it is dependent on Historic Preservation Board’s (HPB) review for Reorientation and Material Deconstruction.
13. The Historic Structure was constructed ca. 1886. The Park City HSI identifies the Historic Structure as significant to the Mature Mining Era (1894-1930).
14. Originally, the Historic Structure was a hall-parlor type single-family dwelling with a side-gabled roof; it was built on a relatively steep slope that was terraced toward the rear of the house (the Woodside Avenue side) to provide a more level building lot.
15. The Historic Structure first appears on the 1889 Sanborn Fire Insurance Map as a wood-framed and wood-sided house originally faced east, providing a view over Main Street. Physical evidence and the 1889 Sanborn map indicate that it had a small shed-roofed wing on the south end of the rear (west) side but no front porch.
16. By 1900, the original shed-roofed wing had been extended across the rear (west) side.
17. In 1907, the Sanborn Map indicates that a formal front porch was added to the east side, further defining it as the primary façade, at the same time that a secondary entry porch was added to the west side. The house retained this configuration through 1930.
18. The principal façade was composed of a central doorway flanked by a window on each side. Woodside Avenue was present to the west but, access to the house was via a footpath leading north from Fourth Street behind the Park Avenue houses, and then a short staircase leading up to the east façade. The orientation of houses along



the uphill (west) side of Woodside was uniformly east-facing, while orientations along the downhill (east) side was mixed, with some facing the street and others the canyon.

19. By 1941, a second shed-roofed addition had been built across the west side, incorporating the 1907 rear screened porch and essentially filling the terrace between the rear wall of the house and the retaining wall so that the eave was nearly at grade. The front porch had been removed and asbestos shingles had been applied over the original wood siding by this time.
20. Asbestos shingle siding was noted on the 1957 tax appraisal card, which also documents the absence of an east porch.
21. The 1968 tax appraisal card indicates that a porch had been rebuilt across the east façade.
22. Between 1978 and 1993, the east façade was modified by the addition of a sunroom across the north two-thirds, covering the original doorway and north window.
23. The proposal will comply with the required ten foot (10') Front Yard Setback and minimum five foot (5') Side Yard Setback (total of 18 feet [18'] required), as dictated by the Historic Residential (HR-1) zoning district, described in Land Management Code (LMC) 15-2.2-3. In addition, the Historic Structure will comply with the 27 foot height requirement, described in LMC 15-2.2-5.
24. The proposed panelization does not comply with F.1 General Principles of F. Disassembly/Reassembly of all or part of a Historic Structure. Staff finds that the panelization of the structure is not required as the current Historic Structure is structurally sound.
25. The panelization would result from a "self-inflicted" issue (reorientation) which would result in additional loss of Historic materials and may compromise the little material that is remaining.
26. There are any conditions on the site that would warrant the additional material loss.
27. There are no unique or adverse conditions that would warrant the reorientation of the Historic Structure. Panelization is only necessary in order to reorient the structure towards Woodside Avenue.
28. The HPB shall review the proposed panelization against the HPB Criteria for Material Deconstruction Review.
29. Staff does not find that the proposed panelization complies with the Design Guidelines for Disassembly/Reassembly as this structure is currently structurally sound and may risk further material loss.
30. The proposal complies with LMC 15-11-14(A)(1) as the applicant is proposing panelization because the structure cannot be reoriented (rotated) in one piece due to a lack of area to rotate the structure between the neighboring property and the 1993 addition. See Historic Preservation Plan in Exhibit G.
31. The proposal does not comply with 15-11-14(2)(a) as the Historic Structure is not threatened by demolition.
32. The proposal does not comply with 15-11-14(2)(b) as the historic structure is not threatened by hazardous or dangerous conditions pursuant to Section 116.1 of the International Building Code.
33. The proposal does not comply with 15-11-14(2)(c)(1) as the Planning Director and Chief Building Official do not find unique site conditions that would warrant a disassembly and reassembly. The structure is currently structurally sound; however

the proposal to reorient the structure towards Woodside Avenue would result in the disassembly/reassembly (panelization) of the structure. While there is limited space between the neighboring property and the 1993 addition, staff finds that the current orientation of the structure would facilitate redevelopment without harming the historic structure or creating the potential for further historic material loss.

34. The proposal does not comply with 15-11-14(2)(c)(2) as the physical conditions of the existing materials are not in disrepair. The panelization would result in the loss of historic materials and is not required to facilitate a remodel/restoration of the structure.
35. The proposal does not comply with 15-11-14(2)(c)(3) as a remodel/restoration of the structure is possible in its current location/orientation and would not require panelization.

**Conclusions of Law:**

1. The proposal does not comply with the Land Management Code requirements pursuant to the HR-1 District and regarding material deconstruction.

**Exhibits:**

- |           |                                                                                                                              |
|-----------|------------------------------------------------------------------------------------------------------------------------------|
| Exhibit A | HPB Criteria for Relocation of Historic Structures                                                                           |
| Exhibit B | HPB Material Deconstruction Review Checklist                                                                                 |
| Exhibit C | Historic Sites Inventory Form                                                                                                |
| Exhibit D | Intensive Level Survey Draft Form                                                                                            |
| Exhibit E | 2011 Variance Staff Report                                                                                                   |
| Exhibit F | 2011 Variance Minutes                                                                                                        |
| Exhibit G | Historic District Design Review Historic Preservation Plan                                                                   |
| Exhibit H | Historic District Design Review Physical Conditions Report                                                                   |
| Exhibit I | Historic District Design Review Existing and Proposed Plans                                                                  |
| Exhibit J | Applicant's Reorientation Analysis                                                                                           |
| Exhibit K | Park City Municipal Corporation's Historic Preservation Consultant, Anne Oliver, SWCA - Assessment of Proposed Reorientation |
| Exhibit L | Public Comment                                                                                                               |

## Exhibit A: HPB Criteria for Relocation of Historic Structures

The Historic Preservation Board shall find the project complies with the following criteria (Exhibit A):

1. For either a Landmark or Significant Site, all of the following shall be met:
  - a. A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) can successfully be relocated and the applicant has demonstrated that a professional building mover will move the building and protect it while being stored; and
  - b. The proposed relocation will not have a detrimental effect on the structural soundness of the building or structure;
2. Landmark structures shall only be permitted to be relocated to a new site if the relocation will abate demolition and the Planning Director and Chief Building Official find that the relocation will abate a hazardous condition at the present setting and enhance the preservation of the structure.
3. For Significant Sites, at least one of the following must be met:
  - a. The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or
  - b. The Planning Director and Chief Building Official determine that the building is threatened in its present setting because of hazardous conditions and the preservation of the building will be enhanced by relocating it; or
  - c. The Historic Preservation Board, with input from the Planning Director and the Chief Building Official, determines that unique conditions warrant the proposed relocation and/or reorientation to a new Site. This criterion is only available to Significant Sites. Unique conditions shall include all of the following:
    - i. The relocation will not negatively affect the historic integrity of the Historic District, nor the area of receiving site; and
    - ii. One of the following must also be met:
      - a. The historic building is located within the Historic districts, but its historic context and setting have become so radically altered that the building may be enhanced by its new setting if the receiving site is more similar to its historic setting in terms of architecture, style, period, height, mass, volume, scale, use and location of the structure on the lot as well as neighborhood features and uses; or
      - b. The historic building is located outside of the Historic districts, and its historic context and setting have been so radically altered that the building may be enhanced by its new setting if the receiving site is more similar to its historic setting in terms of architecture, style, period, height, mass, volume, scale, use, and location of the structure on the lot as well as neighborhood features and uses; or
  - d. City Council, with input from the Historic Preservation Board, Planning Director, and Chief Building Official, determines that the Historic Building(s) and/or Structure(s) is deterrent to a major improvement

program outside of the Historic districts that will be of Substantial Benefit to the community, such as, but not limited to:

- a. The relocation of the Historic Building(s) and/or Structure(s) will result in the restoration of the house—both the interior and exterior—in compliance with the Secretary of the Interior's Standards and the relocation will aid in the interpretation of the history of the Historic Building(s) and/or Structure(s);
- b. The relocation of the Historic Building(s) and/or Structure(s) will result in the revitalization of the receiving neighborhood due to the relocation; or
- c. The relocation of the Historic Building(s) and/or Structure(s) will result in a new affordable housing development on the original site that creates more units than currently provided on the existing site and the rehabilitation of the Historic Building(s) and/or Structure(s) on the new receiving site.

## **Exhibit B: HPB Material Deconstruction Review Checklist**

### Historic Preservation Board Material Deconstruction Review Checklist:

1. Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
2. The material deconstruction is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
3. Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
4. The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where material deconstruction is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
5. The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
6. Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

**EXHIBIT C**  
Historic Sites Inventory Form

# HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

## 1 IDENTIFICATION

Name of Property:

Address: 424 Woodside Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: 424-WS-1

Current Owner Name: Heather Berkley

Parent Parcel(s): PC-66

Current Owner Address: 9308 Tournament Canyon Drive, Las Vegas, NV 89144

Legal Description (include acreage): 0.13 acres; LOT 1 424 WOODSIDE AVENUE SUBDIVISION.

## 2 STATUS/USE

### Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

### Evaluation\*

- Landmark Site
- Significant Site
- Not Historic

### Reconstruction

- Date:
- Permit #:
- Full  Partial

### Use

Original Use: Residential  
Current Use: Residential

\*National Register of Historic Places:  ineligible  eligible  
 listed (date: )

## 3 DOCUMENTATION

### Photos: Dates

- tax photo:
- prints: 1995 & 2006
- historic: c.

### Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

### Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

## 4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Hall-Parlor / Vernacular style

No. Stories: 1 & 1 ½

Additions:  none  minor  major (describe below) Alterations:  none  minor  major (describe below)

Number of associated outbuildings and/or structures:  accessory building(s), # \_\_\_\_\_;  structure(s), # \_\_\_\_\_.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation Date: November, 08



- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

**Materials** (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Site drops sharply from the finished roadway. Includes mature trees and shrubs.

Foundation: Assumed to be concrete based on an early photograph.

Walls: Clad in wood drop siding and corner boards.

Roof: Side gable with long rear shed extension is sheathed in metal standing seam material.

Windows: Windows include small fixed casement windows on the rear elevation and doubled-hung wood units on the side.

Essential Historical Form:  Retains  Does Not Retain, due to:

Location:  Original Location  Moved (date \_\_\_\_\_) Original Location:

**Design** (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The one-story frame hall-parlor house has been modified significantly. A 1978 Structure/Site form indicates possible minor additions the original house, but pre-1995 a large addition was constructed to the south. The changes to the original house are minor but the construction of such a large side addition diminishes the site's original character.

**Setting** (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting has been significantly altered by the construction of a 1 ½ story addition to the south side of the original structure. The addition includes a two-car garage and large paved parking area.

**Workmanship** (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Though the physical evidence from the period that defines this as a typical Park City mining era house--the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes--remain on original part of the house.

**Feeling** (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

**Association** (Describe the link between the important historic era or person and the property.): The Hall-Parlor house form is the earliest type to be built in Park City and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

## 5 SIGNIFICANCE

Architect:  Not Known  Known: (source: )

Date of Construction: c. 1900<sup>1</sup>

Builder:  Not Known  Known: (source: )

<sup>1</sup> Summit County Tax Assessor.

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.<sup>2</sup>

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

## 6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

**Photo No. 1:** Northwest oblique. Camera facing southeast, 2006.

**Photo No. 2:** Addition. Camera facing northeast, 2006.

**Photo No. 3:** Northwest oblique. Camera facing southeast, 1995.

**Photo No. 4:** Addition. Camera facing northeast, 1995.

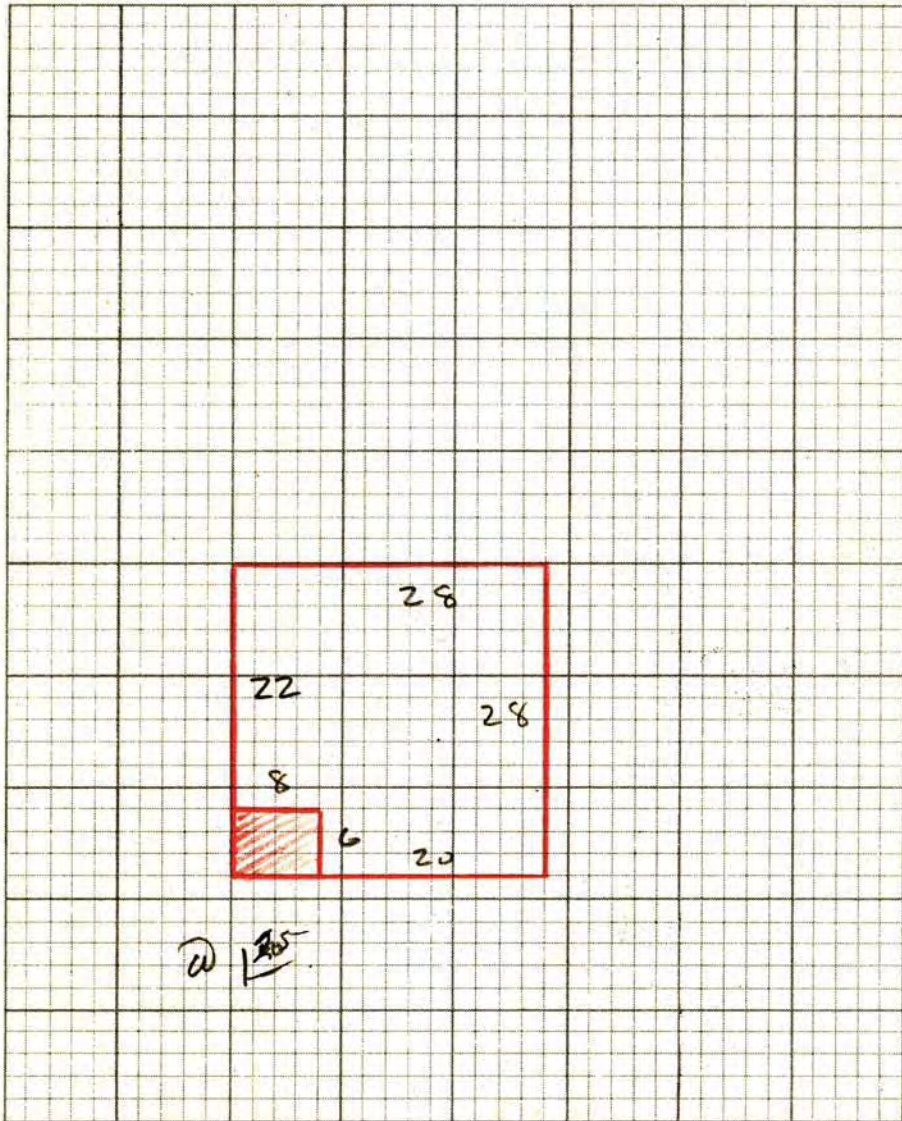
**Photo No. 5:** Northwest oblique. Camera facing southeast, tax photo.

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<sup>2</sup> From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.







RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Depr. Value
		x				
		x				
		x				
		x				
		x				
<b>TOTAL</b>						

Remarks: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

KIND OF BUILDING	19	19	19	19	19	19	19	19	19	19	19	19
GARAGE												
RESIDENCE												
TOTAL												
ASSESSED VALUE												

KIND OF BUILDING	1958	1959	1960	1961	1962	19	19	19	19	19	19	19
GARAGE	37	37	37	37	37							
RESIDENCE	575	575	575	575	575							
TOTAL	612	612	612	612	612							
ASSESSED VALUE	245	245	245	245	245							



PC 66  
Serial Number

OF  
Card Number

Owners Name \_\_\_\_\_  
 Location \_\_\_\_\_  
 Kind of Bldg. Res St. No. 424 Woodside  
 Class 3- Type 1 2 3 4. Cost \$ 3310 x 94 %

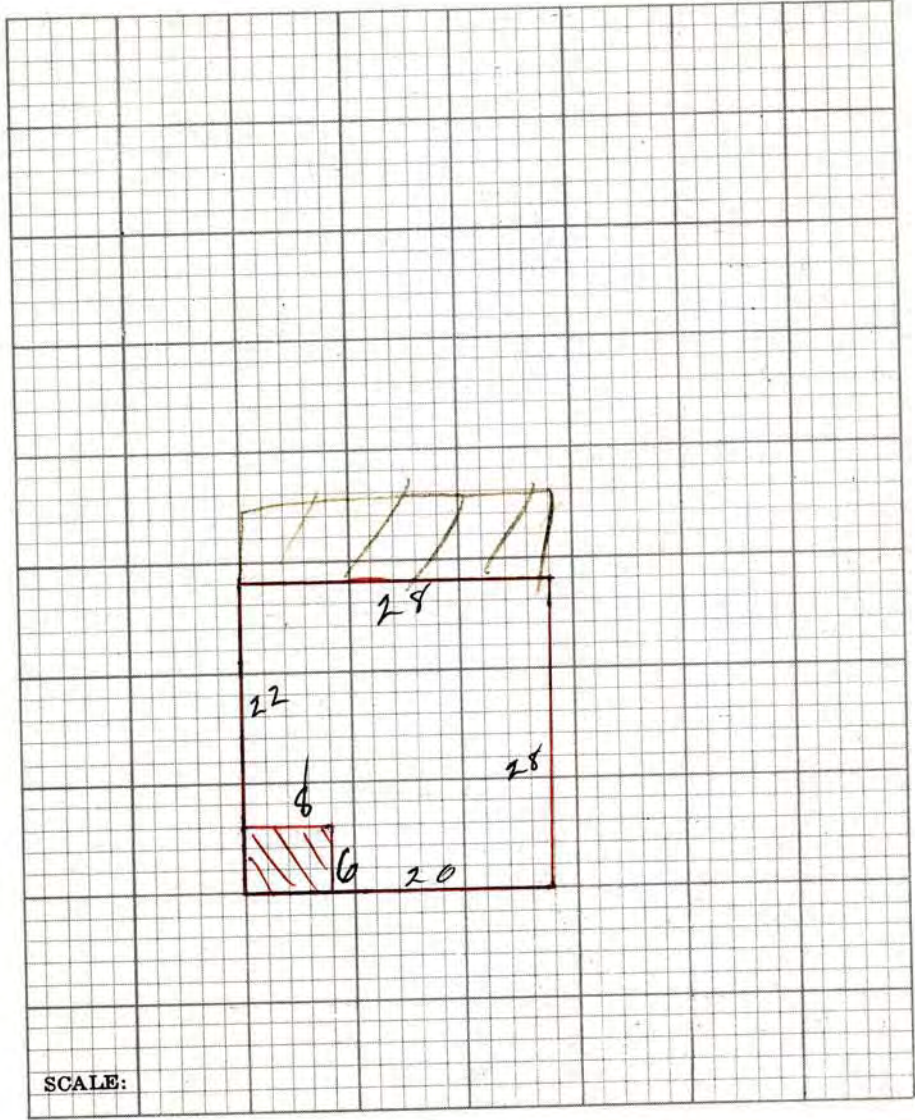
Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
	x x	736		\$ 3111	\$
	x x				
	x x				

Att. Gar. — C.P. x Flr. \_\_\_\_\_ Walls \_\_\_\_\_ Cl. \_\_\_\_\_

Description of Buildings	Additions	Additions
Foundation—Stone _____ Conc. <u>x</u> Sills _____		
Ext. Walls <u>Sid</u> (A)		
Roof Type <u>Gab</u> Mtl. <u>Pate RH</u>		
Dormers—Small _____ Med. _____ Large _____		
Bays—Small _____ Med _____ Large _____		
Porches—Front _____ 48' @ 125 60		
Rear _____ @ _____		
Porch _____ @ _____		
Planters _____ @ _____		
Ext. Base. Entry _____ @ _____		
Cellar/Bsmt. — 1/4 1/3 1/2 2/3 3/4 Full _____ Floor _____		
Bsmt. Gar. _____		
Basement—Apt. _____ Rms. _____ Fin. Rms. _____		
Attic Rooms Fin. _____ Unfin. _____		
Plumbing {	Class <u>1</u> Tub. <u>1</u> Trays _____	460
	Basin _____ Sink <u>1</u> Toilet <u>1</u>	
	Wtr. Sfr. _____ Shr. St. _____ O.T. _____	
	Dishwasher _____ Garbage Disp. _____	
Heat—Stove _____ H.A. _____ FA <u>X</u> HW _____ Stkr _____ Elec. _____	326	
Oil _____ Gas <u>X</u> Coal _____ Pipeless _____ Radiant _____		
Air Cond. — Full _____ Zone _____		
Finish—Fir. <u>✓</u> Hd. Wd. _____ Panel _____		
Floor—Fir. _____ Hd. Wd _____ Other _____		
Cabinets <u>1</u> Mantels _____		
Tile—Walls _____ Wainscot _____ Floors _____		
Storm Sash—Wood D. _____ S. _____; Metal D. _____ S. _____		
Awnings — Metal _____ Fiberglass _____		
Total Additions	846	

Year Built <u>1898</u>	Avg. 1. <u>1898</u>	Replacement Cost	3957
	Age 2.	Obsolescence	
Inf. by <u>Owner</u> <u>Tenant</u>	<u>Neighbor</u> <u>Record</u> - Est.	Adj. Bld. Value	110%
		Conv. Factor	
Replacement Cost—1940 Base			
Depreciation Column <u>1</u> 2 3 4 5 6			
1940 Base Cost, Less Depreciation			
Total Value from reverse side			
Total Building Value \$			





SCALE:

RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class \_\_\_\_\_ Depr. 2% 3% \_\_\_\_\_

Cars \_\_\_\_\_ Floor \_\_\_\_\_ Walls \_\_\_\_\_ Roof \_\_\_\_\_ Doors \_\_\_\_\_

Size \_\_\_\_\_ x \_\_\_\_\_ Age \_\_\_\_\_ Cost \_\_\_\_\_ x 47% \_\_\_\_\_

\_\_\_\_\_ 1940 Base Cost \_\_\_\_\_ x \_\_\_\_\_ % Depr. \_\_\_\_\_

Total \_\_\_\_\_

REMARKS \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_





Researcher: Philip F. Notarianni  
Date: August, 1978

Site No. SU-10-157

Utah State Historical Society  
Historic Preservation Research Office  
**Structure/Site Information Form**

IDENTIFICATION 1

Street Address: 424 Woodside Ave. Plat PCS Bl. 4 Lot 26-27  
Name of Structure: T. R. S.  
Present Owner: Esther Anderson UTM:  
Owner Address: P.O. Box, Park City, 84060 Tax #: PC-66

AGE/CONDITION/USE 2

Original Owner: Construction Date: @1898 Demolition Date:  
Original Use: residential  
Present Use: Occupants:  
 Single-Family  Park  Vacant  
 Multi-Family  Industrial  Religious  
 Public  Agricultural  Other  
 Commercial

Building Condition: Integrity:  
 Excellent  Site  Unaltered  
 Good  Ruins  Minor Alterations  
 Deteriorated  Major Alterations

STATUS 3

Preliminary Evaluation: Final Register Status:  
 Significant  National Landmark  District  
 Contributory  National Register  Multi-Resource  
 Not Contributory  State Register  Thematic  
 Intrusion

DOCUMENTATION 4

Photography: Date of Slides: 11/77 Date of Photographs:  
Views: Front  Side  Rear  Other  Views: Front  Side  Rear  Other   
Research Sources:  
 Abstract of Title  City Directories  LDS Church Archives  
 Plat Records  Biographical Encyclopedias  LDS Genealogical Society  
 Plat Map  Obituary Index  U of U Library  
 Tax Card & Photo  County & City Histories  BYU Library  
 Building Permit  Personal Interviews  USU Library  
 Sewer Permit  Newspapers  SLC Library  
 Sanborn Maps 1889, 1900,  Utah State Historical Society Library  Other  
1907.

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Summit County Records.  
Deseret News, April 3, 1915, p. 3.

Architect/Builder: unknown

Building Materials: wood

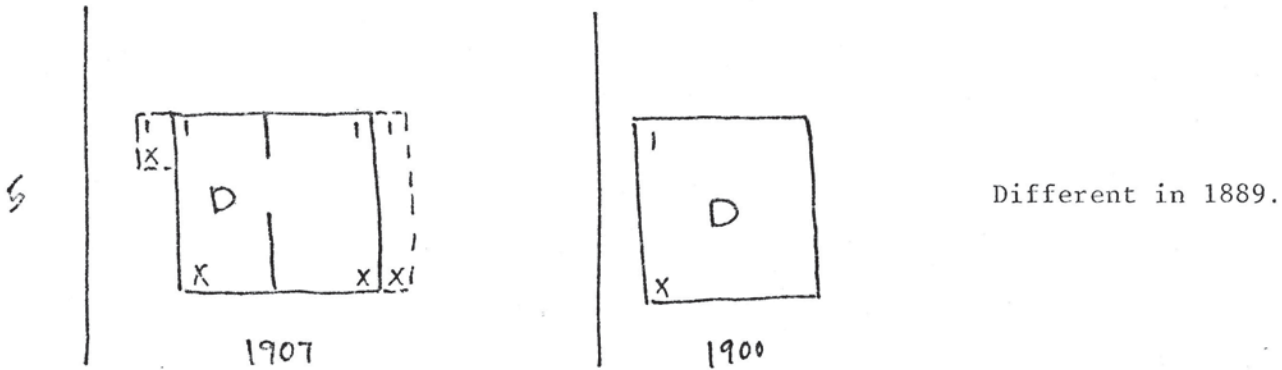
Building Type/Style: residential

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

One-story frame with a gable roof and sloping rear. Window placements appear to have changed little. Tax photographs indicate that the chimney, located on the north end, has remained the same since the 1940's.

Sanborn Map sketches show a possible alteration and/or additions between 1900-1907.



Statement of Historical Significance:

- |                                               |                                                 |                                          |                                             |
|-----------------------------------------------|-------------------------------------------------|------------------------------------------|---------------------------------------------|
| <input type="checkbox"/> Aboriginal Americans | <input type="checkbox"/> Communication          | <input type="checkbox"/> Military        | <input type="checkbox"/> Religion           |
| <input type="checkbox"/> Agriculture          | <input type="checkbox"/> Conservation           | <input type="checkbox"/> Mining          | <input type="checkbox"/> Science            |
| <input type="checkbox"/> Architecture         | <input type="checkbox"/> Education              | <input type="checkbox"/> Minority Groups | <input type="checkbox"/> Socio-Humanitarian |
| <input type="checkbox"/> The Arts             | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Political       | <input type="checkbox"/> Transportation     |
| <input type="checkbox"/> Commerce             | <input type="checkbox"/> Industry               | <input type="checkbox"/> Recreation      |                                             |

This structure is also contributory to the Park City residential district; but in addition helps to illustrate how early housing was constructed to adapt to the steep terrain that exists in the area.

In the early 189's the lot belonged to C.W. Allen; and in 1896 sold by Charles Allen to Chelsey C. Barker. William T. Backus became an owner in the 1900's. Fraser Buck, of the firm Welsh, Driscoll and Buck, and local author, purchased the property in 1914 from William Dickett, Finally, in 1916 sold to Erick Anderson.

Chesley C. Barker was an engineer for the Daly-West Mine for more than twenty-five years, and was considered well versed in mine hoists and pumps. He was also a member of the Park City lodge Knights of Pythias.



















**EXHIBIT D**  
Intensive Level Survey DRAFT Form

HISTORIC SITE FORM  
UTAH STATE HISTORIC PRESERVATION OFFICE

(10-91)

1 IDENTIFICATION

Name of Property: William T. Backus House

Address: 424 Woodside Avenue

Twtnshp Range Section:

City, County: Park City, Summit, Utah

UTM:

Current Owner Name: Heather Berkley

USGS Map Name & Date: Park City East

Current Owner Address: 9308 Tournament Canyon Drive  
Las Vegas, NV 89144

Quad/2011

Tax Number: 424-WS-1

Legal Description (include acreage): LOT 1 424 WOODSIDE AVENUE SUBDIVISION; ACCORDING TO THE OFFICIAL PLAT ON FILE IN THE SUMMIT COUNTY RECORDERS OFFICE CONT 5625 SQ FT OR 0.13 AC

2 STATUS/USE

Property Category

building(s)  
 structure  
 site  
 object

Evaluation

eligible/contributing  
 ineligible/non-contributing  
 out-of-period

Use

Original Use: single dwelling  
Current Use: single dwelling

3 DOCUMENTATION

Photos: Dates

digital: Nov. 2013 (4)  
 prints: 2006 (2), 1995 (2)  
 historic:

Research Sources (check all sources consulted, whether useful or not)

abstract of title  
 tax card & photo  
 building permit  
 sewer permit  
 Sanborn Maps  
 obituary index  
 city directories/gazetteers  
 census records  
 biographical encyclopedias  
 newspapers  
 city/county histories  
 personal interviews  
 USHS History Research Center  
 USHS Preservation Files  
 USHS Architects File  
 LDS Family History Library  
 local library: Park City Museum  
 university library(ies):

Drawings and Plans

measured floor plans  
 site sketch map  
 Historic American Bldg. Survey  
 original plans available at:  
 other:

Bibliographical References (books, articles, interviews, etc.)

Attach copies of all research notes, title searches, obituaries, and so forth.

Boutwell, John Mason and Lester Hood Woolsey. *Geology and Ore Deposits of the Park City District, Utah*. White Paper, Department of the Interior, United States Geological Survey. Washington: Government Printing Office, 1912.  
Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.  
Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.  
National Register of Historic Places. Park City Main Street Historic District. Park City, Utah, National Register #79002511.  
Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.  
Pieros, Rick. *Park City: Past & Present*. Park City: self-published, 2011.  
Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.  
Ringholz, Raye Carleson. *Diggings and Doings in Park City: Revised and Enlarged*. Salt Lake City: Western Epics, 1972.  
Ringholz, Raye Carleson and Bea Kummer. *Walking Through Historic Park City*. Self-published, 1984.  
Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

#### 4 ARCHITECTURAL DESCRIPTION

Building Style/Type: hall-parlor type / vernacular style No. Stories: 1.5

Foundation Material: concrete Wall Material(s): drop-novelty wood siding

Additions: none minor x major (describe below) Alterations: none x minor major (describe below)

Number of associated outbuildings 0 and/or structures 0.

Briefly describe the principal building, additions or alterations and their dates, and associated outbuildings and structures. Use continuation sheets as necessary.

424 Woodside is a hall-parlor type house that has been modified significantly. The hall-parlor is one of the main three house types built during the historic Park City mining era, and is the earliest of those three, occurring mostly toward the beginning of that period. A large addition has been built to the side at the street level above the original house which is well below the road grade. The side gable roof of the original house is sheathed with standing seam metal, while the complex roof of the addition is sheathed with composition shingles. The walls of both the original house and the addition are clad with drop-novelty wood siding. The façade of the original house that is facing the street has at least four casement windows spaced across it, while the side has several one-over-one double hung sash windows. The addition has a one-over-one double hung sash window in its gable and two of the same type in the front most section. The addition has a two-car garage that is on the same level as the street. The original house is much lower than the road grade, and a concrete stair leads down to the primary façade of the house. Although the overall form remains legible, the cumulative formal and material changes have diminished its historic value.

#### 5 HISTORY

Architect/Builder: **unknown**

Date of Construction: **c. 1900**

Historic Themes: Mark themes related to this property with "S" or "C" (S = significant, C = contributing).  
(see instructions for details)

<u>__</u> Agriculture	<u>__</u> Economics	<u><b>C</b></u> Industry	<u>__</u> Politics/ Government
<u>__</u> Architecture	<u>__</u> Education	<u>__</u> Invention	<u>__</u> Religion
<u>__</u> Archeology	<u>__</u> Engineering	<u>__</u> Landscape Architecture	<u>__</u> Science
<u>__</u> Art	<u>__</u> Entertainment/ Recreation	<u>__</u> Law	<u>__</u> Social History
<u>__</u> Commerce	<u>__</u> Ethnic Heritage	<u>__</u> Literature	<u>__</u> Transportation
<u>__</u> Communications	<u>__</u> Exploration/ Settlement	<u>__</u> Maritime History	<u><b>C</b></u> Other: <b>Mining</b>
<u>__</u> Community Planning & Development	<u>__</u> Health/Medicine	<u>__</u> Military	
<u>__</u> Conservation		<u>__</u> Performing Arts	

Write a chronological history of the property, focusing primarily on the original or principal owners & significant events. Explain and justify any significant themes marked above. Use continuation sheets as necessary.

A brief history of the house was given in a 1978 National Register nomination:

“This structure is also contributory to the Park City residential district; but in addition helps to illustrate how early housing was constructed to adapt to the steep terrain that exists in the area.

“In the early 1890's the lot belonged to C.W. Allen; and in 1896 sold by Charles Allen to Chelsey C. Barker. William T. Backus became an owner in the 1900's. Fraser Buck, of the firm Welsh, Driscoll and Buck, and local author, purchased the property in 1914 from William Dickett, Finally, in 1916 sold to Erick Anderson.

“Chesley C. Barker was an engineer for the Daly-West Mine for more than twenty-five years, and was considered well versed in mine hoists and pumps. He was also a member of the Park City lodge Knights of Pythias.”

Due to the commonness of the name Charles Allen, it is difficult to determine who the owner of the property was initially, as several lived in Park City at the time.

William T Backus, the owner after Charles (or Chelsey) Barker and also his nephew, had lived in Park City previously, leaving for Nevada in 1904. They returned at some point, and lived in this house for a time, before selling it to Charles Barker's wife Luella, who quickly sold it to William Dickert in 1909.



Not much information was found on William Dickert, and he does not appear on the 1910 census, so it can be assumed he did not live on the property. He transferred the property to Fraser Buck in 1914.

Fraser Buck was a salesman in the hardware industry. It is noted in the 1920 census that he lived with his parents and sister. No other information is known about him. The property was transferred to Erick Anderson in 1916.

It appears that Erick Anderson did not live at the house, at least during the time of the 1920 census, when the house was vacant. The house was also vacant during the 1930 census.

In 1931, Erick Anderson transferred the property to his daughter Esther Anderson, who retained it until 1981. It was rented by Andles Henderson and his wife Sydona during the 1940 census. Andles was a laborer in a mine, but nothing else is known of him. The property is currently owned by Heather Berkley.



*424 Woodside Avenue. Southwest oblique. November 2013.*



*424 Woodside Avenue. West elevation. November 2013.*



*424 Woodside Avenue. Northwest oblique. November 2013.*

# TITLE SEARCH FORM

[Obtain information from title abstract books at County Recorder's Office]

Address: 424 Woodside Avenue

City: Park City, UT

Current Owner: Heather Berkley

Address: (see historic site form for address)

Tax Number: 424-WS-1 (parent parcel: PC-66)

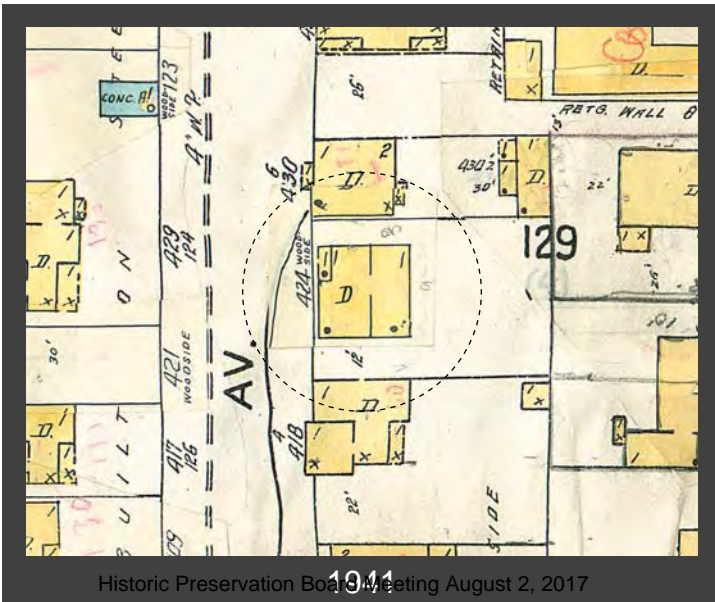
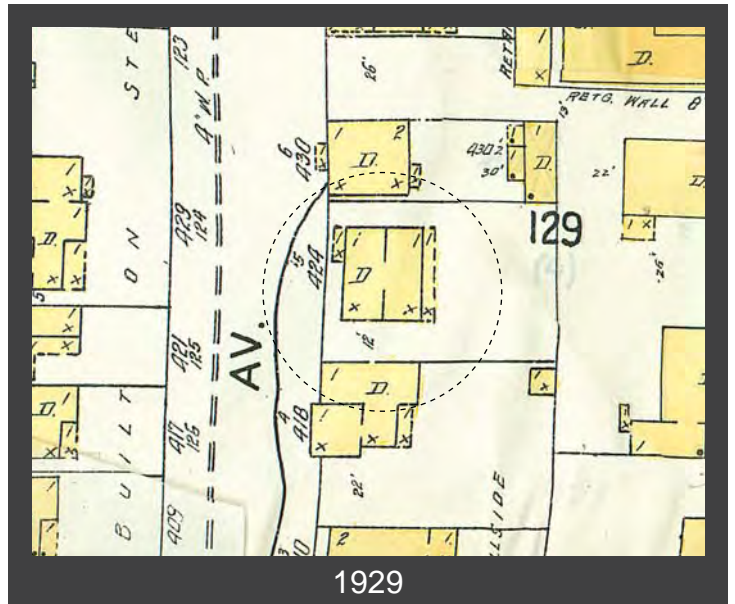
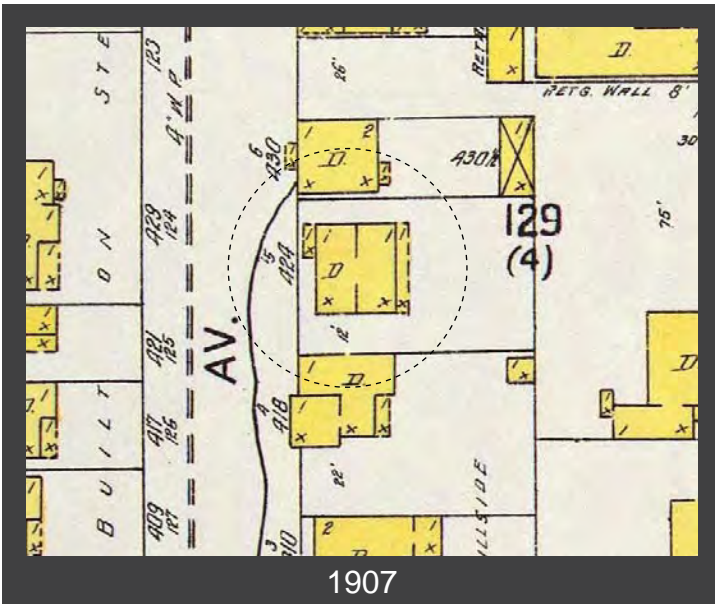
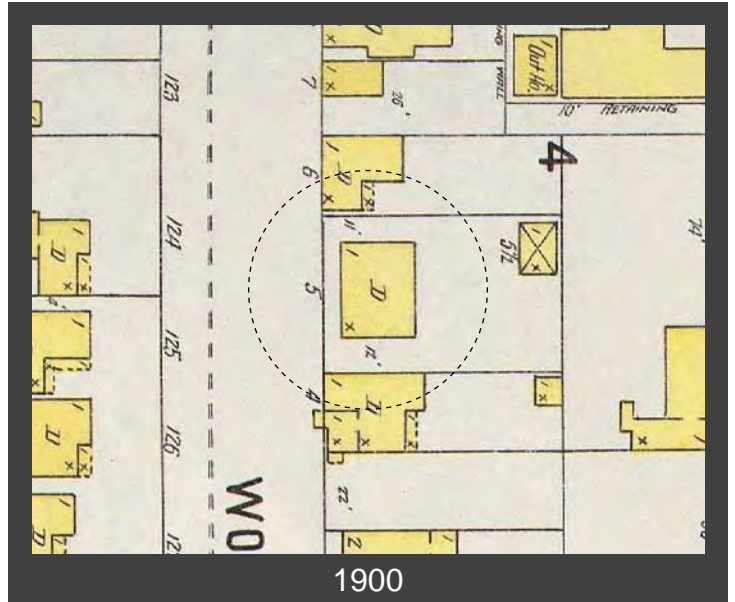
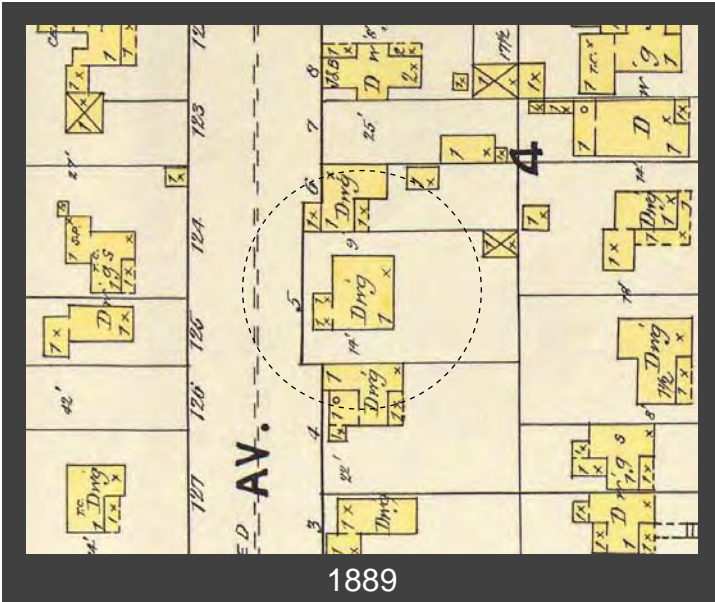
Legal Description (include acreage): Lot 1 424 Woodside Sub. (PC BK4 L26, L27, L28)  
 (see historic site form for complete legal description)

TRANSACTION DATES	GRANTOR (SELLER)	GRANTEE (BUYER)	TYPE OF TRANSACTION	DOLLAR AMOUNT	COMMENTS
4/12/1886	Alfred B. Mulhall (ill.)	Henry Newell	Mortgage	\$100.00	"26,27"
6/4/1886	A.B. Mulhall (ill.)	Charles W. Allen	W		"26,27"
6/8/1886	Charles W. Allen	Gilbert Gregor	Mortgage	\$200.00	"26,27"
7/17/1893	C.W. Allen & wife	John Kennedy	Mortgage	\$195.00	"26,27"
4/18/1896	Chas W. Allen	Charles C. Barker	W		"26,27"
12/19/1901	Charles C. Barker & w.	Jennie H. Backus	W.D.		"26,27"
9/25/1909	Wm. T. Backus & wife	Luella V. Barker	Deed		"26,27"
12/23/1909	Luella V. Barker	Wm. Dickert & wife	W.D.		"26,27"
12/21/1914	William Dickert & wife	Fraser Buck	W.D.		"26,27"
5/6/1916	Fraser Buck & wife	Erick Anderson	W.D.		"26,27"
12/18/1931	Erick Anderson	Esther Anderson	W.D.		"26,27"
6/16/1981	Esther Anderson	Ennis J. Gibbs	W.D.		"26,27"
2/21/1989	Ennis J. Gibbs	Richard B. & Robert L. Peek	W.D.		"26,27,28"
12/14/1989	Robert L. Peek	Richard B. Peek	W.D.		"26,27,28"
12/20/1996	Richard B. Peek	Roger D. Armstrong	W.D.		"26,27,28"
10/9/2003	Roger D. Armstrong	Heather Berkeley	W.D.		"26,27,28"

Researcher: John Ewanowski, CRSA Architecture

Date: 1/6/2015

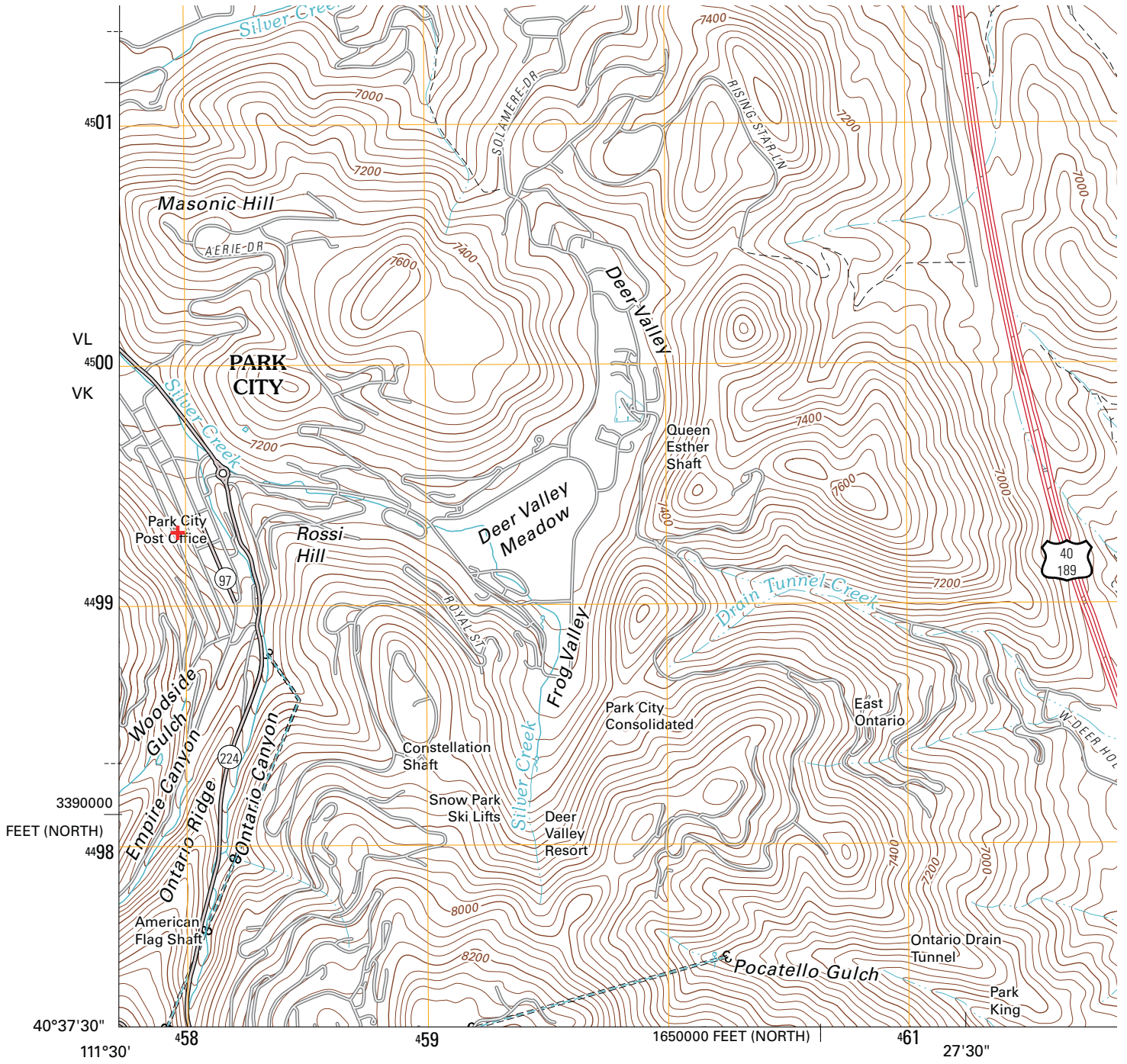






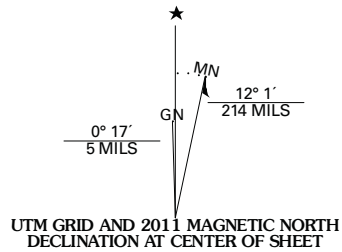
Tax photo c. 1940





Produced by the United States Geological Survey  
 North American Datum of 1983 (NAD83)  
 World Geodetic System of 1984 (WGS84). Projection and  
 1 000-meter grid: Universal Transverse Mercator, Zone 12T  
 10 000-foot ticks: Utah Coordinate System of 1983  
 (north and central zones)

Imagery.....NAIP, July 2009 - August 2009  
 Roads.....©2006-2010 Tele Atlas  
 Names.....GNIS, 2009  
 Hydrography.....National Hydrography Dataset, 2009  
 Contours.....National Elevation Dataset, 2008



U.S. National Grid	
100,000-m Square ID	
VL	4500
VK	
Grid Zone Designation	
12T	

## **EXHIBIT E**

2011 Variance Meeting Staff Report (link in this Staff Report)



**EXHIBIT F**  
2011 Variance Meeting Minutes

MINUTES OF PARK CITY BOARD OF ADJUSTMENT  
CITY HALL, COUNCIL CHAMBERS  
OCTOBER 4, 2011

IN ATTENDANCE: Ruth Gezelius, Mary Wintzer, Hans Fuegi, Richard Miller

EX OFFICIO: Thomas Eddington, Planning Director; Polly Samuels-Mclean, City Attorney; Mathew Evans, City Planner

---

I. ROLL CALL

Chair Gezelius called the meeting to order at 5:08 PM and noted that all Board members not present were excused.

II. PUBLIC COMMUNICATION

There was no comment.

III. STAFF & BOARD COMMUNICATIONS

There was discussion among Staff and Board concerning the issue of the re-hearing for the agenda item. City Attorney Mclean explained that the applicant was notified that the ratification was scheduled but the date of the hearing and staff report was not made available to the applicant three days prior to the meeting as required by Code. The applicant did have the ability to waive the three day period but chose not to. It was noticed that neither the applicant nor public was in attendance for the re-hearing. City Attorney Mclean made the Board aware that the vote of the ratification on September 27, 2011 should be vacated by the Board prior to hearing the item on regular agenda.

City Attorney Mclean updated the Board of Adjustment on 129 Main Street, a Variance and Special Exception that was heard before the Board and recently ruled on at District Court. The settlement by the Court upheld the denial of the Variance by the Board of Adjustment though the Special Exception was overturned. Staff was concerned with the broad language in the Land Management Code regarding Special Exceptions and that the language may be amended in the future.

Board member Miller directed Staff to deliver packets to all members of the Board whether they were scheduled to be present at the meeting or not. He further asked that emails be sent to confirm meetings to all members, not just those that confirmed they were available on the scheduled dates.

IV. REGULAR AGENDA

MOTION: Board member Fuegi moved to vacate the vote of the Board of Adjustment on September 27, 2011 on the matter of the ratification of Findings of Facts, Conclusions of Law, and Order for 424 Woodside Avenue. Board member Wintzer seconded.

VOTE: 4-0. Unanimously carried.

PL-11-01317 424 Woodside Avenue – Ratification of Findings

The Board reviewed and made changes to the Findings of Facts as follows:

- Finding of Fact #13 as pointed out by Board member Miller should have the singular “prevent” instead of “prevents”.
- Finding of Fact #15 was amended by Board member Miller to read “All three variance requests are based upon self- imposed design hardships...”

MOTION: Board member Wintzer moved to ratify the Findings of Facts. Conclusions of Law and Order as amended for 424 Woodside Avenue Variances to height, front setback, and side yard setback. Board member Fuegi seconded the motion.

VOTE: 4-0. Motion carries unanimously.

#### Finding of Fact

1. The property is located in the Historic Residential (HR-1) zone.
2. Records indicate that in 1900 a 956 square foot Historic home was built at 424 Woodside Avenue and is currently listed as Significant on the Historic Sites Inventory.
3. In 1993, two additional lots adjacent to the property were combined into one lot and a building permit was issued for a 700 square foot addition which would be used as a duplex.
4. The 1993 addition was built to a height of 28 feet which was the permitted zone height at the time.
5. Because of the topography of the site, a height of 29 feet would be required of the portion of the historic house in order to match the height of the 1993 addition.
6. The duplex is located on a lot that is 75 feet wide and 75 feet deep, the existing historic home is located approximately 6 feet below the top grade of Woodside Avenue.
7. The maximum height in the HR-1 Zone is 27 feet, the applicant proposed to raise the historic portion of their home to 29 feet, thus the applicant needed a 2 foot variance to the maximum height allowed in the HR-1 Zone.
8. The maximum front yard setback in the HR-1 Zone is 10 feet as measured from the property line; the applicant proposed to raise and rotate the historic portion of the home and place additional living space directly under the historic home with a 0 foot front yard setback, thus the applicant needed a 10 foot variance for the front yard setback for the proposed addition as required in the HR-1 Zone.
9. The combined total side yard setback requirements for a lot that is 75' wide by 75' feet deep is 18 feet with each side having a minimum 5 foot setback. The existing combined setbacks are 15 feet, with 5 feet on the south-side property line, and 10 feet on the north-side property line. The applicant was proposing to have a 10 foot setback for the additional living space below the historic portion of the home on the north side of the property after it was to be raised and rotated, thus necessitating a need for a three foot variance to the total side-yard setback standards in the HR-1 Zone.
10. The applicant requested to raise the home a total of 10 feet to bring the overall height to 29 feet in order to match the floor elevation of the 1993 addition and bring it to street level.
11. Applicant failed to show specifically why raising the house to a height of 29 feet as opposed to the zone height of 27 feet was necessary and created a hardship.
12. Matching the height of a historic house to a modern addition is not a hardship and does not meet the spirit of the zoning ordinance or the general plan.

13. Applicants failed to show how a two foot difference (i.e. raising the house to 29 feet as opposed to the zone height of 27 feet) creates a hardship. Two feet would not require an exposed staircase or prevent the house from being close to street elevation.
14. Raising the home 27 feet would bring the historic portion of the home to the same elevation as the street. The 2 foot variance to the maximum height allowed would have raised the home to one-foot (1') above the street elevation.
15. All three variance requests are based upon self- imposed design hardships due to the fact that the applicant could achieve the lifting and rotating of the home without the addition of living space below the building, and without matching the exact floor elevation of the 1993 addition to the home. The applicants request for additional living space below the historic portion of the building, and matching the existing floor elevation of the 1993 addition is not a hardship created by special circumstances associated with the property.
16. The alleged hardship comes from conditions general to the neighborhood, not from circumstances peculiar to the property. Several houses on the downhill side of the street are situated in much the same way as the applicant's home. The positioning of the home on the lot is not unique to this area as many homes were constructed in a manner that allowed the home to face downward towards Main Street. The applicant previously combined three lots and has ample room to expand the existing non-historic portion of the home to add additional living space.
17. Any life-safety issues related to the existing location of the home on the property and its proximity to the street and position below the established grade of the street can be mitigated without the need for a variance, including raising the historic portion of home without the addition of living space underneath and without violating the maximum height requirement. The matching of the floor elevation of the existing home, or bringing the home up to above street level is not a necessity; the applicant can accomplish the rising of the home with a "step-down" from the 1993 addition.
18. The determination whether to raise and rotate the existing home is made as part of the Design Guidelines for Historic Districts and Historic Sites determination. However, raising and rotating the historic house can be achieved without the need for the variance.
19. Additional living space is also proposed behind (in the rear yard) of the existing historic portion of the home. Due to the size of the lot and current placement of the historic home, additional living space can be achieved without the need for the variance.

#### Conclusions of Law

1. Literal enforcement of the HR-1 zone requirements for a maximum height of 27 feet, front-yard setback requirements of 10 feet and a combined sideyard requirements of 18 feet does not cause an unreasonable hardship. This is not necessary to carry out the general purpose of the zoning ordinance.
2. There are no special circumstances attached to the property that do not generally apply to other properties in the same district
3. Granting the variances is not essential to the enjoyment of substantial property right possessed by other property owners in the same district.
4. The proposal is inconsistent with the General Plan.
5. The spirit of the zoning ordinance is not observed by this application.
6. All of the criteria needed to allow for a variance for each request, pursuant to LMC section 15-10-9, have not been met, thus the variances are not justified.

Order: The variances to LMC section 15-2.2-5 (A) and 15-2.2-3 (D) are hereby denied for:

- (1) A variance to exceed the maximum height requirement to allow an overall height of 29 feet where a maximum 27 foot height is allowed; and,
- (2) A variance to reduce the minimum front yard setback to 0 feet where 10 is required; and,
- (3) A variance to reduce the minimum total combined side-yard setbacks to 15 feet where 18 feet is required.

Chair Gezelius adjourned the October 4, 2011 Board of Adjustment meeting at 5:42 PM.

Minutes prepared by:

Patricia Abdullah, Planning Analyst



**EXHIBIT G**  
Historic Preservation Plan

PARK CITY MUNICIPAL CORPORATION  
PLANNING DEPARTMENT  
445 MARSAC AVE - PO BOX 1480  
PARK CITY, UT 84060  
(435) 615-5060



## HISTORIC PRESERVATION PLAN

For Use with the *Historic District/Site Design Review Application*

For Official Use Only

PLANNER: HANNAH TURPEN APPLICATION #: PL-16-03379  
DATE RECEIVED: 11/16/16  
PLANNING DIRECTOR \_\_\_\_\_ CHIEF BUILDING OFFICIAL \_\_\_\_\_  
APPROVAL DATE/INITIALS: \_\_\_\_\_ APPROVAL DATE/INITIALS: \_\_\_\_\_

### PROJECT INFORMATION

LANDMARK  SIGNIFICANT DISTRICT: \_\_\_\_\_

NAME: JON & HEATHER BERKLEY  
ADDRESS: 424 WOODSIDE AVE

TAX ID: 424.WS.1 OR \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_ OR \_\_\_\_\_

SURVEY: \_\_\_\_\_ LOT #: \_\_\_\_\_ BLOCK #: \_\_\_\_\_

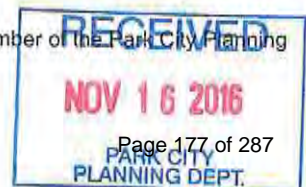
### APPLICANT INFORMATION

NAME: JONATHAN DEGRAY

PHONE #: (435) 649-7263 FAX #: ( )

EMAIL: degrayarch@guestoffice.net

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



**Site Design**

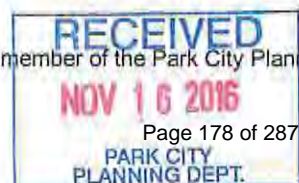
*Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.*

Element/Feature: Site Design

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The existing historic form is oriented so that the front of the building faces the back yard, or rear of the site. The historic form is a full story below the street level of Woodside Avenue so the only thing visible of the historic form from the street is the metal roof. This condition along with the scale of the addition to the south places the historic form in a hole. Per the Site Inventory 424 Woodside Ave. has been extensively modified creating a situation where the historic form is dwarfed by surrounding structures and is a full level below street level. By raising and rotating the historic form we will establish it as a visually prominent element along the street. The new location will fit in with the current rhythm of building forms along the street. The proposed addition, located below the historic form, will not be visible from the street. The proposed changes outlined here are all intended to improve the appearance of the historic form and reestablish its presence along Woodside Avenue making it once again a valuable asset to the district for years to come.





## Structural

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Structure

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

It is our intention to strip the existing historic form building down, removing all the contemporary material and then see what we have. We anticipate not finding any historic material other than 1x12 exterior wall sheathing attached to new stud walls.

If this is the case we would propose to proceed as follows.

1. Panelize the exterior north and east walls.
2. Change the orientation of the building so that it faces Woodside Avenue and is raised to the street level, **9' from its existing location**, so the front of the historic building faces the street, not the back yard.
3. Construct a new foundation
4. Re-build the structural frame placing the historic form on top, front facing Woodside Ave.

Through the renovation and addition of this residence we will:

- a. Provide a foundation to the structure.
- b. Re-orient the building so the front faces the street and is elevated to have a relationship to the street that is currently not present

## Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: Roof

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The roof will be rebuilt to meet the structural requirements of code and retain the historic form and appearance.

## Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: None





**Exterior Walls**

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: Exterior walls

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

It is our intention to strip the existing historic form building down, removing all the contemporary material and then see what we have. We anticipate not finding any historic material other than 1x12 exterior wall sheathing attached to new stud walls.

If this is the case we would propose to proceed as follows.

- 5. Panelize the exterior north and east walls.
  - 6. Change the orientation of the building so that it faces Woodside Avenue and is raised to the street level, **9' from its existing location**, so the front of the historic building faces the street, not the back yard.
  - 7. Construct a new foundation
  - 8. Re-build the structural frame placing the historic form on top, front facing Woodside Ave.
- Through the renovation and addition of this residence we will:
- c. Provide a foundation to the structure.
  - d. Re-orient the building so the front faces the street and is elevated to have a relationship to the street that is currently not present
  - e. Replace the non-historic windows with period correct units Replace/repair siding.

**Foundation**

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: Foundation

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

A new foundation will be built that is code compliant.



## Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: Porch

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The front porch, currently facing the rear of the site, has been walled in to create more interior living space. We would propose to bring the porch back to its historic appearance and use.

## Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: Doors

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All historic doors have been replaced, see physical condition report. All new doors will be historic in appearance.

## Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: Windows

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All historic windows have been replaced, see physical condition report. All new windows will be historic in appearance.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



**Mechanical System, Utility Systems, Service Equipment & Electrical**

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Mechanical & Electrical systems

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

All Mechanical and Electrical systems will be new and code compliant.

**Additions**

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Addition

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The new addition will be placed below and to the rear of the historic form and be distinctive from the exiting home.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**4. PROJECT TEAM**

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

- 1. Architect: Jonathan DeGray Architect, 435-649-7263, [degrayarch@qwestoffice.net](mailto:degrayarch@qwestoffice.net).
- 2. Structural Engineer: Shen Engineers, Henry Shen, 801-466-2625, [sheneng@msn.com](mailto:sheneng@msn.com)
- 3. Contractor: None chosen at this phase in the project.

**5. SITE HISTORY**

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

- 1. See Historic Site Inventory

**6. FINANCIAL GUARANTEE**

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

- 1. Owner will place a lien on the property in favor of the city.

**7. ACKNOWLEDGMENT OF RESPONSIBILITY**

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Applicant: \_\_\_\_\_





**EXHIBIT H**  
Physical Conditions Report

PARK CITY MUNICIPAL CORPORATION  
PLANNING DEPARTMENT  
445 MARSAC AVE ° PO BOX 1480  
PARK CITY, UT 84060  
(435) 615-5060 ° (435) 615-4906 FAX



**PHYSICAL CONDITION REPORT**  
For use with the Historic District/Site Design Review Application

For Office Use Only	
PROJECT PLANNER	APPLICATION #
	DATE RECEIVED

**PROJECT INFORMATION**

HISTORIC SITE?  NO  YES  LANDMARK  SIGNIFICANT  DISTRICT: \_\_\_\_\_

NAME: Berkley Residence	
ADDRESS: 424 Woodside Avenue	
TAX ID #: 424-WS-1	OR
SUBIVISION:	OR
SURVEY:	LOT #: BLOCK #:

**CONTACT INFORMATION**

NAME: Jonathan DeGray Architect	
PHONE #: 435-649-7263	FAX #:
EMAIL: degrayarch@qwestoffice.net	

**Instructions for Completing the PHYSICAL CONDITION REPORT**

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

**WRITTEN DESCRIPTION**

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). If your descriptions require additional space, please attach a continuation sheet OR you may create a separate document by restating each numbered item followed by your full response. Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

**PHOTOGRAPHS**

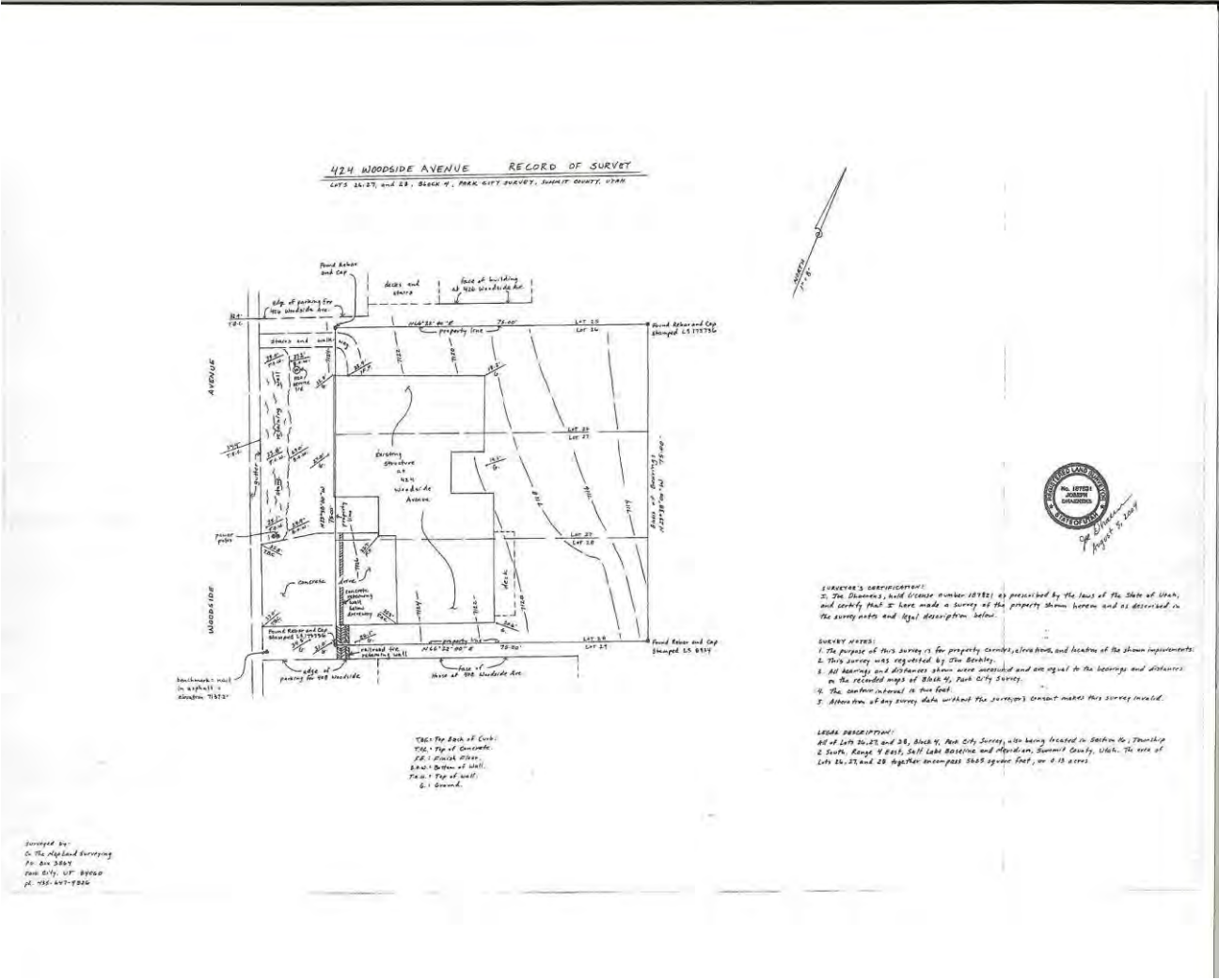
Digital photographs must be included with this report. Specifications and a template for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

# SITE FEATURES

**A.1. TOPOGRAPHY** - Describe the topography of the site, including any unusual conditions. Describe the existing feature(s) and condition:

**The property slopes downhill from west to east off Woodside Avenue. From Woodside Avenue to the front property line is approximately 17.5 feet and slopes down 8' with a rock retaining wall that runs parallel to Woodside Avenue. From front property line to back property line is 75 feet and slopes downhill approximately 13 feet.**



## Site Survey

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**A.2. LANDSCAPING** - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates. Describe existing feature(s) and condition:

***The front of the property off Woodside Avenue has rock retaining wall that runs parallel with the street. The entry stairs are wood and are in fair shape. Stone walkway leads from the entry to the rear yard. All vegetation is natural and maintained.***



***Rock retaining wall and entry stairs along west elevation***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





***Stone walkway at entry leading to rear yard (north elevation)***



***Rear yard looking southeast***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



**A.3. RETAINING WALL(S)** - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

**See A.2 Landscaping**

**A.4. EXTERIOR STEPS** - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

**See A.2 Landscaping**

**A.5. FENCE(S)** - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

***The rear fence (owned by adjacent property) runs north to south and is 4x4 wood post with 1x4 wood slats in need of repair. The wood fence along the north property line is 6' length sections of 1x6 dog eared cedar slats and in need of repair.***



***Rear yard fence***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





***Fence on north side of property***

**A.6. OTHER SITE FEATURES (SPECIFY):**

Describe the existing feature(s) and condition: ***None***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



## MAIN BUILDING

**B.1. ROOF** - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

Describe the existing feature(s) and condition:

***The roof is simple gable with a 10/12 pitch with a shed running west at a 2.5/12 pitch. This form was the original built about 1900. The shed roof running east off the main gable is a 4/12 pitch and was added after 1978. The roof material is standing seam metal applied after 1978. The main gable form is standing seam metal roof over historic wood shake over historic 1x8 skip plank over historic 2x4 truss at 24" o.c., the truss has 2x4 bottom chord with 1x4 kickers. The two sheds of the gable running east and west were updated after 1978 with standing seam metal over 5/8" plywood over 2x12 joist at 24" o.c.***



***Roof looking east***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





***Roof looking southeast***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



**B.2. EXTERIOR WALL -PRIMARY FACADE** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction. Describe the existing feature(s) and condition:

***The north elevation is 1x8 horizontal lap siding applied after 1978, over historic 1x12 vertical plank on 2x4 studs at 24" o.c.***



***North elevation***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



**B.3. EXTERIOR WALL -SECONDARY FACADE 1** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

***The west elevation is 1x8 horizontal lap siding applied after 1978, over historic 1x12 vertical plank on 2x4 studs at 24" o.c***



***West elevation***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



**B.4. EXTERIOR WALL -SECONDARY FACADE 2** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.  
Describe the existing feature(s) and condition:

***The south elevation has an addition built after 1993.***



***Addition on the south elevation built after 1993***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**B.5. EXTERIOR WALL -REAR FACADE** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction. Describe the existing feature(s) and condition:

***The east elevation is 1x8 horizontal lap siding applied after 1978, over 5/8" plywood on 2x4 studs at 24" o.c***



***East elevation***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



**B.6. FOUNDATION** - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

***The foundation under the historic house is 8" thick concrete, due to it's age we are assuming it has no steel reinforcing. Concrete is in fair condition.***

**B.7. PORCH(ES)** - Describe the current porch(es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction.

Describe the existing feature(s) and condition:

***The rear porch was enclosed after 1978 and built into interior living space. See east elevation on previous page.***

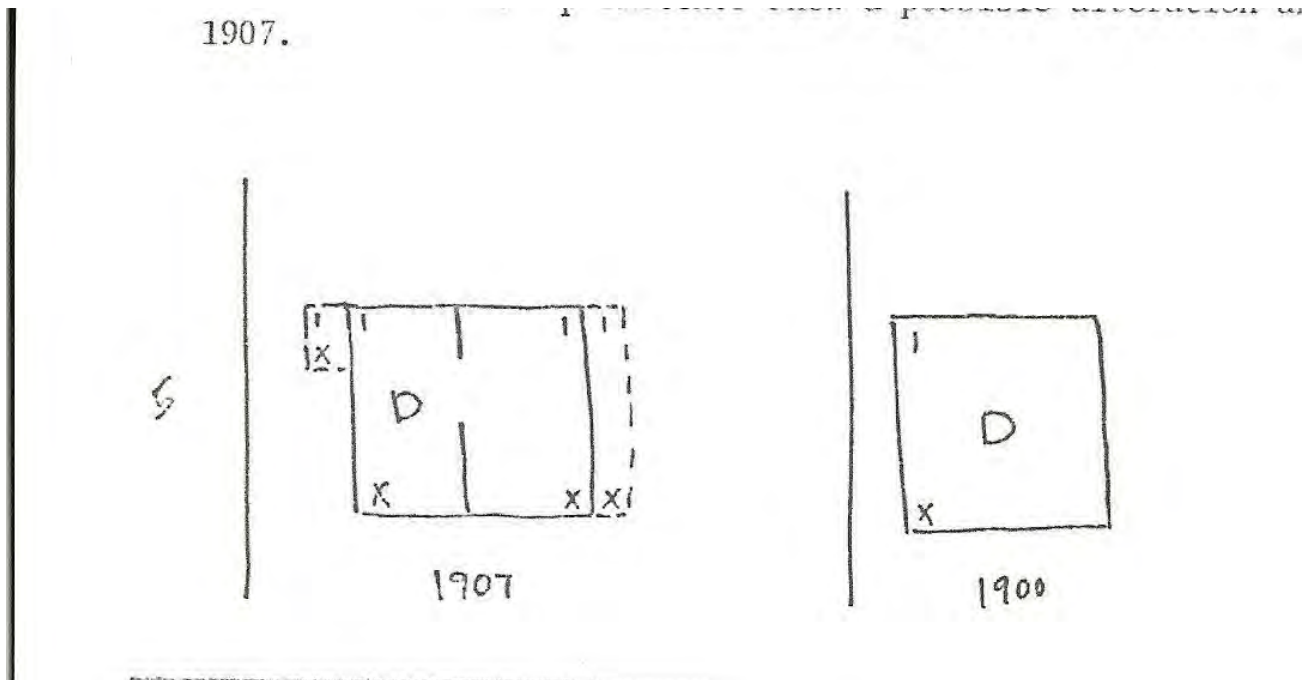
**B.8. DORMER(S) / BAY(S)** - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition: **None**

**B.9. ADDITION(S)** - Describe any additions to the original building in a chronological order of development (if known) and include information on the construction methods, materials, finishes, dimensions, condition and approximate dates of each addition. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures.

Describe the existing feature(s) and condition:

***The Sanborn maps show an alteration or addition between 1900-1907. No changes were made through 1941. There were updates/additions after 1978 to the east and west elevation. The addition on the south elevation was built after 1993.***

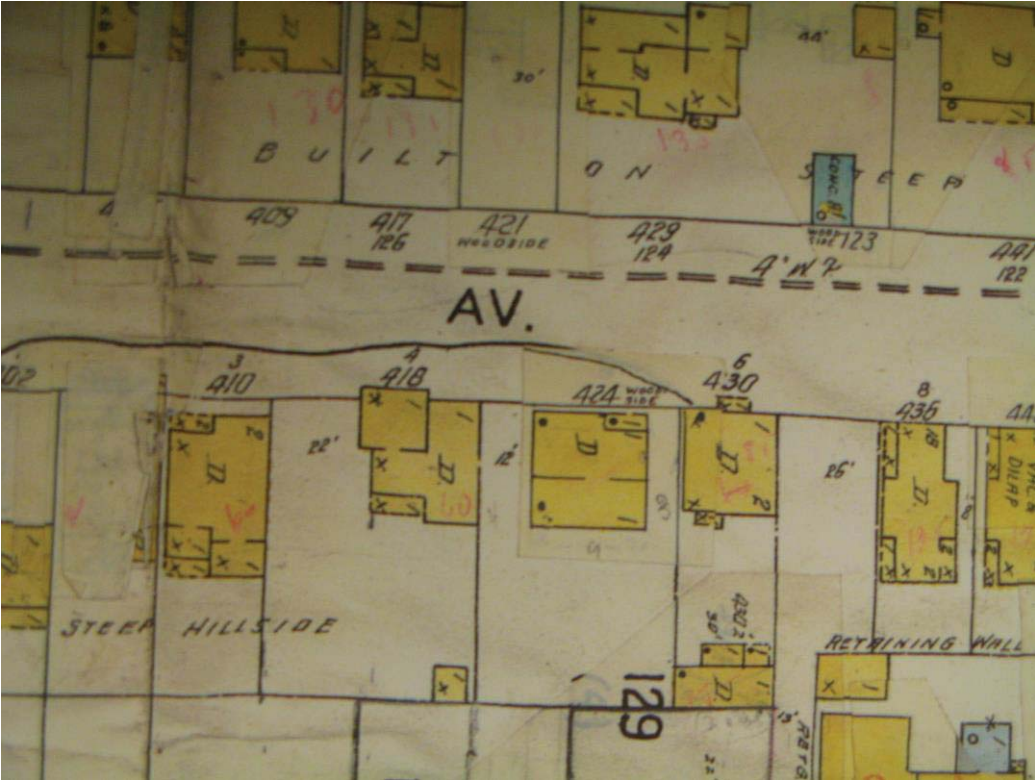


**1900-1907 Sanborn maps**

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



1929 Sanborn map



1941 Sanborn maps

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**B.10. MECHANICAL SYSTEM**

Describe the existing mechanical system and condition:

***The mechanical system was updated after 1978 and is fair condition and appears to be up to code.***

**B.11. ELECTRICAL SYSTEM**

Describe the existing electrical system and condition:

***The electrical system was updated after 1978 and is fair condition and appears to be up to code.***

**B.12. STRUCTURAL SYSTEM**

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

Describe the existing structural system and condition:

***The structural system was updated after 1978 and is fair condition. See framing plans on sheet A1.1.***

**B.13. HAZARDOUS MATERIALS**

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:

***The house was built before 1978, the presence of lead-based paint according to the EPA can be assumed. The regulations for working in the presence of lead-based paint is covered in the April 22, 2010 RRP rule.***

***The house appears to be dry and free of mold.***

**B.14. OTHER (SPECIFY):**

Describe the existing feature(s) and condition: ***None***



**MAIN BUILDING -DETAILS**

**C.1. WINDOWS** - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates. Describe the existing feature(s) and condition:

***The windows were updated after 1978 with insulated wood aluminum clad. No historic windows remain.***



***Wood aluminum clad window- typical***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**C.2. DOORS** - Describe the doors including materials, dimensions, types, whether the doors are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:

***The doors were updated after 1978 with solid core interior doors and the exterior patio door is insulated wood clad aluminum. No historic doors remain.***



***Interior doors***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**C.3. TRIM** - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.  
Describe the existing feature(s) and condition:

***All exterior and interior trim was replaced after 1978. No historic trim remains.***



***Typical base and window casing***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





***Typical ceiling trim and door casing***



***Typical exterior trim***

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**C.4. ARCHITECTURAL ORNAMENTATION** - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition: **None**

**C.5. OTHER (SPECIFY):**

Describe the existing feature(s) and condition: **None**

**ACCESSORY BUILDING(S)**

**D.1. ACCESSORY BUILDING(S)** - Mark all the boxes below that apply to your property. Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s):  Garage  Root Cellar  Shed  Other (specify):

Describe existing accessory building(s) and condition: **None**

**STRUCTURE(S)**

**E.1. STRUCTURE(S)** - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s):  Tram  Tower  Animal Enclosure  Other (specify):

Describe existing structure(s) and condition: **None**

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Applicant: \_\_\_\_\_

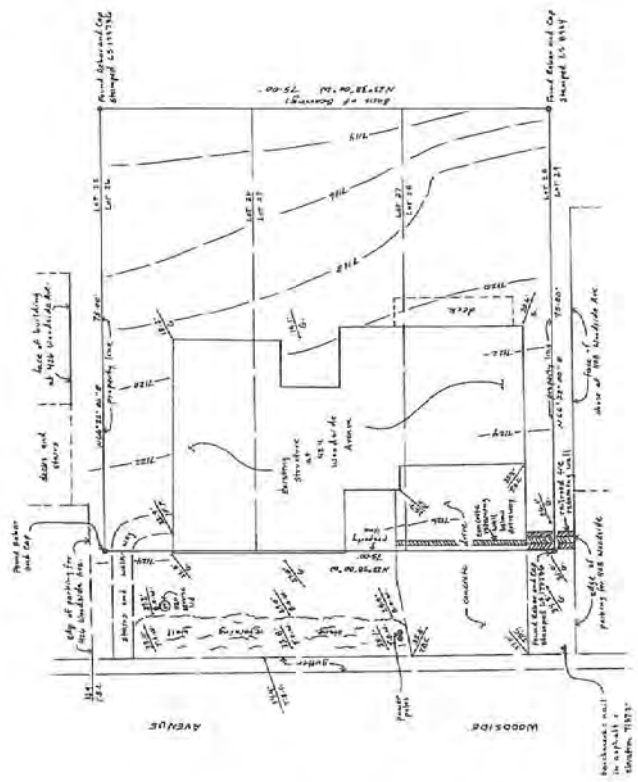
If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**EXHIBIT I**  
Existing and Proposed Plans





1124 WOODSIDE AVENUE RECORDED SURVEY  
 LOTS 24, 25, and 26, BLOCK 7, MENA GIFT SURVEY, SUMMIT COUNTY, UTAH



Submittal requirements:  
 1. The Deponent, with license number 11771 as prescribed by the laws of the State of Utah, and hereby filed and made a survey of the property shown herein and as described in the survey plat and legal description below.

SURVEY NOTES:  
 1. The purpose of this survey is for property transfer, division, and location of the shown improvements.  
 2. This survey was requested by the Deponent.  
 3. All bearings and distances shown were measured and are equal to the bearings and distances on the recorded map of Block 7, Mena Gift Survey.  
 4. The Deponent intended to run heretofore.  
 5. Attention of any party who may have any objection to this survey is hereby notified.

TRUSTEES: [Name]  
 TRUSTEES: [Name]  
 TRUSTEES: [Name]  
 TRUSTEES: [Name]

Surveyed by [Name]  
 On the [Date]  
 at the [Location]  
 for the [Purpose]  
 of [Name]  
 No. [Number]  
 State of [State]

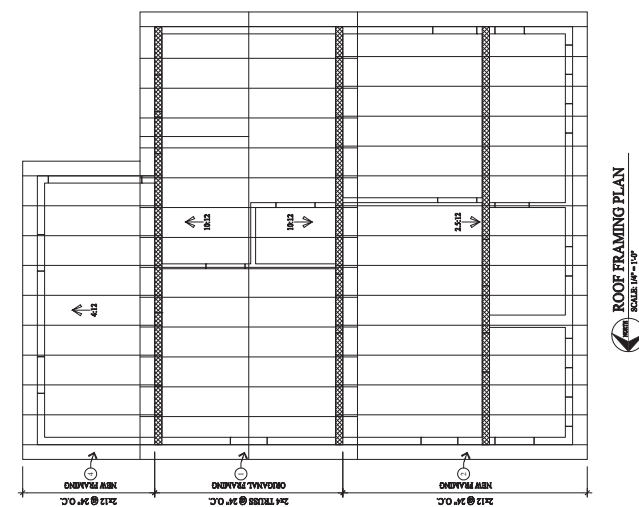
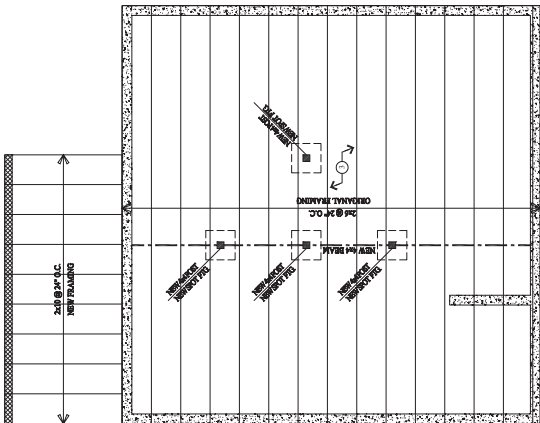
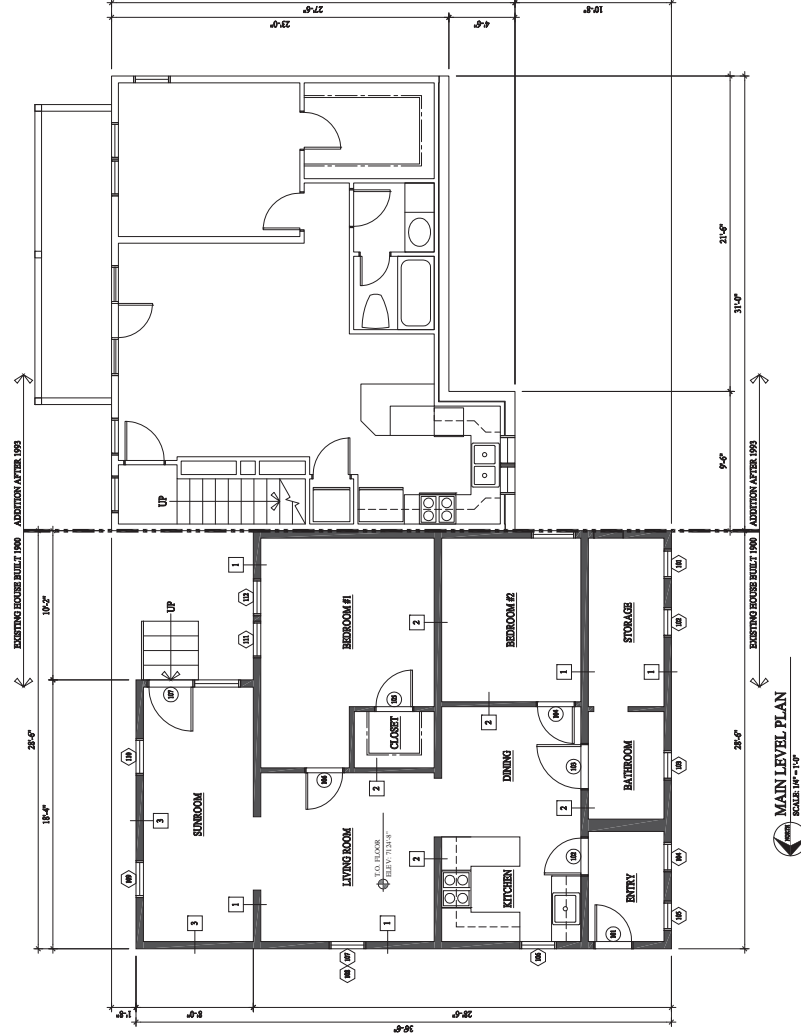
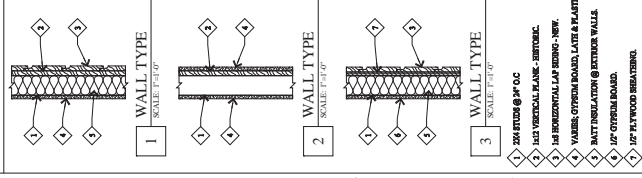
**WALL LEGEND**

- EXISTING FRAMED WALL
- EXISTING CONCRETE WALL
- EXISTING CMU WALL
- ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT TO ANY CHANGES DURING CONSTRUCTION.

**KEY NOTES**

1. NEW FRAMING ISALUMINUM STUDS ON 2" X 4" FRAMING @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES @ 5/8" O.C.
2. NEW FRAMING ISALUMINUM STUDS ON 2" X 4" FRAMING @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES @ 5/8" O.C.
3. NEW FRAMING ISALUMINUM STUDS ON 2" X 4" FRAMING @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES @ 5/8" O.C.
4. NEW FRAMING ISALUMINUM STUDS ON 2" X 4" FRAMING @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES @ 5/8" O.C.
5. NEW FRAMING ISALUMINUM STUDS ON 2" X 4" FRAMING @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES @ 5/8" O.C.
6. NEW FRAMING ISALUMINUM STUDS ON 2" X 4" FRAMING @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES @ 5/8" O.C.

**WALL TYPES**





AB.2

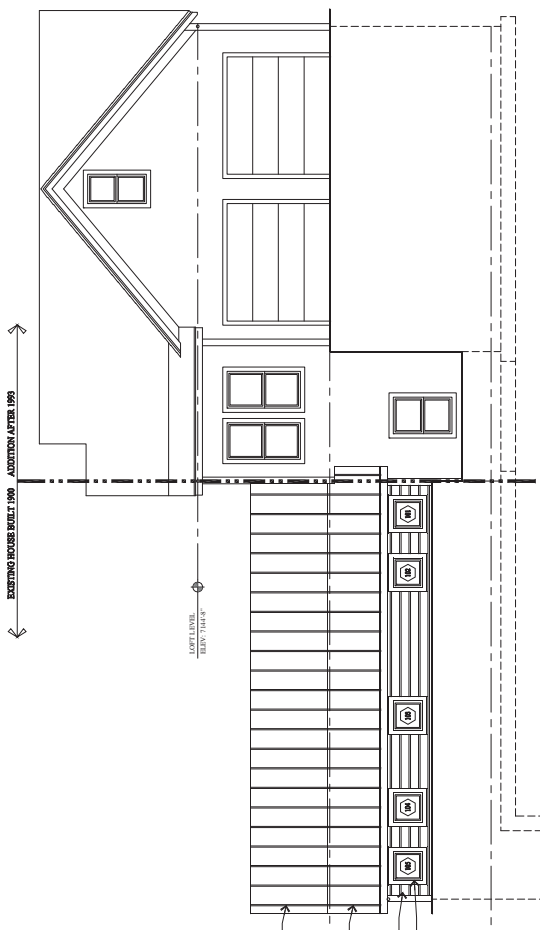
DATE: FEBRUARY 15, 2017  
PROJECT NUMBER: 101-101

AS-BUILTS  
ELEVATIONS

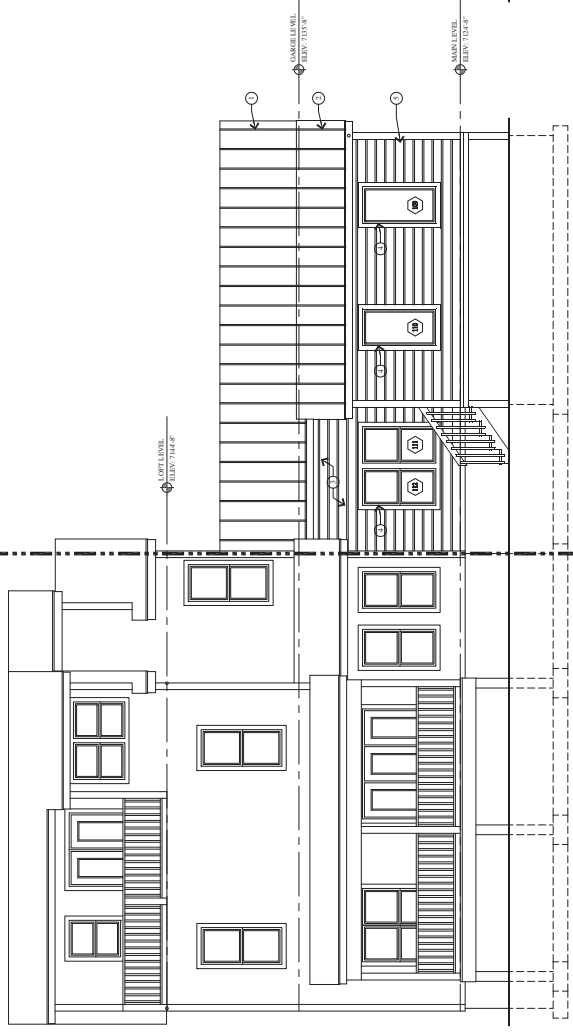
BERKLEY RESIDENCE - HDR SET  
REMODEL/ADDITION  
424 WOODSIDE AVENUE  
PARK CITY, UTAH 84060

Jonathan DeGray  
Architect  
P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060  
Tel: 435-649-7263, E-mail: deggray@jrchitect.com

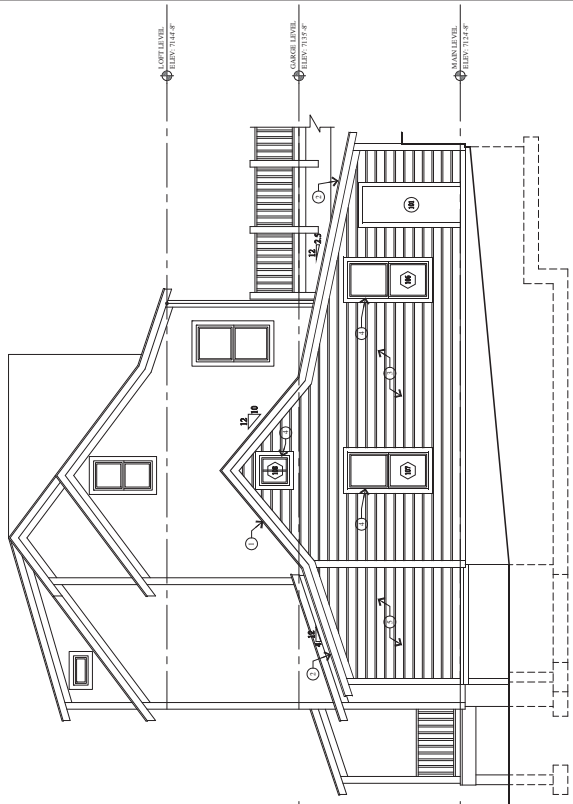
- KEY NOTES**
- 1. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.
  - 2. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.
  - 3. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.
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  - 5. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.
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  - 7. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.
  - 8. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.
  - 9. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.
  - 10. NEW FINISHES SHALL BE AS SHOWN ON THESE ELEVATIONS UNLESS NOTED OTHERWISE.



1 WEST ELEVATION  
SCALE: 3/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 3/8" = 1'-0"



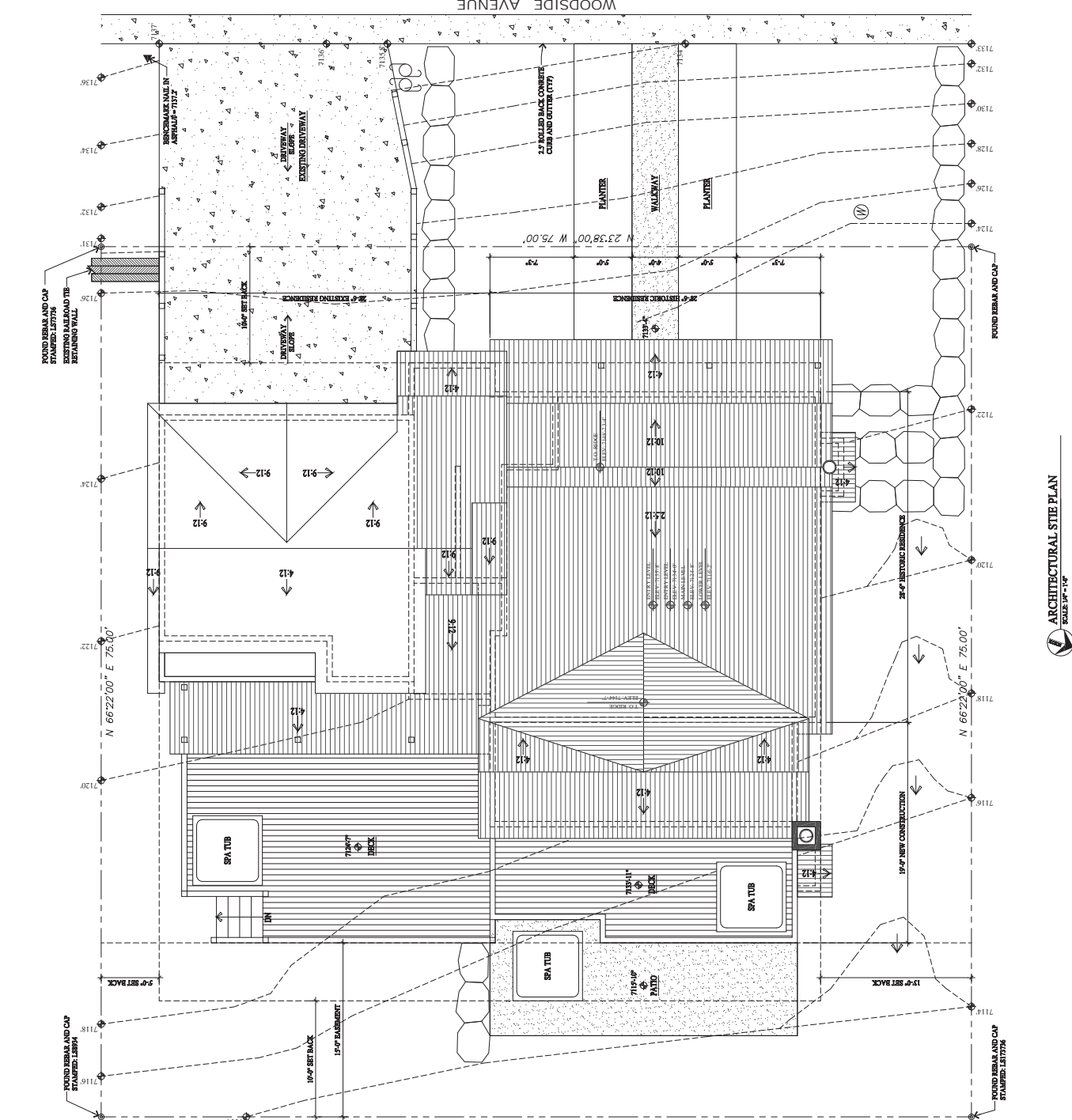
3 NORTH ELEVATION  
SCALE: 3/8" = 1'-0"

**GENERAL NOTES**

- SEE PLAN NOTES**
1. ALL SURFACES SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE WATER TO THE STREET OR AN APPROVED DRAINAGE COURSE BUT NOT INTO THE STREET SHALL FALL A MINIMUM OF 6" WITHIN THE STABILIZATION CONSTRUCTION FOOTPRINT.
  2. FOR A MINIMUM OF 50' FROM ROADWAY, A POLYMER FABRIC SHALL BE INSTALLED OVER A MINIMUM 18" DEPTH OF GRANULAR FILL. THE GRANULAR FILL SHALL BE PLACED OVER THE POLYMER FABRIC AND FINISHED TO A MINIMUM OF 1" ABOVE FINISH GRADE. THE GRANULAR FILL SHALL BE REMOVED AND REINSTALLED AT ONCE.
  3. ALL UTILITY LINES TO BE UNDERGROUND.
  4. ALL UTILITY LINES SHALL BE 18" DEEP IN EXISTING OR NEW CONSTRUCTION.
  5. ALL UTILITY LINES SHALL BE 18" DEEP IN EXISTING OR NEW CONSTRUCTION.
  6. ALL UTILITY LINES SHALL BE 18" DEEP IN EXISTING OR NEW CONSTRUCTION.
  7. ALL UTILITY LINES SHALL BE 18" DEEP IN EXISTING OR NEW CONSTRUCTION.
  8. ALL UTILITY LINES SHALL BE 18" DEEP IN EXISTING OR NEW CONSTRUCTION.
  9. ALL UTILITY LINES SHALL BE 18" DEEP IN EXISTING OR NEW CONSTRUCTION.
  10. ALL UTILITY LINES SHALL BE 18" DEEP IN EXISTING OR NEW CONSTRUCTION.

**LEGEND**

- ◻ BENCHMARK PILE
- ◻ FOUND PROPERTY CORNER
- ◻ WATER SERVICE LID
- ◻ UTILITY POLE

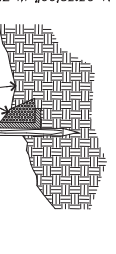


**GENERAL NOTES**

- SEE PLAN NOTES**
1. LANDSCAPE SHALL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND FILTER STORM WATER THROUGH STRIP OF MULCH.
  2. MULCH SHALL BE 2" DEEP AND SHALL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND FILTER STORM WATER THROUGH STRIP OF MULCH.
  3. STORM WATER SHALL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED AND REPAIRS MADE AS NECESSARY.
  4. THE STORM WATER PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.

**LEGEND**

- ◻ BENCHMARK PILE
- ◻ FOUND PROPERTY CORNER
- ◻ WATER SERVICE LID
- ◻ UTILITY POLE



**LEGEND**

- ◻ BENCHMARK PILE
- ◻ FOUND PROPERTY CORNER
- ◻ WATER SERVICE LID
- ◻ UTILITY POLE

**PLANTING NOTES**

1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY EXCAVATION WORK. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES. ANY DAMAGE TO UTILITIES OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.
2. ALL PLANT MATERIAL SHALL COMPLY TO CURRENT AMERICAN ASSOCIATION OF PLANTING CONTRACTORS STANDARDS AND SPECIFICATIONS.
3. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWING, DETAILS, AND SPECIFICATIONS.
4. CONTRACTOR SHALL VERIFY ALL QUANTITIES. IN CASE OF A DISCREPANCY, THE PLANTING LOCATIONS SHALL INDICATE CORRECT QUANTITIES.
5. CONTRACTOR SHALL COMPLY WITH ALL PLANTING WITH RELEVANT CONTRACTORS, ARCHITECT, AND LANDSCAPE ARCHITECT.
6. ALL PLANTING SHALL BE DONE WITHIN THE SCHEDULED TIMEFRAME.
7. ALL PLANTING SHALL BE DONE WITHIN THE SCHEDULED TIMEFRAME.
8. ALL PLANTING SHALL BE DONE WITHIN THE SCHEDULED TIMEFRAME.
9. ALL PLANTING SHALL BE DONE WITHIN THE SCHEDULED TIMEFRAME.
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11. ALL PLANTING SHALL BE DONE WITHIN THE SCHEDULED TIMEFRAME.
12. ALL PLANTING SHALL BE DONE WITHIN THE SCHEDULED TIMEFRAME.
13. ALL PLANTING SHALL BE DONE WITHIN THE SCHEDULED TIMEFRAME.

TYPING	LEFT #	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	COMMENTS
[Symbol]	0	3	COCCYTHUS LAURUS	LAUREL	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.
[Symbol]	0	2	SPYRIDUM LAURUS	SPYRIDIUM	18" x 18"	12" x 12"	18" x 18" F.O.C.

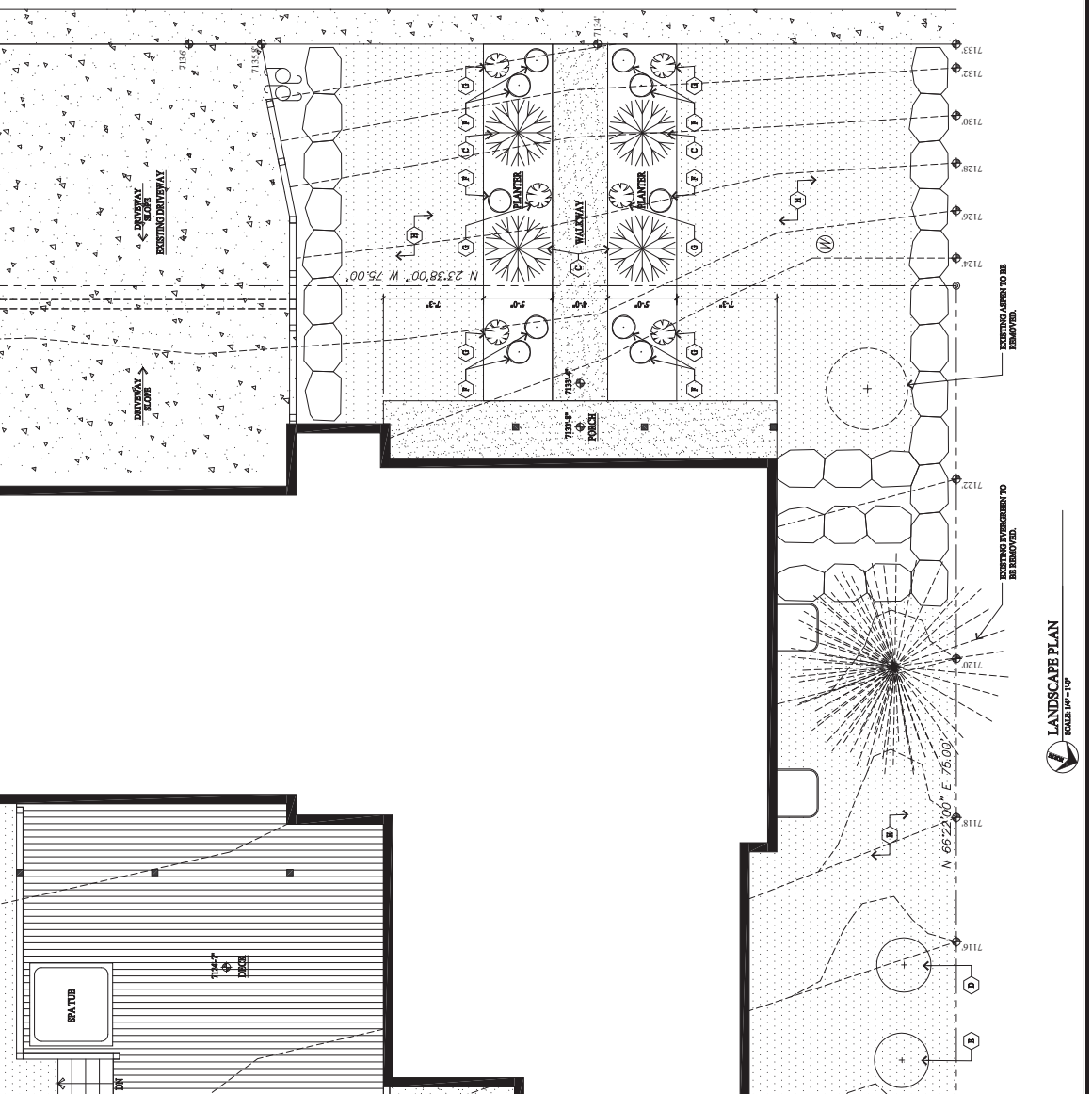
**PERENNIAL PLANTING & HYDROSEEDING**

TYPING	LEFT #	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	COMMENTS
[Symbol]	0	1	PERENNIAL PLANTING	PERENNIAL PLANTING	10' x 10'	10' x 10'	PERENNIAL PLANTING
[Symbol]	0	1	HYDROSEEDING	HYDROSEEDING	10' x 10'	10' x 10'	HYDROSEEDING

BERKLEY RESIDENCE - HDR SET  
 42 WOODSIDE AVENUE  
 PARK CITY, UTAH 84060  
 JONATHAN DEGRAY ARCHITECT  
 P.O. Box 1674, 614 Main Street, Suite 202, Park City, Utah 84060  
 P: 435-649-7263, E: info@jdcarchitect.com

**LANDSCAPE PLAN**  
SCALE 1/4" = 1'-0"

**DATE:** FEBRUARY 15, 2017  
**PROJECT NUMBER:** 101-101  
**SHEET NUMBER:** A0.2



LANDSCAPE PLAN  
SCALE 1/4" = 1'-0"



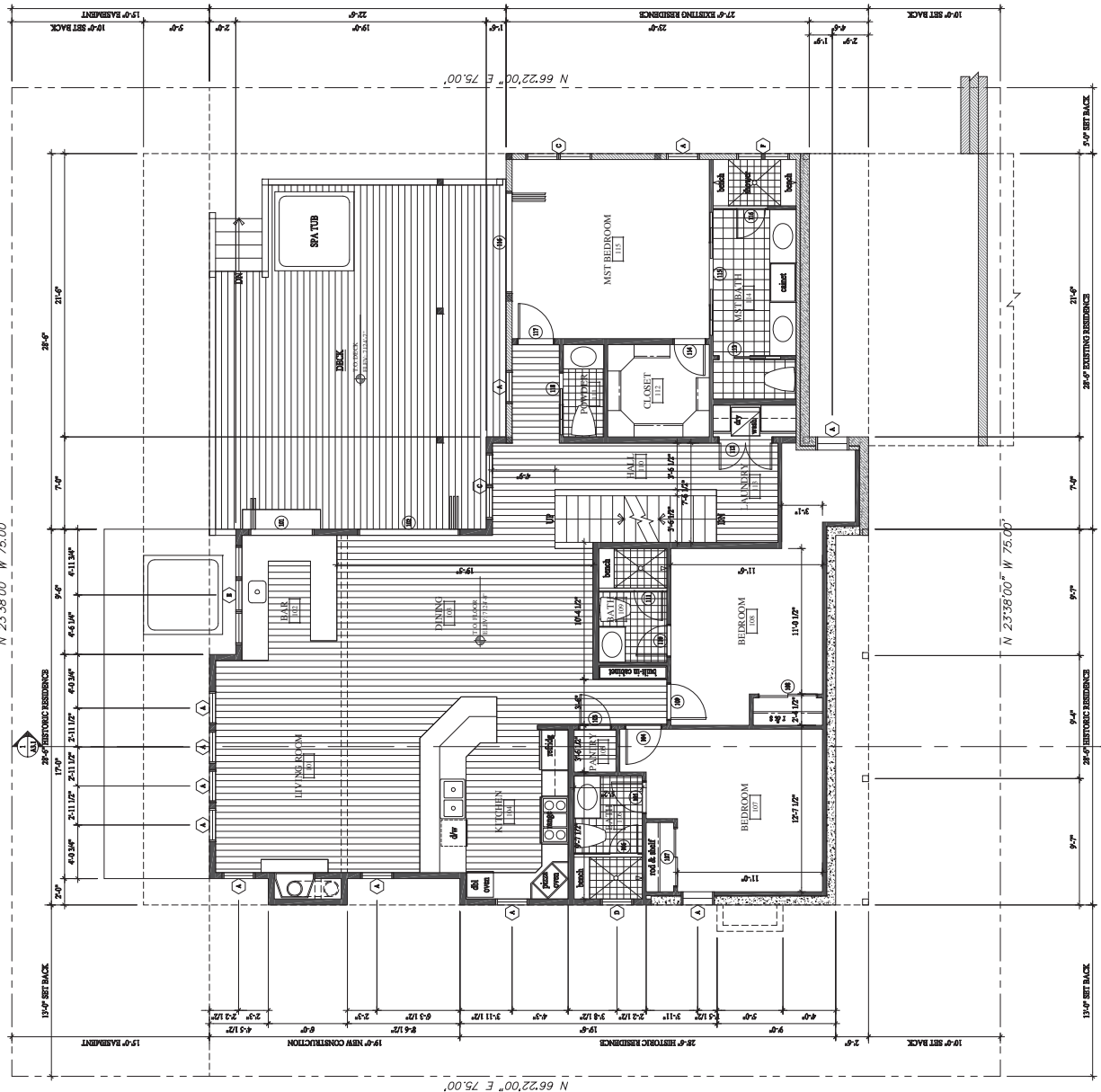


**GENERAL NOTES**

- REFER TO CONSTRUCTION WALL.
- REFER TO REPAIR WALL.
- REFER TO EXISTING WALL.
- REFER TO NEW WALL.
- REFER TO EXISTING FLOOR.
- REFER TO NEW FLOOR.
- REFER TO EXISTING CEILING.
- REFER TO NEW CEILING.
- REFER TO EXISTING ROOF.
- REFER TO NEW ROOF.

**KEY NOTES**

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE USED FOR GENERAL INFORMATION ONLY.
- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE USED FOR GENERAL INFORMATION ONLY.
- REFER TO CONSTRUCTION WALL.
- REFER TO REPAIR WALL.
- REFER TO EXISTING WALL.
- REFER TO NEW WALL.
- REFER TO EXISTING FLOOR.
- REFER TO NEW FLOOR.
- REFER TO EXISTING CEILING.
- REFER TO NEW CEILING.
- REFER TO EXISTING ROOF.
- REFER TO NEW ROOF.



MAIN LEVEL PLAN  
SCALE: 1/8" = 1'-0"







PROJECT NUMBER: 1011-01  
DATE: FEBRUARY 15, 2017  
SHEET NUMBER: A1.5

ROOF PLAN

BERKLEY RESIDENCE - HDR SET  
REMODEL/ADDITION  
424 WOODSIDE AVENUE  
PARK CITY, UTAH 84060

Jonathan DeGray  
Architect  
P.O. Box 1674, 614 Main Street, Suite 302, Park City, Utah 84060  
Tel: 435-649-7263, E-mail: deggray@jcdgray.com

GENERAL NOTES

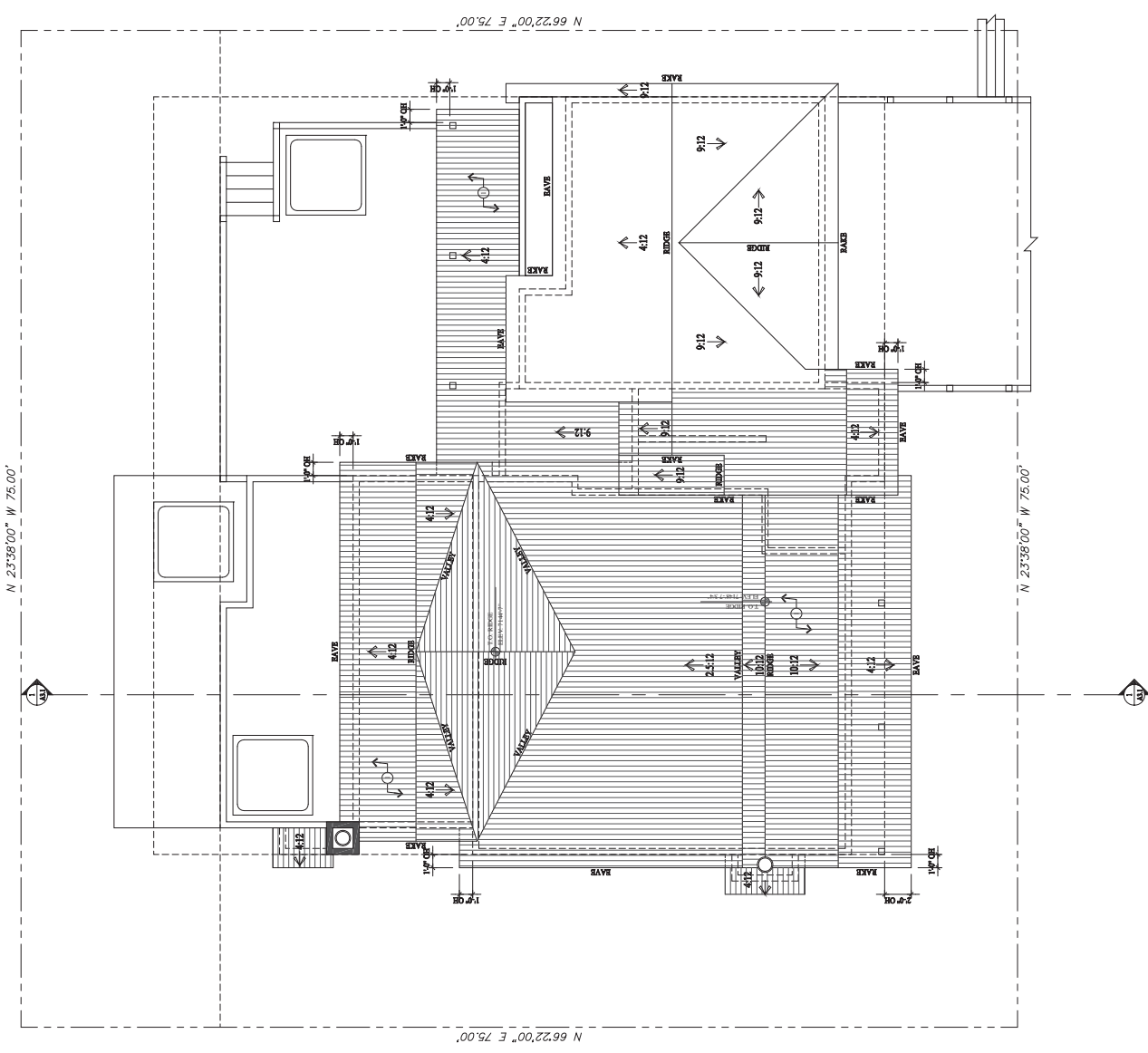
- 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL OTHER NOTES.
- 2. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 3. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 4. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
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- 6. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 7. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 8. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 10. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.

KEY NOTES

- 1. ARCHITECTURAL GRADE COMPLETION SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
- 2. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 3. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 4. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
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- 8. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.
- 10. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.

NOTES

- 1. SEE SHEET A1.2 FOR TYPICAL ROOF FLASHING DETAILS.
- 2. SEE SHEET A1.3 FOR TYPICAL ROOF FLASHING DETAILS.
- 3. SEE SHEET A1.4 FOR TYPICAL ROOF FLASHING DETAILS.
- 4. SEE SHEET A1.5 FOR TYPICAL ROOF FLASHING DETAILS.
- 5. SEE SHEET A1.6 FOR TYPICAL ROOF FLASHING DETAILS.
- 6. SEE SHEET A1.7 FOR TYPICAL ROOF FLASHING DETAILS.
- 7. SEE SHEET A1.8 FOR TYPICAL ROOF FLASHING DETAILS.
- 8. SEE SHEET A1.9 FOR TYPICAL ROOF FLASHING DETAILS.
- 9. SEE SHEET A1.10 FOR TYPICAL ROOF FLASHING DETAILS.
- 10. SEE SHEET A1.11 FOR TYPICAL ROOF FLASHING DETAILS.

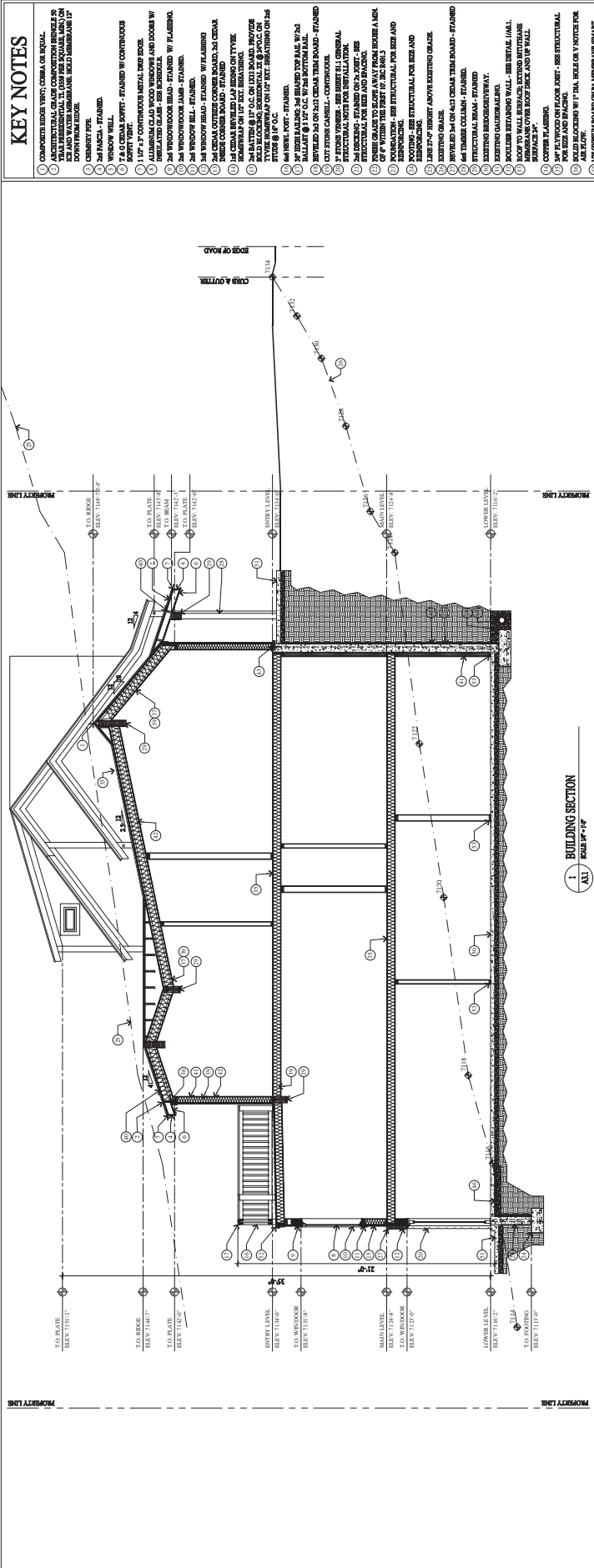


ROOF PLAN  
SCALE: 1/8" = 1'-0"









1 BUILDING SECTION  
SCALE: 1/4" = 1'-0"

- KEY NOTES**
- 1. CONCRETE SHALL BE PERMANENT FORMS WITH VIBRATION TABLE, 12" MINIMUM TO 18" MAXIMUM. ALL CONCRETE SHALL BE FINISHED WITH A STRONG FLOOR FINISH. ALL CONCRETE SHALL BE 28 DAY STRENGTH 4,000 PSI. ALL CONCRETE SHALL BE 28 DAY STRENGTH 4,000 PSI. ALL CONCRETE SHALL BE 28 DAY STRENGTH 4,000 PSI.
  - 2. 1 1/2" x 4" CONTINUOUS METAL TIE BARS.
  - 3. ALL WOODWORK SHALL BE WESTERN RED CEDAR.
  - 4. 2x4 WINDWOOD FRAM - STAINED, W/ FLASHING.
  - 5. 3/4" WINDWOOD FLOOR - STAINED.
  - 6. 3/4" WINDWOOD WALL - STAINED.
  - 7. 3/4" WINDWOOD CEILING - STAINED.
  - 8. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 9. 3/4" WINDWOOD CEILING - STAINED.
  - 10. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 11. 3/4" WINDWOOD CEILING - STAINED.
  - 12. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 13. 3/4" WINDWOOD CEILING - STAINED.
  - 14. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 15. 3/4" WINDWOOD CEILING - STAINED.
  - 16. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 17. 3/4" WINDWOOD CEILING - STAINED.
  - 18. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 19. 3/4" WINDWOOD CEILING - STAINED.
  - 20. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 21. 3/4" WINDWOOD CEILING - STAINED.
  - 22. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 23. 3/4" WINDWOOD CEILING - STAINED.
  - 24. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 25. 3/4" WINDWOOD CEILING - STAINED.
  - 26. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 27. 3/4" WINDWOOD CEILING - STAINED.
  - 28. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 29. 3/4" WINDWOOD CEILING - STAINED.
  - 30. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 31. 3/4" WINDWOOD CEILING - STAINED.
  - 32. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 33. 3/4" WINDWOOD CEILING - STAINED.
  - 34. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
  - 35. 3/4" WINDWOOD CEILING - STAINED.

- 36. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 37. 3/4" WINDWOOD CEILING - STAINED.
- 38. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 39. 3/4" WINDWOOD CEILING - STAINED.
- 40. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 41. 3/4" WINDWOOD CEILING - STAINED.
- 42. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 43. 3/4" WINDWOOD CEILING - STAINED.
- 44. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 45. 3/4" WINDWOOD CEILING - STAINED.
- 46. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 47. 3/4" WINDWOOD CEILING - STAINED.
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- 49. 3/4" WINDWOOD CEILING - STAINED.
- 50. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 51. 3/4" WINDWOOD CEILING - STAINED.
- 52. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 53. 3/4" WINDWOOD CEILING - STAINED.
- 54. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 55. 3/4" WINDWOOD CEILING - STAINED.
- 56. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
- 57. 3/4" WINDWOOD CEILING - STAINED.
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- 63. 3/4" WINDWOOD CEILING - STAINED.
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- 65. 3/4" WINDWOOD CEILING - STAINED.
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- 67. 3/4" WINDWOOD CEILING - STAINED.
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- 77. 3/4" WINDWOOD CEILING - STAINED.
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- 82. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.
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- 99. 3/4" WINDWOOD CEILING - STAINED.
- 100. 3/4" WINDWOOD FLOOR - STAINED, 2x4 CEDAR BRIDGE COILS BOARD - STAINED.

### WINDOW SCHEDULE

MARK	TYPE	SIZE	WIDTH	HEIGHT	THICK	DOOR	DOOR	DOOR	FRAME	FRAME	FRAME	FRAME	REMARKS
①						TYPE	THICK	TYPE	TYPE	TYPE	TYPE	TYPE	

### WINDOW NOTES

1. ALL WINDOWS OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.
2. ALL DOORS TO BE 1 1/4" SOLID CORE UNLESS NOTED OTHERWISE.
3. ALL SHOWER DOORS AND GLASS SHOWER ENCLOSURES SHALL BE TIMBERED GLASS. IRC SECTION R 303.3 AND R 308.4
4. FRENCH DOOR/TUBRACK DOORS TO BE STEPPED BY WINDOW AND SET BY THE CONTRACTOR AT VALUE OF 20" MINIMUM.
5. ALL WINDOW OPENINGS SHALL BE TESTED IN ACCORDANCE WITH IBC 2015 - IRC 2014.

### DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	THICK	DOOR	DOOR	DOOR	FRAME	FRAME	FRAME	FRAME	REMARKS
①					TYPE	THICK	TYPE	TYPE	TYPE	TYPE	TYPE	

### ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR MAT'L	BASE	WALLS	NOBLE	BASE	SOUTH	WEST	CEILING	REMARKS

### DOOR NOTES

1. ALL DOOR OPENINGS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE INSTALLATION.
2. ALL DOORS TO BE 1 1/4" SOLID CORE UNLESS NOTED OTHERWISE.
3. ALL SHOWER DOORS AND GLASS SHOWER ENCLOSURES SHALL BE TIMBERED GLASS. IRC SECTION R 303.3 AND R 308.4
4. FRENCH DOOR/TUBRACK DOORS TO BE STEPPED BY WINDOW AND SET BY THE CONTRACTOR AT VALUE OF 20" MINIMUM.
5. ALL WINDOW OPENINGS SHALL BE TESTED IN ACCORDANCE WITH IBC 2015 - IRC 2014.

### DOOR, WINDOW AND ROOM SCHEDULES

ROOM NO.	ROOM NAME	FLOOR MAT'L	BASE	WALLS	NOBLE	BASE	SOUTH	WEST	CEILING	REMARKS

### DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	THICK	DOOR	DOOR	DOOR	FRAME	FRAME	FRAME	FRAME	REMARKS

### WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	THICK	DOOR	DOOR	DOOR	FRAME	FRAME	FRAME	FRAME	REMARKS



**EXHIBIT J**  
Applicant's Analysis for Reorientation

Jonathan DeGray - Architect

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May 19, 2017

Park City Municipal Corporation  
442 Marsac Avenue  
Park City, Utah

Attn: Bruce Erickson, Planning Director  
Hannah Taylor, Planner

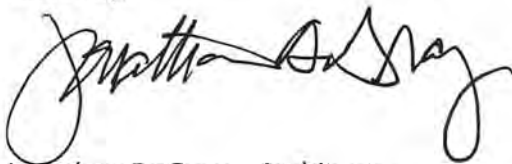
Re: Berkley Residence, 424 Woodside

Dear Bruce and Hannah,

Please find attached; Historic Site Analysis and Code Compliance Response for the purpose of determining "Unique Conditions" as they relate to the lifting and reorientation of the significant historic home at 424 Woodside Avenue.

Please let me know if you have any questions or would like additional information.

Sincerely,



Jonathan DeGray – Architect

614 Main Street, Suite 302  
P.O. Box 1674, Park City, Utah 84060 Tel./Fax 435-649-7263  
Email: [degrayarch@qwestoffice.net](mailto:degrayarch@qwestoffice.net) Web: [www.degrayarchitect.com](http://www.degrayarchitect.com)



## 424 Woodside, Historic Site Analysis

424 Woodside sits in an area between Park Avenue and Woodside Avenue that has experienced great change in both building types and access over the past 120 years. The following analysis will discuss the unique conditions that surround this property and why re-orientation of the building to face Woodside Avenue is warranted in this situation.

### Historic Context

424 Woodside is a single-story hall parlor that has been modified significantly over the years. The Historic Sites Inventory notes the date of construction as 1900 but Sanborn maps indicate it dates to 1889. The original form on the Sanborn's show a simple rectangle with attached smaller form to the rear. By 1907 the rear add on form has changed location and size and a front porch appears. By 1941 The front porch is gone but the rear additions have grown. Sometime after this period a front porch was added again and has since been enclosed and included in to the main building as living area. In the early 1990 a large addition with two car garage was added to the south side of the existing home.

The home at 424 Woodside was constructed with its primary front façade facing east towards Park Avenue. This is a similar orientation to a number of adjacent homes built in the same period but that have since been demolished. Area photo dated 1907 and 1930 provided by the Park City Museum, (see attached Exhibits A, B, C & D), clearly shows 424 Woodside as well as homes to the south, at what are now 400, 402, 408 Woodside, and to the north, at what is now 426 Woodside, with their front facades facing east towards Park Avenue. Closer examination of the photo shows access to the east side of these Woodside properties via a stair case and foot path entering from Park Avenue just south of the home at 421 Park Avenue, (see Exhibit A & B). In the early 1900, during the mining period and pre-automobile, transportation in town was primarily by foot with some residents having horse and wagon.

It is also interesting to note that 4<sup>th</sup> street is actually a street at this point in time with a stair/sidewalk running along its north side, (see Exhibit B). The roadway at 4<sup>th</sup> street is now gone and in its place a public stair.

In 1907 Woodside Avenue was no more than a narrow path used for wagons and foot traffic, primary access to Main Street was by foot from the front of these homes via the footpaths and stair access. By 1930 this access seems to be diminished or no longer exists. Review of the attached 1930 area photo shows the orientation of the homes shown in the 1907 photo remains but it is unclear if the path access remains, (see Exhibits C & D). With the access from the front of the home to Park Avenue lost and with the development of Woodside Avenue to accommodate automobiles Woodside Avenue becomes the primary access to 424 Woodside.

From the 1930's forward the rear, or Woodside Avenue side, of 424 Woodside becomes the main access point to the home and the rear porch side entry becomes the primary entry door.





As time has progressed the surrounding homes that appeared in the 1907 and 1930 photo have been demolished and replaced with newer, larger homes that orient to Woodside Avenue. The redevelopment of the area has caused the loss of the historic mining period access to the front, east facing side of 424 Woodside.

The home at 424 Woodside along Woodside Avenue, west side of the property, has always been below the street elevation. Street improvements by the city along Woodside Avenue over the years has raised the grade and widened Woodside Avenue. (see Exhibit E & F for comparison). These improvements to the street have placed the home approx. 10' below the roadway elevation, (see 424 Woodside Record of Survey, dated 8-8-2004). These factors add up to a situation where the historic mining period context that 424 Woodside was originally built is lost and the home as it sits today is lost among the newer and larger redeveloped residential properties that face Woodside Avenue, (see Exhibit G).

### Code Compliance

Land Management Code, Section 15-11-13, Relocation and/or Reorientation of Historic Buildings or Historic Structures, Section A, Item #3c, The Historic Preservation Board, with input from the planning director and chief building official, determines that unique conditions warrant the proposed relocation and or reorientation on the existing site. Unique conditions shall include all of the following:

- (1) The historic context of the historic building and or structure has been so radically altered that the proposed relocation will enhance the ability to interpret the historic character of the historic building and/or structure and the Historic District or its present setting. *The following finding apply.*
  - a. *The historic front yard access to the home has been lost*
  - b. *The surrounding homes of the same era and orientation have been replaced with larger contemporary homes with different orientation*
  - c. *The scale of the adjacent structures dwarf 424 Woodside and creates a visual disconnect in the street scape.*
  - d. *The street has been widened and elevation raised.*
  - e. *The existing home is 10' below street level*
  - f. *By raising and rotating the home the historic front elevation will face the street and be at street level. This will enhance the visibility of the home and It will allow the character of the historic home to be viewed from the street. This will also infill and add to the street scape, (see exhibit G).*



- (2) The propose relocation will not diminish the overall physical integrity of the Historic District or diminish the historical associations used to define the boundaries of the district. *The following findings apply:*
- a. *The historic front yard, east side, access has been lost.*
  - b. *At present, due to the buildings orientation the form and character of the historic home are lost behind a non-descript roof form located well below the roadway elevation.*
  - c. *The building is dwarfed by the surrounding newer buildings and its own 1990's addition.*
  - d. *By lifting and rotating the home to face Woodside Avenue the historic homes form and character will be presented to the public.*
  - e. *By having the building face the street, the street scape will be filled in with this historic building and the physical integrity of the historic district will be increased, (see Exhibit G).*
  - f. *The building is presently listed as significant. The proposed relocation and reorientation will not change that listing.*
- (3) The historic integrity and significance of the historic building and or structure will not be diminished by relocation and or reorientation. *The following findings apply:*
- a. *The building is presently listed as significant. The proposed relocation and reorientation will not change that listing.*
- (4) The potential to preserve the historic building and or structure will be enhanced by its relocation. *The following findings apply:*
- a. *Currently the home located 10' below street level*
  - b. *The home is surrounded by larger contemporary homes and its own 1990's addition.*
  - c. *Lifting and rotating the home will bring it to street level and will allow the home to be seen and appreciated by the public as a historic structure. It will also greatly improve its livability and put it in line with the livability of the contemporary homes that surround it.*
  - d. *If the home is required to remain where it is, it will always be considered a substandard property. Motivation to invest in a substandard property that cannot be improved in any meaningful way will be limited and ultimately detrimental to its long-term preservation.*



Summary:

The Historic Context discussion presented here details the evolution of this site and clearly shows how the mining period site context has irreversibly been lost. By applying these facts to the Code Compliance section, it is further made clear that lifting and reorienting the home is the best possible solution going forward to insure the historic form is preserved in a meaningful way for years to come.

Attachments:

Exhibit A, 1907 Photo

Exhibit B, 1907 Photo, Enlarged Area

Exhibit C, 1930, Photo

Exhibit D, 1930 Photo, Enlarged Area

Exhibit E, 1940 Tax Photo

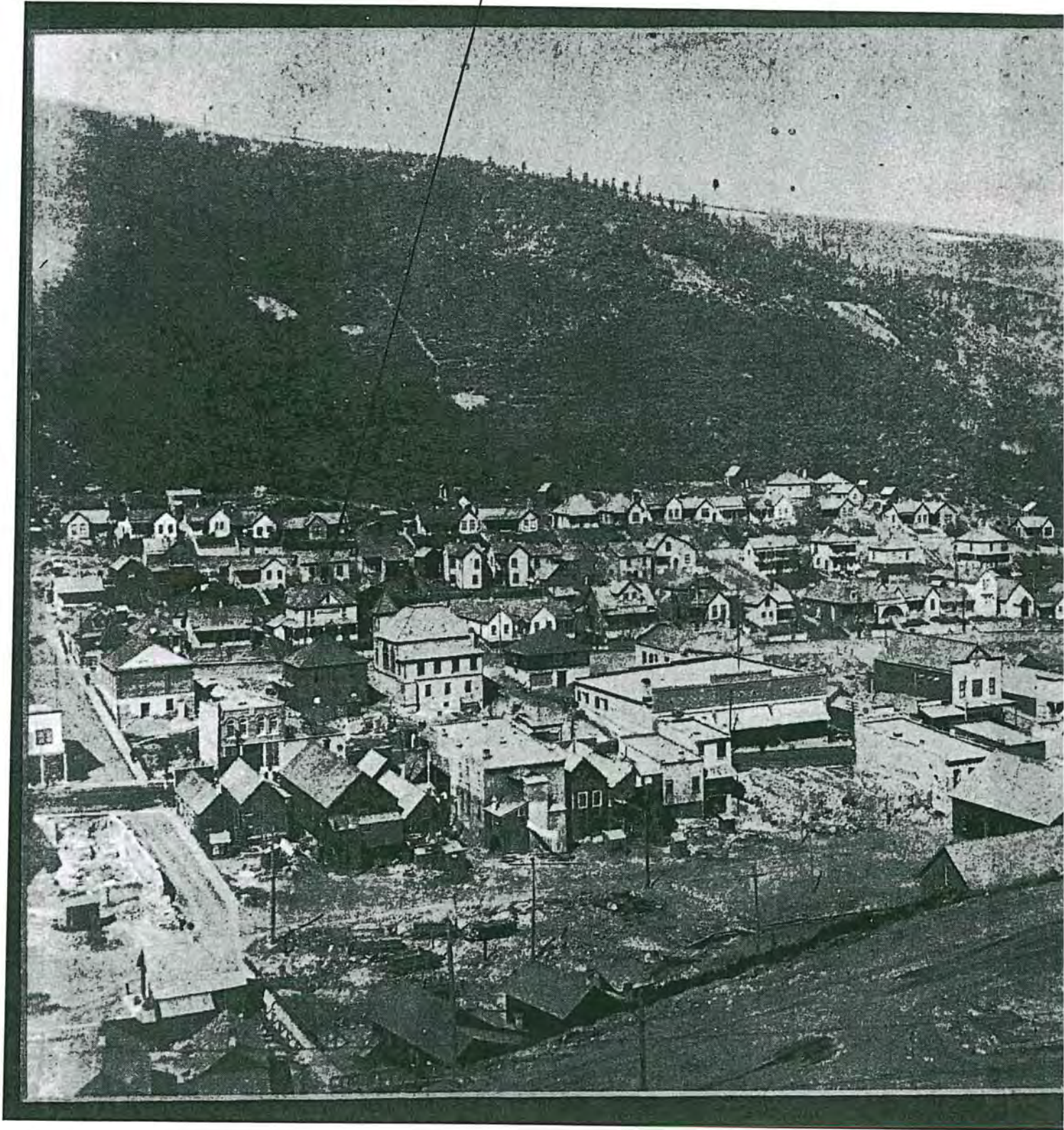
Exhibit F, 2010 Photo

Exhibit G, Street Scape





424 WOODSIDE



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MAY 24 2017  
PARK CITY  
PLANNING DEPT.

EXHIBIT A  
1907 PHOTO



FOOT PATH

424 WOODSIDE



4TH ST.

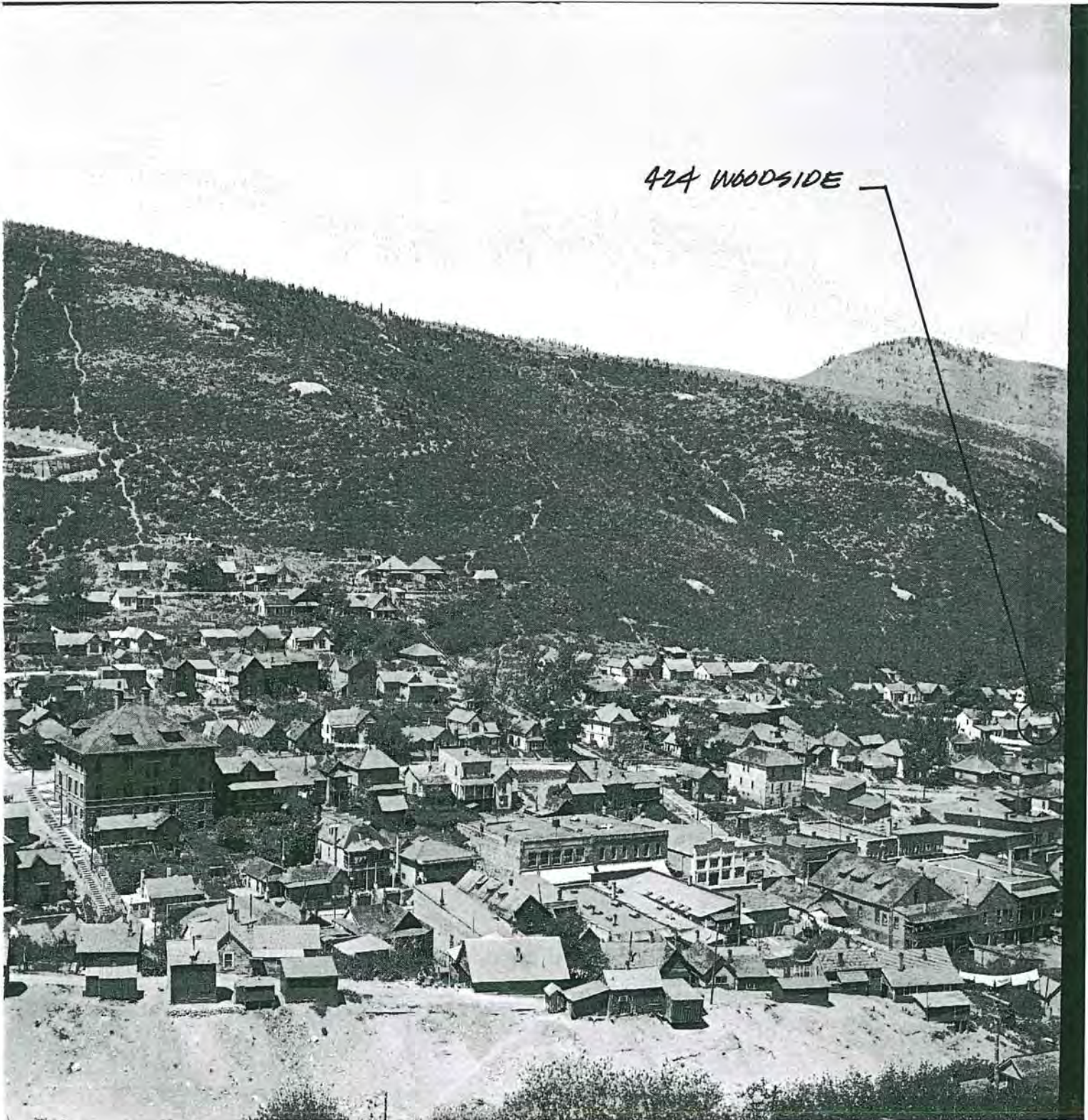
STAIR

RECEIVED  
 MAY 24 2017  
 PARK CITY  
 PLANNING DEPT.

EXHIBIT B  
 1907 PHOTO

Page 228 of 287

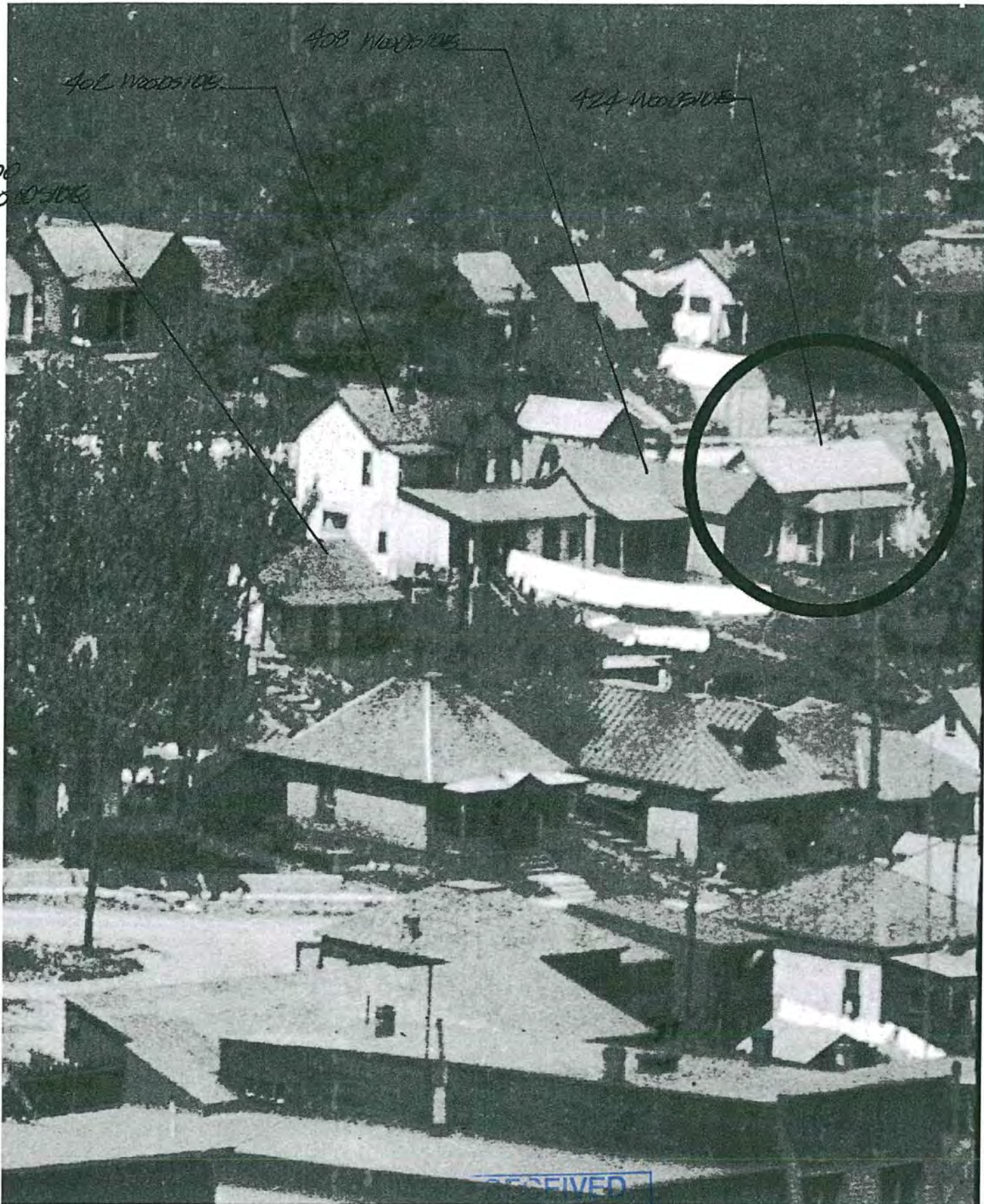




424 WOODSIDE

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PLANNING DEPT.





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PARK CITY  
PLANNING DEPT.

**EXHIBIT D**  
**1930 PHOTO**





RECEIVED  
MAY 24 2017  
PARK CITY  
PLANNING DEPT.

EXHIBIT E  
1940 TAX PHOTO

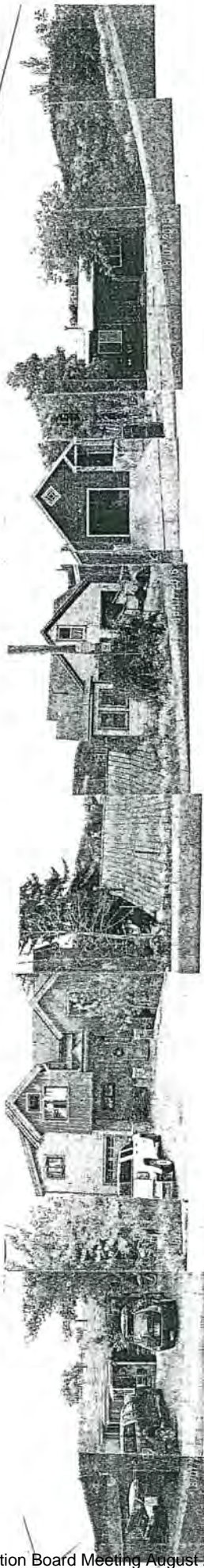




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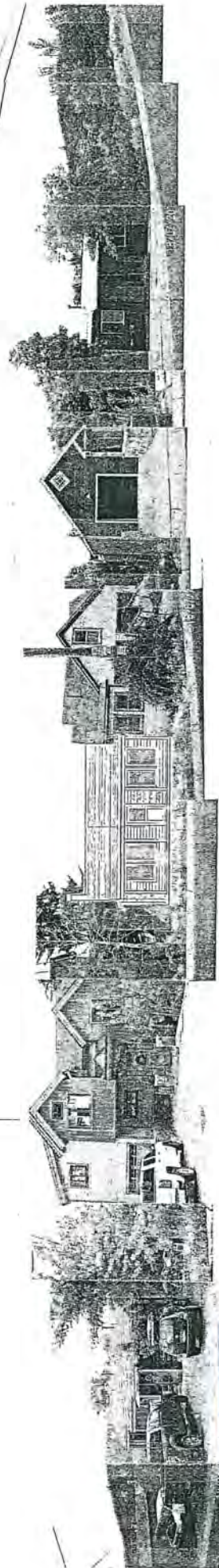
**EXHIBIT F**  
**2010 PHOTO**  
Page 232 of 287





AREA INDICATIVE

STREET SCAPES - EXISTING  
NO SCALE



AREA INDICATIVE

STREET SCAPES - PROPOSED  
NO SCALE

RECEIVED  
MAY 24 2017  
PARK CITY  
PLANNING DEPT.

EXHIBIT G

## **EXHIBIT K**

Park City Municipal Corporation's Historic Preservation  
Consultant, Anne Oliver, SWCA - Assessment of Proposed  
Reorientation



ENVIRONMENTAL CONSULTANTS

Sound Science. Creative Solutions.

Salt Lake City Office  
257 East 200 South, Suite 200  
Salt Lake City, Utah 84111  
Tel 801.322.4307 Fax 801.322.4308  
www.swca.com

# Memorandum

**To:** Planning Department, Park City Municipal Corporation, Utah  
**From:** Anne Oliver, Principal Investigator, SWCA Environmental Consultants  
**Date:** June 20, 2017  
**Re:** Assessment of Proposed Reorientation of Significant Site at 424 Woodside Avenue

---

## Introduction

The property at 424 Woodside Avenue in Park City, Utah, is listed on the Park City Municipal Corporation (PCMC) Historic Sites Inventory (HSI) as a Significant Site. The building on the property comprises a historic one-story residence built ca. 1886 and a large two-and-one-half story addition abutting it on the south, which was built in 1993.<sup>1</sup> Presently the historic house and the addition do not have an interior connection and the property is used as a duplex. The original principal façade of the historic house faced east but it is currently accessed via a staircase leading down from Woodside to an older secondary door on the north side. The addition faces west onto Woodside Avenue and includes a driveway and two-car garage.

The property owners wish to rehabilitate the property and convert the duplex into a single-family home. Toward this end, proposed work on the historic house includes the following: demolish smaller non-historic additions, identify any extant historic features and materials, panelize the house, reorient it so that the historic façade faces Woodside Avenue, lift it by 9 feet to align the historic main floor with the garage level of the south addition (bringing the historic house up to street level), add a foundation and basement-level addition, and construct a two-story addition on the east side. Additional work is proposed for the 1993 south addition.

The Planning Department has requested a formal assessment of the proposed reorientation of the historic house, its degree of compliance with PCMC's Historic District Design Guidelines and Land Management Code, the effects that reorientation will have on the historic significance and integrity of the house, and ultimately whether the property will remain eligible for listing on the HSI as a Significant Site and contributing resource in the HR-1 Zone. The nature and effects of other proposed work will not be considered here.

Background information on the property includes a Utah State Historical Society Structure/Site Information Form (Notarianni 1978); a PCMC HSI form (Blaes 2008) with associated ca. 1940 tax photograph and Utah State Tax Commission appraisal cards; a Utah Historic Preservation Office Historic Site Form (Carmen 2015) with associated Sanborn Fire Insurance Company maps from 1889, 1900, 1907, 1929, and 1941; a Historic Preservation Plan (HPP) and Physical Conditions Report prepared by the applicant's representative Jonathan DeGray (2016); updated Historic District Design Review (HDDR)

---

<sup>1</sup> Title research indicates that several mortgages were taken out on the property in 1886, likely for the construction of a house, and the building is shown on the 1889 Sanborn map (Carmen 2015).



drawings for the proposed remodel and addition to the property (2017a); and a historic site analysis prepared by DeGray (2017b) with associated historic photographs and as-built drawings.

### **Property History and Description**

Originally, the historic building was a hall-parlor type single-family dwelling with a side-gabled roof; it was built on a relatively steep slope that was terraced toward the rear of the house (the Woodside Avenue side) to provide a more level building lot. Information from historic photographs, Sanborn maps, and current as-built drawings documents the following:

- The wood-framed and wood-sided house originally faced east, providing a view over Main Street. Physical evidence and the 1889 Sanborn map indicate that it had a small shed-roofed wing on the south end of the rear (west) side but no front porch (see 1889 Sanborn in Figure 1).
- As visible in historic photographs, the principal façade was composed of a central doorway flanked by a window on each side (Figures 2 and 3). Woodside Avenue was present to the west but, in the pedestrian-oriented city of the time, access to the house was also via a footpath leading north from Fourth Street behind the Park Avenue houses, and then a short staircase leading up to the east façade (obscured by houses in the foreground). The orientation of houses along the uphill (west) side of Woodside was uniformly east-facing, while orientations along the downhill (east) side was mixed, with some facing the street and others the canyon.
- By 1900, the original shed-roofed wing had been extended across the rear (west) side (see 1900 Sanborn in Figure 1).
- In 1907, the Sanborn map indicates that a formal front porch was added to the east side, further defining it as the primary façade, at the same time that a secondary entry porch was added to the west side. The house retained this configuration through 1930 (Figure 4; see also Figure 1).
- By 1941, a second shed-roofed addition had been built across the west side, incorporating the 1907 rear screened porch and essentially filling the terrace between the rear wall of the house and the retaining wall so that the eave was nearly at grade (Figure 5; see also Figure 1). The front porch had been removed and asbestos shingles had been applied over the original wood siding by this time (see Figures 1 and 5).
- Asbestos shingle siding was also noted on the 1957 tax appraisal card, which also documents the absence of an east porch (Blaes 2008).
- The 1968 tax appraisal card indicates that a porch had been rebuilt across the east façade (Blaes 2008).
- Between 1978 and 1993, the east façade was modified by the addition of a sunroom across the north two-thirds (which likely was created by enclosing the ca. 1968 front porch), covering the original doorway and north window. The interior floor plan indicates that these historic openings were completely removed or covered at the time. As well, the south window on the east façade was enlarged to accommodate two one-over-one windows (see as-built drawings in DeGray 2016). The asbestos shingles were also removed during this period and replaced with new drop siding; on the west and north elevations this was applied over the original 1 x 12 vertical plank sheathing (Figure 6). It appears that all original windows and doors were replaced as well (DeGray 2016).

- The historic house was extensively rehabilitated and altered in 1993, when the large south addition was built. The south wall of the historic house (between the historic house and the addition) was completely rebuilt and no original materials remain in the east wall. The south addition was enlarged with an east-facing dormer in about 2005 (DeGray 2016).
- Through time, as Woodside Avenue has been paved, improved, and widened with curb, gutter, and sewer, the level of the road has risen higher above the rear (west) wall and terrace of the house at 424 Woodside. The change in width is uncertain, as is the change in historic grade, but it is likely to be a few feet in both cases (Figure 7).

### **Significance and Integrity**

As defined by the National Park Service (1997), a resource may be significant and considered eligible for the NRHP if it:

- is associated with events that have made a significant contribution to the broad patterns of our history (Criterion A); or
- is associated with the lives of persons significant in our past (Criterion B); or
- embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction (Criterion C); or
- yields, or may be likely to yield, information important in prehistory or history (Criterion D).

A resource that meets one or more of these criteria must also be evaluated for integrity of location, design, setting, materials, workmanship, feeling, and association. To be eligible for the NRHP, a resource must possess integrity of those elements directly related to the criterion or criteria under which it would be determined eligible.

In order to best preserve its historic resources and character, PCMC includes two types of sites on the HSI: Landmark and Significant. As noted in PCMC's "Design Guidelines for Historic Districts and Historic Sites," which are based closely on National Park Service standards, "Park City's Landmark Sites have structures that possess the highest level of historic integrity" and that meet the NRHP criteria for both significance and integrity. "Significant Sites have structures that retain their essential historical form, meaning that [a building] must retain the physical characteristics that make it identifiable as existing in or relating to an important era in Park City's past" but that it does not retain enough integrity to make it eligible for the NRHP (PCMC 2009:5). However, a Significant Site must still retain one or a few aspects of integrity in order to convey its significance.

The significance and integrity of the property at 424 Woodside have been evaluated four times over the years:

- In 1978, only minor alterations had been made to the property and it was considered "Contributory" to the National Register of Historic Places (NRHP) as part of a potential historic district or thematic nomination on the Structure/Site Information Form. In the Statement of Historical Significance it was noted, "This structure is also contributory to the Park City residential district; but in addition helps to illustrate how early housing was constructed to adapt to the steep terrain that exists in the area" (Notarianni 1978).

- In 1984, the property was listed on the NRHP as a contributing eligible resource under the “Residences of Mining Boom Era, Park City – Thematic Nomination” prepared by Roger Roper and Deborah Randall. Significance criteria were not noted, but the property would have been eligible under Criteria A and C.
- In 2008, due to the large south addition and other modifications made to the property, 424 Woodside was recommended ineligible for the NRHP but was listed as a Significant Site at the local level and was included in PCMC’s HSI. The Site Form noted that the building retained integrity in the component aspects of location and workmanship but that integrity had been diminished in the aspects of design, setting, feeling, and association (Blaes 2008).
- In 2015, the property was again noted as ineligible for the NRHP but remained a Significant Site on the HSI (Carmen 2015).

Today the house at 424 Woodside continues to retain integrity in enough aspects to convey its historic significance; applicable aspects include location, setting, workmanship, and design, and these are discussed further below. The National Park Service notes the following:

**Location is the place where the historic property was constructed or the place where the historic event occurred.** The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved. (National Park Service 1997)

Setting, while highly diminished at 424 Woodside, is an important complement to location and is defined by the NPS as follows:

**Setting is the physical environment of a historic property.** Whereas location refers to the specific place where a property was built... setting refers to the character of the place in which the property played its historic role. It involves how, not just where, the property is situated and its relationship to surrounding features and open space. (National Park Service 1997)

The house at 424 Woodside remains in its original location and therefore retains that aspect of integrity, including its original orientation to the east and its siting on a small terrace below the street. And although much of the original setting has been lost, including adjacent historic houses, footpaths, staircases, and open space, the house at 424 Woodside retains its relationship to that earlier setting through its orientation and position on a shallow terrace below street level. The property is one of the few reminders of the historic development pattern on a part of the street where much of it has been lost, and is thus important in maintaining a district-wide sense of the historic setting.

Previous evaluations have indicated that the house retains integrity in the component aspect of workmanship:

**Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.** It is evidence of artisans’ labor and skill in constructing or altering a building. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques. (National Park Service 1997)



However, as noted in the Physical Conditions Report prepared by DeGray (2106), all exterior materials including siding, roofing, windows and doors have been replaced since 1978. Therefore the property lacks integrity in terms of materials, but it does retain sufficient integrity in the aspect of design to reflect its original form.

**Design is the combination of elements that create the form, plan, space, structure, and style of a property...** Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. (National Park Service 1997)

On the exterior, the house retains much of its original form especially as viewed from Woodside Avenue, including its 28' x 28' footprint (minus the east and south additions), roof form, and fenestration pattern on the north and west walls. And although exterior materials have been replaced, they continue to reflect the simple style of the historic period. Finally, the house's placement on a man-made terrace below street level and with the primary façade facing east is another important aspect of property design.

In summary the house at 424 Woodside retains integrity in the component aspect of location, as well as diminished but significant integrity in the aspects of setting and design. Because the property has already been so altered, it will be critical to preserve these aspects if 424 Woodside is to remain a Significant Site on the HSI and a contributing resource in the historic district.

### **Application of Land Management Code and Historic District Design Guidelines**

Park City's historic preservation ordinances are contained in Chapter 15-11 of the Land Management Code (LMC); the criteria for relocating and/or reorienting historic buildings on existing Landmark and Significant Sites are contained in Section 13. Pertinent sections of Chapter 15-11-13 are excerpted here (in italics) and discussed in relation to the property at 424 Woodside (in regular font).

1. **CRITERIA FOR THE RELOCATION AND/OR REORIENTATION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON ITS EXISTING LANDMARK OR SIGNIFICANT SITE.** *In approving a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the Historic Preservation Board shall find the project complies with the following criteria.*
  1. ~~*For either a Landmark or Significant Site all the following shall be met:*~~
    1. ~~*A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) can successfully be relocated and the applicant has demonstrated that a professional building mover will move the building and protect it while being stored; and*~~
    2. ~~*The proposed relocation will not have a detrimental effect on the structural soundness of the building or structure;*~~
  2. ~~*Landmark structures shall only be permitted to be relocated on its existing site if:*~~
    1. ~~*the relocation will abate demolition; or*~~
    2. ~~*the Planning Director and Chief Building Official find that the relocation will abate a hazardous condition at the present setting and enhance the preservation of the structure.*~~
  3. *For Significant sites, at least one of the following shall be met:*
    1. ~~*The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or*~~

- ~~2. The Planning Director and Chief Building Official determine that the building is threatened in its present setting because of hazardous conditions and the preservation of the building will be enhanced by relocating it; or~~
3. The Historic Preservation Board, with input from the Planning Director and the Chief Building Official, determines that unique conditions warrant the proposed relocation and/or reorientation on the existing Site. Unique conditions shall include all of the following:
  1. The historic context of the Historic Building(s) and/or Structure(s) has been so radically altered that the proposed relocation will enhance the ability to interpret the historic character of the Historic Building(s) and/or Structure(s) and the Historic District or its present setting;

The historic context of 424 Woodside has been radically altered through the construction of additions to the historic house and associated development of non-historic residential infill along the street and on surrounding lots. However, reorienting the building will destroy its remaining integrity, which lies solely in the aspects of location, setting, and design. Reorientation will render the property incapable of conveying its significance in the history of Park City and make it impossible to interpret its historic character.

2. The proposed relocation will not diminish the overall physical integrity of the Historic District or diminish the historical associations used to define the boundaries of the district;

The proposed reorientation of the house at 424 Woodside will result in a loss of integrity and significance to the extent that the property is no longer eligible as a Significant Site. Therefore its reorientation will diminish the overall physical integrity of the Historic District because this will result in the loss of a contributing Significant Site. The historical associations used to define the boundaries of the district, which are formed by the integrity of the component Landmark and Significant Sites, will also be diminished by the loss of this contributing property.

3. The historical integrity and significance of the Historic Building(s) and/or Structure(s) will not be diminished by relocation and/or reorientation;

As discussed in the "Significance and Integrity" section above, the remaining integrity of this property lies solely in the aspects of location, setting, and design. Reorientation will diminish integrity to such an extent that the property will no longer convey any historic significance.

4. The potential to preserve the Historic Building(s) and/or Structure(s) will be enhanced by its relocation.

The historic house at 424 Woodside is not currently threatened by demolition and its *in situ* preservation can be enhanced through existing and less detrimental means outlined in the LMC and the Historic District

Design Guidelines, which are incorporated into the code by reference (see below).

## **Conclusions and Recommendations**

The reorientation of the historic house at 424 Woodside Avenue will have a significant effect on its integrity, which has already been compromised by an addition and alterations on the east side and the large addition on the south side. In fact reorientation will diminish integrity to the degree that the property can no longer be considered a Significant Site as defined in PCMC's LMC and Design Guidelines.

An option consistent with PCMC's LMC and Historic District Design Guidelines would be to raise the house two feet while maintaining its original orientation (see Section B.3. Foundations). This will allow for the addition of a modern foundation, promote material preservation of the house, and improve visibility from Woodside, thereby counteracting the adverse effects of the raised and widened roadbed to a significant degree. Raising the historic house two feet is also encouraged because it will improve the relationship with the south addition by making the historic house less visually and physically subordinate and increasing general compatibility, as discussed in Section D (Additions to Historic Structures) of the Design Guidelines.

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2017a 424 Woodside, Historic Site Analysis. Letter to Bruce Erickson, Planning Director, and Hannah Tyler, Planner, 19 May 2017. On file at Planning Department, Park City Municipal Corporation, Park City, Utah.

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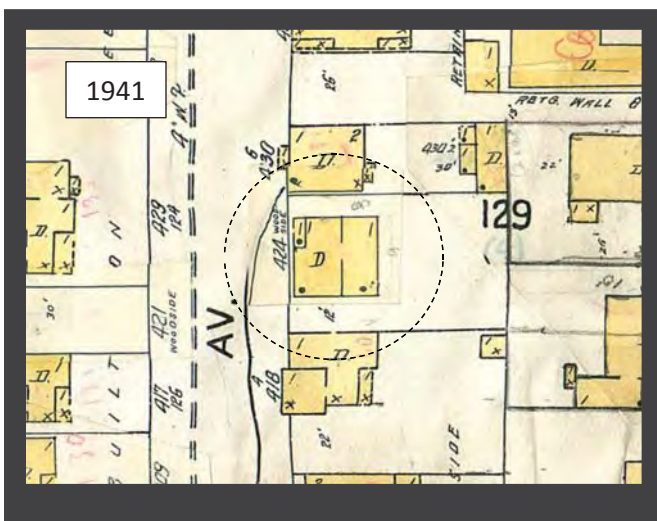
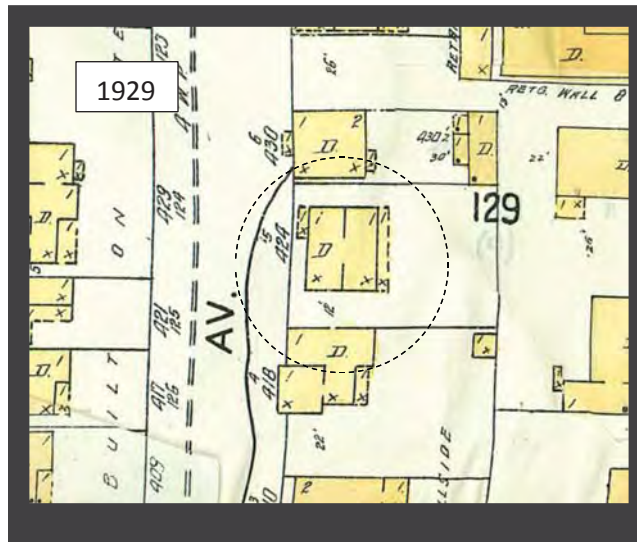
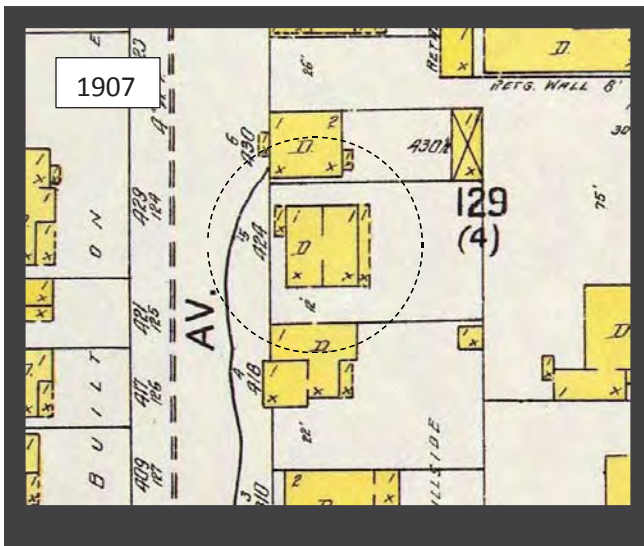
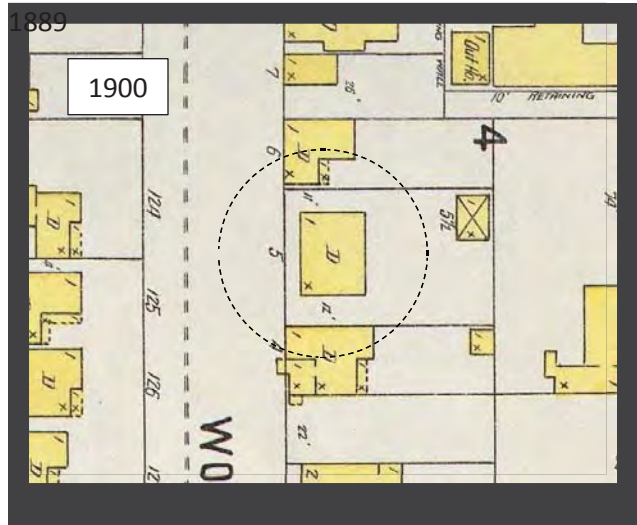
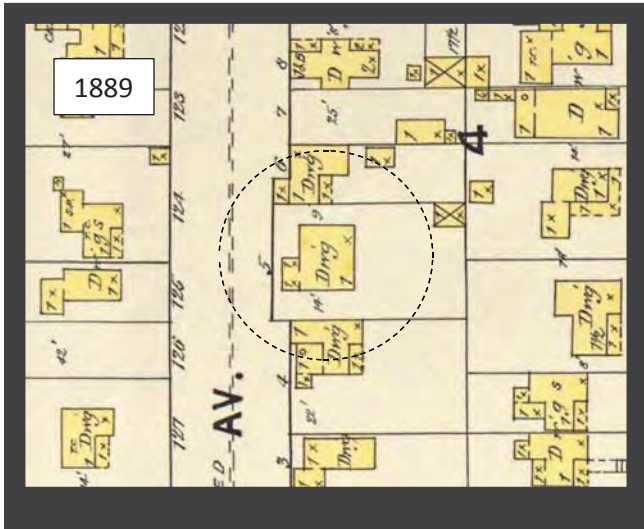


Figure 1. Sanborn Fire Insurance maps showing property at 424 Woodside 1889-1941 (from Carmen 2015).





**Figure 2.** View of property at 424 Woodside ca. 1905-1907, facing west-northwest. Note retention of simple hall-parlor form and continued absence of front porch on east side. Photograph no. 1985-6-001.



**Figure 3.** View of property at 424 Woodside in 1907, facing west-northwest. Note simple hall-parlor form, east-facing aspect with a view across canyon, and access via a footpath leading north from Fourth Street behind the Park Avenue houses. Note the absence of a front porch on east side, although according to the 1907 Sanborn map a porch was added in this year. Also note the mix of house orientations along the downhill (east) side of Woodside, with some facing the street and others the canyon. Photograph provided by Jonathan DeGray.





**Figure 4.** View of property at 424 Woodside in 1930, facing northwest. Note the retention of the simple hall-parlor form and addition of hip-roofed front porch, which was removed by 1941 according to the Sanborn map. Photograph no. 1987-2-134.



**Figure 5.** Tax appraisal photograph of property at 424 Woodside dating to ca. 1941, facing southeast.





**Figure 6.** North and west sides of historic house at 424 Woodside, facing east-southeast, 2015.



**Figure 7.** West side of historic house at 424 Woodside, facing south, 2015. South addition dating to 1993 is visible at upper left.

**EXHIBIT L**  
Public Comment



## 424 WOODSIDE - HISTORIC PRESERVATION PLAN - COMMENTS

### Site Design

"The existing historic form is oriented so that the front of the building faces the back yard, or rear of the site."

**(Comment # 1.)** *It would be difficult to define which elevation of this particular historic structure is actually the 'front'. In the PHYSICAL CONDITIONS REPORT the north elevation is indicated as the Primary Façade, probably because the primary entrance is located on the north elevation. It could be concluded that from 1889 to 1900 (and possibly to 1907) the location of the primary entrance would have had to be on the west 'end' of the structure, similar to where it is now, because of its relationship to grade. If there was an entrance on the east 'end' of the structure during these years it would have been indicated on the Sanborn maps because it would have had to be above grade. It would be difficult to assume that the only entrance to the structure would be defined as the 'back door'. The primary entrance would define the front of structure. To say that the structure is oriented to the 'back yard' is not necessarily accurate; homes on the hillsides (in particular, as opposed to areas of less steep terrain) were predominately oriented toward Town. Even structures on the uphill side of Woodside were oriented similarly: the uphill homes were oriented toward 'Town' and not necessarily toward the street, or Woodside Avenue.*

### HDDG - SPECIFIC GUIDELINES

#### A. SITE DESIGN

A.1.2 Preserve the original location of the main entry, if extant.

A.1.3 Maintain the original path or steps leading to the main entry, if extant.

"The historic form is a full story below the street level of Woodside Avenue so the only thing visible of the historic form from the street is the metal roof. This condition along with the scale of the addition to the south places the historic form in a hole."

**(Comment # 2.)** *There are still several historic structures on Upper Woodside that are below street level: 664 Woodside is close to a story and a half below street level "in a hole", 564 Woodside is about 2/3 of a story below street level, 332 Woodside is far below the connecting street-level garage and the adjacent homes, 316 Woodside is well below street level looking down on the roof, 232 Woodside has a second-story gable to almost to street level, but the front entrance is at least a story below street level and is not facing the street. The 1978 Utah State Historical Society Structure/Site Information Form states about 424 Woodside, "This structure . . . helps to illustrate how early housing was constructed to adapt to the steep terrain that exists in the area." Development on particularly steep slopes in Old Town was quite different from the development on the relatively flat areas especially on the downhill side of streets. This difference on the downhill side of a street manifested in irregular access (entrances) to structures, unique and irregular relationships of structures to streets, irregular rhythm of streetscape, unique front yard setbacks. More examples of these downhill very steep-slope-development characteristics, like looking down onto the roofs (at times not being able to see any of the structure façades at all) can be seen on Ontario Avenue (317, 323, 341, 413, 417).*

*Addressing the relationship of the current addition (garage and duplex) to the south of the 424 Woodside historic structure, this 'high/low' relationship can be compared to a somewhat similar historic juxtaposition of 424 Woodside to an adjoining garage. In 1957, a 10' x 18' garage was listed on the 424 Woodside tax card valued at \$37 (the house was valued at \$1,917) and was assigned an age of 26 years (The garage does not appear on the 1941 Sanborn map so perhaps the garage was closer to 16 years old in 1957.). This simple single-walled gabled garage can be seen in the 1977 Utah State Historic Society photo where it sits, in order to be accessible at street level, a floor higher and proud toward the street by about 14' from, and attached to, the historic home. This historic notable shift in height from one structure to another is another example of the irregular rhythm unique to the historic steep-slope development in Old Town. When walking north downhill on Woodside in the 40s, the street-level garage would obscure the view of (or 'hide') the 424 Woodside home more than the current garage-duplex addition does when walking down Woodside today.*

## HDDG - SPECIFIC GUIDELINES

### B. PRIMARY STRUCTURES

#### B.3 Foundations

**B.3.2 The original placement, orientation, and grade of the historic building should be retained.**

*"Per the Site Inventory 424 Woodside Ave. has been extensively modified creating a situation where the historic form is dwarfed by surrounding structures and is a full level below street level."*

**(Comment # 3.)** *This reference to the HISTORIC SITE FORM is somewhat misleading and definitely out of context. The HISTORIC SITE FORM does state that the historic structure has been modified significantly (not "extensively"), but goes on to qualify this statement saying "The changes to the original house are minor but the construction of such a large side addition diminishes the site's original character." It can be argued that historic character of the site, not the historic character of the structure, has been diminished (but not lost). The HISTORIC SITE FORM goes on to say "the physical evidence from the period that defines this as a typical Park City mining-era house . . . remain on original part of the house."*

*As to the historic form being "dwarfed" by surrounding structures, see the above comments with regard to the south addition and with regard to unique conditions of historic development on particularly steep hillsides and the resulting historic 'high-and-low rhythm' of these streetscapes in Old Town. The current below-street position of 424 Woodside explicitly conveys the historic character of Old Town living on the steep hillside regardless of the large structure to the north.*

*"By raising and rotating the historic form we will establish it as a visually prominent element along the street. The proposed addition, located below the historic form, will not be visible from the street. The proposed changes outlined here are all intended to improve the appearance of the historic form and reestablish its presence along Woodside Avenue making it once again a valuable asset to the district for years to come."*

**(Comment # 4.)** *The "historic form", as it is currently situated in its historic location, historic orientation, and historic relationship to (a story below) Woodside Avenue is astonishingly "a visually prominent element along the street" (A rare day passes that a pedestrian -- tourist, skier just off the mountain -- does not hesitate at 424 Woodside to photograph the structure.). There are less invasive*

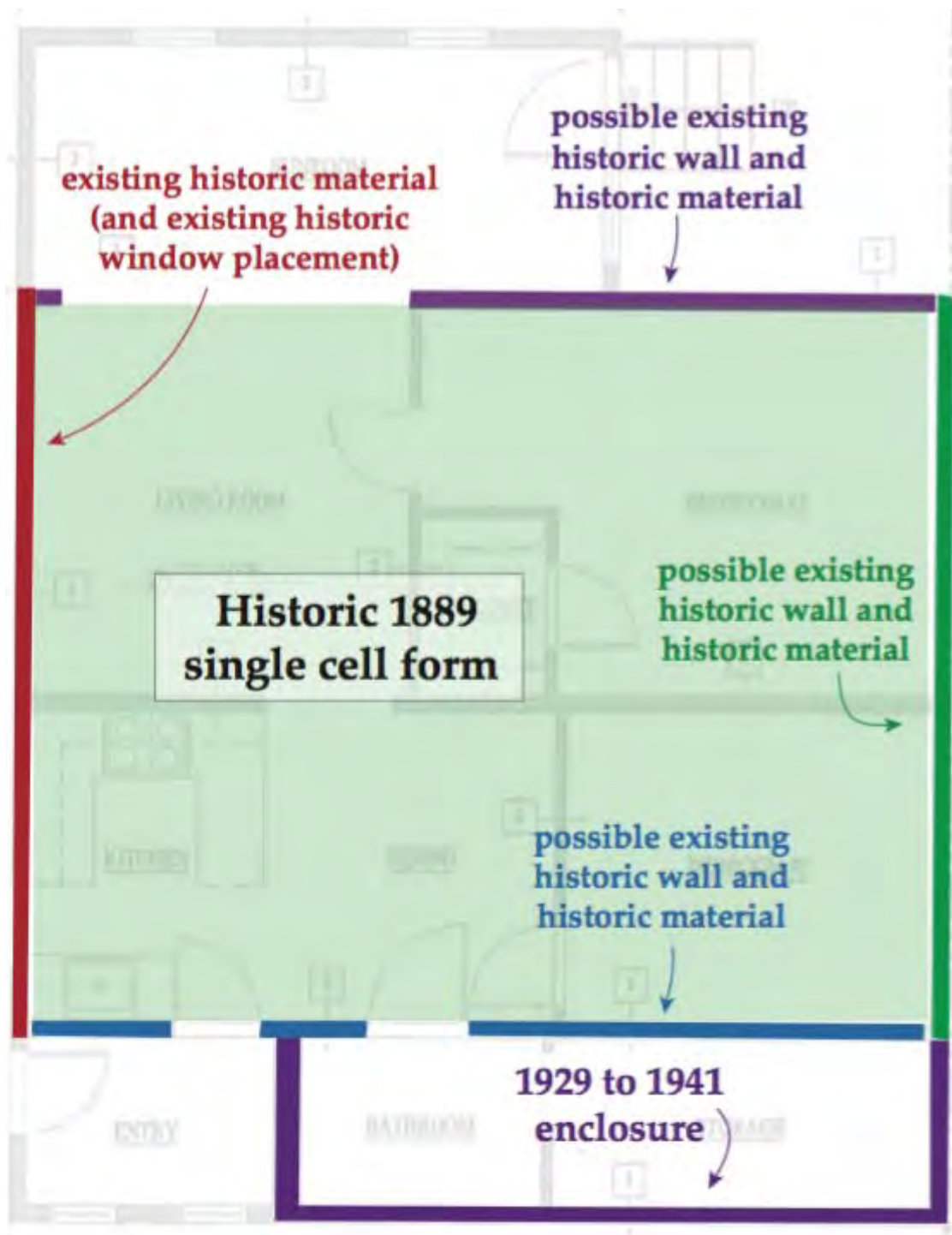
*measures than "raising [to the proposed 9'] and rotating the historic form" that could **better** "improve the appearance of the historic form" (Raising the structure the recommended 2' -- in its historic location and orientation -- would "improve the appearance of the historic form"). The "presence [of historic 424 Woodside] along Woodside Avenue" does not need to be "reestablished" because its presence has, in fact, been solidly established since 1889. 424 Woodside does not need to be made "once again a valuable asset to the district" because the historic structure, as it currently stands, strongly relays historic life on a steep hillside of a booming mining town.*

## Structural

"It is our intention to strip the existing historic form building down, removing all the contemporary material and then see what we have. We anticipate not finding any historic material other than 1 x 12 exterior wall sheathing attached to new stud walls. If this is the case we would propose to proceed as follows."

**(Comment # 5.)** *See 'PHYSICAL CONDITIONS REPORT, 2016 (2011) COMMENTS' for analysis of existing historic material. Considering that the 1889 single cell roof form still exists entirely and unaltered, the 1889 single cell form still exists with no changes to the north façade other than superficial, minimal changes to the 1889 west façade (inside the newer west façade), some removal of the 1889 east façade, and with the possibility that south-façade historic material may still exist as a portion of the wall between the historic structure and the new addition (After soliciting the opinion of two local historic-preservation experienced contractors and one local project manager with prolific similar experience, the consensus is that south façade historic material probably still exists between the historic structure and the addition.), there may be a considerable amount of extant historic material. See the two images below that exhibit the current presence of the 1889 single cell form and the possibility of currently existing historic material.*







"1. Panelize the exterior north and east walls."

**(Comment # 6.)** *Should the north wall be panelized, the historic form, the history material, and the historic character of the north façade can be saved only if it is replaced in its original location. If the north wall is reoriented 180 degrees, the wall, the form, the historic window placement, and the historic material will be completely lost; the panelized north façade would be discarded because it would be redundant as a south wall between the historic structure and the addition.*

*The minimal historic material of the east façade (partially enclosed in a circa 1991 enclosure and then removed to create interior space) need not be saved if the structure is not reoriented 180 degrees and the new construction is added to the east elevation. However, the extant 1889 exterior west façade (enclosed within the newer west façade) historic material and structure could be panelized and saved; if the structure is reoriented 180 degrees this 1889 west façade wall and historic material will be lost.*

## HDDG - SPECIFIC GUIDELINES

### B. PRIMARY STRUCTURES

#### B.2 Exterior Walls

**B.2.1** Primary and secondary façade components, such as window/door configuration, wall planes, steps, porches, and entryways should be maintained in their original location on the façade.

"2. Change the orientation of the building so that it faces Woodside Avenue and is raised to the street level, 9' from its existing location, so the front of the historic building faces the street, not the back yard."

**(Comment # 7.)** *Raising the structure 9' to the street level would be historically inaccurate in the context of the unique character (streetscape rhythm, front yard setback, orientation to town) of residential structures on very steep hillsides on the downhill side of Old Town streets. The level at which the historic structure sits now gives it an expressly historically accurate prominence from the street. Raising the structure 2' would give the structure a 'boost' of presence and removing the 1929 to 1941 west façade enclosure would reduce the mass of the west-running shed roof to give the prominently-seen-from-the-street roof a more pleasing, yet historically accurate, proportion. Reorienting the historic form would be inconsistent with the predominately Town-oriented nature of residential structures on very steep hillside sites on the downhill side of the streets.*

## HDDG - SPECIFIC GUIDELINES

### B. PRIMARY STRUCTURES

#### B.3 Foundations

**B.3.1** A new foundation should not raise the historic structure generally more than two (2) feet from its original floor elevation.

"4. Through the renovation and addition of this residence we will:

b. Re-orient the building so the front faces the street and is elevated to have a relationship to the street that is currently not present. The structure reoriented to have a porch."

**(Comment # 8.)** *The structure should not be changed to the point that it has a relationship to the street that it never had in history and that most structures on very steep downhill-from-the-street sites did not have historically. Historic structures on steep downhill lots were predominately oriented to Town, not to the street. A (possible) porch on the east façade that looks (on Sanborn maps) as though it existed for sometime between 21 to 41 years (appearing on the 1907 Sanborn map but not on the 1900 Sanborn map, still showing on the 1929 map but not on the 1941 map) was not a front entrance, not a primary entrance, and therefore not a front porch because the structure was without the porch for at least as many or perhaps more years (38 to 48 years) than it was with the porch (the east elevation porch was not present from 1889 through 1900 possibly up to 1907 and not present in 1941 and possibly any time after 1929). A 'front porch' would be a front entrance or primary entrance to the structure and would be significant and critical to the function of the structure. The lack of a porch on the east façade of the structure for so many years shows that it was at most a secondary but evidently a non-essential entrance, and not an entrance at all when there was no porch because the living level was too far from grade on the east elevation oriented toward Town. Historically, the structure had only a 6' by 8' front porch on the north end of the west façade so should have no more than the same location and dimensions for a primary entrance porch when the structure is renovated.*

## HDDG - SPECIFIC GUIDELINES

### A. SITE DESIGN

**A.4.1** Maintain historic hillside steps that may be an integral part of the landscape.



## Roof

"The roof will be rebuilt to meet the structural requirements of code and retain the historic form and appearance."

**(Comment # 9.)** *The current design proposal shows the historic roof form altered to the point where it barely resembles the historic roof form as it exists now and has existed for 127 years.*

## HDDG - SPECIFIC GUIDELINES

### B. PRIMARY STRUCTURES

#### B.1 Roofs

##### B.1.1 Maintain the original roof form.

## Exterior Walls

"8. Through the renovation and addition of this residence we will:

e. Replace the non-historic windows with period correct units Replace/repair siding"

**(Comment # 10.)** *Reorienting the structure 180 degrees would eliminate any possibility of preserving the structure's only remaining original, historically placed window openings on the north façade that is viewable from the street. It would also result in a loss all historic material except the small portion of east elevation wall, a wall that shows no evidence of historic window placement.*

## HDDG - UNIVERSAL GUIDELINES

3. The exterior features of a building should be retained and preserved.

## Porches

"The front porch, currently facing the rear of the site, has been walled in to create more interior living space. We would propose to bring the porch back to its historic appearance and use."

**(Comment # 11.)** *The porch that now exists on the east façade first appeared sometime after 1978 so is not historic. There must be documented evidence in order to 'bring back' a historic element to a structure. There is no evidence of window or door placement to recreate "its historical appearance". The only possible historic use would be as a secondary entrance, not a primary or front entrance.*

## HDDG - UNIVERSAL GUIDELINES

4. Physical or photographic evidence should be used to substantiate the reproduction of missing features.

## Doors

"All historic doors have been replaced, see physical condition report. All new doors will be historic in appearance."

**(Comment # 12.)** *The interior west façade (the 1889 west façade) has a door that appears to be historic in proportion. This door (opening) could have been the original entrance to the structure and could be preserved and used as it was historically.*

## HDDG - SPECIFIC GUIDELINES

### B. PRIMARY STRUCTURES

#### B.4. Doors

##### B.4.1 Maintain historic door openings.

## Windows

All historic windows have been replaced, see physical condition report. All new windows will be historic in appearance.

**(Comment # 13.)** *The historically located, proportioned, and oriented window openings on the north façade should be maintained.*

## HDDG - SPECIFIC GUIDELINES

### B. PRIMARY STRUCTURES

#### B.4. Windows

##### B.4.1 Maintain historic window openings.

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## 424 WOODSIDE - UNIQUE CONDITIONS FOR REORIENTATION COMMENTS

November 7, 2016

Per the Preservation Plan we are proposing to disassemble and reorient 424 Woodside. Per 15-11-13 (A) we are requesting approval to reorient the home. We are proposing this base on the information in the Preservation Plan and the following:

1. The building has been significantly altered over the years and **little historic material remains.**

See: [424 WOODSIDE - HISTORIC PRESERVATION PLAN - COMMENTS](#)  
[424 Woodside HDDR.COMMENTS.Physical Conditions Report 2011, 2016](#)  
[424 Woodside TIMELINE](#)

2. As part of the 1993 addition work the floor and **roof systems of the existing historic form have been rebuilt.**

See: [424 WOODSIDE - HISTORIC PRESERVATION PLAN - COMMENTS](#)  
[424 Woodside HDDR.COMMENTS.Physical Conditions Report 2011, 2016](#)  
[424 Woodside TIMELINE](#)

3. The **existing home faces the rear yard.**

See: [424 WOODSIDE - HISTORIC PRESERVATION PLAN - COMMENTS](#)

4. The existing home is 11' below the existing street elevation of Woodside Avenue

See: [424 WOODSIDE - HISTORIC PRESERVATION PLAN - COMMENTS](#)

5. The **historic form is surrounded by larger homes that dwarf the historic form.**

See: [424 WOODSIDE - HISTORIC PRESERVATION PLAN - COMMENTS](#)

6. By **raising and rotating the historic form the building will be raised up out of the hole it is in and will face Woodside.** This will provide for a greatly **improved presence on the street and fit in to the existing rhythm of buildings along Woodside Avenue.**

See: [424 WOODSIDE - HISTORIC PRESERVATION PLAN - COMMENTS](#)

7. Due to the **constraints of the site**, the desire to lift the home and rotate the home, and **the limited historic material** present on the existing home, the only feasible method to accomplish the reorientation is to disassemble the building. Lifting the building as a single element is not possible.

There are no unique constraints associated with this site:

The site consists of three Old Town lots (75' x 75') allowing a larger area to accomplish creative design for two residences. The historic structure is on a zero lot line front yard and a reduced side yard setback by 3' allowing a larger area for the Building Pad.

The steep sloped lot is similar to or less steep than many steep sloped lots in Old Town. The historic structure still retains a notable amount of historic material.



Per LMC 15-11-13, (A), (3), There are **unique conditions** associated to this property; the fact that **the home faces the rear yard** and is **not visible from Woodside Avenue**, the fact that **the home is 11' below the existing street level**, and the fact that the building has been remodeled and improved to the extent that **little historic material is present**. These facts add up to a unique condition that could be vastly improved with the implementation of the proposed Preservation Plan and reorientation of the building.

The home faces, or is oriented toward Town, which is a common characteristic of historic structures on steep sloped hillside sites downhill from the street. ***This is not a unique condition.***

The home **is** visible from Woodside Avenue. It is visible enough to draw the attention of pedestrians, skiers coming off the mountain, bikers, and tourists who pause to photograph the structure. The historic structure is visible in a way different from contemporary infill structures therefore providing an anchor for historic character in the neighborhood. The roof, obviously historic, is a primary feature that speaks to the historic character of life in a turn-of-the-century mountainside boomtown. The north façade is also visible from the street and conveys the simple vernacular form that was typical to the mining era. There are several steep slope downhill-from-the-street historic structures on Upper Woodside that have similar visibility from the street and more historic structures in the steep slope areas of Old Town that are less visible (a few structures where only the roofs, no façades, are visible) from the street. ***This is not a unique condition.*** The visibility of 424 Woodside could be augmented by raising the structure 2' and by removing the later (1941 Sanborn, not 1929 Sanborn) west (Woodside façade) elevation to reveal the 1889 west façade, thereby reducing the mass of the west-running shed roof and increasing the height and therefore the presence of the west façade.

There are many homes in the steep sloped areas of Old Town, and several on Upper Woodside, that sit below (some less than 11', some much more than 11') street level where the roof is a primary visible element. ***This is not a unique condition.***

There is enough historic material remaining to justify the effort to preserve the historic material that still exists. ***This is not a unique condition.***

***Allowing this 424 Woodside structure to be reoriented, to be relocated as a result of the reorientation, and to be raised more than 2' would set a precedent for the many other historic structures that have similar site and structure conditions, possibly creating a run on moving all the randomly Town-oriented and hillside-situation historic structures to be turned and lifted to the street and as a result erasing the distinct historic character that these hillside structures now possess.***

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PHYSICAL CONDITIONS REPORT, 2016 (2011)  
COMMENTS

-----**2. Structure, 2016**  
**(MAIN BUILDING, 2011)**

**(B.9. ADDITIONS, 2011)** - The REPORT is inaccurate in stating there were "No changes were made through 1941; a large addition was removed from the east elevation and an enclosure was added to the west elevation between 1929 and 1941. (see: 424 Woodside Avenue TIMELINE for detailed information of additions and removal of additions to the single cell form from 1889 to 1993)

-----**3. Roof, 2016**

**(B.1. ROOF, 2011)** - The REPORT description of the original simple gable (probably built in 1889 according to the 1889 Sanborn map, not about 1900 as stated in the REPORT) states that the roof still consists of historic 1" x 8" skip plank over 2" x 4", 24" on center truss, and wood shake material.

The REPORT also states that 2.5:12 shed roof running west off the main gable was updated after 1978 with metal roofing over 5/8" plywood decking over 2" x 12", 24" on-center joists.

The roof was actually updated ten years after 1978. A 1989 HISTORIC MATCHING GRANT APPLICATION shows that a new metal roof was applied to the structure at the end of that year, and while there are no 2" x 12" joists in the materials list or in the work description for the roof there is a description of how bent rafters were straightened in the process of re-roofing.

When the structure was being re-roof in 1989, the description of any work and materials needed for replacing or reinforcing old roof rafters with new 2" x 12" joists on the west-running shed roof probably would have been included in the application because the structure was being re-roofed with matching funds. And there would have been no need for bent rafters to be straightened if new 2" x 12" joists were used for roof support. Also, the REPORT states that the new roof decking is 5/8" thick, where a low-sloped roof that requires strength for a heavy snow load would usually require a thicker 3/4" plywood decking. Therefore, there may still be some historic material in the west-running shed roof as well as the main gable. There could possibly be some historic rafters and some 1" x 8" planks (additional load support to the 5/8" decking).

The roof description does not include the fact that the 4:12 east-running shed roof covers only the north half of the east façade.

-----**5. Exterior Walls 2016**

**(B.2. EXTERIOR WALL - PRIMARY FAÇADE, 2011)** - The north elevation is the primary façade, is un-altered from the historic form, and according to the REPORT is composed of historic 1" x 12" vertical planks on 2" x 4" studs at 24" on center.

The REPORT has no description of the number, location, and orientation of the historic window placement on the historic north façade. The 1977, UTAH STATE HISTORICAL SOCIETY photo shows the two vertically oriented windows in the same locations of the current window locations, and states under 5. ARCHITECTURE that "Window placements appear to have changed little. The 1993 HISTORIC DISTRICT REVIEW states under IV. COMPLIANCE WITH DESIGN GUIDELINES that "The project demonstrates substantial compliance with the following guidelines: 52. Avoid Changing the Position of the Windows". The small square window at the top of the gable is not historic (see: 1977, UTAH STATE HISTORICAL SOCIETY photo).

The REPORT has no description of the door (historic material or historic-sized opening?) on the north elevation portion of the screened-in porch.

**(B.3. EXTERIOR WALL - SECONDARY FAÇADE 1, 2011)** - The REPORT states that the west (Woodside façade) elevation is composed of historic 1" x 12" vertical planks on 2" x 4" studs at 24" on center.

The south 20' of the west (Woodside façade) elevation was roofed (6-foot extension of the west-running shed roof) and enclosed between 1929 and 1941 (SANBORN MAPS). The 1977, UTAH STATE HISTORICAL SOCIETY photo shows the screened-in 6' x 8' porch on the north end of the west elevation. The 1989 HISTORIC MATCHING GRANT APPLICATION show an image where the 6' x 8' porch is still screened-in and not yet 'windowed'. The interior west wall, 6' east from and parallel to the exterior west Woodside façade elevation, may still be composed of the historic 1989-1900 material that was the exterior west façade before enclosed between 1929 and 1941.

The REPORT has no description of the number, location, and orientation of any historic window placement on the west elevation façade. It appears that the screened-in portion of the 6' x 8' porch on the north end has been replaced with small square windows since 1977 and the other small windows may have no historic significance.

**(B.4. EXTERIOR WALL - SECONDARY FAÇADE 2, 2011)** - The south elevation of the historic structure has either been eliminated or enclosed inside the new addition. There is no information in the REPORT as to whether the historic south-elevation wall or any south-elevation wall historic material still exists.



**(B.5. EXTERIOR WALL - REAR FAÇADE, 2011)** - The REPORT does not mention that the historic east (Town façade) elevation still exists as it did in 1889 on the south third of the east elevation. Historic material may still exist on this portion of the east elevation.

The REPORT also does not mention that the double-wide, double-hung vertically-oriented window on this historic portion of the east elevation may not be historic in size or placement. A photo of the east elevation in the 1989 HISTORIC MATCHING GRANT APPLICATION shows a contemporary, non-vertically oriented window in a similar location.

The enclosed shed-roof extension on the north two-thirds of the east elevation allowed for the removal of that section of the 1889 east (Town façade) elevation.

#### -----7. Porches, 2016

**(B.7. PORCHES, 2011)** - The REPORT states that the rear porch on the east (Town façade) elevation was *enclosed* after 1978, when actually an open, covered porch was added after 1977 (see: 1977, UTAH STATE HISTORICAL SOCIETY photo) and was enclosed in 1991 (see: 1989, HISTORIC MATCHING GRANT APPLICATION photo, and Building Permit Number 5683 for porch enclosure 3/12/91).

**(B.9. ADDITIONS, 2011)** - The REPORT is inaccurate in stating there were "No changes were made through 1941; a large addition was removed from the east elevation and an enclosure was added to the west elevation between 1929 and 1941. (see: 424 Woodside Avenue TIMELINE for detailed information of additions and removal of additions to the single cell form from 1889 to 1993)

### **(MAIN BUILDING – DETAILS, 2011)**

#### -----9. Door Survey, 2016

**(C.2. DOORS, 2011)** - The REPORT does not mention exterior historic door placement or dimensions. The door at the north elevation porch entrance may be of historic placement and dimensions and the interior (exterior historically) west elevation entrance door may also be of historic placement and dimension.

#### -----10. Window Survey, 2016

**(C.1. WINDOWS, 2011)** - The REPORT states that no historic windows remain, but historic window placement, historic dimensions and orientation, historic configuration of panes, and types evidence is still extant, relevant, and should be included (see: **B. EXTERIOR WALLS** comments on this document).

# 424 Woodside SANBORN HISTORY

## KEY



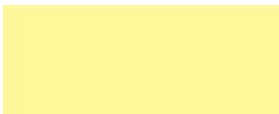
*historic single cell form*



enclosed space

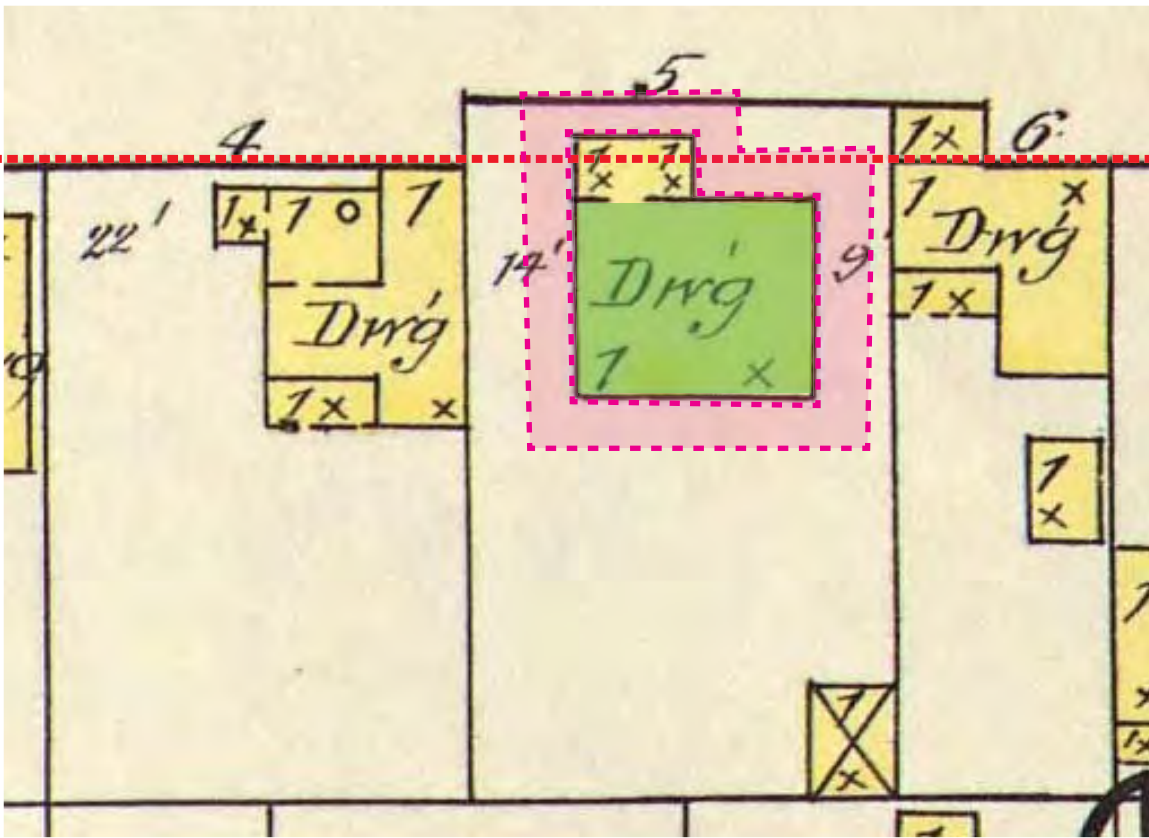


open porch

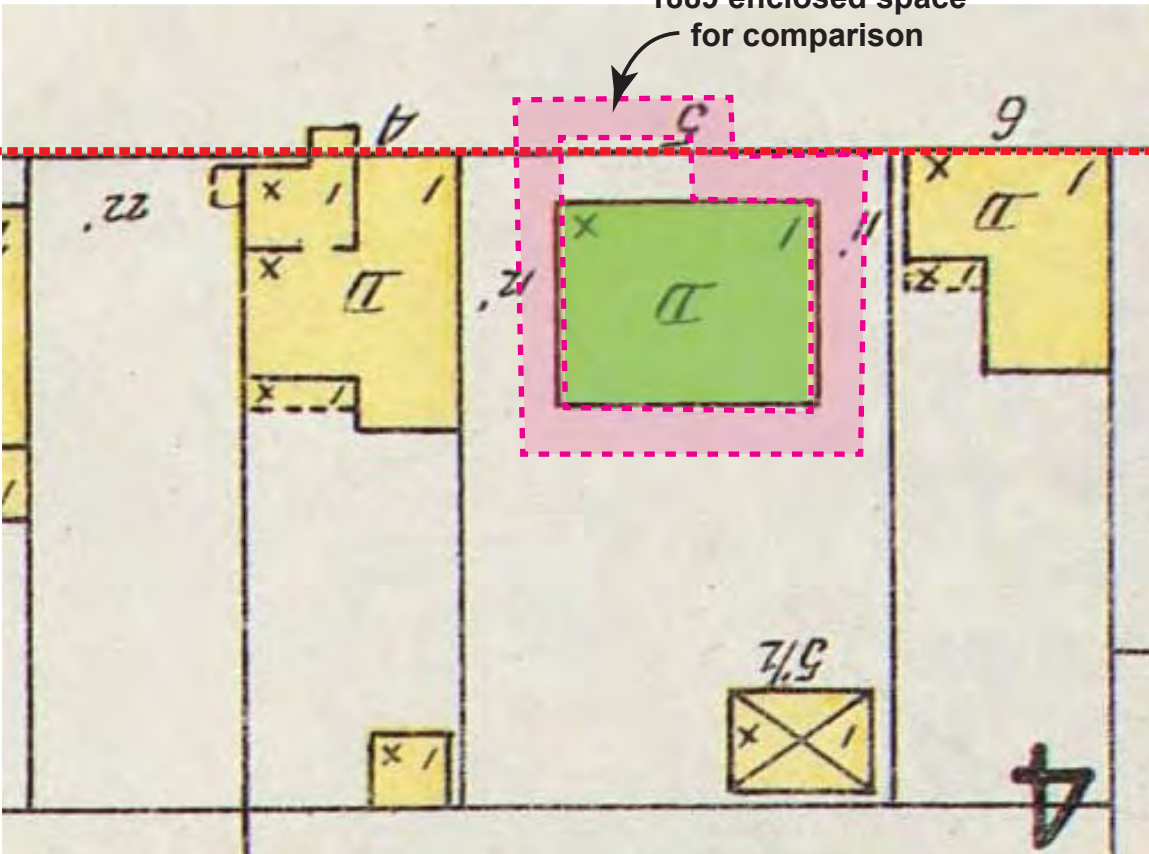


enclosed addition to *single cell*

# 1889

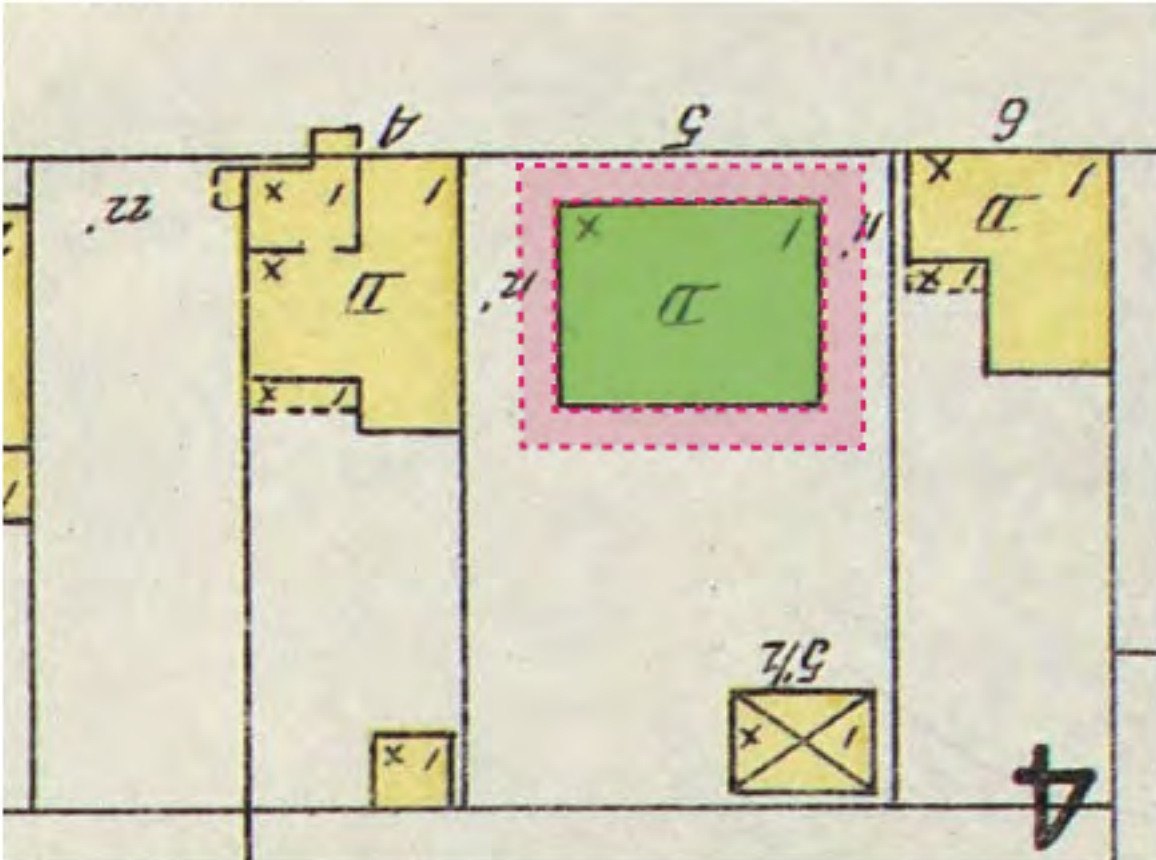


# 1900

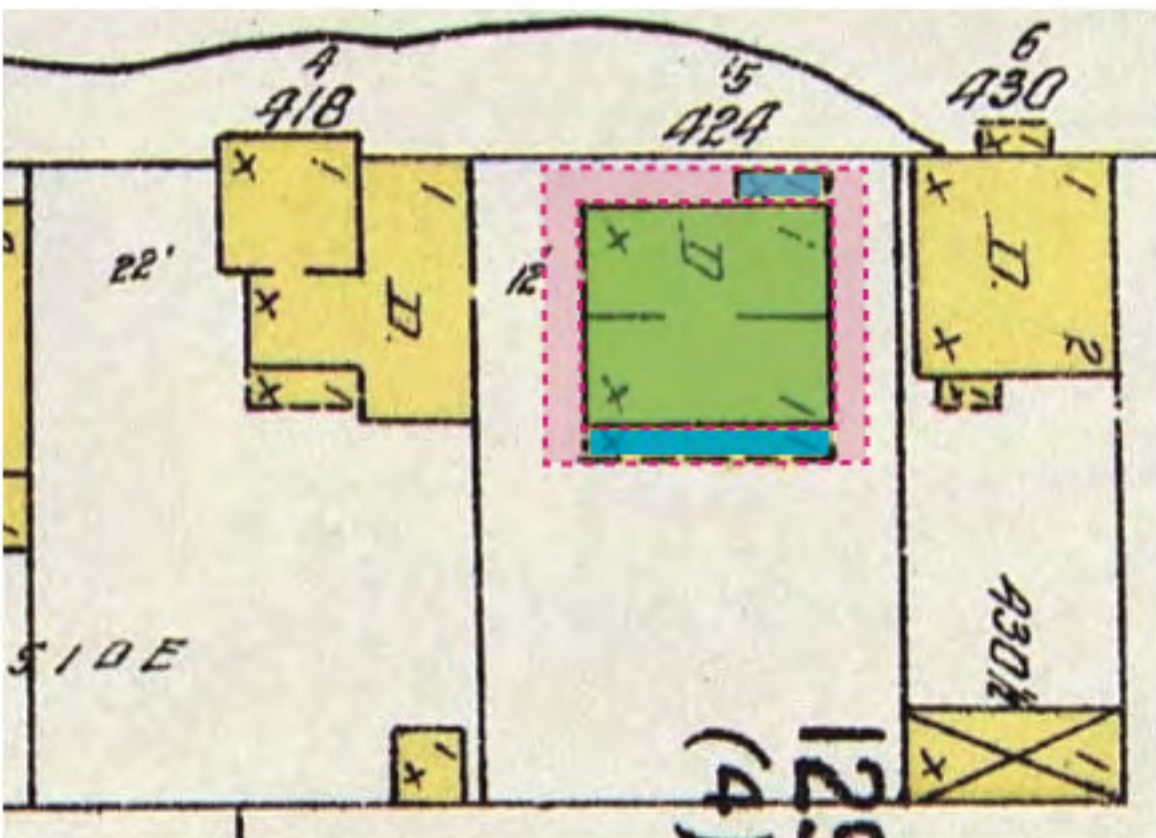




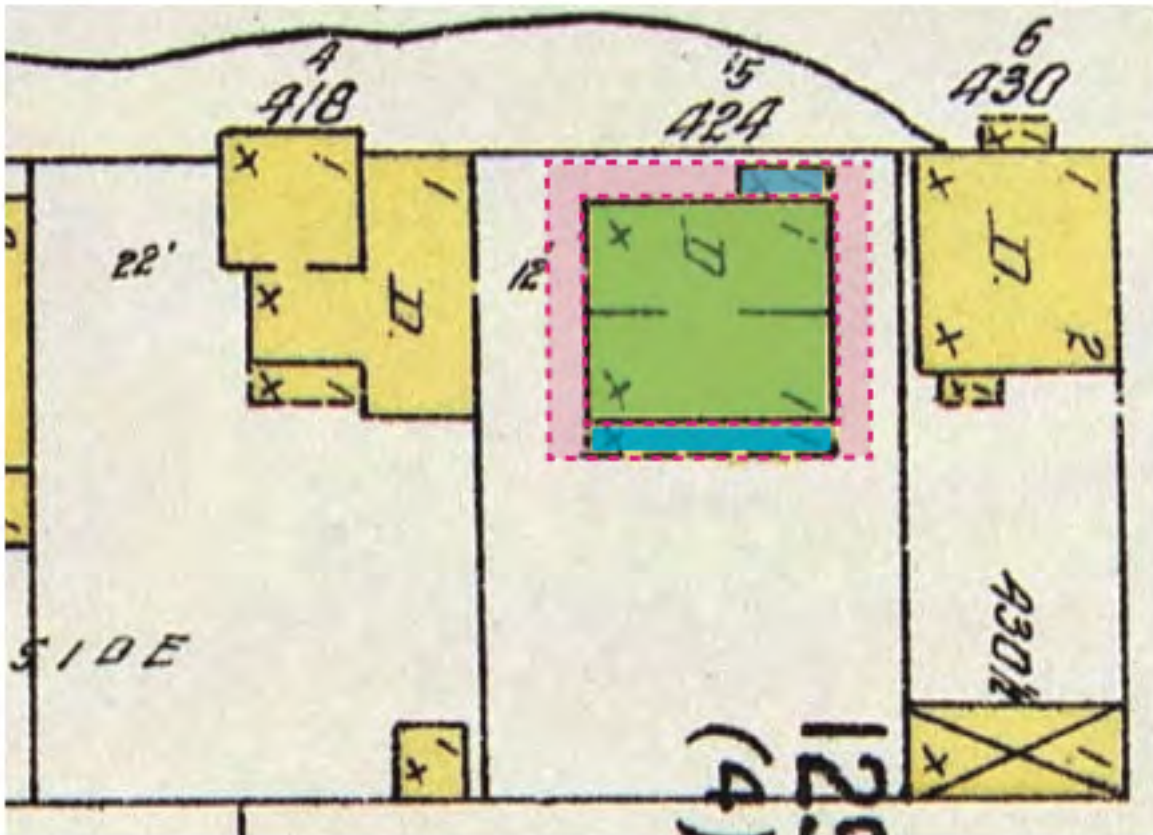
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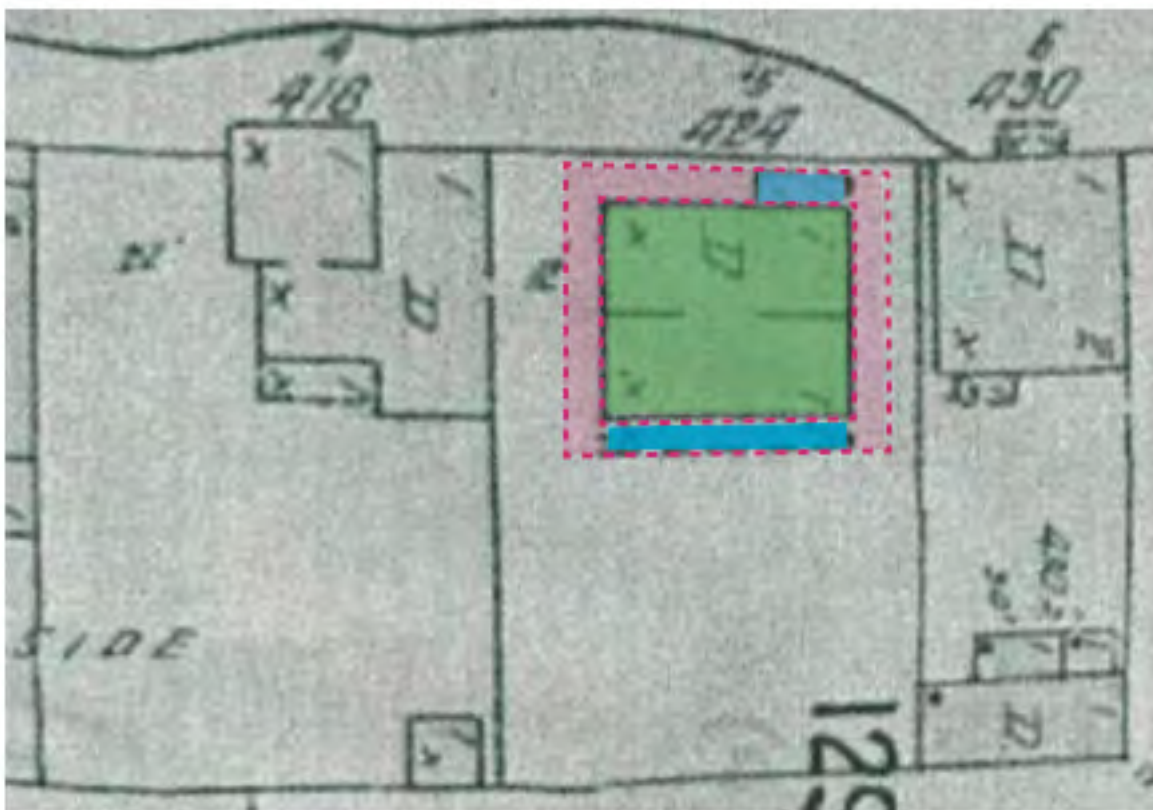
# 1907



**1907**

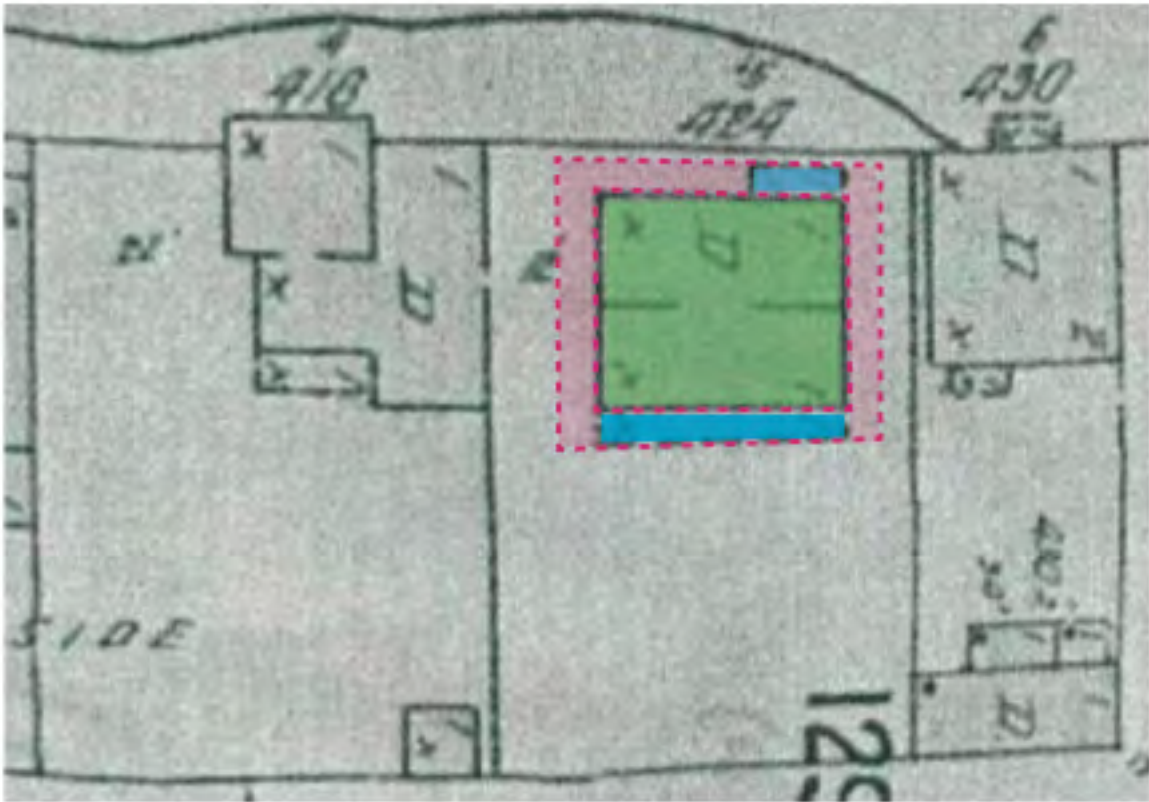


**1929**

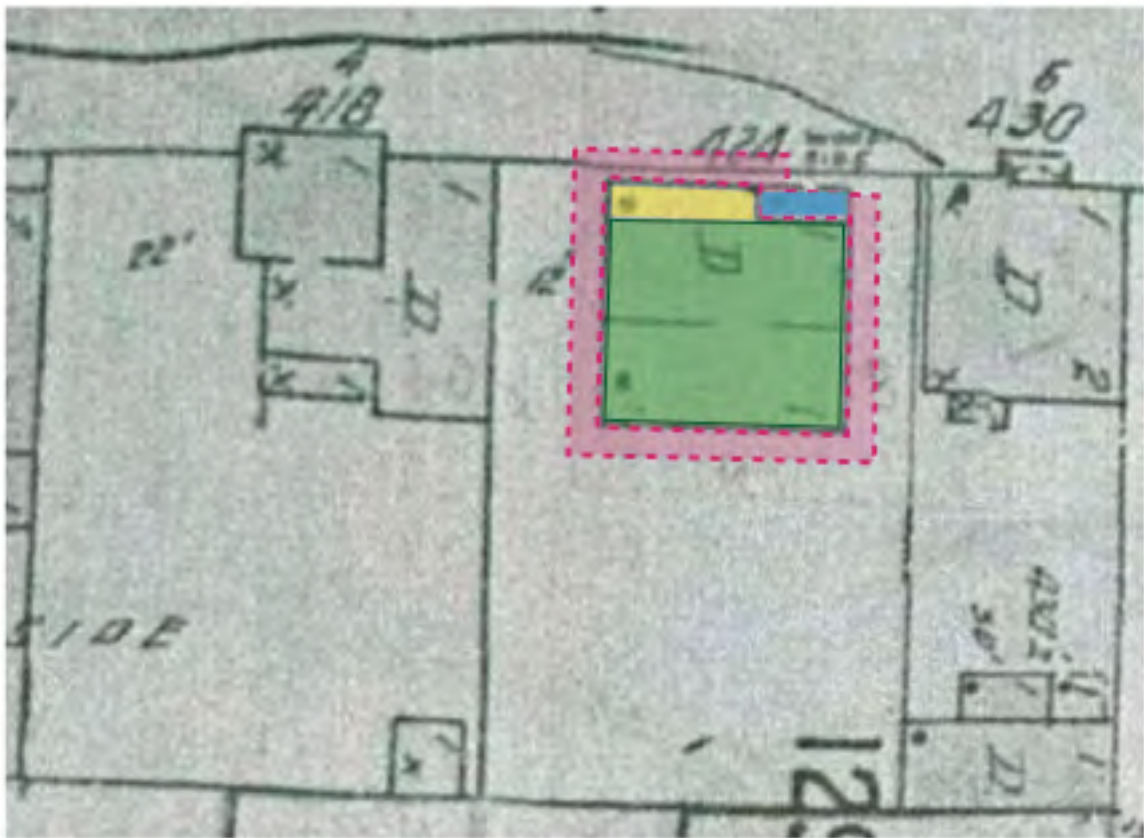




**1929**



**1941**





## 424 Woodside Avenue TIMELINE

### 1889 SANBORN

- *Single cell form*, one story, wood-shingle roof, PLUS
  - *enclosed extension* on south half of west (Woodside façade) elevation

### 1890s (early) Utah State Historical Society, Site Information Form

- owned by C. W. Allen

### 1896 - Utah State Historical Society, Site Information Form

- sold to Chesley C. Barker, engineer for Daly-West Mine for more than twenty-five years, versed in mine hoists and pumps, member of the Park City lodge Knight of Pythias

### 1900 SANBORN

- *1889 Single cell form*, one story, wood-shingle roof
  - **REMOVED**, *enclosed extension* on south half of west (Woodside façade) elevation (NOTE: west, street property line moved east, closer to structure)

### 1900s - Utah State Historical Society, Site Information Form

- sold to William T. Backus

### 1907 SANBORN

- *1889 Single cell form*, one story, wood-shingle roof, PLUS
  - **ADDED**, *open porch* on north two-fifths (2/5) of west (Woodside façade) elevation
  - **ADDED**, *open porch* on full width of east (Town façade) elevation

### 1914 - Utah State Historical Society, Site Information Form

- sold to Frasier Buck (of 'Welsh, Driscoll and Buck'), local author

### 1916 - Utah State Historical Society, Site Information Form

- sold to Erick Anderson

## 1929 SANBORN

- 1889 *Single cell form*, one story, wood-shingle roof, PLUS
  - 1907 west (Woodside façade) elevation *open porch*
  - 1907 east (Town façade) elevation *open porch*

## 1941 SANBORN

- 1889 *Single cell form*, one story, **composition roof**, PLUS
  - *enclosed extension ADDED* to south two-fifths (2/5) of west (Woodside façade) elevation
  - 1907 west (Woodside façade) elevation *open porch*
  - **REMOVED**, 1907 east (Town façade) elevation *open porch*

## 1957 TAX CARD

- 1889 *Single cell form* (measuring 22' x 28') with 1941 SANBORN 6' x 20' enclosed extension on west elevation (736 total sq. ft.)
- TAX VALUE of \$48 given to "Porch - Front 48" sq. ft. (6' x 8') on west elevation (NO porch value on east elevation)
- TAX VALUE of \$37 given to "Garage, Single-car, Wood floor, single gable roof, Doors one (1), 10' x 18', Age: 26 (1931)
- TAX VALUE of \$50 given to "Cellar with concrete floor"

## 1958 - 1962 TAX CARD

- TAX VALUE of \$37 given to Garage

## 1968 TAX CARD

- TAX VALUE of \$48 given to "Porch - Front 48" sq. ft., (6' x 8') on west elevation
- East elevation porch roughly drawn in (different ink color) on footprint grid page - NO value given or description included regarding porch on east elevation.

## 1977 PHOTO

- west (Woodside façade) elevation screened porch
- no east (Town façade) elevation porch

## 1978 UTAH STATE HISTORICAL SOCIETY - STRUCTURE/SITE INFORMATION FORM

- "2. Building Condition: Good"
- "2. Integrity: Minor Alterations"
- "5. Description of physical appearance & significant architectural features: Window placements appear to have changed little."
- "6. Statement of Historical Significance: This structure... helps to illustrate how early housing was constructed to adapt to the steep terrain that exists in the area."

## 1989 HISTORIC GRANT APPLICATION - MATCHING FUNDS - BUILDING PERMIT NUMBER 4344, 6/30/89

- exterior **re-sided** with wood lap siding, metal chimney removed, siding trimmed along eaves, eaves boxed, cornice moulding installed, fascia replaced, porch ceiling sheeted, underside of porch closed in with same siding as house, replace edge boards and window trim
- east window restored to vertical emphasis with double-wide double hung sash, two (2) south windows restored to vertical emphasis with double hung sash, two (2) north windows **original single-wide vertical** replaced with new double hung sash
- structure re-roofed with metal roofing, bent rafters straightened
- steps to street repaired
- electrical wiring and fixtures replaced
- exterior re-painted

## 1991 BUILDING PERMIT NUMBER 5683, 3/12/91

- porch enclosure



## 1993 ADDITION TO HISTORIC STRUCTURE

HISTORIC DISTRICT REVIEW / HISTORIC DISTRICT COMMISSION (6 JULY 1993)

### I. PROJECT STATISTICS

Project Name: 424 Woodside addition  
Proposal: Addition to historic house

### II. BACKGROUND INFORMATION

The structure is orientated with the front away from the street, overlooking Old Town.

### III. PROJECT DESCRIPTION

The architect) has stepped the connection between the two houses so that there are breaks in the roof and wall planes to visually separate the historic from the new.

### IV. COMPLIANCE WITH DESIGN GUIDELINES

The project demonstrates substantial compliance with the following guidelines:

50. Maintain Front Porch (*6' x 8' entry porch*) as an Important Façade Element.
51. Preserve the Original Shape of the Roof
52. Avoid Changing the Position of the Windows.
53. Maintain Original Window Proportions
34. Maintain the Original Position of Main Entrance.

### V. STAFF ANALYSIS

ARGUMENTS IN SUPPORT OF A CONNECTED ADDITION. There are several valid arguments in favor of the addition as proposed. The roof (*of the historic house*) is the prominent elevation when viewed from Woodside Avenue. The visual impact to the house from off-site would therefore be minimal compared with other cases.

## 2007 HISTORIC SITE FORM

- "Additions: major"
- "Alterations: minor"
- "General Condition of Exterior Materials: Good (Well maintained with no serious problems apparent.) of Good, Fair, Poor, Ruin"
- "Essential Historical Form: Retains"
- "Location: Original Location"
- "Design: 1978 Structure/Site form indicates possible minor additions to the original house. The changes to the original house are minor but the construction of such a large side addition diminishes the site's original character."
- "Workmanship: Though the physical evidence from the period defines this as a typical Park City mining era house--the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the restrained ornamentation, and the plain finishes -- remain on the original part of the house."

## Historic Preservation Board Staff Report

**Author:** Anya Grahn, Historic Preservation Planner  
Hannah M. Tyler, Planner II  
**Subject:** LMC Amendment- Building Height- Roof Pitch  
**Date:** August 2, 2017  
**Type of Item:** Legislative—LMC Amendment

### Summary Recommendations

Staff recommends that the Historic Preservation Board review the proposed amendments to the Land Management Code for Chapters 15-2.1-5(C), 15-2.2-5(C), and 15-2.3-6(C) as described in this staff report, open the public hearing, and consider forwarding a positive recommendation to the Planning Commission and City Council.

### Description:

**Project Name:** LMC Amendments regarding Roof Form on residential structures subject to the Design Guidelines for Historic Districts.  
**Applicant:** Planning Department  
**Proposal:** Revisions to the Land Management Code clarifying and limiting the use of Flat Roofs in the Historic Residential Zone Districts.

### Reason for Review:

Amendments to the Land Management Code (LMC) require Planning Commission recommendation and City Council adoption. The Historic Preservation Board (HPB) may also provide comments to City Council regarding LMC changes.

### Background:

Staff has reviewed flat roofs with the Historic Preservation Board on the following dates:

- August 3, 2016 – [Staff Report \(starting page 107\)](#) + [Minutes \(starting page 16\)](#)
- March 1, 2017– [Staff Report \(starting page 153\)](#) + [Minutes \(starting page 36\)](#)
- June 7, 2017 – [Staff Report \(starting page 87\)](#) + Minutes (included in this packet)

### Analysis:

Based on the feedback of the HPB on June 7<sup>th</sup>, staff has simplified our approach to the LMC amendments for flat roofs. Staff is now proposing the following:

#### 15-2.1-5 Building Height

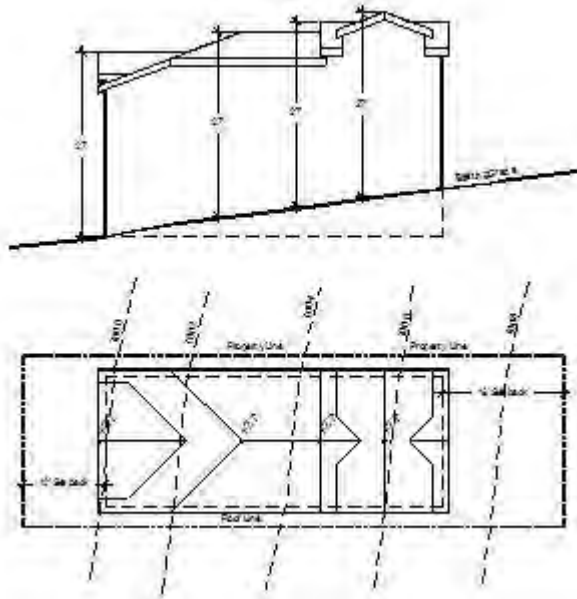
No Structure shall be erected to a height greater than twenty-seven feet (27') from Existing Grade. This is the Zone Height. Final Grade must be within four vertical feet (4') of Existing Grade around the periphery of the Structure, except for the placement of approved window wells, emergency egress, and a garage entrance. The following height requirement must be met:

- A. A Structure shall have a maximum height of thirty five feet (35') measured from the lowest floor plane to the point of the highest wall top plate that supports the



ceiling joists or roof rafters.

- B. A ten foot (10') minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish grade on all sides of the Structure. The horizontal step shall take place at a maximum height of twenty three feet (23') from where the Building Footprint meets the lowest point of existing Grade. Architectural features, that provide articulation to the upper story façade setback, may encroach into the minimum ten foot (10') setback but shall be limited to no more than twenty five percent (25%) of the width of the building encroaching no more than four feet (4') into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.
- C. **ROOF PITCH.** ~~The primary roof pitch must be between~~ The roof pitch of a Structure's Primary Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12) and shall occupy a minimum horizontal distance of 20 feet to the rear of the building measured from the facade of the building as viewed from the primary public right-of-way. ~~A Green Roof may be below the required 7:12 roof pitch as part of the primary roof design. In addition, A~~ roof that is not part of the primary roof Contributory Roof Form may be below the required 7:12 roof pitch.
1. The roof pitch of Secondary Roof Forms may be less than seven: twelve (7:12).
  2. Secondary Roof Forms may be Rooftop Decks so long as they are not more than 23 feet in height above Existing Grade. This height includes the height of any railings, parapets, stairs, and similar constructions on the Roof Deck.
  3. Flat roofs (less than or equal to two: twelve (2:12) roof pitch) are only permitted as the Primary Roof Form when the roof is a Green Roof, as defined by LMC 15-15-1. The height of railings, parapets, stairs, and similar constructions on a Green Roof are included in the calculation of Building Height. Decks, Hot tubs, outdoor cooking areas, and seating areas are not permitted on Green Roofs.
  4. A Structure containing a flat roof shall have a maximum height of thirty-five feet (35') measured from the lowest floor plan to the highest wall top plate that supports the ceiling joists or roof rafters. The height of the green roof, including the parapets, railing, or similar features shall not exceed twenty four inches (24") above the highest top plate mentioned above.



5. Accessory Structures may be below the required seven: twelve (7:12) roof pitch.

**D. BUILDING HEIGHT EXCEPTIONS.** The following height exceptions apply:

1. Antennas, chimneys, flues, vents, or similar Structures, may extend up to five feet (5') above the highest point of the Building to comply with International Building Code (IBC) requirements.
2. Water towers, mechanical equipment, and associated Screening, when Screened or enclosed, may extend up to five feet (5') above the height of the Building.
3. **ELEVATOR ACCESS.** The Planning Director may allow additional height to allow for an elevator compliant with American Disability Act (ADA) standards. The Applicant must verify the following:
  - a. The proposed height exception is only for the Area of the elevator. No increase in square footage of the Building is being achieved.
  - b. The proposed option is the only feasible option for the elevator on the Site.
  - c. The proposed elevator and floor plans comply with the American Disability Act (ADA) standards.
4. **GARAGE ON DOWNHILL LOT.** The Planning Commission may allow additional Building Height (see entire Section 15-2.1-5) on a downhill Lot to accommodate a single car wide garage in a Tandem Parking configuration; to accommodate circulation, such as stairs and/or an ADA elevator; and to accommodate a reasonably sized front entry area and front porch that provide a Compatible streetscape design. The depth of the garage may not exceed the minimum depth for internal Parking Space(s) as dimensioned within this Code, Section 15-3. The additional Building Height may not exceed thirty-five feet (35') from Existing Grade.

Additionally, staff is proposing to add a definition for decks and rooftop decks:

**DECK:**

- A. Platform Deck: Open structure at least twelve inches (12") above the ground.
- B. Deck, Rooftop: Open structure located on or above the roof framework and the Building Footprint of a Structure.

**ESSENTIAL HISTORIC FORM.** The physical characteristics of a Structure that make it identifiable as existing in or relating to an important era in the past. These physical characteristics include, but are not limited to the structure's form, Principal and Primary Roof Forms, window and door configuration, and materials.

**FLAT ROOF.** A roof form with less than or equal to a 2:12 (two:twelve) roof pitch.

**PRIMARY ROOF FORM.** The roof shape with the largest area of the total roof measured in square feet is the Primary Roof Form. The square feet of architectural features such as dormers, cupolas, chimneys, elevators, etc. is not included in the calculation of the total level square feet of the Primary Roof Form.

**CONTRIBUTORY ROOF FORM.** The most visually prominent roof form viewed from the primary public right-of-way. Contributory Roof Form is a determined by a three-dimensional visual roof analysis. Appropriate Contributory Roof Forms for residential Structures include gabled, hipped, and shed roofs.

**SECONDARY ROOF FORM.** Any roof shape included in a Structure's Total Roof, but not included in the calculation of the total square feet of Primary Roof Form.

**TOTAL ROOF.** The exterior surface and supporting framework on top of a Building Footprint.

**Process**

Amendments to the Land Management Code require Planning Commission recommendation and City Council adoption. City Council action may be appealed to a court of competent jurisdiction per LMC § 15-1-18.

**Department Review**

This report has been reviewed by the Legal Department.

**Notice**

Legal notice of a public hearing was posted in the required public spaces and public notice websites and published in the Park Record on July 8, 2017, per requirements of the Land Management Code.

**Public Input**



Public hearings are required to be conducted by the Planning Commission and City Council prior to adoption of Land Management Code amendments. Public input was taken at the August 3, 2016; March 1, 2017, and June 7, 2017 HPB meeting as well as at the Planning Department's public outreach to the design community. Staff has noticed this item for public hearing on August 3, 2016; March 1, 2017, and June 7, 2017..

**Recommendation**

The Planning Department requests the Historic Preservation Board open a public hearing, review the possible Land Management Code amendments, and forward a positive recommendation to the Planning Commission and City Council.

**Exhibits**

Exhibit A – Draft Ordinance

**AN ORDINANCE AMENDING THE LAND MANAGEMENT CODE OF PARK CITY, UTAH, AMENDING SECTION 15, CHAPTERS 2.1, 2.2, 2.3, AND 2.5 REGARDING ROOF PITCHES.**

WHEREAS, the Land Management Code was adopted by the City Council of Park City, Utah to promote the health, safety and welfare of the residents of Park City; and

WHEREAS, it is in the best interest of the community to periodically amend the Land Management Code to reflect the goals and objectives of the City Council and to align the Code with the Park City General Plan; and

WHEREAS, the City Council finds that the proposed changes to the Land Management Code are necessary to supplement existing zoning regulations to protect Historic structures and the economic investment by owners of similarly situated property (currently Historic); and

WHEREAS, Park City was originally developed as a mining community and much of the City's unique cultural identity is based on the historic character of its mining era buildings; and

WHEREAS, the character of the Historic District is among the City's most important cultural, educational, and economic assets and contribute to the character of the Mining Era Residences Thematic National Register Historic District;

WHEREAS, individual members of the Historic Preservation Board, ("HPB") the official body to review matters concerning the design of buildings within the City, have made recommendations to City Council to encourage compatible design;

WHEREAS, the Planning Commission duly noticed and conducted public hearings at the regularly scheduled meeting on August 9, 2017 and forwarded a positive recommendation to City Council; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of Park City, Utah, that:

SECTION 1. AMENDMENTS TO TITLE 15- LAND MANAGEMENT CODE CHAPTER 2.1 (Historic Residential-Low Density (HRL) District). The recitals above are incorporated herein as findings of fact. Chapter 2.1 of the Land Management Code of Park City is hereby amended as redlined (Exhibit A).

SECTION 2. AMENDMENTS TO TITLE 15- LAND MANAGEMENT CODE CHAPTER 2.2 (Historic Residential (HR-1) District). The recitals above are incorporated

herein as findings of fact. Chapter 2.2 of the Land Management Code of Park City is hereby amended as redlined (Exhibit B).

SECTION 3. AMENDMENTS TO TITLE 15- LAND MANAGEMENT CODE CHAPTER 2.3 (Historic Residential (HR-2) District). The recitals above are incorporated herein as findings of fact. Chapter 2.3 of the Land Management Code of Park City is hereby amended as redlined (Exhibit C).

SECTION 4. AMENDMENTS TO TITLE 15-LAND MANAGEMENT CODE CHAPTER 15 (Definitions). The recitals above are incorporated herein as findings of fact. Chapter 15 of the Land Management Code of Park City is hereby amended as redlined (Exhibit D).

SECTION 5. EFFECTIVE DATE. This Ordinance shall be effective upon publication.

PASSED AND ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2017

PARK CITY MUNICIPAL CORPORATION

\_\_\_\_\_  
Jack Thomas, Mayor

Attest:

\_\_\_\_\_  
Michelle Kellogg, City Recorder

Approved as to form:

\_\_\_\_\_  
Mark Harrington, City Attorney



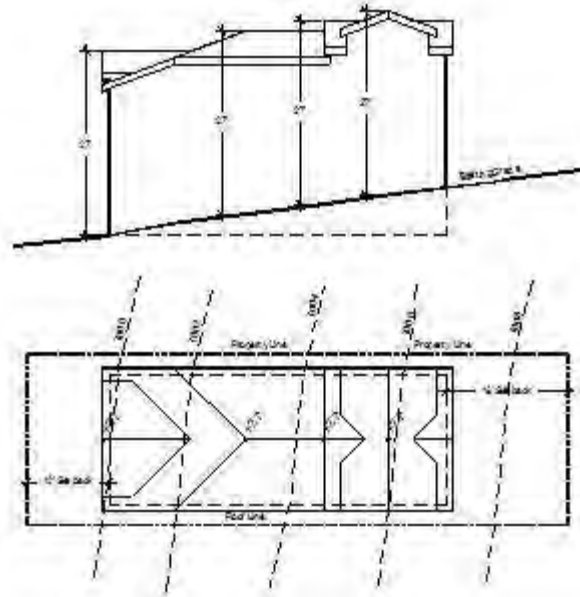
## Exhibit A- Amendments to Title 15- Land Management Code Chapter 2.1 (Historic Residential-Low Density (HRL) District), Section 5 (Building Height)

### 15-2.1-5 Building Height

No Structure shall be erected to a height greater than twenty-seven feet (27') from Existing Grade. This is the Zone Height. Final Grade must be within four vertical feet (4') of Existing Grade around the periphery of the Structure, except for the placement of approved window wells, emergency egress, and a garage entrance. The following height requirement must be met:

- A. A Structure shall have a maximum height of thirty five feet (35') measured from the lowest floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.
- B. A ten foot (10') minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish grade on all sides of the Structure. The horizontal step shall take place at a maximum height of twenty three feet (23') from where the Building Footprint meets the lowest point of existing Grade. Architectural features, that provide articulation to the upper story façade setback, may encroach into the minimum ten foot (10') setback but shall be limited to no more than twenty five percent (25%) of the width of the building encroaching no more than four feet (4') into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.
- C. **ROOF PITCH.** ~~The primary roof pitch must be between~~ The roof pitch of a Structure's Primary Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12) and shall occupy a minimum horizontal distance of 20 feet to the rear of the building measured from the facade of the building as viewed from the primary public right-of-way. ~~A Green Roof may be below the required 7:12 roof pitch as part of the primary roof design. In addition, A~~ roof that is not part of the primary roof Contributory Roof Form may be below the required 7:12 roof pitch.
  1. The roof pitch of Secondary Roof Forms may be less than seven: twelve (7:12).
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  4. A Structure containing a flat roof shall have a maximum height of thirty-five feet (35') measured from the lowest floor plan to the highest wall top plate that supports the ceiling joists or roof rafters. The height of the green

roof, including the parapets, railing, or similar features shall not exceed twenty four inches (24") above the highest top plate mentioned above.



5. Accessory Structures may be below the required seven: twelve (7:12) roof pitch.

D. **BUILDING HEIGHT EXCEPTIONS.** The following height exceptions apply:

1. Antennas, chimneys, flues, vents, or similar Structures, may extend up to five feet (5') above the highest point of the Building to comply with International Building Code (IBC) requirements.
2. Water towers, mechanical equipment, and associated Screening, when Screened or enclosed, may extend up to five feet (5') above the height of the Building.
3. **ELEVATOR ACCESS.** The Planning Director may allow additional height to allow for an elevator compliant with American Disability Act (ADA) standards. The Applicant must verify the following:
  - a. The proposed height exception is only for the Area of the elevator. No increase in square footage of the Building is being achieved.
  - b. The proposed option is the only feasible option for the elevator on the Site.
  - c. The proposed elevator and floor plans comply with the American Disability Act (ADA) standards.
4. **GARAGE ON DOWNHILL LOT.** The Planning Commission may allow additional Building Height (see entire Section 15-2.1-5) on a downhill Lot to accommodate a single car wide garage in a Tandem Parking configuration; to accommodate circulation, such as stairs and/or an ADA

elevator; and to accommodate a reasonably sized front entry area and front porch that provide a Compatible streetscape design. The depth of the garage may not exceed the minimum depth for internal Parking Space(s) as dimensioned within this Code, Section 15-3. The additional Building Height may not exceed thirty-five feet (35') from Existing Grade.

*Adopted by Ord. 00-15 on 3/2/2000*  
*Amended by Ord. 06-56 on 7/27/2006*  
*Amended by Ord. 09-10 on 3/5/2009*  
*Amended by Ord. 09-14 on 4/9/2009*  
*Amended by Ord. 09-40 on 11/5/2009*  
*Amended by Ord. 13-48 on 11/21/2013*  
*Amended by Ord. 2016-44 on 9/15/2016*



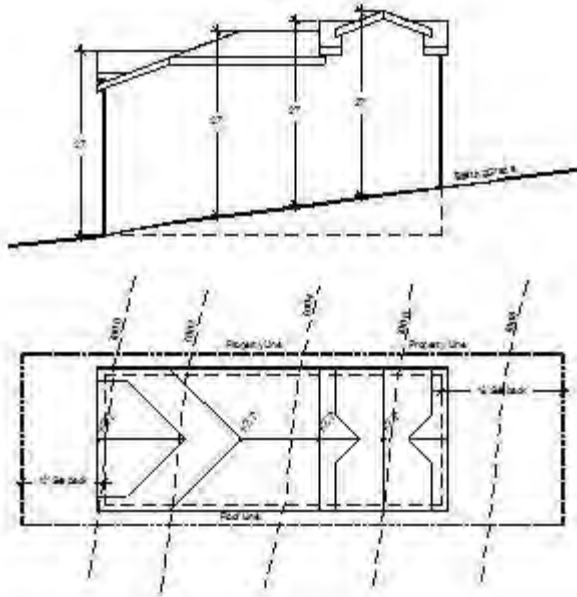
## Exhibit B- Amendments to Title 15- Land Management Code Chapter 2.2 (Historic Residential (HR-1) District), Section 5 (Building Height)

### **15-2.2-5 Building Height**

No Structure shall be erected to a height greater than twenty-seven feet (27') from Existing Grade. This is the Zone Height. Final Grade must be within four vertical feet (4') of Existing Grade around the periphery of the Structure, except for the placement of approved window wells, emergency egress, and a garage entrance. The following height requirements must be met:

- A. A Structure shall have a maximum height of thirty five feet (35') measured from the lowest finish floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters.
- B. A ten foot (10') minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish Grade on all sides of the Structure. The horizontal step shall take place at a maximum height of twenty three feet (23') from where the Building Footprint meets the lowest point of existing Grade. Architectural features, that provide articulation to the upper story façade setback, may encroach into the minimum ten foot (10') setback but shall be limited to no more than twenty five percent (25%) of the width of the building encroaching no more than four feet (4') into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.
- C. **ROOF PITCH.** ~~The primary roof pitch must be between~~ The roof pitch of a Structure's Primary Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12) and shall occupy a minimum horizontal distance of 20 feet to the rear of the building measured from the facade of the building as viewed from the primary public right-of-way. ~~A Green Roof may be below the required 7:12 roof pitch as part of the primary roof design. In addition, A~~ roof that is not part of the ~~primary roof~~ Contributory Roof Form may be below the required 7:12 roof pitch.
  1. The roof pitch of Secondary Roof Forms may be less than seven: twelve (7:12).
  2. Secondary Roof Forms may be Rooftop Decks so long as they are not more than 23 feet in height above Existing Grade. This height includes the height of any railings, parapets, stairs, and similar constructions on the Roof Deck.
  3. Flat roofs (less than or equal to two: twelve (2:12) roof pitch) are only permitted as the Primary Roof Form when the roof is a Green Roof, as defined by LMC 15-15-1. The height of railings, parapets, stairs, and similar constructions on a Green Roof are included in the calculation of Building Height. Decks, Hot tubs, outdoor cooking areas, and seating areas are not permitted on Green Roofs.
  4. A Structure containing a flat roof shall have a maximum height of thirty-five feet (35') measured from the lowest floor plan to the highest wall top plate that supports the ceiling joists or roof rafters. The height of the green

roof, including the parapets, railing, or similar features shall not exceed twenty four inches (24") above the highest top plate mentioned above.



5. Accessory Structures may be below the required seven: twelve (7:12) roof pitch.

D. **BUILDING HEIGHT EXCEPTIONS.** The following height exceptions apply:

1. Antennas, chimneys, flues, vents, or similar Structures, may extend up to five feet (5') above the highest point of the Building to comply with International Building Code (IBC) requirements.
2. Water towers, mechanical equipment, and associated Screening, when enclosed or Screened, may extend up to five feet (5') above the height of the Building.
3. **ELEVATOR ACCESS.** The Planning Director may allow additional height to allow for an elevator compliant with American Disability Act (ADA) standards. The Applicant must verify the following:
  - a. The proposed height exception is only for the Area of the elevator. No increase in square footage is being achieved.
  - b. The proposed option is the only feasible option for the elevator on the Site.
  - c. The proposed elevator and floor plans comply with the American Disability Act (ADA) standards.
4. **GARAGE ON DOWNHILL LOT.** The Planning Commission may allow additional Building Height (see entire Section 15-2.2-5) on a downhill Lot to accommodate a single car wide garage in a Tandem Parking configuration; to accommodate circulation, such as stairs and/or an ADA elevator; and to accommodate a reasonably sized front entry area and

front porch that provide a Compatible streetscape design. The depth of the garage may not exceed the minimum depth for internal Parking Space(s) as dimensioned within this Code, Section 15-3. The additional Building Height may not exceed thirty-five feet (35') from Existing Grade.

*Adopted by Ord. 00-15 on 3/2/2000*  
*Amended by Ord. 06-56 on 7/27/2006*  
*Amended by Ord. 09-10 on 3/5/2009*  
*Amended by Ord. 09-14 on 4/9/2009*  
*Amended by Ord. 09-40 on 11/5/2009*  
*Amended by Ord. 13-48 on 11/21/2013*  
*Amended by Ord. 2016-44 on 9/15/2016*



## Exhibit C- Amendments to Title 15- Land Management Code Chapter 2.3 (Historic Residential (HR-2) District), Section 6 (Building Height)

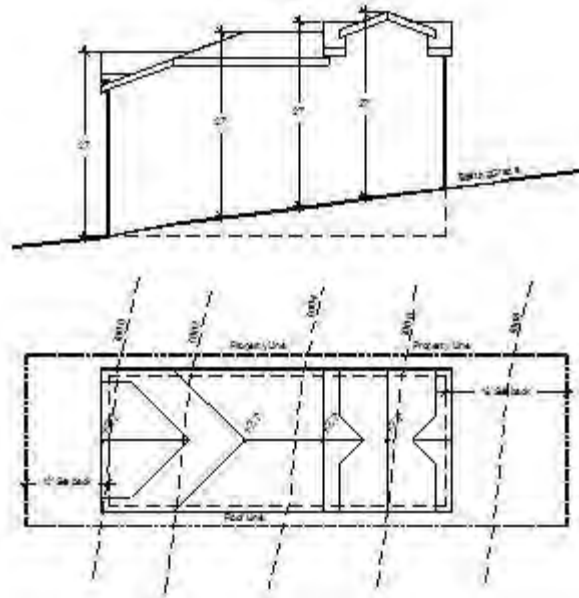
No Structure shall be erected to a height greater than twenty-seven feet (27') from Existing Grade. This is the Zone Height.

Final Grade must be within four vertical feet (4') from Existing Grade around the periphery of the Structure, except for the placement of approved window wells, emergency egress, and a garage entrance. The Planning Commission may grant an exception to the Final Grade requirement as part of a Master Planned Development within Subzone A where Final Grade must accommodate zero lot line Setbacks. The following height requirements must be met:

- A. A Structure shall have a maximum height of thirty five feet (35') measured from the lowest finish floor plane to the point of the highest wall top plate that supports the ceiling joists or roof rafters. The Planning Commission may grant an exception to this requirement as part of a Master Planned Development within Subzone A for the extension of below Grade subterranean HCB Commercial Uses.
- B. A ten foot (10') minimum horizontal step in the downhill façade is required unless the First Story is located completely under the finish Grade on all sides of the Structure. The Planning Commission may grant an exception to this requirement as part of a Master Planned Development within Subzone A consistent with MPD requirements of Section 15-6-5(F). The horizontal step shall take place at a maximum height of twenty three feet (23') from where Building Footprint meets the lowest point of existing Grade. Architectural features, that provide articulation to the upper story façade setback, may encroach into the minimum ten foot (10') setback but shall be limited to no more than twenty five percent (25%) of the width of the building encroaching no more than four feet (4') into the setback, subject to compliance with the Design Guidelines for Historic Sites and Historic Districts.
- C. **ROOF PITCH.** ~~The primary roof pitch must be between~~ The roof pitch of a Structure's Primary Roof Form shall be between seven: twelve (7:12) and twelve: twelve (12:12) and shall occupy a minimum horizontal distance of 20 feet to the rear of the building measured from the facade of the building as viewed from the primary public right-of-way. ~~A Green Roof may be below the required 7:12 roof pitch as part of the primary roof design. In addition, A~~ roof that is not part of the ~~primary roof~~ Contributory Roof Form may be below the required 7:12 roof pitch.
  1. The roof pitch of Secondary Roof Forms may be less than seven: twelve (7:12).
  2. Secondary Roof Forms may be Rooftop Decks so long as they are not more than 23 feet in height above Existing Grade. This height includes the height of any railings, parapets, stairs, and similar constructions on the Roof Deck.
  3. Flat roofs (less than or equal to two: twelve (2:12) roof pitch) are only permitted as the Primary Roof Form when the roof is a Green Roof, as

defined by LMC 15-15-1. The height of railings, parapets, stairs, and similar constructions on a Green Roof are included in the calculation of Building Height. Decks, Hot tubs, outdoor cooking areas, and seating areas are not permitted on Green Roofs.

4. A Structure containing a flat roof shall have a maximum height of thirty-five feet (35') measured from the lowest floor plan to the highest wall top plate that supports the ceiling joists or roof rafters. The height of the green roof, including the parapets, railing, or similar features shall not exceed twenty four inches (24") above the highest top plate mentioned above.



5. Accessory Structures may be below the required seven: twelve (7:12) roof pitch.

**D. BUILDING HEIGHT EXCEPTIONS.** The following height exceptions apply:

1. An antenna, chimney, flue, vent, or similar Structure, may extend up to five feet (5') above the highest point of the Building to comply with International Building Code (IBC) requirements.
2. Water towers, mechanical equipment, and associated Screening, when enclosed or Screened, may extend up to five feet (5') above the height of the Building.
3. **ELEVATOR ACCESS.** The Planning Director may allow additional height to allow for an elevator compliant with American Disability Act (ADA) standards. The Applicant must verify the following:
  - a. The proposed height exception is only for the Area of the elevator. No increase in square footage of the Building is being achieved.
  - b. The proposed option is the only feasible option for the elevator on the Site.

- c. The proposed elevator and floor plans comply with the American Disability Act (ADA) standards.
4. **GARAGE ON DOWNHILL LOT.** The Planning Commission may allow additional Building Height (see entire Section 15-2.3-6) on a downhill Lot to accommodate a single car wide garage in a Tandem configuration; to accommodate circulation, such as stairs and/or an ADA elevator; and to accommodate a reasonably sized front entry area and front porch that provide a Compatible streetscape design. The depth of the garage may not exceed the minimum depth for internal Parking Space(s) as dimensioned within this Code, Section 15-3. The additional height may not exceed thirty-five feet (35') from existing Grade.

*Adopted by Ord. 00-51 on 9/21/2000  
Amended by Ord. 06-56 on 7/27/2006  
Amended by Ord. 09-10 on 3/5/2009  
Amended by Ord. 09-14 on 4/9/2009  
Amended by Ord. 09-40 on 11/5/2009  
Amended by Ord. 10-14 on 4/15/2010  
Amended by Ord. 13-48 on 11/21/2013  
Amended by Ord. 2016-44 on 9/15/2016*



**Exhibit D- Amendments to Title 15- Land Management Code Chapter 15  
(Definitions)**

**DECK:**

- A. Platform Deck: Open structure at least twelve inches (12") above the ground.
- B. Deck, Rooftop: Open structure located on or above the roof framework and the Building Footprint of a Structure.

**ESSENTIAL HISTORIC FORM.** The physical characteristics of a Structure that make it identifiable as existing in or relating to an important era in the past. These physical characteristics include, but are not limited to the structure's form, Principal and Primary Roof Forms, window and door configuration, and materials.

**FLAT ROOF.** A roof form with less than or equal to a 2:12 (two:twelve) roof pitch.

**PRIMARY ROOF FORM.** The roof shape with the largest area of the total roof measured in square feet is the Primary Roof Form. The square feet of architectural features such as dormers, cupolas, chimneys, elevators, etc. is not included in the calculation of the total level square feet of the Primary Roof Form.

**CONTRIBUTORY ROOF FORM.** The most visually prominent roof form viewed from the primary public right-of-way. Contributory Roof Form is determined by a three-dimensional visual roof analysis. Appropriate Contributory Roof Forms for residential Structures include gabled, hipped, and shed roofs.

**SECONDARY ROOF FORM.** Any roof shape included in a Structure's Total Roof, but not included in the calculation of the total square feet of Primary Roof Form.

**TOTAL ROOF.** The exterior surface and supporting framework on top of a Building Footprint.