

TREASURE - PARK CITY, UTAH

2017 SUBMITTAL

V17.1 - 2017 Refinements #1 to 2009 Submittal

June 26, 2017

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VISUALIZATION DRAWINGS: Digital copies of the following updated visualization drawings will be provided with this submittal.

VIEW POINTS:
Updated versions of Sheets V-22 thru V-27 of 2009 Submittal (See Sheet V-21 of 2009 Submittal for map of viewpoint locations)

VP.1	PARK CITY MOUNTAIN RESORT (BUS STOP)
VP.2	PARK CITY GOLF COURSE
VP.3	PEAKS HOTEL
VP.4	CITY PARK
VP.5	9th STREET TURNAROUND
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SIGNATURE STILL PHOTO RENDERINGS:

SS.1	FALL
SS.2	SUMMER 1
SS.3	WINTER 1
SS.4	SUMMER 2
SS.5	SUMMER 3
SS.6	SUMMER 4
SS.7	WINTER 2
SS.8	WINTER 3

VIDEO RENDERINGS



LOCATION MAP 

SUMMARY OF REFINEMENTS COMPARED TO 2009 SUBMITTAL

THE ARCHITECTURAL DRAWINGS HAVE BEEN REFINED TO REFLECT THE INPUT OF PAST AND PRESENT PCMC STAFF AND WHAT THE TREASURE DESIGN TEAM BELIEVES IT HAS HEARD FROM THE PCMC PLANNING COMMISSION. THE NOTES HAVE BEEN UPDATED TO REFLECT THE APPLICANT'S CURRENT NOMENCLATURE AS WELL AS ITS CURRENT GENERAL POSITION REGARDING THE LEVEL OF DESIGN, COMMERCIAL USES, AND PARKING. MODIFICATIONS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:

- ELIMINATED THE MINE EXHIBIT
- SHIFTED A NOMINAL NUMBER OF COMMERCIAL AND RESIDENTIAL UEs FROM THE CREOLE SITE TO THE MIDSTATION SITE.
- REDUCED THE FOOTPRINT AND ADDED A PENTHOUSE UNIT TO BUILDING 1B
- ELIMINATED ONE STORY FROM BUILDING 3B
- ADDED A STEP AT THE TOP STORY, SOUTHEAST CORNER, OF BUILDING 4A
- ADDED A STEP AT THE TOP STORY, EAST END, AND ELIMINATED TWO STORIES FROM WEST WING OF BUILDING 5A
- CONVERTED BUILDING 5B FROM 3-STORY TOWNHOUSES TO FLATS
- ADDED A STEP AT THE TOP STORY, WEST END, OF BUILDING 5C
- TOTAL GROSS AREA: 2009 = 1,016,887 S.F. & V17.1 = 1,005,387 S.F. (-11,500 S.F.)
- RECONFIGURED THE CLIFFSCAPE BEHIND THE 1 & 5 BUILDINGS BASED UPON FURTHER GEOTECHNICAL ANALYSIS

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V17.1 - 2017 Refinements #1 to 2009 Submittal
COVER SHEET

TREASURE - PARK CITY, UTAH

SHEET NO.

COVER

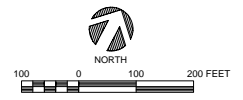
DATE: 06/26/2017



EXISTING HIKING/BIKING TRAILS (SEE NOTE 2)

SKI SOON (SEE NOTE)

- GENERAL NOTES:
- 1) Ski trails will be field graded according to directives of Park City Mountain and revegetated with top soil and grasses. Island mounds, planted with fir and aspens (in addition to top soil and grasses) may serve to visually break up wide areas of the trail and accommodate additional fill.
 - 2) Existing hiking/biking trails will be rerouted where necessary to result in trails of similar character; actual location to be determined pending final grading of the ski runs and cliffscares.



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V17.1 - 2017 Refinements #1 to 2009 Submittal
Grading Plan

TREASURE - PARK CITY, UTAH

SHEET NO.

GP.1

DATE: 06/26/2017

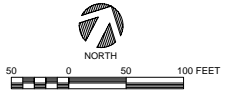


OPEN SPACE CALC.

BLDG. NO.	BLDG. FOOTPRINT (1)
MIDSTATION SITE - LOT # 8	
1B	9,482
1C	8,960
TOTAL	22,442 S.F.
SITE AREA	163,337 S.F.
	(3.75 ACRES)
OPEN SPACE	
CREOLE SITE - LOT # 9	38,934%
2	5,142 S.F.
EMP. HOUSING	830
36	3,746
38	5,291
3C	4,575 S.F.
PLAZA STAIR/ELEV.	830
48	21,203
49	33,583
POOL BLDG.	730
46	7,231
58	4,154
5C	8,542
5D	6,240
TOTAL	100,962 S.F.
SITE AREA	37,591 S.F.
	(7.9 ACRES)
OPEN SPACE	75.59%
PROJECT TOTAL	
BLDG. AREA	124,430 S.F.
SITE AREA	168,838 S.F.
OPEN SPACE	75.18%

(1) BUILDING FOOTPRINT AREAS USED IN THE OPEN SPACE CALCULATION (SHOWN SHADDED) ARE MEASURED AT THE EXTERIOR FACE OF WALL AT FINISH GRADE, EXCEPT WHERE NOTED OTHERWISE. INCLUDED ARE OPEN SPACE, SOUP-BLENDED, PRIVATE BALCONIES NOT ABOVE HABITABLE SPACE AND OPEN ON AT LEAST TWO SIDES, AND STRUCTURES BELOW LANDSCAPING OR PUBLIC PLAZAS.

(2) BUILDING FC AREA INCLUDES THE HABITABLE SPACE ABOVE THE PLAZA WALKWAY (SHOWN DASHED).



UPDATES:

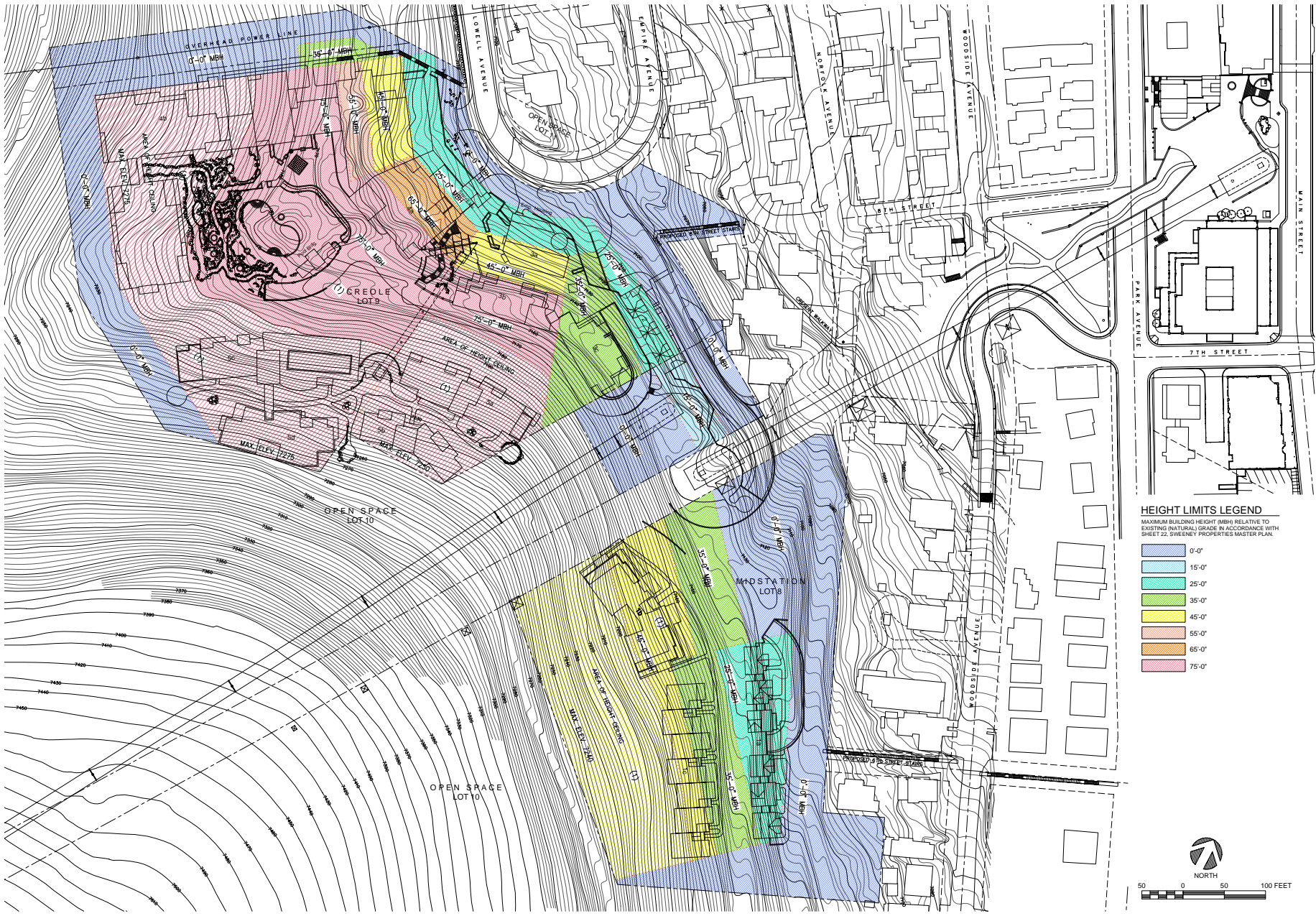
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Site & Circulation Plan

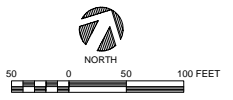
TREASURE - PARK CITY, UTAH

SHEET NO.
SP.1
DATE: 06/28/2017



HEIGHT LIMITS LEGEND
 MAXIMUM BUILDING HEIGHT (MINI) RELATIVE TO EXISTING (NATURAL) GRADE IN ACCORDANCE WITH SHEET 22, SWEENEY PROPERTIES MASTER PLAN.

0'-0"
15'-0"
25'-0"
35'-0"
45'-0"
55'-0"
65'-0"
75'-0"



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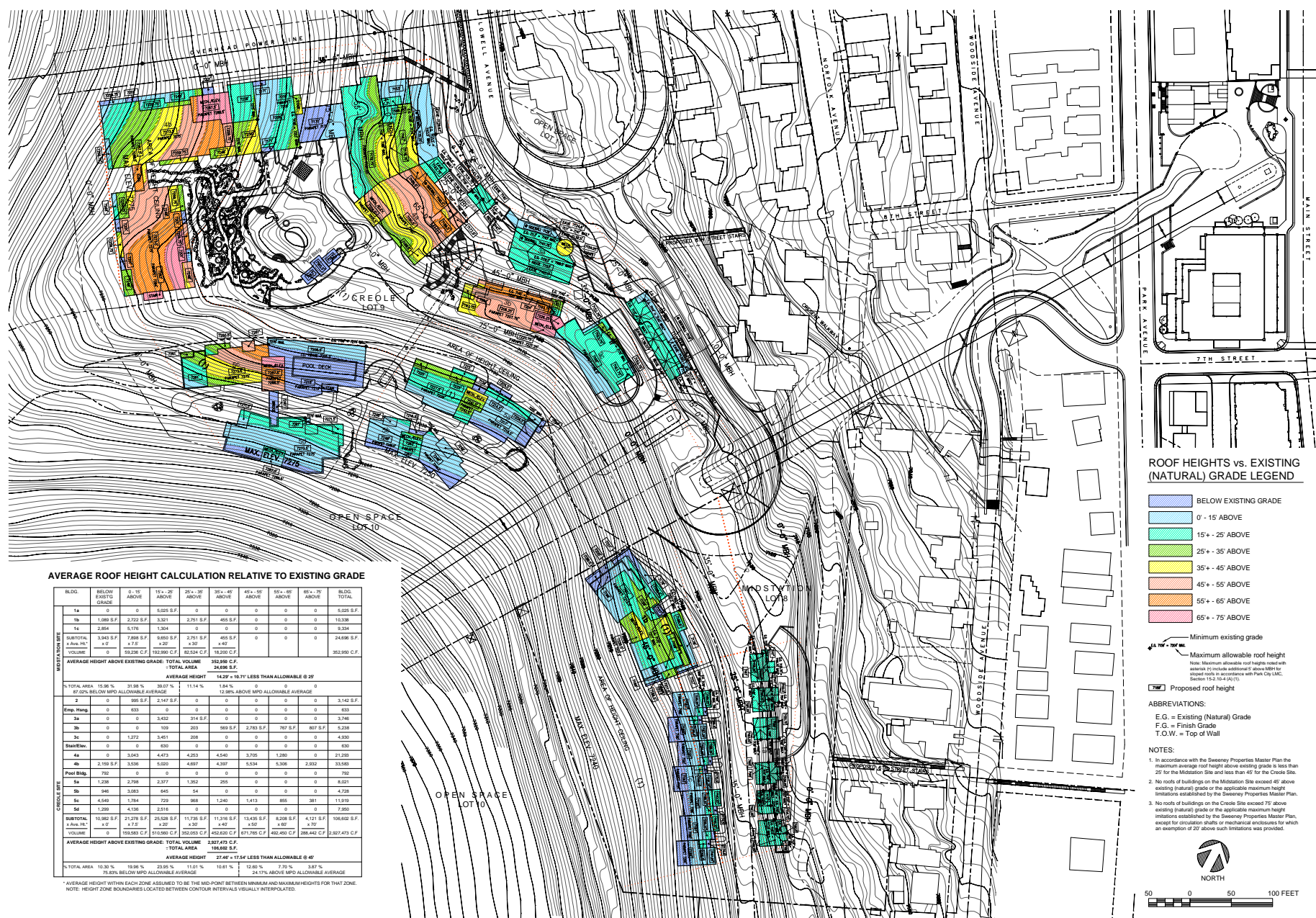
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 Heights Limit Plan

TREASURE - PARK CITY, UTAH

SHEET NO.



DATE: 06/28/2017



AVERAGE ROOF HEIGHT CALCULATION RELATIVE TO EXISTING GRADE

BLDG.	BELOW EXISTING GRADE	0' - 15' ABOVE	15' - 25' ABOVE	25' - 35' ABOVE	35' - 45' ABOVE	45' - 55' ABOVE	55' - 65' ABOVE	65' - 75' ABOVE	BLDG. TOTAL
1a	0	0	5,025 S.F.	0	0	0	0	0	5,025 S.F.
1b	1,085 S.F.	2,752 S.F.	3,321	2,791 S.F.	465 S.F.	0	0	0	10,334
1c	2,854	5,176	1,304	0	0	0	0	0	9,334
SUBTOTAL	3,940 S.F.	7,888 S.F.	8,650 S.F.	2,791 S.F.	465 S.F.	0	0	0	24,664 S.F.
AREA (%)	4.6%	9.1%	10.2%	3.3%	0.5%	0%	0%	0%	29.7%
VOLUME	0	93,236 C.F.	102,990 C.F.	32,524 C.F.	18,260 C.F.	0	0	0	244,010 C.F.
AVERAGE HEIGHT ABOVE EXISTING GRADE: TOTAL VOLUME		352,810 C.F.		24,664 S.F.					
AVERAGE HEIGHT		14.22' ± 16.77' LESS THAN ALLOWABLE @ 20'							
<p>% TOTAL AREA: 15.96% 31.96% 38.97% 11.14% 1.84% 0% 0% 0% 0%</p> <p>87.92% BELOW MPO ALLOWABLE AVERAGE 12.08% ABOVE MPO ALLOWABLE AVERAGE</p>									
2	0	1,955 S.F.	2,147 S.F.	0	0	0	0	0	4,102 S.F.
Emp. Hing	0	633	0	0	0	0	0	0	633
3a	0	0	3,432	314 S.F.	0	0	0	0	3,746
3b	0	0	109	203	569 S.F.	2,783 S.F.	767 S.F.	807 S.F.	5,238
3c	0	1,272	3,451	268	0	0	0	0	5,091
3d	0	0	620	0	0	0	0	0	620
3e	0	3,043	4,473	4,263	4,540	3,705	1,280	0	21,284
4a	2,159 S.F.	3,536	5,020	4,897	4,397	5,324	5,336	2,832	33,581
Pool Bldg.	792	0	0	0	0	0	0	0	792
5a	1,228	2,769	3,377	1,362	289	0	0	0	8,025
5b	948	3,093	645	14	0	0	0	0	5,700
5c	4,540	1,784	729	968	1,240	1,413	895	381	11,919
5d	1,299	4,136	2,516	0	0	0	0	0	7,951
SUBTOTAL	10,992 S.F.	21,279 S.F.	25,258 S.F.	11,730 S.F.	13,436 S.F.	8,208 S.F.	4,121 S.F.	0	106,602 S.F.
AREA (%)	4.2%	8.1%	9.2%	4.0%	4.8%	3.0%	1.5%	0%	32.8%
VOLUME	0	159,983 C.F.	111,560 C.F.	352,053 C.F.	452,620 C.F.	871,769 C.F.	492,450 C.F.	288,442 C.F.	2,927,473 C.F.
AVERAGE HEIGHT ABOVE EXISTING GRADE: TOTAL VOLUME		2,927,473 C.F.		106,602 S.F.					
AVERAGE HEIGHT		27.46' ± 17.54' LESS THAN ALLOWABLE @ 40'							
<p>% TOTAL AREA: 10.36% 19.94% 23.92% 11.01% 10.81% 12.89% 7.21% 3.87% 0%</p> <p>79.42% BELOW MPO ALLOWABLE AVERAGE 20.58% ABOVE MPO ALLOWABLE AVERAGE</p>									

AVERAGE HEIGHT WITHIN EACH ZONE ASSUMED TO BE THE MID-POINT BETWEEN MINIMUM AND MAXIMUM HEIGHTS FOR THAT ZONE.
NOTE: HEIGHT ZONE BOUNDARIES LOCATED BETWEEN CONTOUR INTERVALS VISUALLY INTERPOLATED.

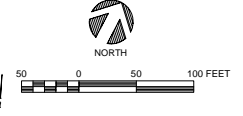
ROOF HEIGHTS vs. EXISTING (NATURAL) GRADE LEGEND

- BELOW EXISTING GRADE
- 0' - 15' ABOVE
- 15' ± 25' ABOVE
- 25' ± 35' ABOVE
- 35' ± 45' ABOVE
- 45' ± 55' ABOVE
- 55' ± 65' ABOVE
- 65' ± 75' ABOVE

Minimum existing grade
Maximum allowable roof height
Proposed roof height

ABBREVIATIONS:
E.G. = Existing (Natural) Grade
F.G. = Finish Grade
T.O.W. = Top of Wall

- NOTES:
- In accordance with the Shesney Properties Master Plan the maximum allowable roof height above existing grade is less than 20' for the Midstation Site and less than 40' for the Crestle Site.
 - No roofs of buildings on the Midstation Site exceed 40' above existing (natural) grade or the applicable maximum height limitations established by the Shesney Properties Master Plan.
 - No roofs of buildings on the Crestle Site exceed 70' above existing (natural) grade or the applicable maximum height limitations established by the Shesney Properties Master Plan, except for circulation shafts or mechanical enclosures for which an exemption of 20' above such limitations was provided.



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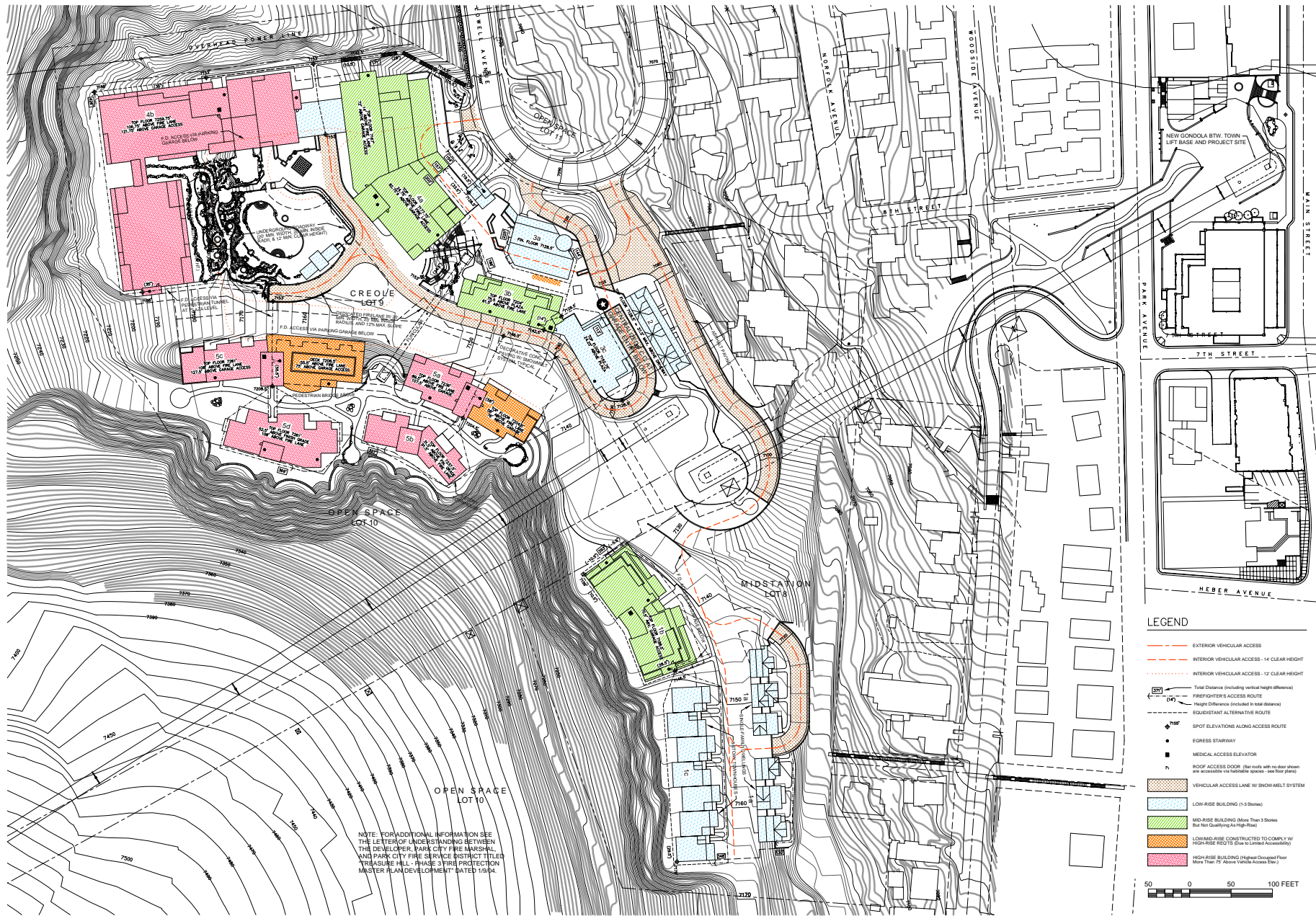
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V17.1 - 2017 Refinements #1 to 2009 Submittal
Roof Heights Relative to Existing Grade
TREASURE - PARK CITY, UTAH

SHEET NO.

H2

DATE: 06/28/2017



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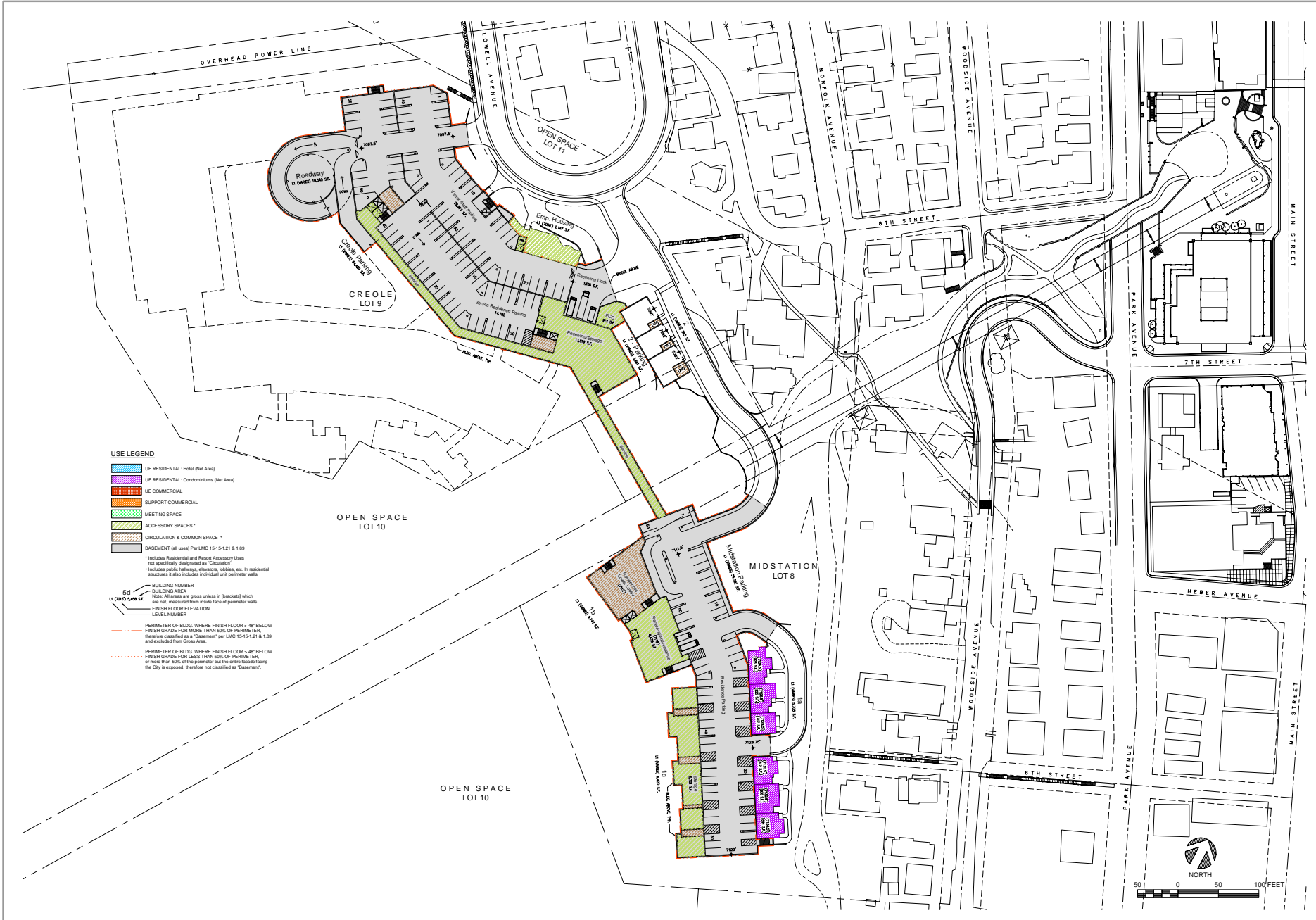
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V17.1 - 2017 Refinements #1 to 2009 Submittal
Fire Department Access Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
FD.1

DATE: 06/26/2017



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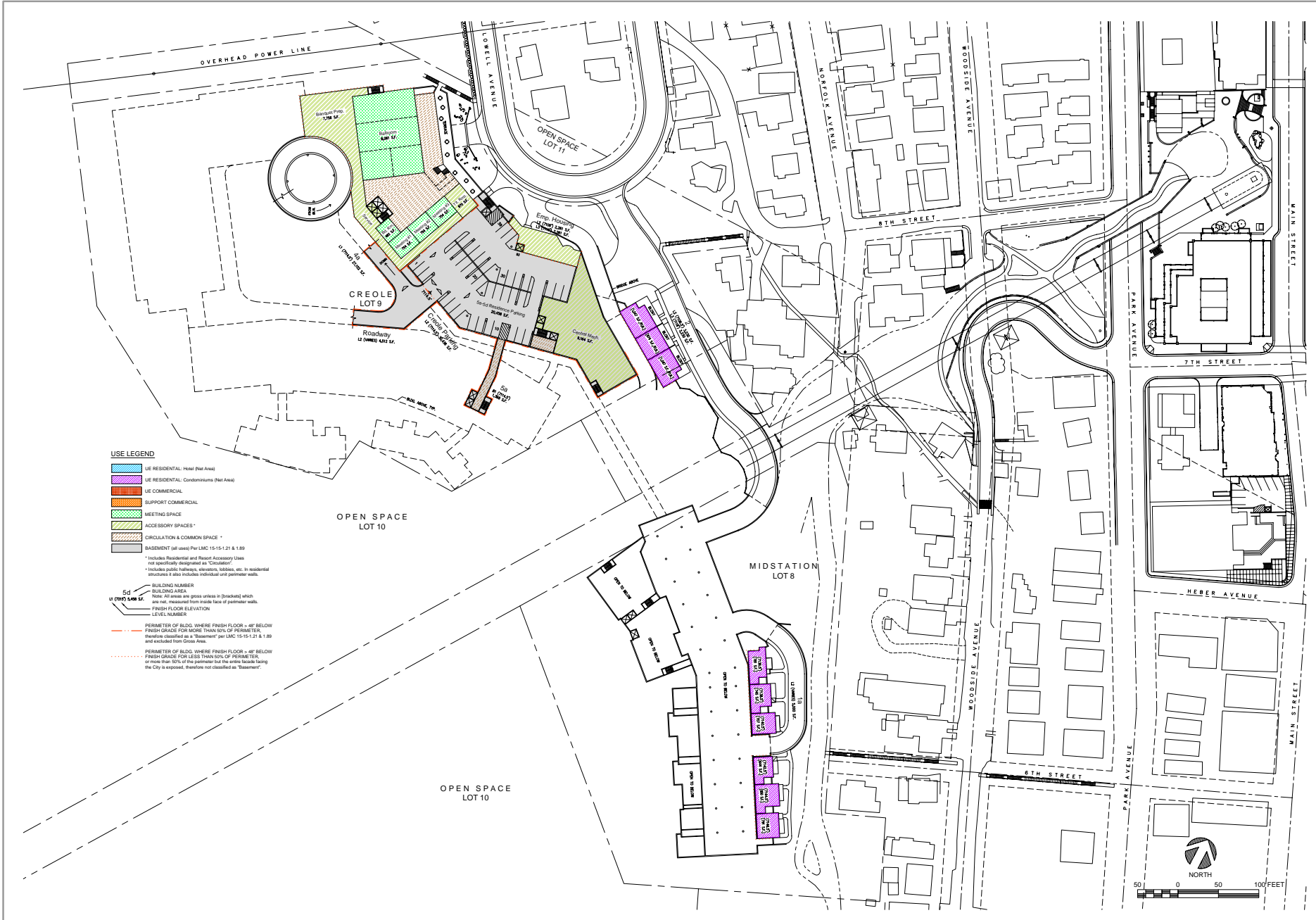
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 1 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.

P.1

DATE: 06/26/2017



- USE LEGEND**
- UE RESIDENTIAL - Home (Not Area)
 - UE RESIDENTIAL - Condominiums (Not Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.
- BUILDING NUMBER
 — BUILDING AREA
 Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
 — FINISH FLOOR ELEVATION
 — LEVEL NUMBER
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER. Maximize classified as a "Basement" per LMC 15-15-1.21 & 1.89 and included from Gross Area.
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER, or more than 50% of the perimeter but the entire facade facing the City is exposed, therefore not classified as "Basement".

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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 2 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
P2
 DATE: 06/26/2017



USE LEGEND

- UE RESIDENTIAL: Home (Not Area)
- UE RESIDENTIAL: Condominiums (Not Area)
- UE COMMERCIAL
- SUPPORT COMMERCIAL
- MEETING SPACE
- ACCESSORY SPACES*
- BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89

* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.

— BUILDING NUMBER:
 BLDG AREA:
 Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
 FINISH FLOOR ELEVATION:
 LEVEL NUMBER:

PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER, inclusive classified as a "Basement" per LMC 15-15-1.21 & 1.89 and indicated from Centerline.

PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER, or more than 50% of the perimeter but the entire facade facing the City is exposed, therefore not classified as "Basement".

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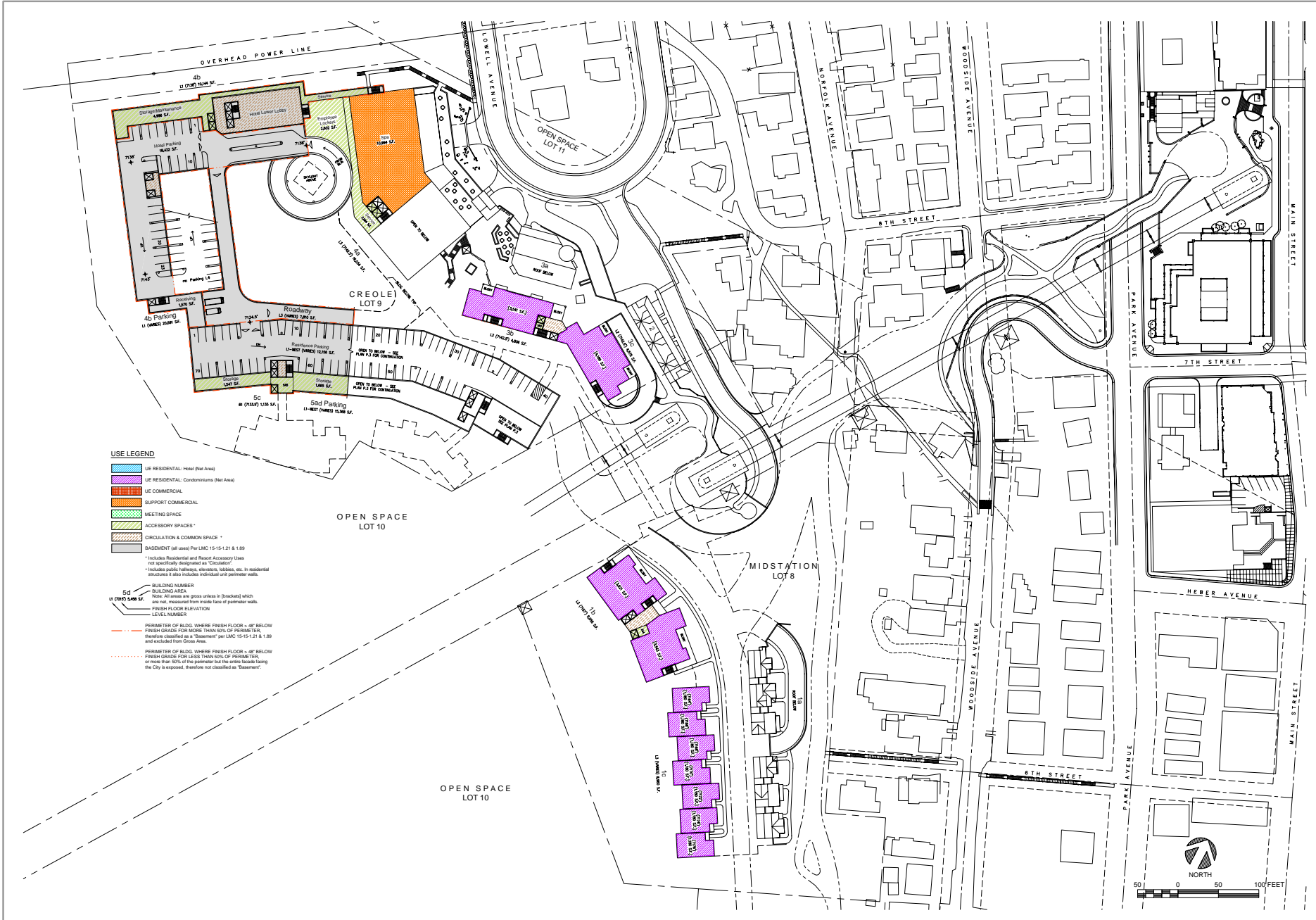
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 3 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.

P.3

DATE: 06/28/2017



- USE LEGEND**
- UE RESIDENTIAL - Home (Not Area)
 - UE RESIDENTIAL - Condominiums (Not Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.
- BUILDING NUMBER
 — BUILDING AREA
 — PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER; inclusive classified as a "Basement" per LMC 15-15-1.21 & 1.89 and excluded from Gross Area
 — PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER; or more than 50% of the perimeter but the entire building facing the City is exposed, therefore not classified as "Basement".
- 5d
 U (170) 5.48 SF
 — FINISH FLOOR ELEVATION
 — LEVEL NUMBER

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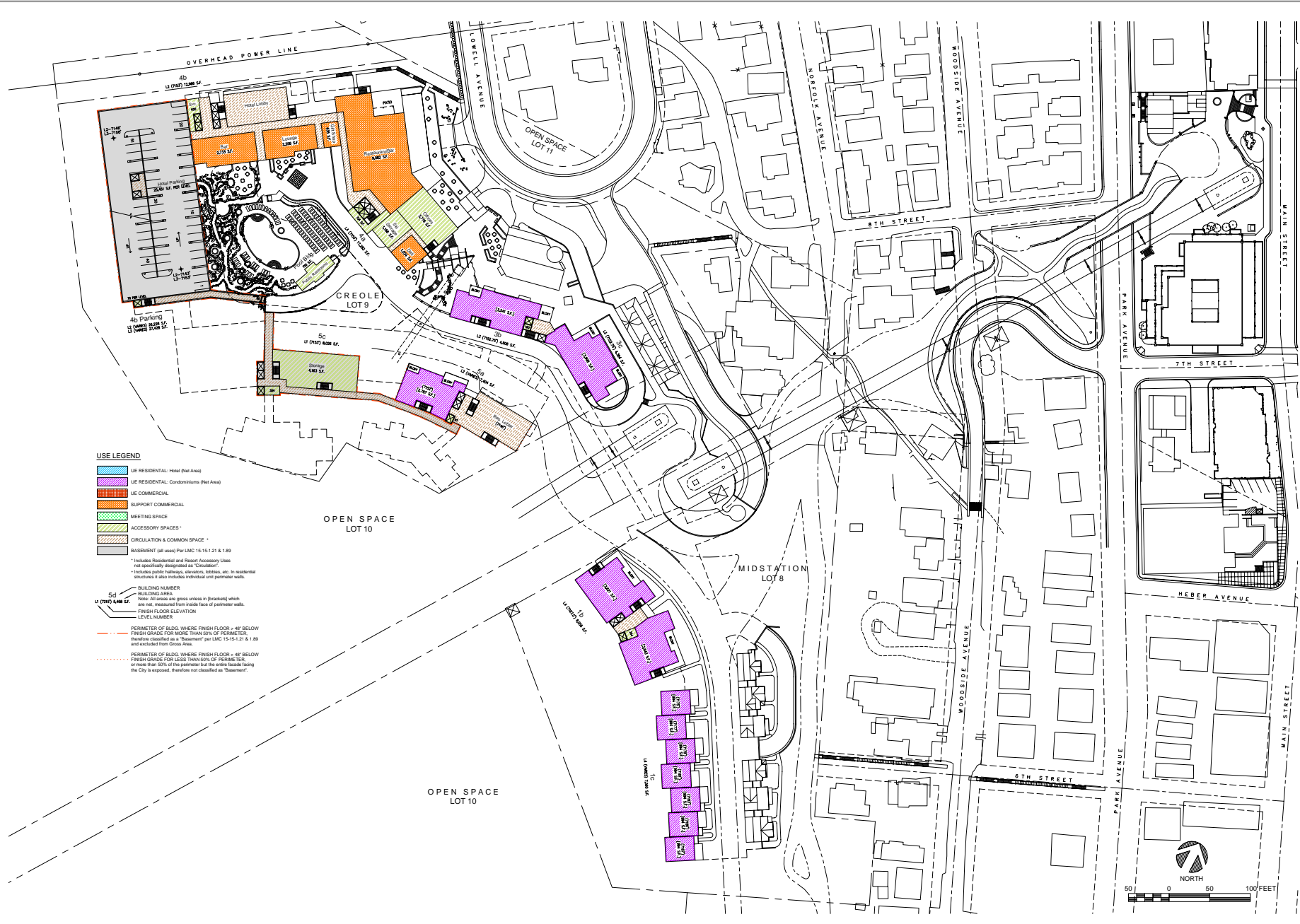
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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 4 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
P.4

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- USE LEGEND**
- UE RESIDENTIAL: Home (Not Area)
 - UE RESIDENTIAL: Condominiums (Not Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.
- 5d
 U (7187) 5,408 SF
- BUILDING NUMBER
 — BUILDING AREA
 Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
 — FINISH FLOOR ELEVATION
 — LEVEL NUMBER
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- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER, or more than 50% of the perimeter but the entire block facing the City is exposed, therefore not classified as "Basement".

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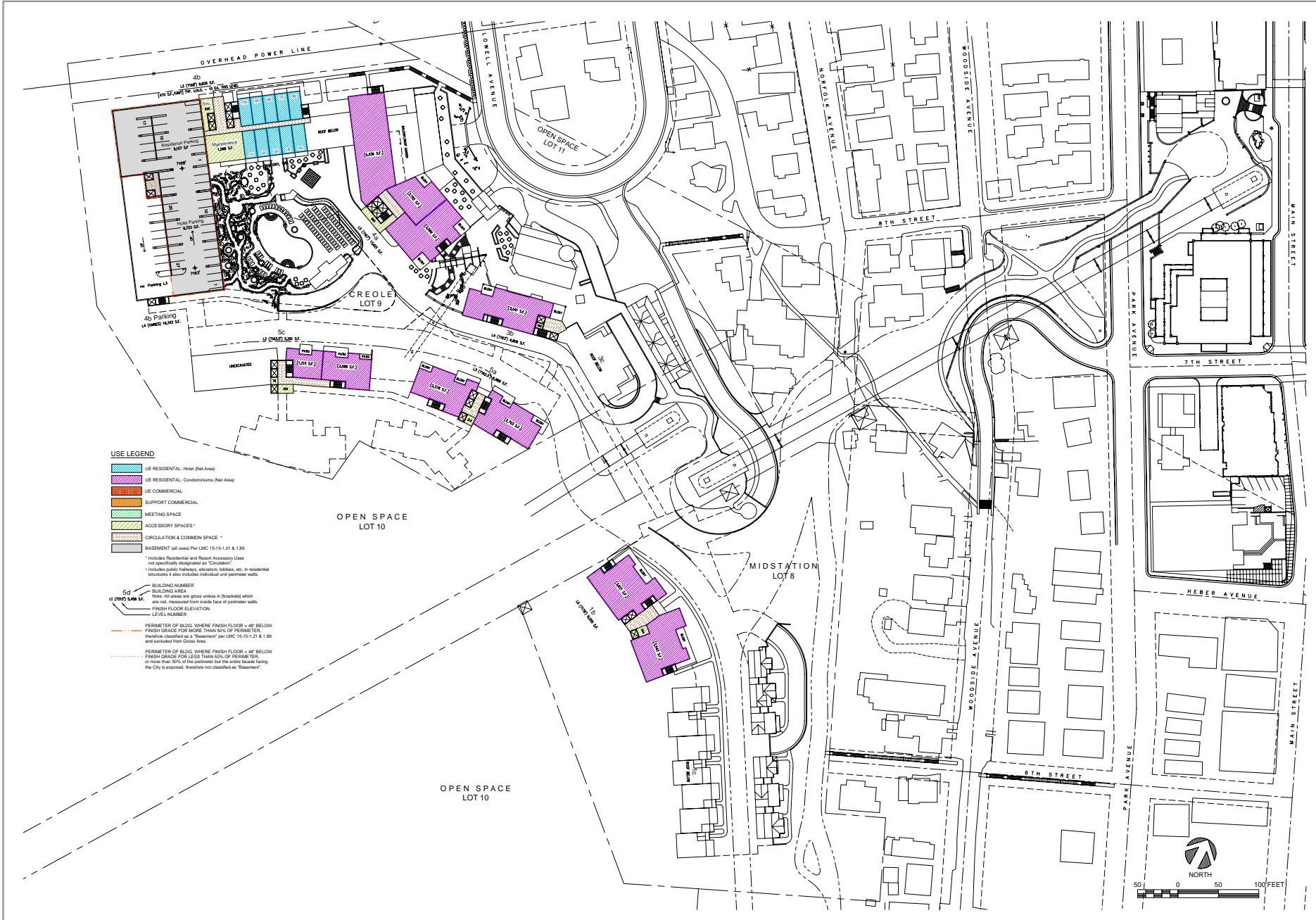
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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 5 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
P.5

DATE: 06/28/2017



- USE LEGEND**
- UE RESIDENTIAL - Home (Not Area)
 - UE RESIDENTIAL - Condominiums (Not Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
Includes public hallway, elevators, lobbies, etc. In residential structures it also includes individual unit perimeter walls.
- BUILDING NUMBER
 - BUILDING AREA
 - Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
 - FINISH FLOOR ELEVATION
 - LEVEL NUMBER
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER; massive classified as a "Basement" per LMC 15-15-1.21 & 1.89 and included from Gross Area
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER; do not include 50% of the perimeter for the entire block facing the City is exposed, therefore not classified as "Basement".

UPDATES:

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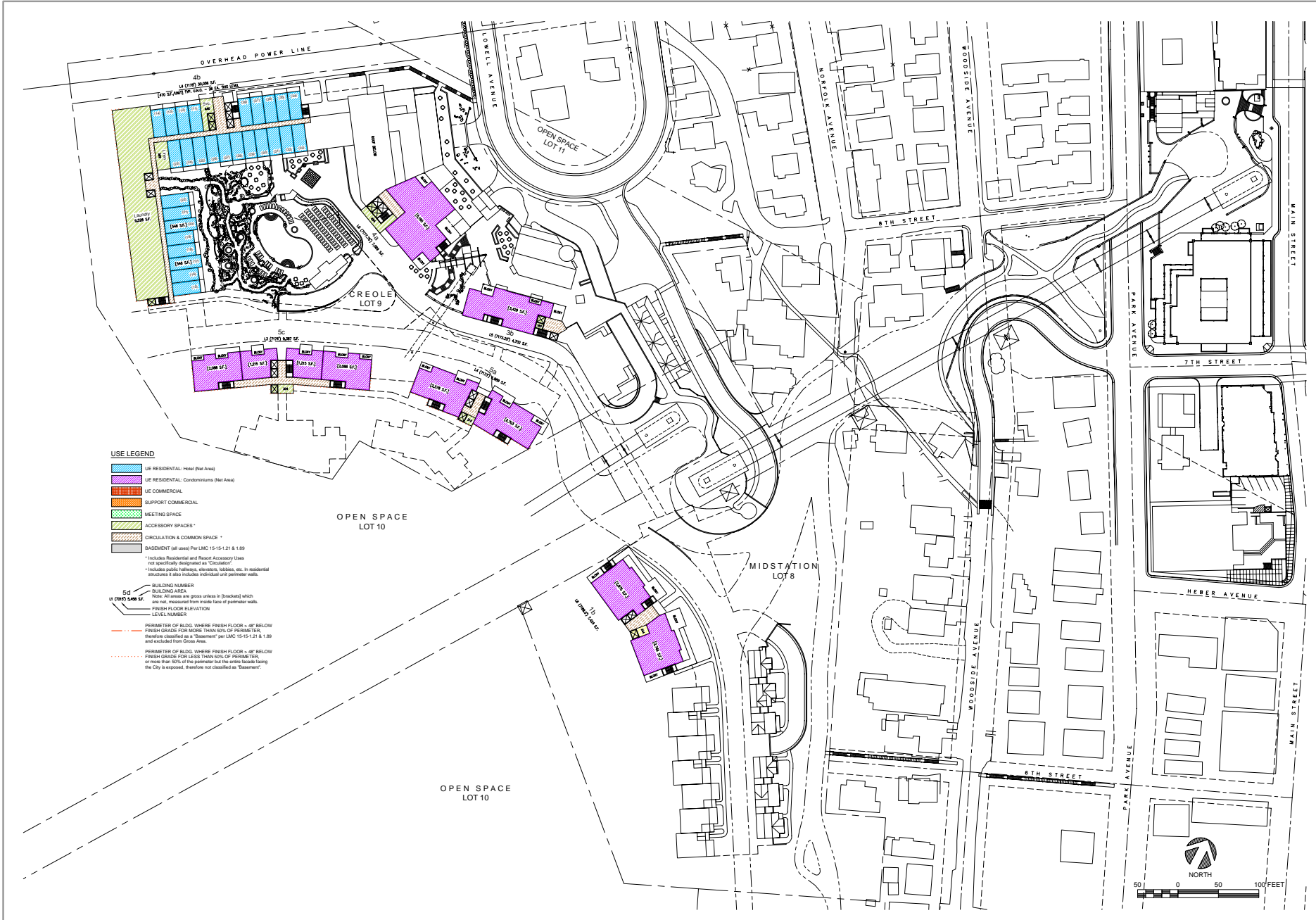
Applicant: MPE Inc.
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V17.1 - 2017 Refinements #1 to 2009 Submittal
Level 6 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
P.6

DATE: 06/28/2017



- USE LEGEND**
- USE RESIDENTIAL - Town (Per Area)
 - USE RESIDENTIAL - Condominiums (Per Area)
 - USE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public walkways, stairways, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.
- BUILDING NUMBER:
 — BUILDING AREA:
 Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
 — FINISH FLOOR ELEVATION:
 — LEVEL NUMBER
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER; otherwise classified as a "Basement" per LMC 15-15-1.21 & 1.89 and included from Grade up.
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER; or more than 50% of the perimeter for the entire block facing the City is exposed, therefore not classified as "Basement".

UPDATES:

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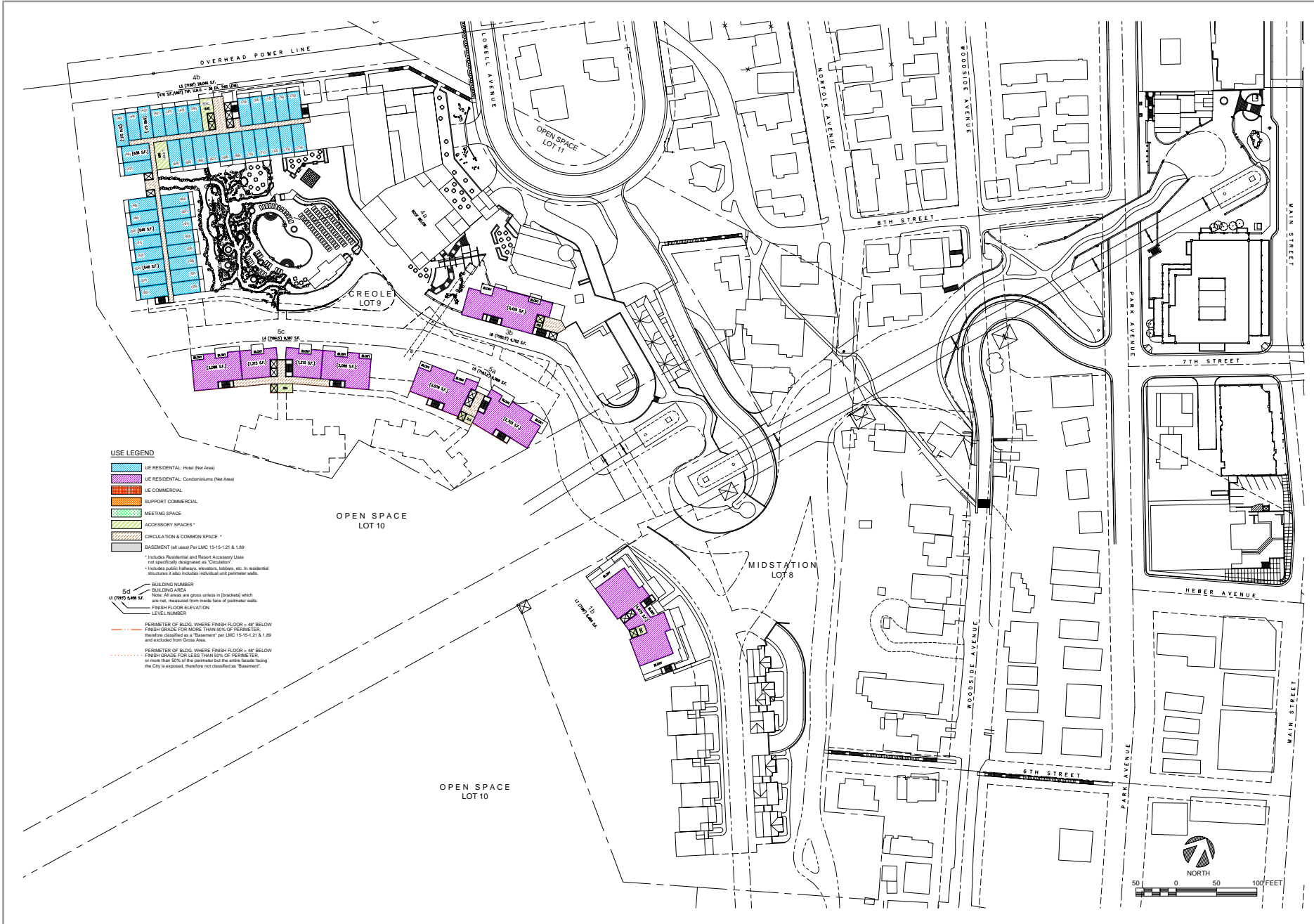
Applicant: MPE Inc.
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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 7 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
P.7

DATE: 06/28/2017



- USE LEGEND**
- UE RESIDENTIAL: Home (Not Area)
 - UE RESIDENTIAL: Condominiums (Not Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
* Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.
- 5d**
 BUILDING NUMBER
 BUILDING AREA
 Note: All areas are great unless in brackets which are not measured from inside face of perimeter walls.
 FINISH FLOOR ELEVATION
 LEVEL NUMBER
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER:**
 inclusive classified as a "Basement" per LMC 15-15-1.21 & 1.89 and included from Grade 4'.
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER:**
 or more than 50% of the perimeter for the entire block facing the City is exposed, therefore not classified as "Basement".

UPDATES:

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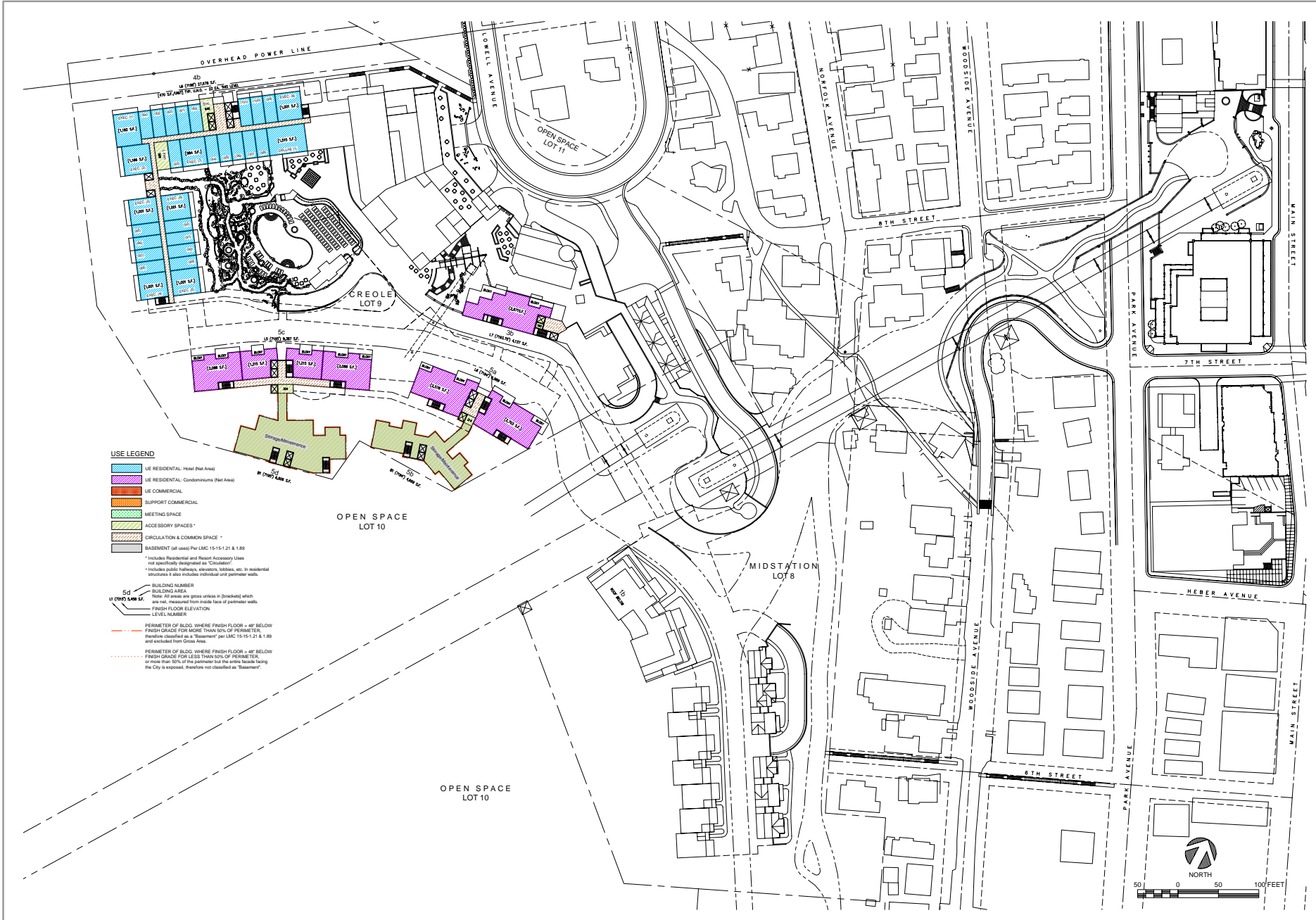
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 8 Use Plan

TREASURE - PARK CITY, UTAH

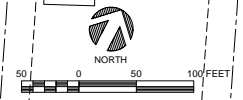
SHEET NO.

P.8

DATE: 06/28/2017



- USE LEGEND**
- UE RESIDENTIAL: Home (Net Area)
 - UE RESIDENTIAL: Condominiums (Net Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.
- BUILDING NUMBER
 — BUILDING AREA
 Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
 — FINISH FLOOR ELEVATION
 — LEVEL NUMBER
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4ft BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER. Basements classified as a "Basement" per LMC 15-15-1.21 & 1.89 are included from Gross Area.
- PERIMETER OF BLDG. WHERE FINISH FLOOR > 4ft BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER. If more than 50% of the perimeter for the entire block facing the City is exposed, therefore not classified as "Basement".



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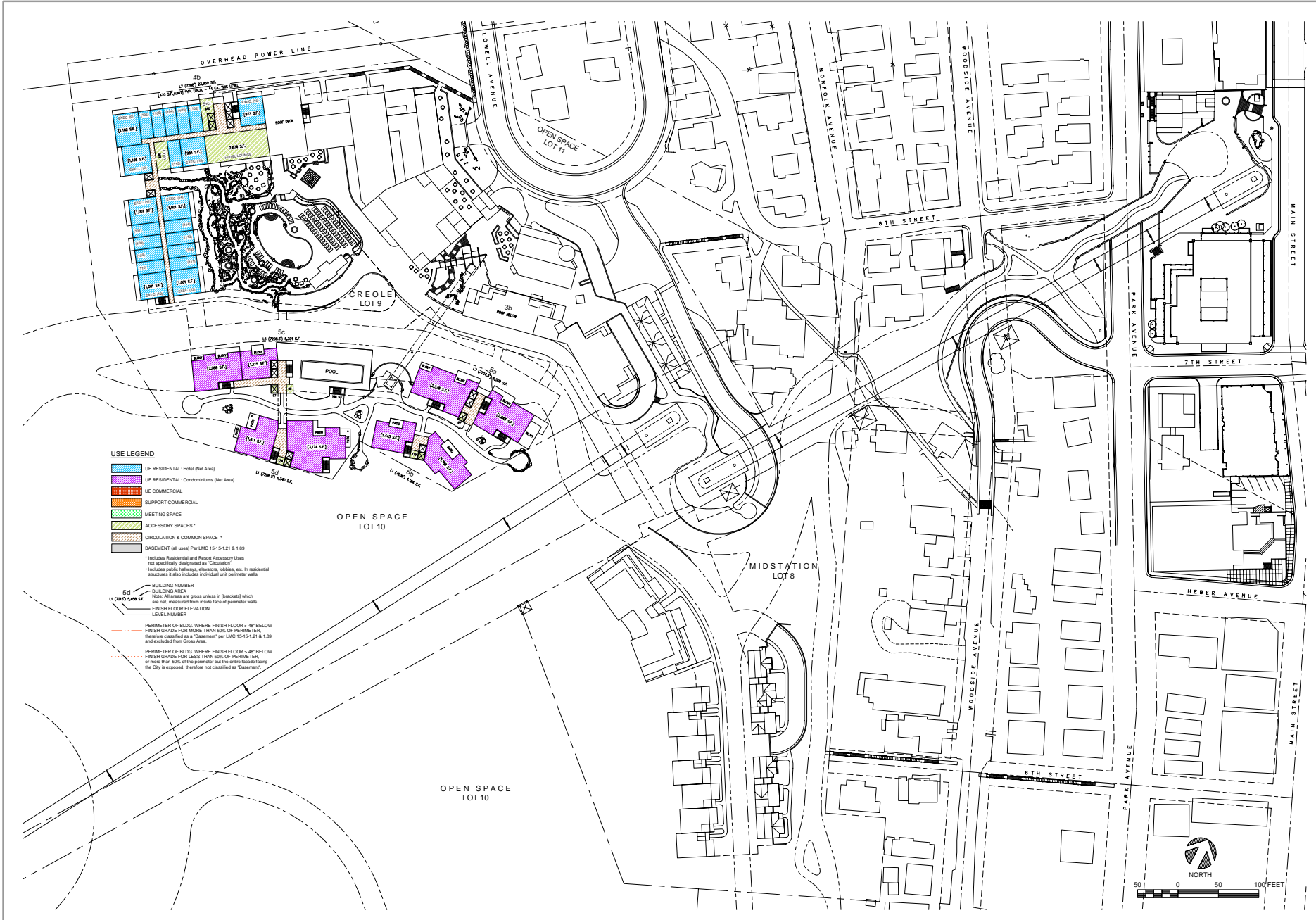
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 9 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.

P.9

DATE: 06/28/2017



- USE LEGEND**
- UE RESIDENTIAL: Home (Net Area)
 - UE RESIDENTIAL: Condominiums (Net Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89

* Includes Residential and Resort Accessory Uses not specifically designated as "Accessory".
 * Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.

- BUILDING NUMBER
- BUILDING AREA
- FINISH GRADE FOR MORE THAN 50% OF PERIMETER
- FINISH GRADE FOR LESS THAN 50% OF PERIMETER
- LEVEL NUMBER

PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER, inclusive classified as a "Basement" per LMC 15-15-1.21 & 1.89 and measured from Grade 0.

PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER, or more than 50% of the perimeter for the entire block facing the City is exposed, therefore not classified as "Basement".

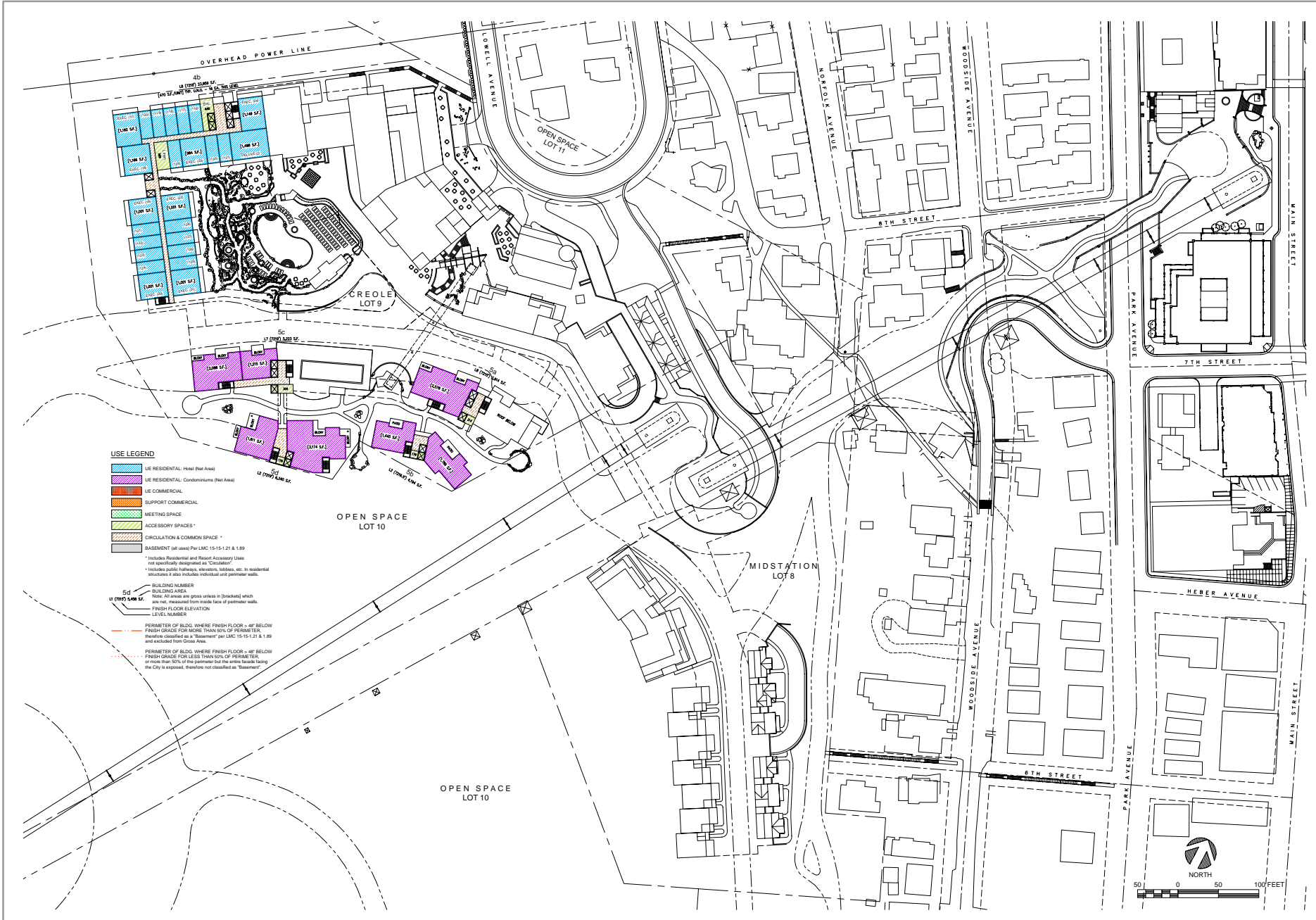
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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 10 Use Plan
TREASURE - PARK CITY, UTAH

SHEET NO.
P.10
 DATE: 06/28/2017



- USE LEGEND**
- UE RESIDENTIAL - Home (Net Area)
 - UE RESIDENTIAL - Condominiums (Net Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevator, lobby, etc. in residential structures. It also includes individual unit perimeter walls.

- 5d
 U (70%) 5.00 SF
- BUILDING NUMBER
 - BUILDING AREA
 - PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER; otherwise classified as a "Basement" per LMC 15-15-1.21 & 1.89 and measured from Grade
 - PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER; or more than 50% of the perimeter for the entire block facing the City is exposed; therefore not classified as "Basement"
 - FINISH FLOOR ELEVATION
 - LEVEL NUMBER

UPDATES:

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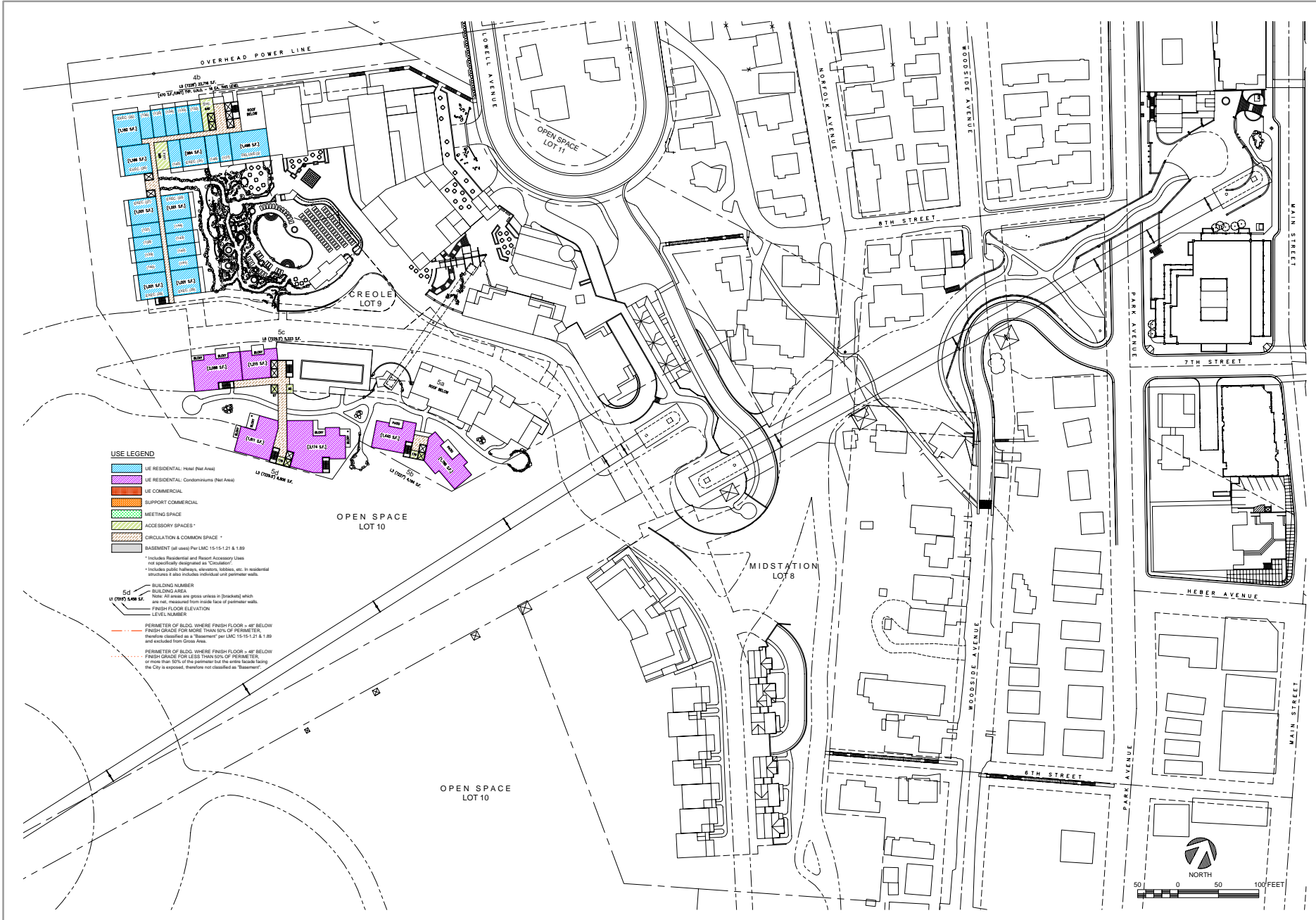
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 11 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
P.11

DATE: 06/28/2017

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USE LEGEND

- UE RESIDENTIAL - Home (Net Area)
- UE RESIDENTIAL - Condominiums (Net Area)
- UE COMMERCIAL
- SUPPORT COMMERCIAL
- MEETING SPACE
- ACCESSORY SPACES*
- BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89

* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevators, lobbies, etc. in residential structures. It also includes individual unit perimeter walls.

- BUILDING NUMBER
- BUILDING AREA
- Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
- FINISH FLOOR ELEVATION
- LEVEL NUMBER

PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER, inclusive classified as a "Basement" per LMC 15-15-1.21 & 1.89 and measured from Grade.

PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER, or more than 50% of the perimeter for the entire block facing the City is exposed, therefore not classified as "Basement".

5d
 U (170') 5.400 SF

UPDATES:

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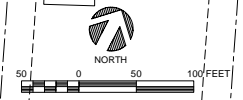
Applicant: MPE Inc.
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 (435) 901-2077
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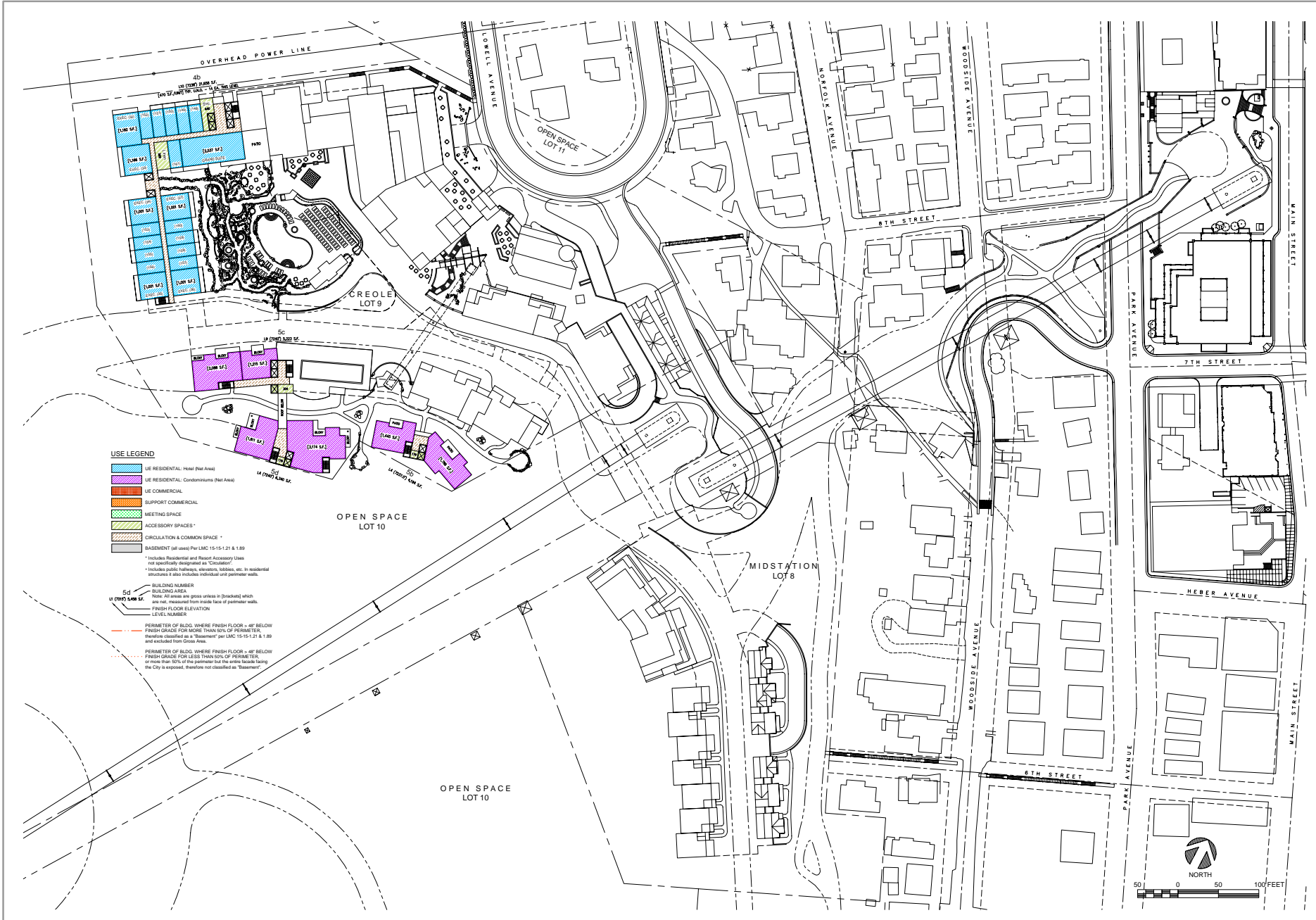
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 12 Use Plan

TREASURE - PARK CITY, UTAH

SHEET NO.
P.12

DATE: 06/28/2017





- USE LEGEND**
- UE RESIDENTIAL - Home (Not Area)
 - UE RESIDENTIAL - Condominiums (Not Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89
- * Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevator, lobby, etc. in residential structures. It also includes individual unit perimeter walls.

- BUILDING NUMBER:**
- BUILDING AREA
 - PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER. Basements classified as a "Basement" per LMC 15-15-1.21 & 1.89 are indicated from Center of
 - PERIMETER OF BLDG. WHERE FINISH FLOOR = 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER. If more than 50% of the perimeter for the entire block facing the City is exposed, therefore not classified as "Basement"

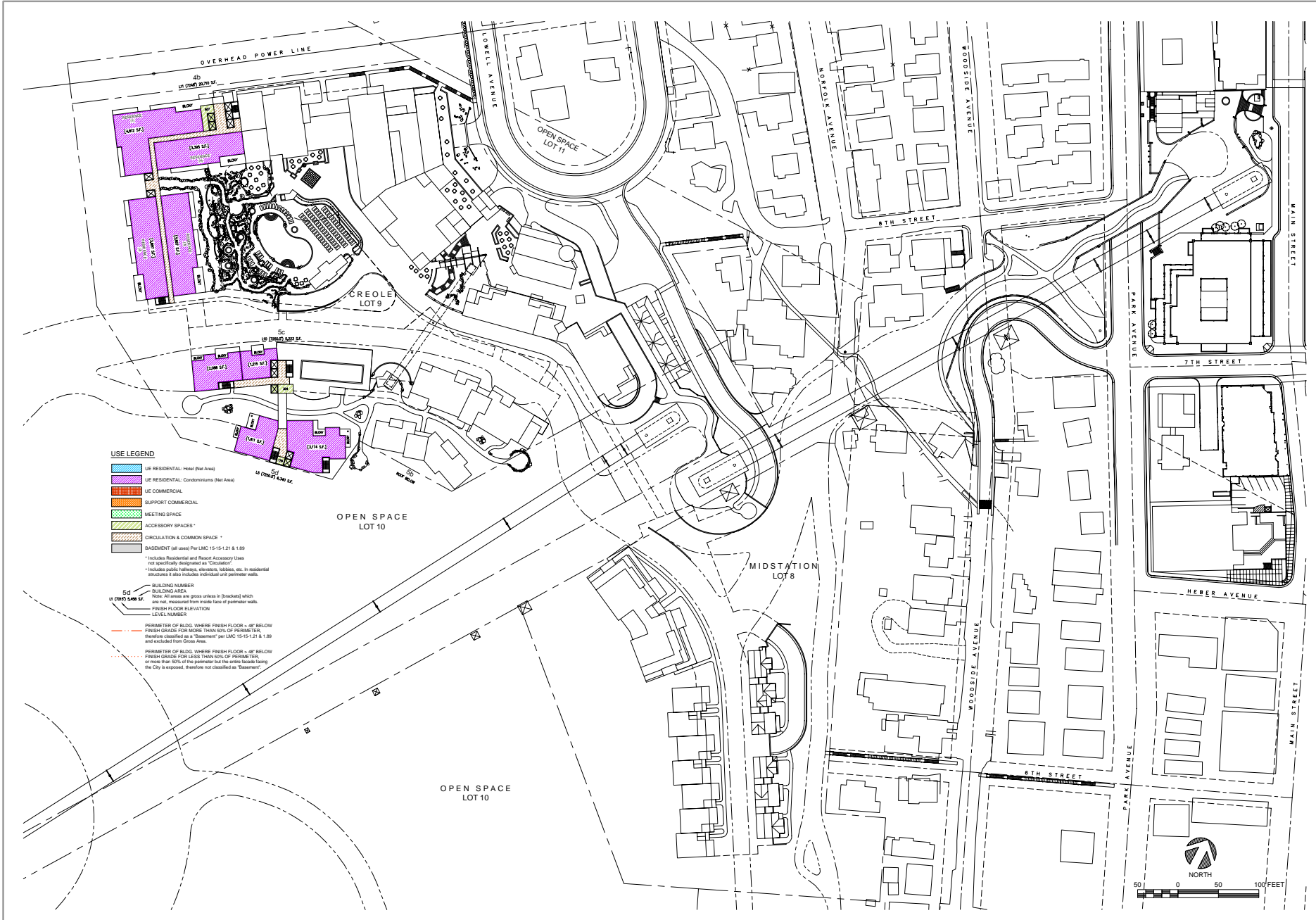
UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 13 Use Plan
TREASURE - PARK CITY, UTAH

SHEET NO.
P.13
 DATE: 06/28/2017



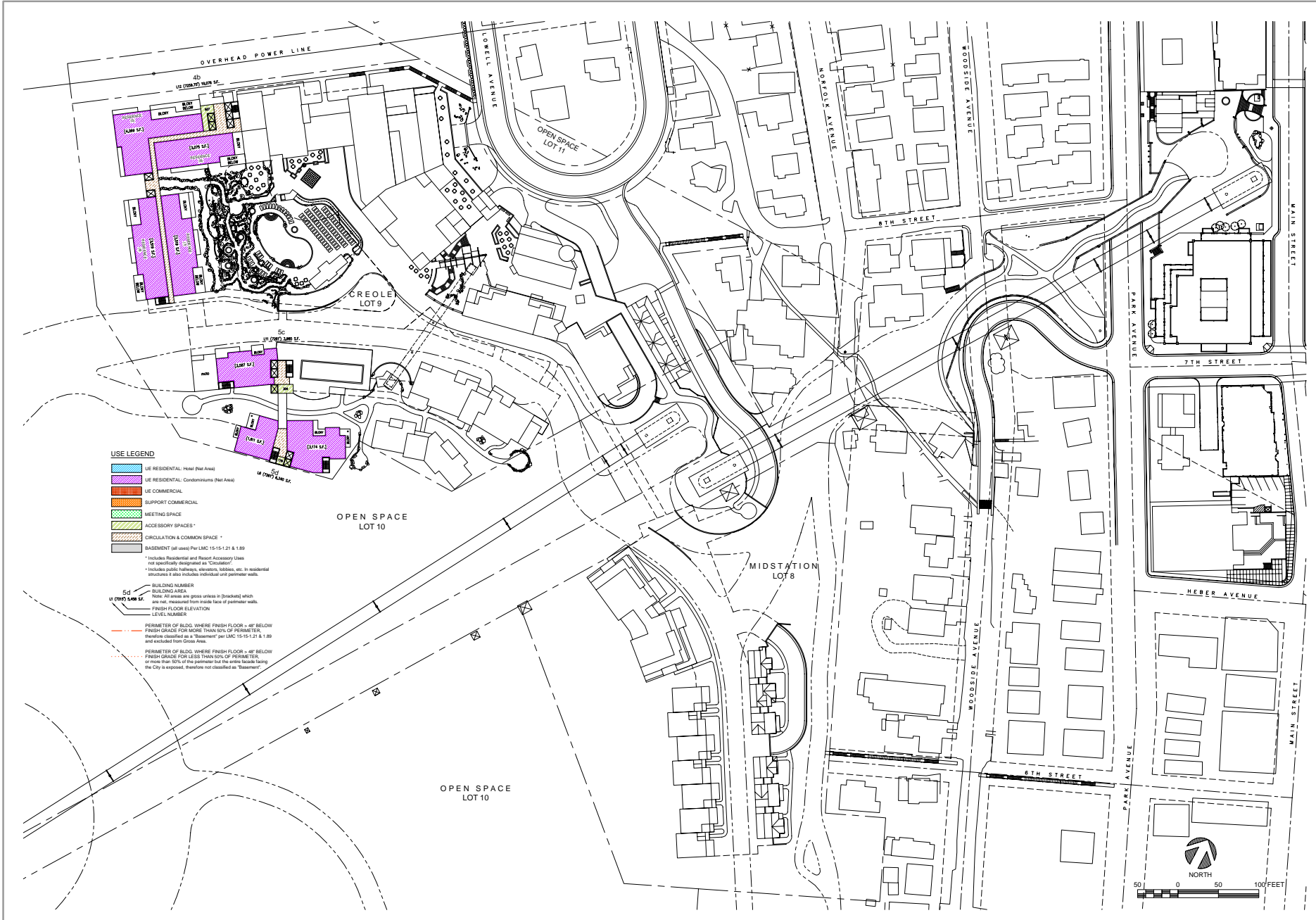
UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 14 Use Plan
TREASURE - PARK CITY, UTAH

SHEET NO.
P.14
 DATE: 06/28/2017



- USE LEGEND**
- UE RESIDENTIAL - Home (Net Area)
 - UE RESIDENTIAL - Condominiums (Net Area)
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - BASEMENT (all uses) Per LMC 15-15-1.21 & 1.89

* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallway, elevator, lobby, etc. in residential structures. It also includes individual unit perimeter walls.

- 5d BUILDING NUMBER
- 5d BUILDING AREA
- 5d Note: All areas are gross unless in brackets which are net, measured from inside face of perimeter walls.
- 5d FINISH FLOOR ELEVATION
- 5d LEVEL NUMBER

PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR MORE THAN 50% OF PERIMETER, inclusive classified as a "Basement" per LMC 15-15-1.21 & 1.89 and measured from Grade.

PERIMETER OF BLDG. WHERE FINISH FLOOR > 4' BELOW FINISH GRADE FOR LESS THAN 50% OF PERIMETER, or more than 50% of the perimeter but the entire facade facing the City is exposed, therefore not classified as "Basement".

UPDATES:

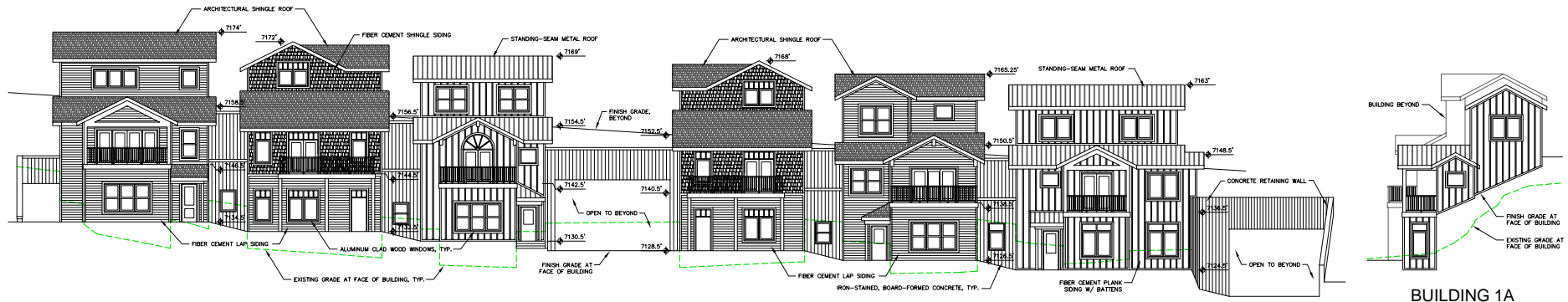
DAVID G. ELDREDGE ARCHITECT
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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Level 15 Use Plan
TREASURE - PARK CITY, UTAH

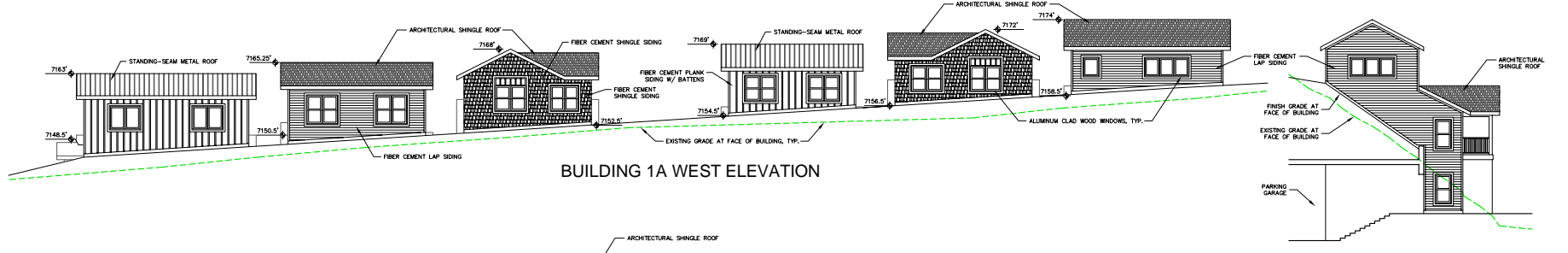
SHEET NO.
P.15

DATE: 06/26/2017



BUILDING 1A EAST ELEVATION

BUILDING 1A NORTH ELEVATION



BUILDING 1A WEST ELEVATION

BUILDING 1A SOUTH ELEVATION

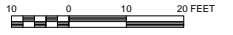


BUILDING 2 SOUTHWEST ELEVATION



BUILDING 2 NORTHEAST ELEVATION

BUILDING 2 NORTHWEST ELEVATION



UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
Buildings 1A & 2 Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.
E1A2.1

DATE: 06/28/2017



NORTHEAST ELEVATION - SOUTH WING



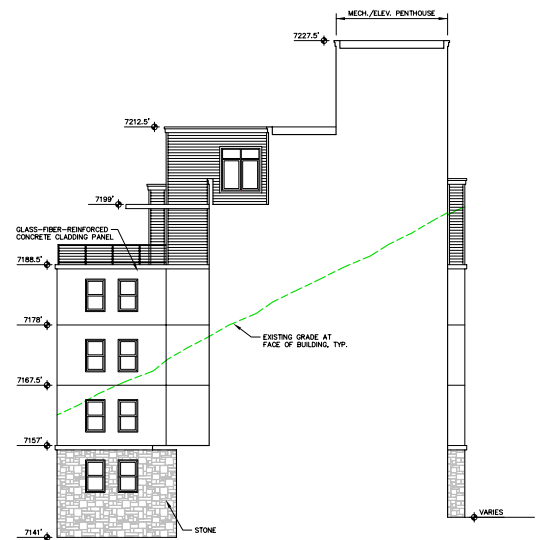
NORTHEAST ELEVATION - NORTH WING



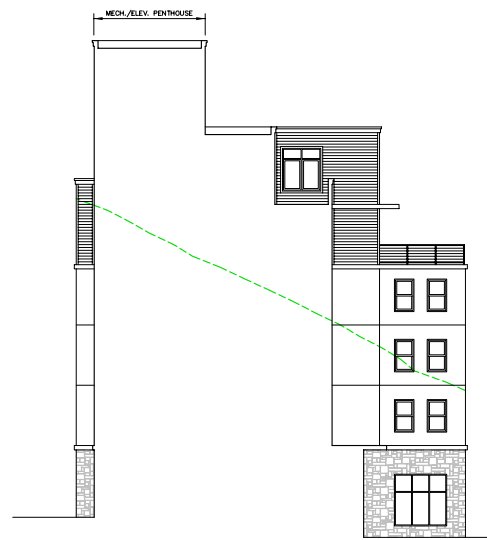
NORTHWEST ELEVATION



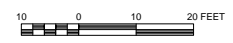
SOUTHEAST ELEVATION



NORTHWEST ELEVATION @ ENTRY



SOUTHEAST ELEVATION @ ENTRY



UPDATES:

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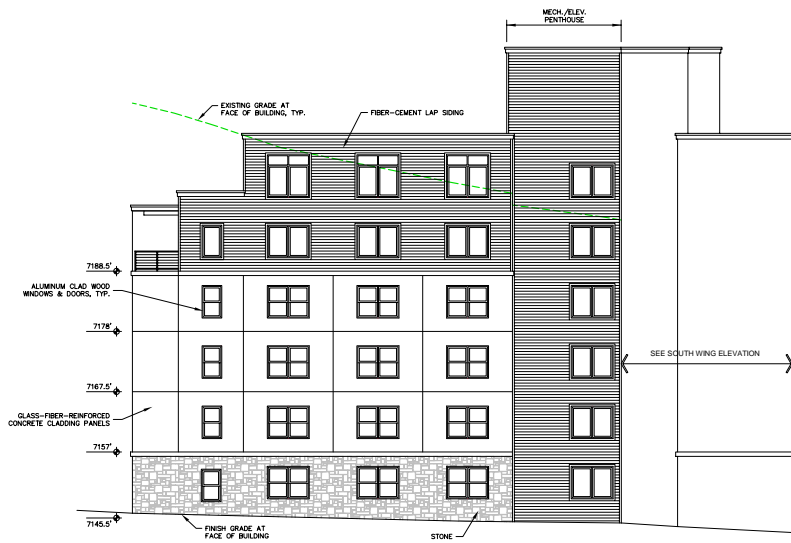
V17.1 - 2017 Refinements #1 to 2019 Submittal
Building 1B Exterior Elevations

TREASURE - PARK CITY, UTAH

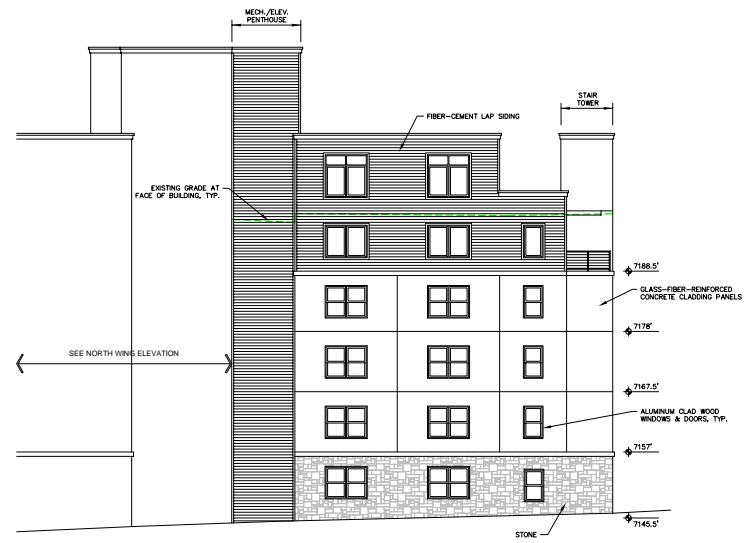
SHEET NO.

E1B1

DATE: 06/26/2017



SOUTHWEST ELEVATION - NORTH WING



SOUTHWEST ELEVATION - SOUTH WING



UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 1B Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E1B2

DATE: 06/26/2017

UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 1C Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E1C1

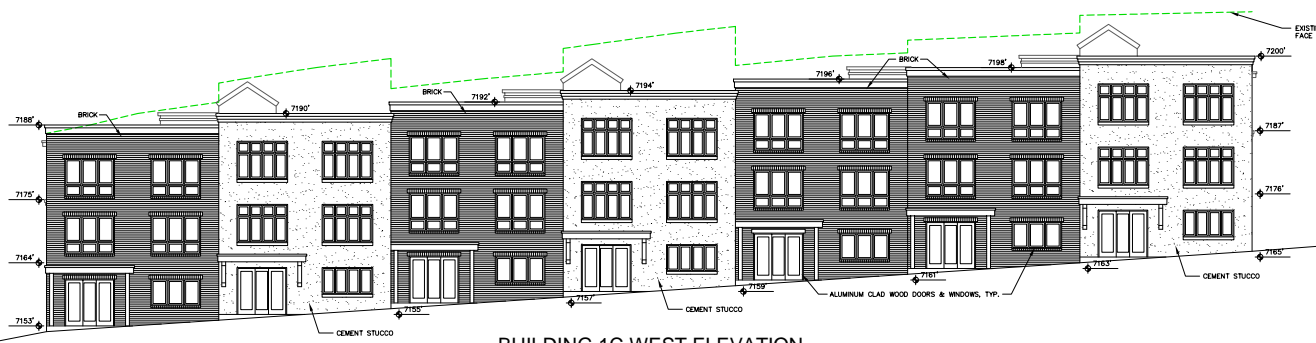
DATE: 06/28/2018



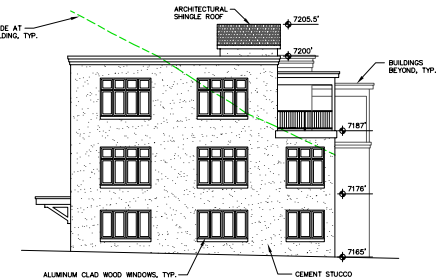
BUILDING 1C EAST ELEVATION



BUILDING 1C NORTH ELEVATION

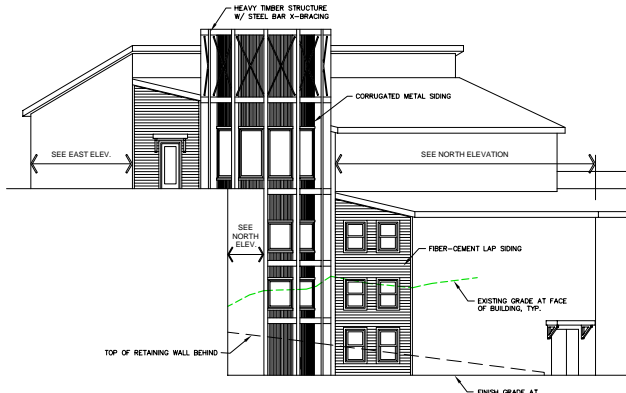


BUILDING 1C WEST ELEVATION



BUILDING 1C SOUTH ELEVATION

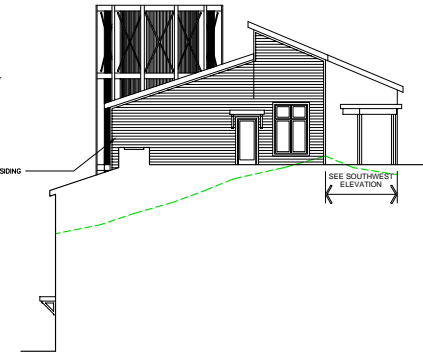




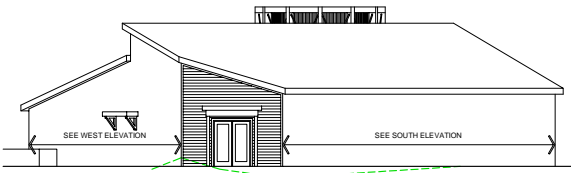
NORTHEAST ELEVATION



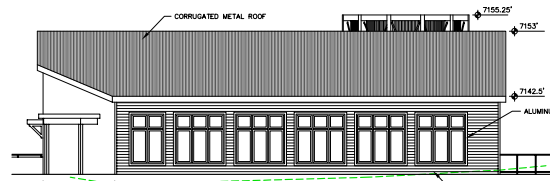
NORTH ELEVATION



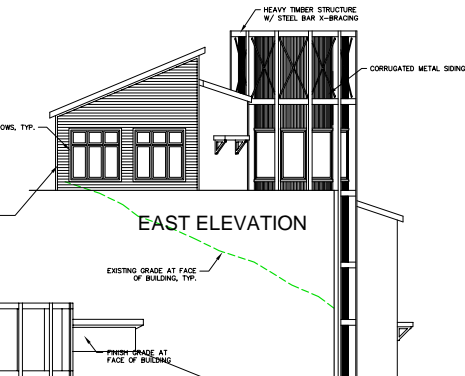
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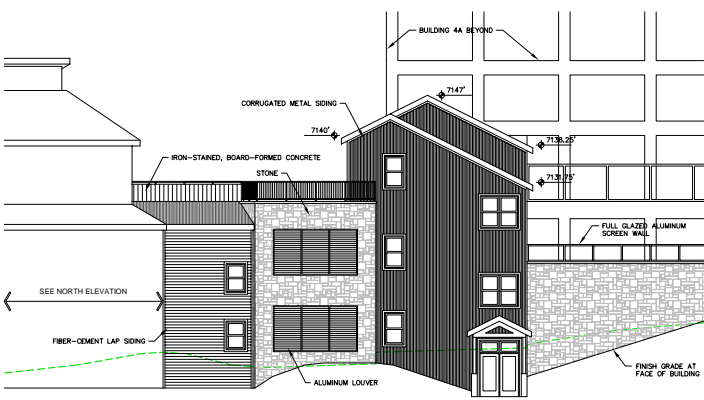
SOUTHWEST ELEVATION



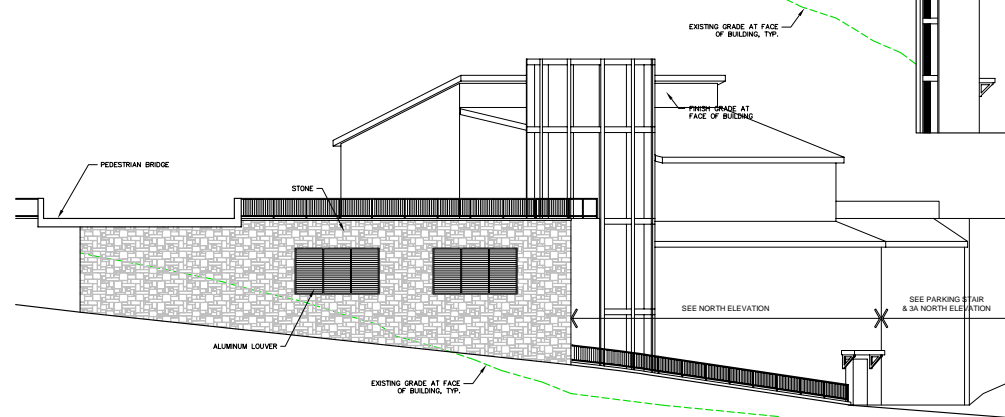
SOUTH ELEVATION



EAST ELEVATION



PARKING STAIR & 3A NORTH ELEVATION



PARKING GARAGE EAST ELEVATION



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V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 3A & Creole Parking Garage Exterior Elevations
TREASURE - PARK CITY, UTAH

SHEET NO.

E3A1

DATE: 06/28/2017



EAST ELEVATION

NORTH ELEVATION

WEST ELEVATION



UPDATES:

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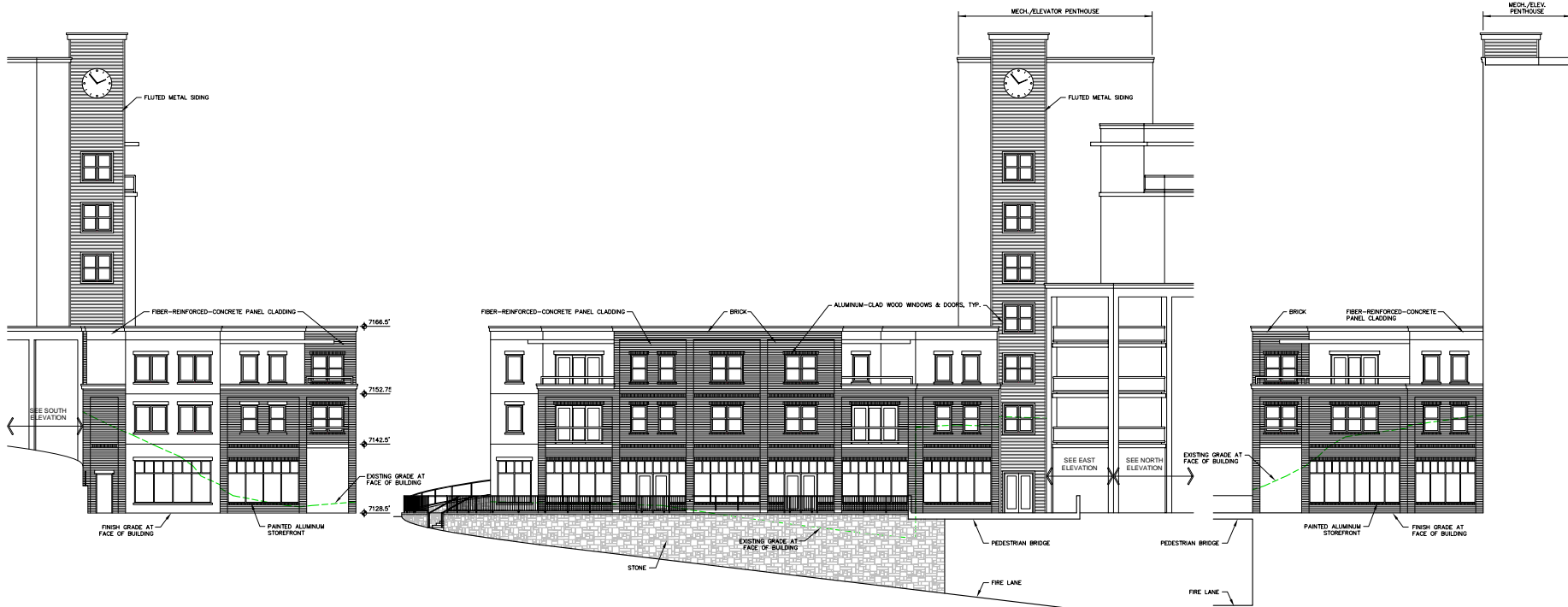
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building 3BC Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E3BC.1

DATE: 06/26/2017



SOUTHEAST ELEVATION

NORTHEAST ELEVATION

NORTHWEST ELEVATION



UPDATES:

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V17.1 - 2017 Refinements #1 to 2019 Submittal
 Building 3BC Exterior Elevations

TREASURE - PARK CITY, UTAH

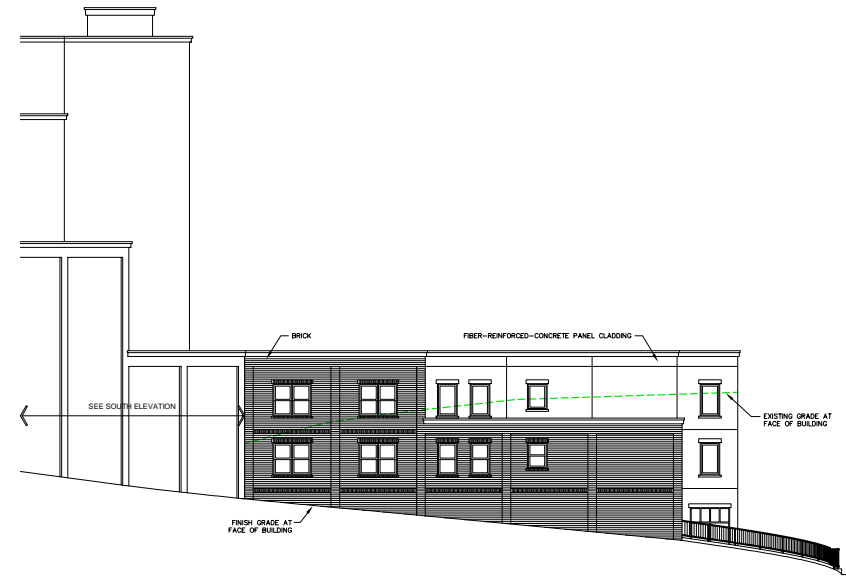
SHEET NO.

E3BC.2

DATE: 06/28/2017



SOUTH ELEVATION



SOUTHWEST ELEVATION



UPDATES:

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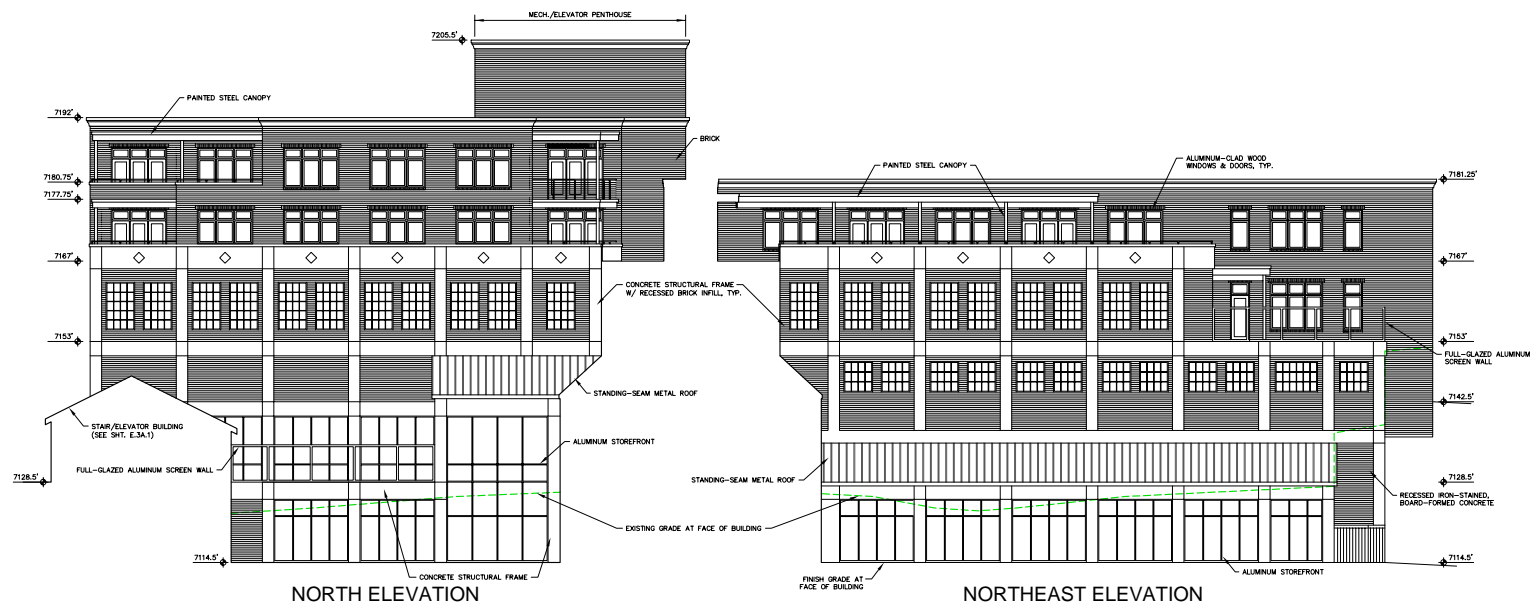
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 3BC Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

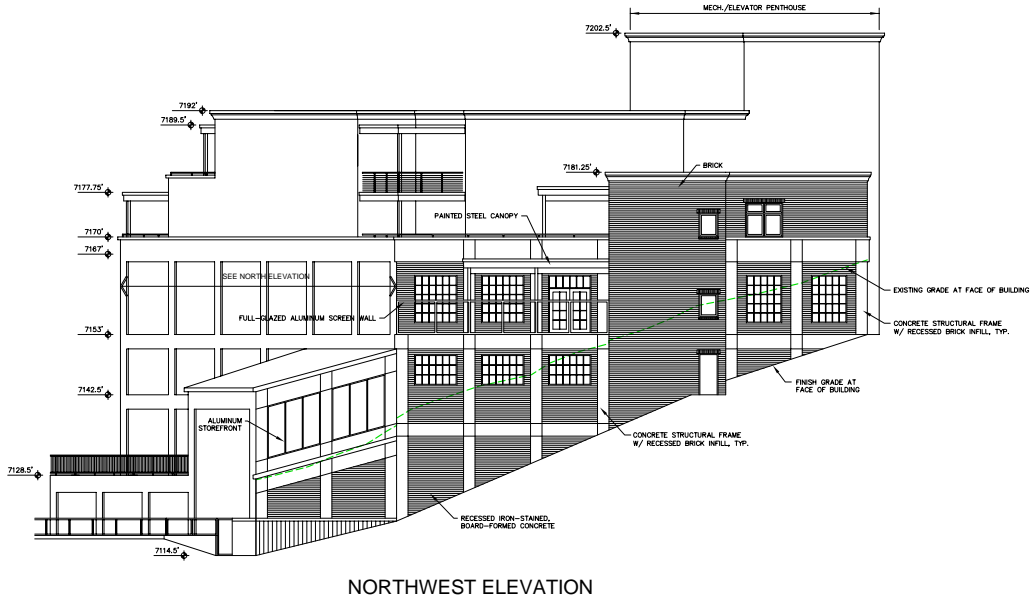
E3BC.3

DATE: 06/26/2017

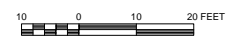


NORTH ELEVATION

NORTHEAST ELEVATION



NORTHWEST ELEVATION



UPDATES:

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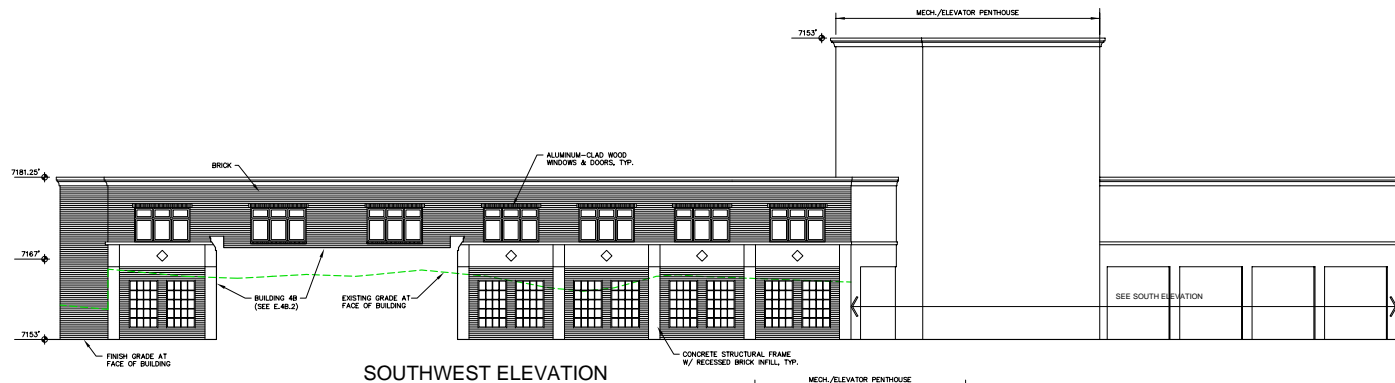
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 4A Exterior Elevations

TREASURE - PARK CITY, UTAH

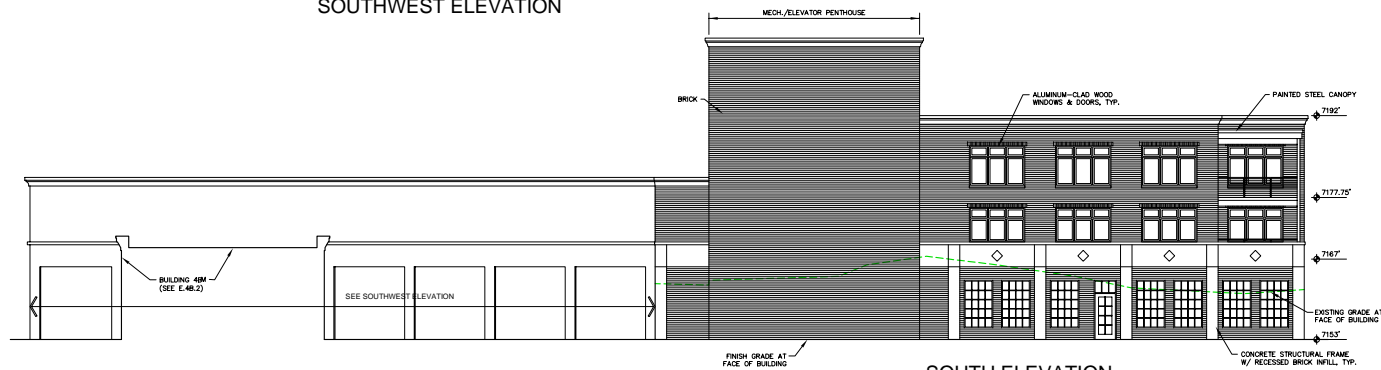
SHEET NO.

E4A1

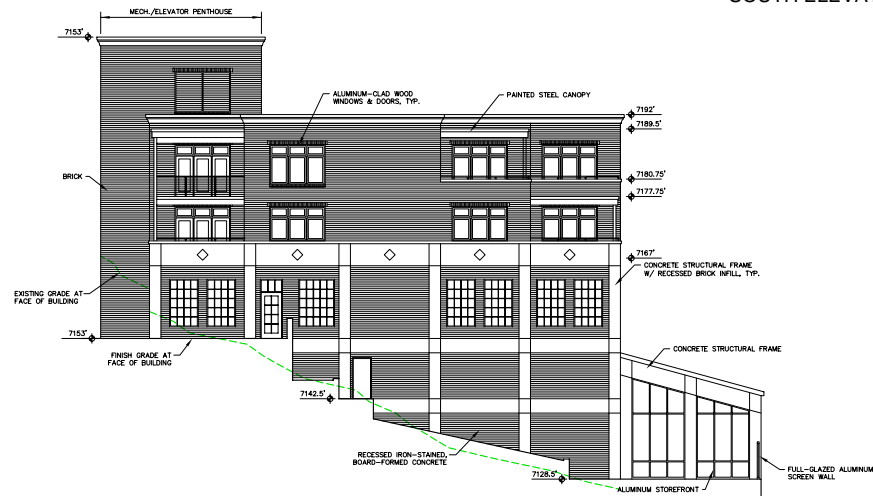
DATE: 06/26/2017



SOUTHWEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



UPDATES:

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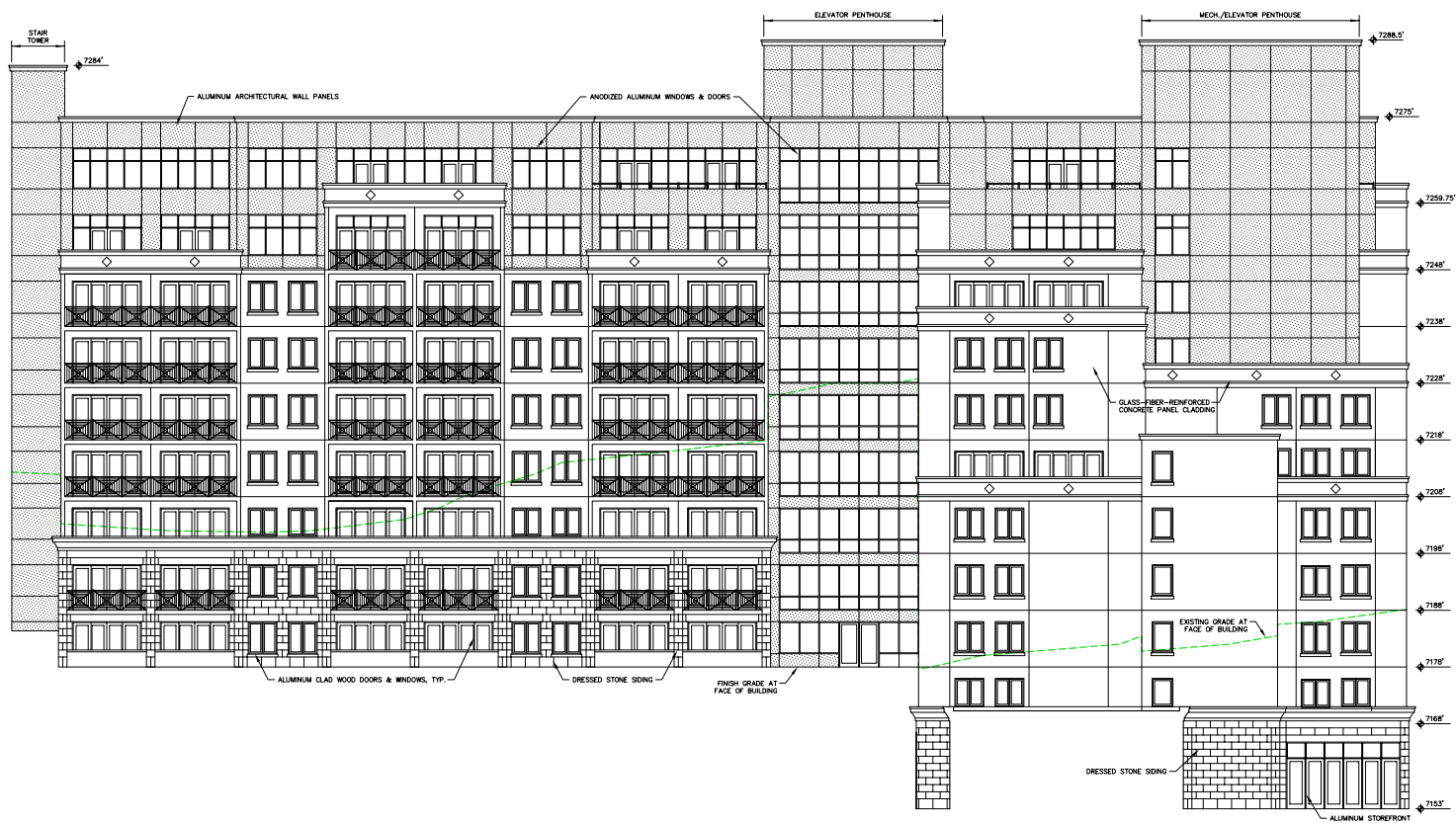
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 4A Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E4A2

DATE: 06/26/2017



EAST ELEVATION

UPDATES:

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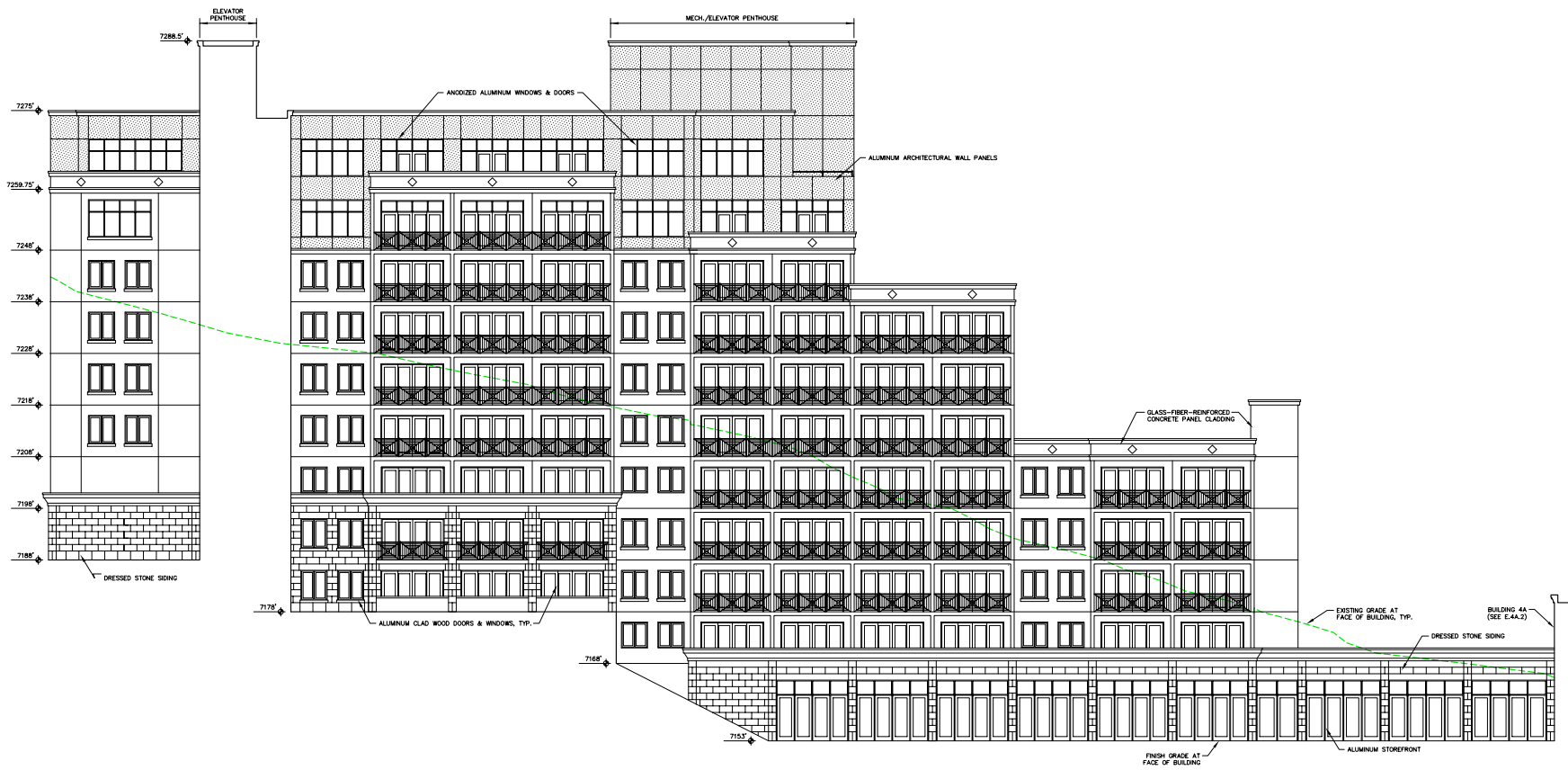
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building 4B Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E4B1

DATE: 06/26/2017



NORTH WING - SOUTH ELEVATION

UPDATES:

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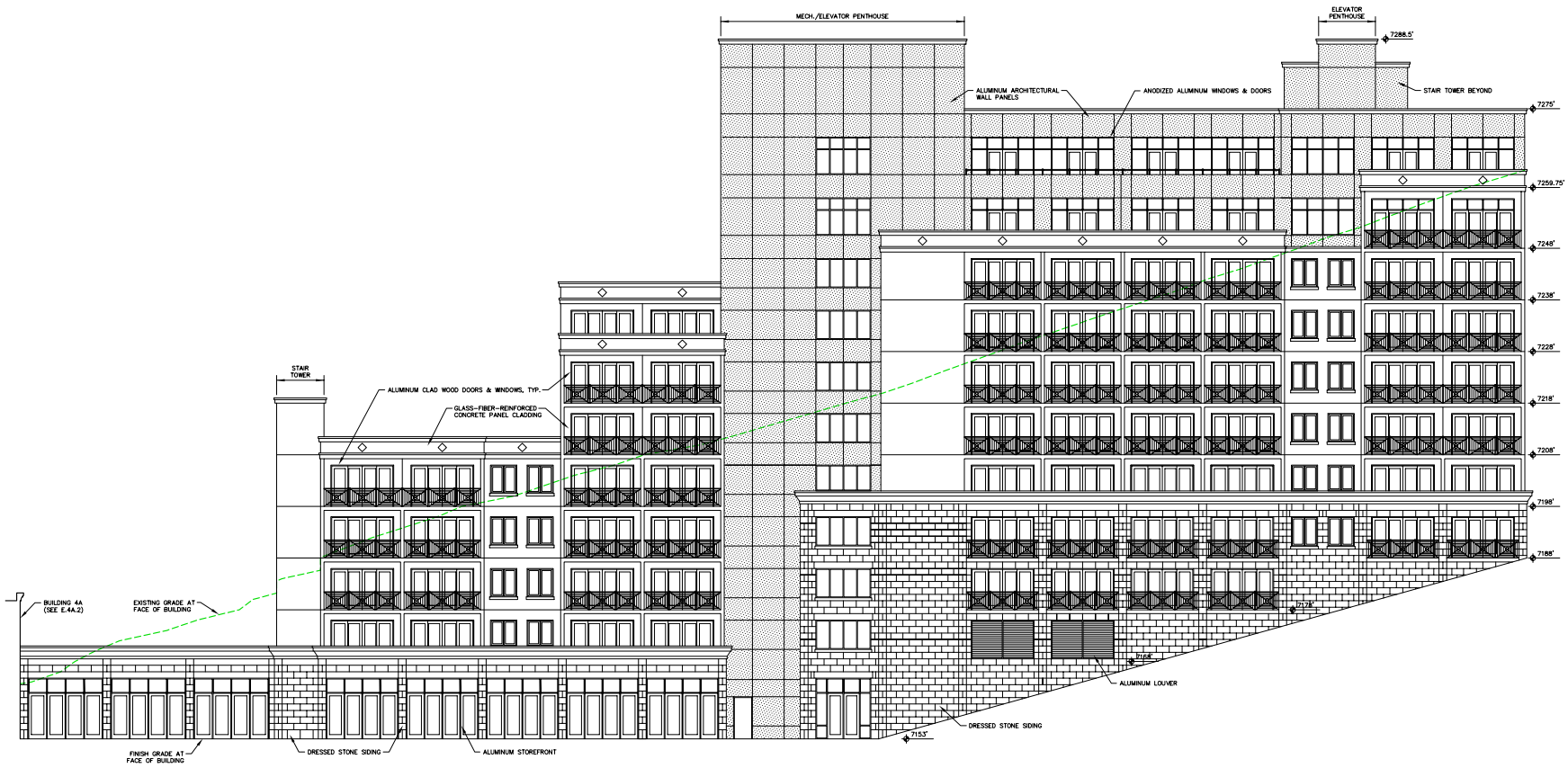
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building 4B Exterior Elevations

TREASURE - PARK CITY, UTAH

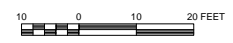
SHEET NO.

E4B2

DATE: 06/26/2017



NORTH WING - NORTH ELEVATION



UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 4B Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E4B3

DATE: 06/28/2017



WEST ELEVATION

UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building 4B Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E4B4

DATE: 06/28/2017



UPDATES:

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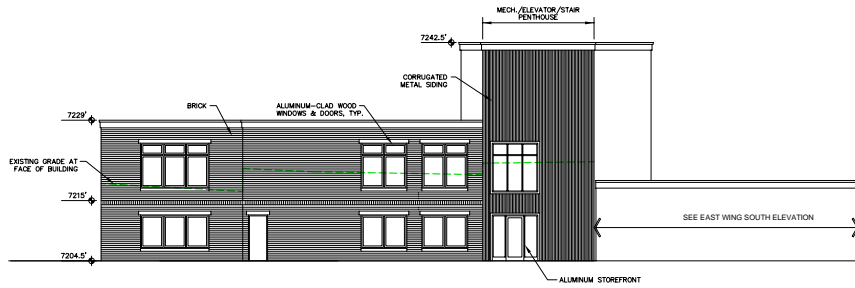
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5A Exterior Elevations

TREASURE - PARK CITY, UTAH

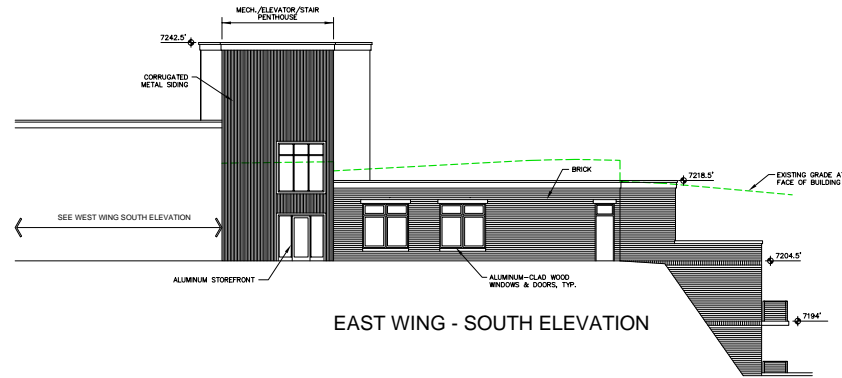
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E5A1

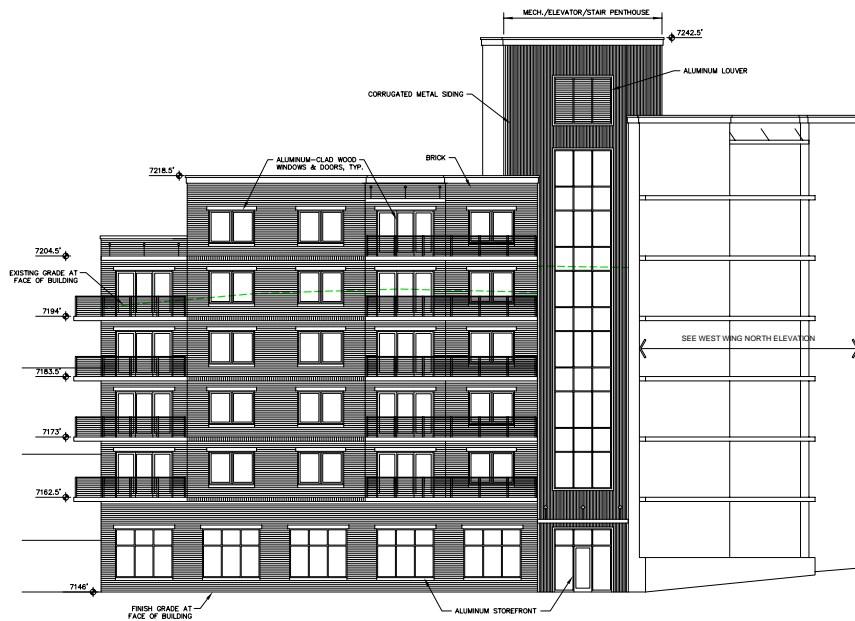
DATE: 06/26/2017



WEST WING - SOUTH ELEVATION



EAST WING - SOUTH ELEVATION



EAST WING - NORTH ELEVATION



WEST WING - NORTH ELEVATION



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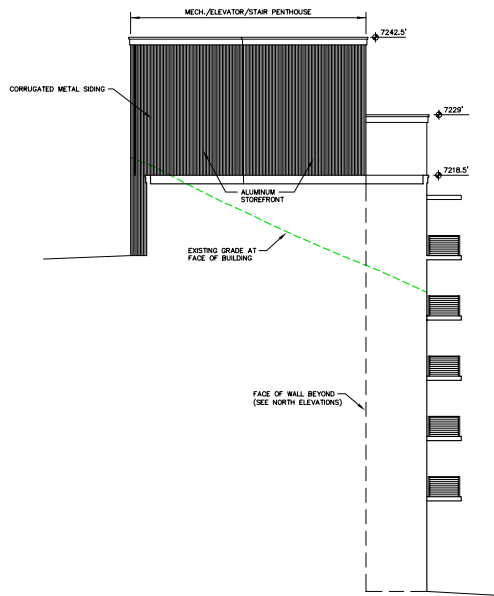
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5A Exterior Elevations

TREASURE - PARK CITY, UTAH

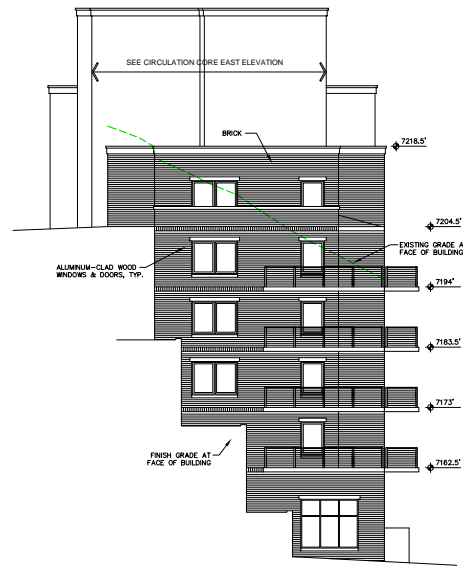
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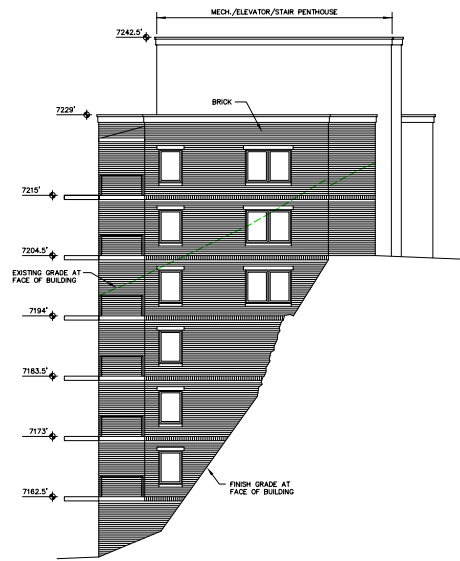
DATE: 06/26/2017



CIRCULATION CORE - EAST ELEVATION



EAST WING - EAST ELEVATION



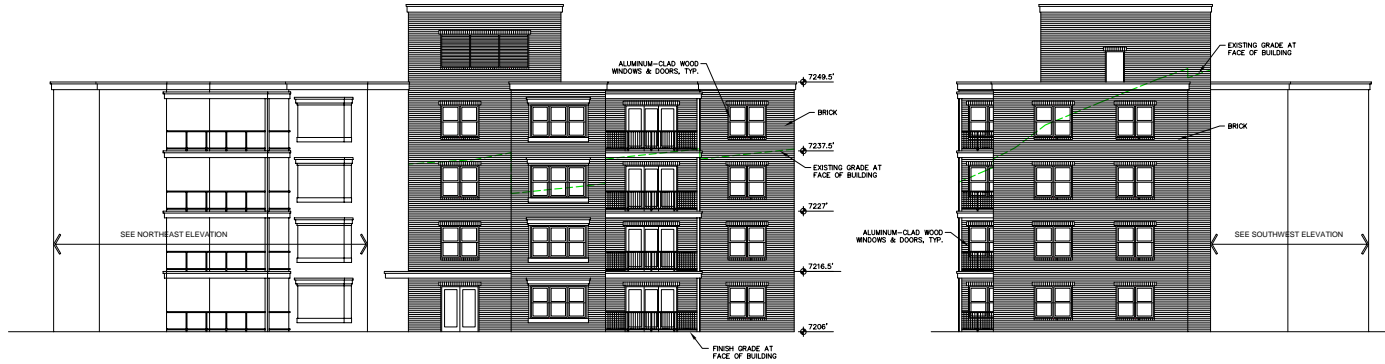
WEST WING - WEST ELEVATION





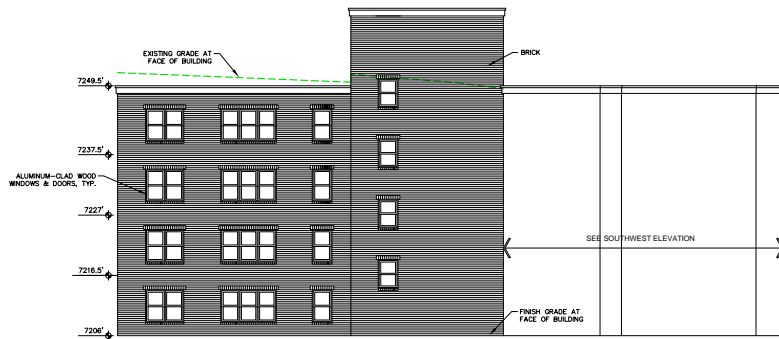
SOUTHEAST ELEVATION

NORTHEAST ELEVATION

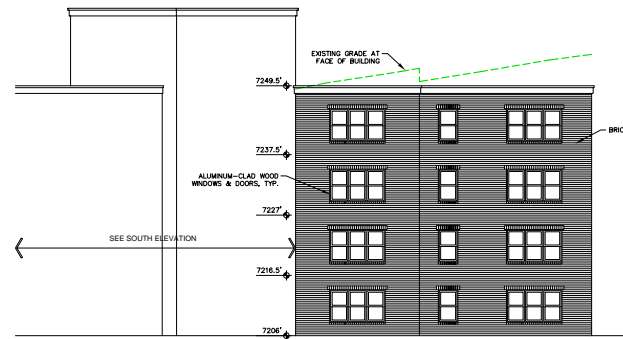


NORTH ELEVATION

WEST ELEVATION



SOUTH ELEVATION



SOUTHWEST ELEVATION



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V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5B Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E5B1

DATE: 06/26/2017

UPDATES:

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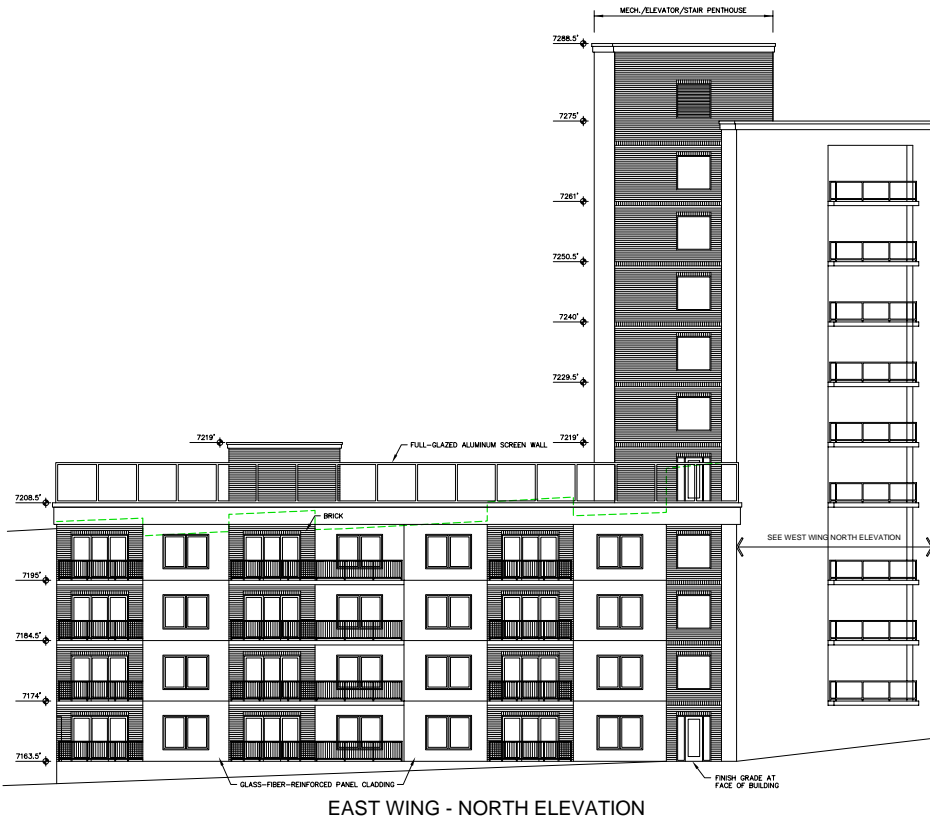
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5C Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E5C.1

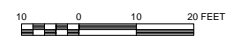
DATE: 06/26/2017



EAST WING - NORTH ELEVATION



WEST WING - NORTH ELEVATION



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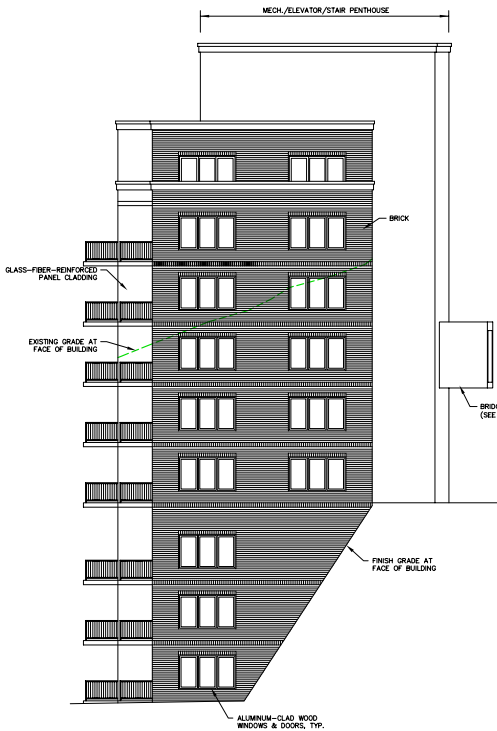
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5C Exterior Elevations

TREASURE - PARK CITY, UTAH

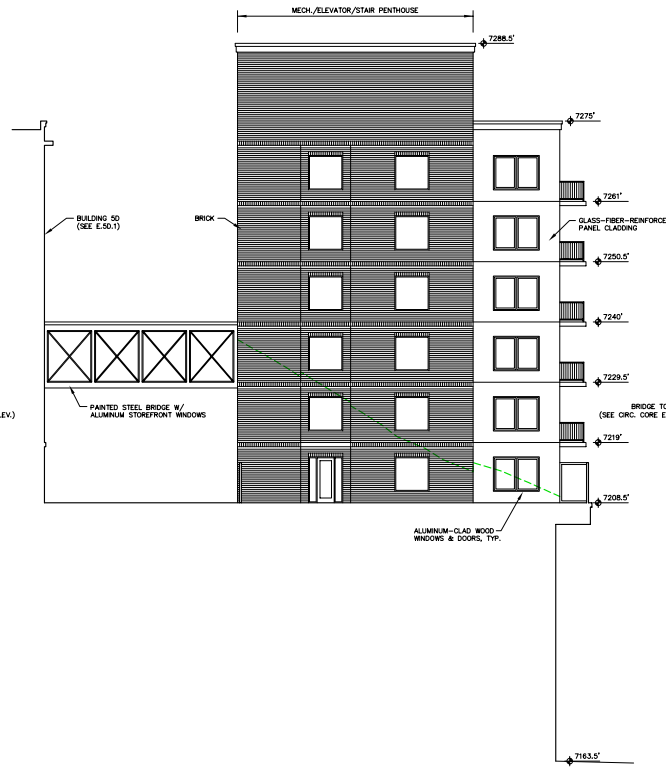
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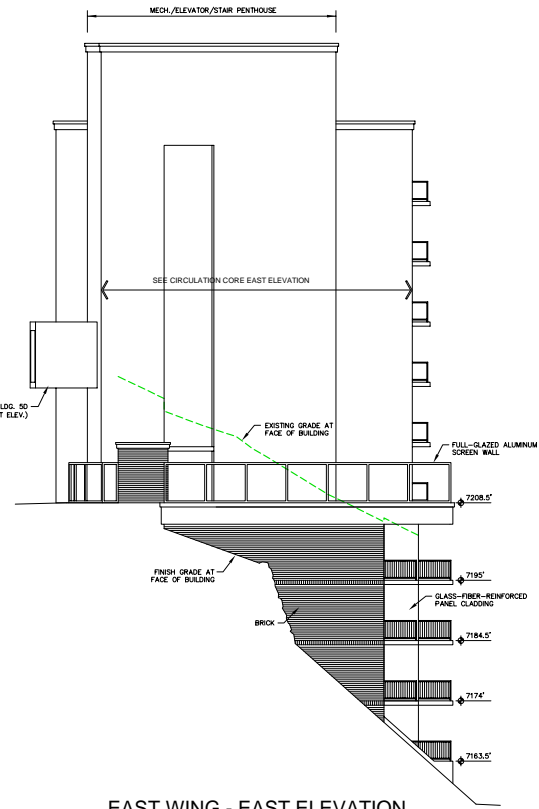
DATE: 06/26/2017



WEST WING - WEST ELEVATION



CIRCULATION CORE - EAST ELEVATION

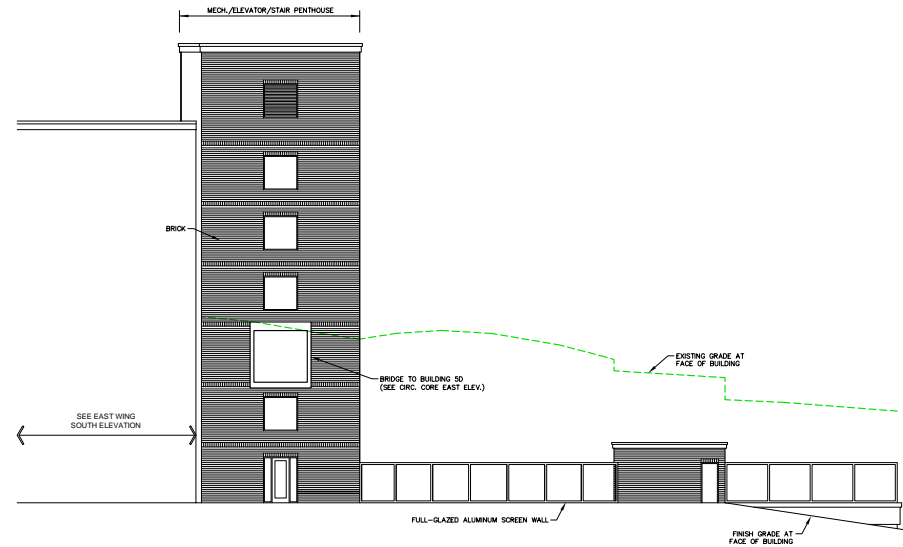


EAST WING - EAST ELEVATION

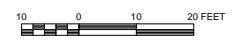




WEST WING - SOUTH ELEVATION



EAST WING - SOUTH ELEVATION



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V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5C Exterior Elevations

TREASURE - PARK CITY, UTAH

SHEET NO.

E5C.3

DATE: 06/26/2017

UPDATES:

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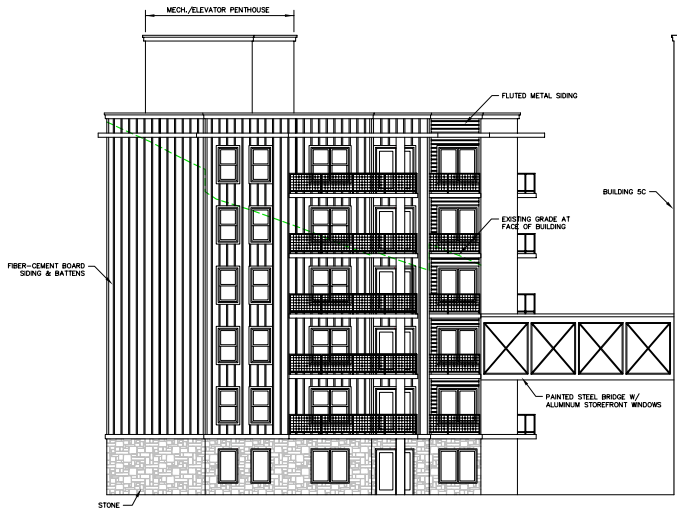
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5D Exterior Elevations

TREASURE - PARK CITY, UTAH

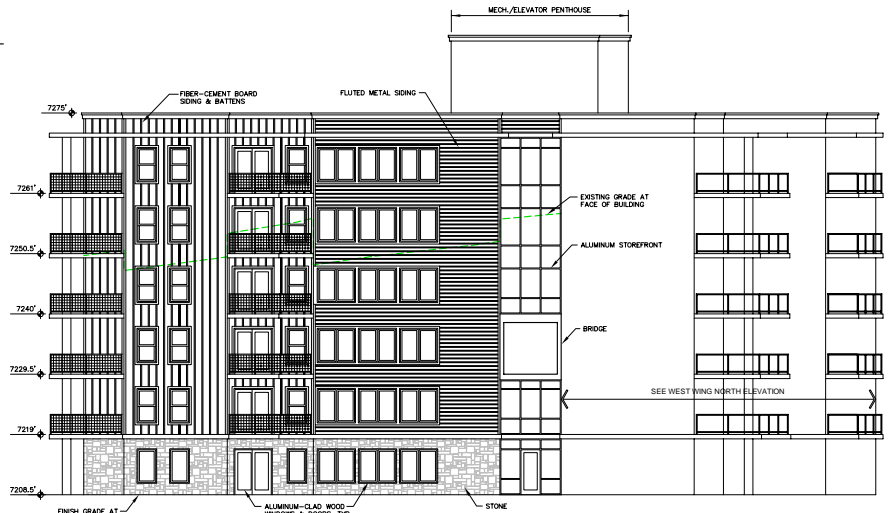
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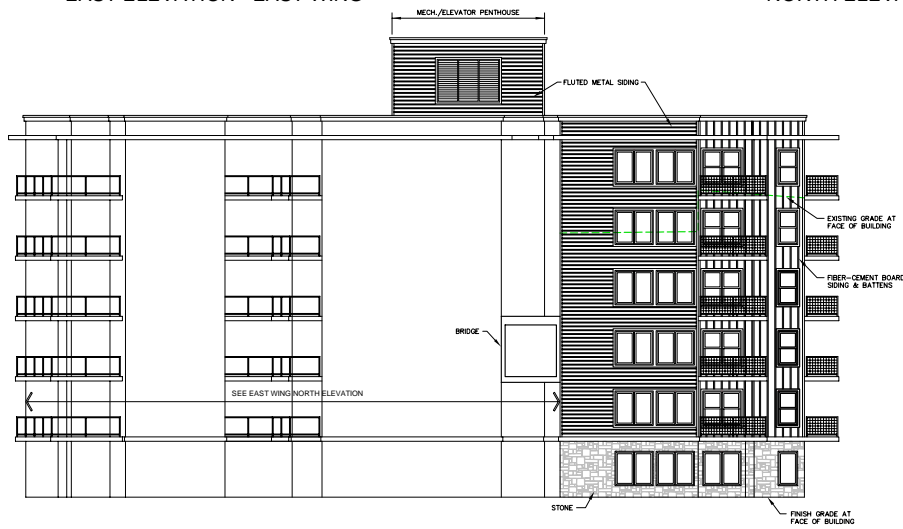
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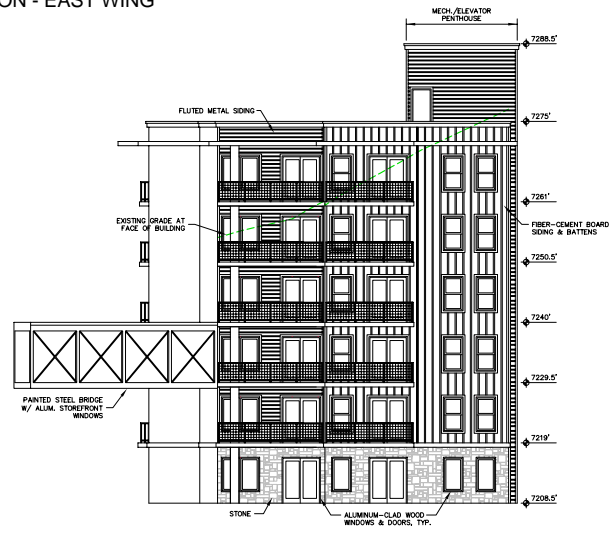
EAST ELEVATION - EAST WING



NORTH ELEVATION - EAST WING

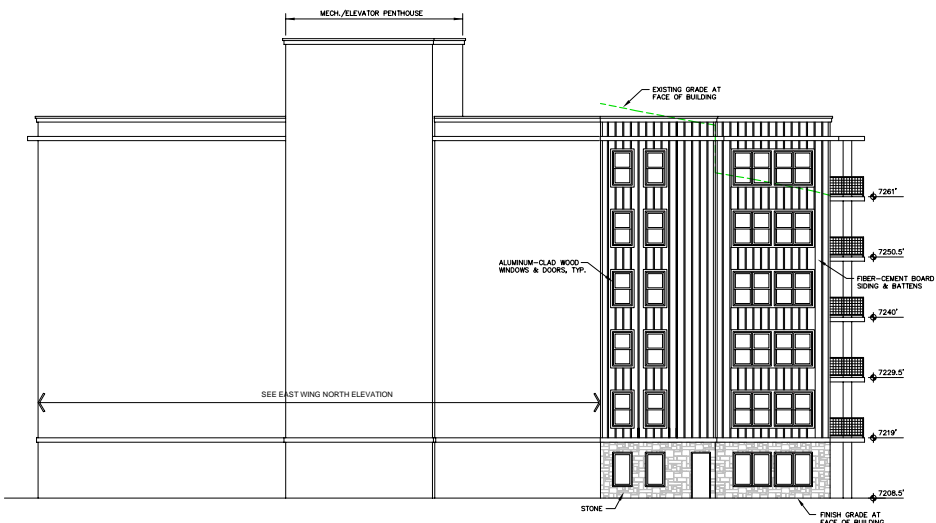


NORTH ELEVATION - WEST WING

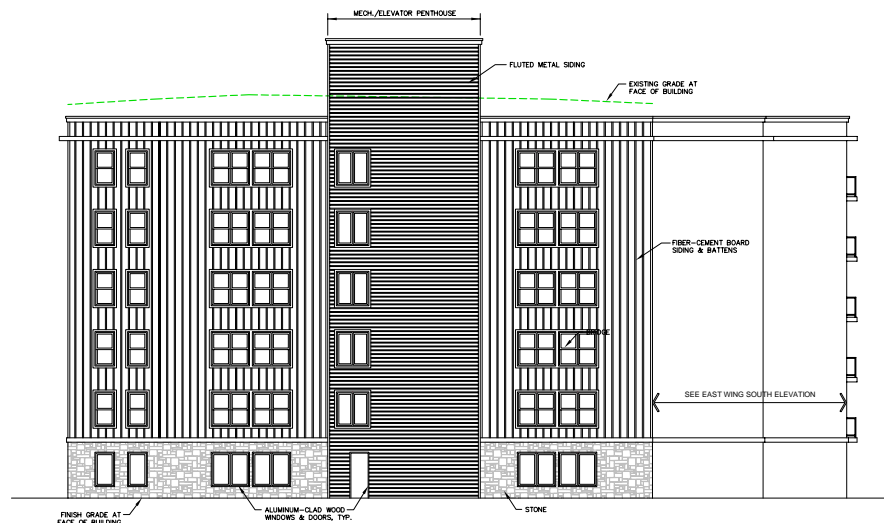


WEST ELEVATION - WEST WING

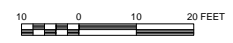




SOUTH ELEVATION - EAST WING



SOUTH ELEVATION - WEST WING



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V17.1 - 2017 Refinements #1 to 2009 Submittal
Building 5D Exterior Elevations

TREASURE - PARK CITY, UTAH

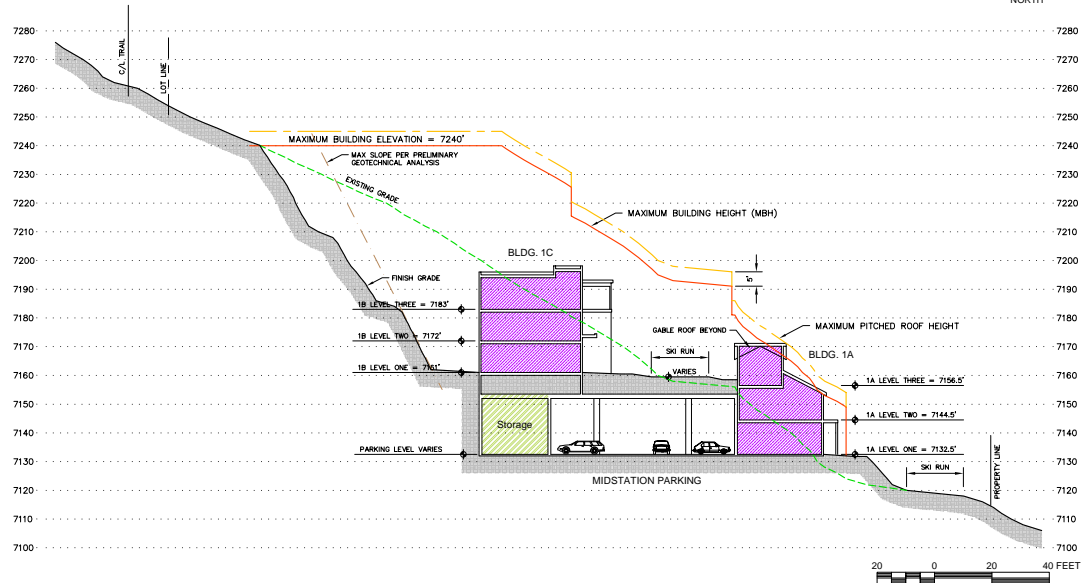
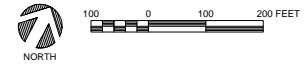
SHEET NO.

E5D.2

DATE: 06/28/2017



KEY PLAN



USE LEGEND

- USE RESIDENTIAL Home
- USE RESIDENTIAL Condominiums
- USE COMMERCIAL
- SUPPORT COMMERCIAL
- MEETING SPACE
- ACCESSORY SPACES *
- CIRCULATION & COMMON SPACE *
- EARTH AT FINISH GRADE

* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallways, elevators, lobbies, etc.



UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building & Site Section

TREASURE - PARK CITY, UTAH

SHEET NO.

S1

DATE: 06/28/2017

UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building & Site Section

TREASURE - PARK CITY, UTAH

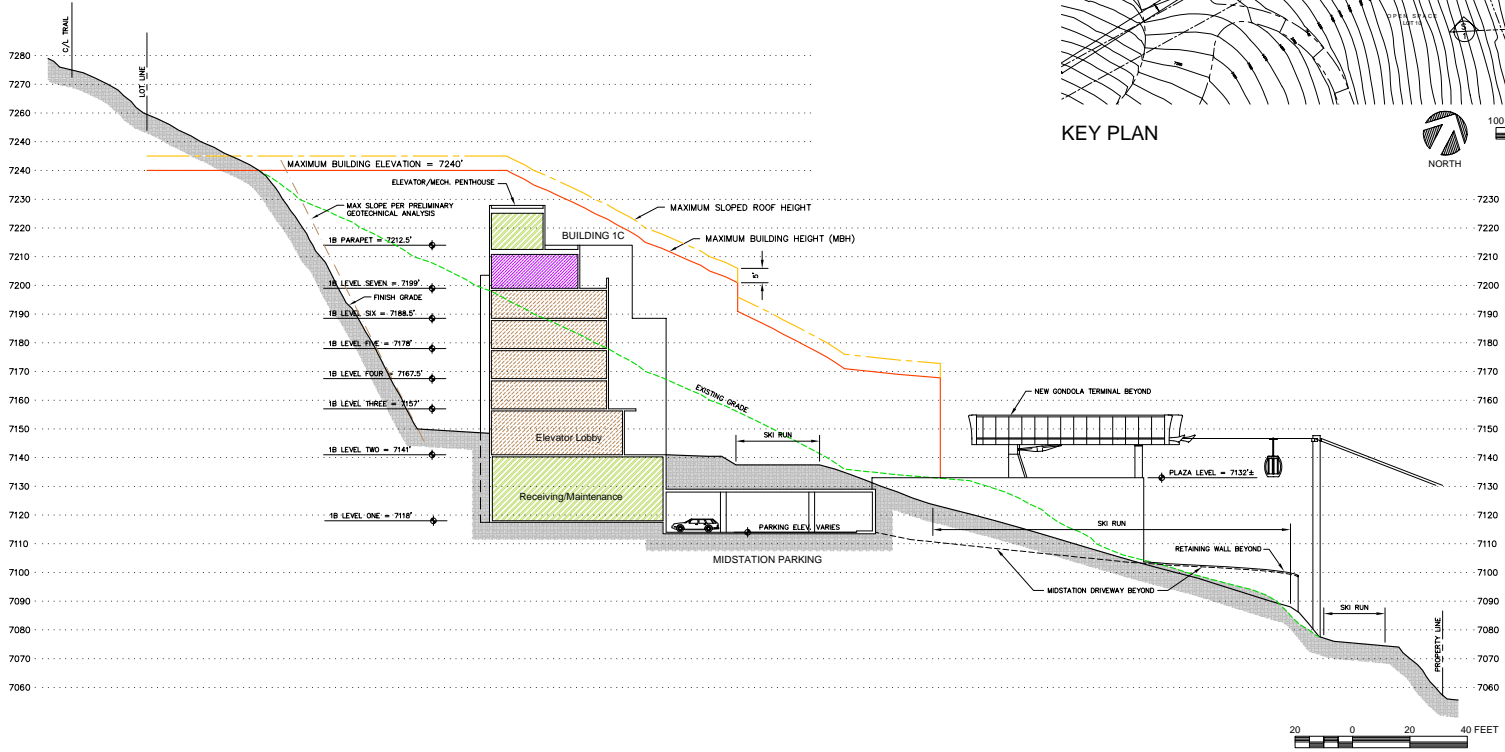
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S2

DATE: 06/28/2017



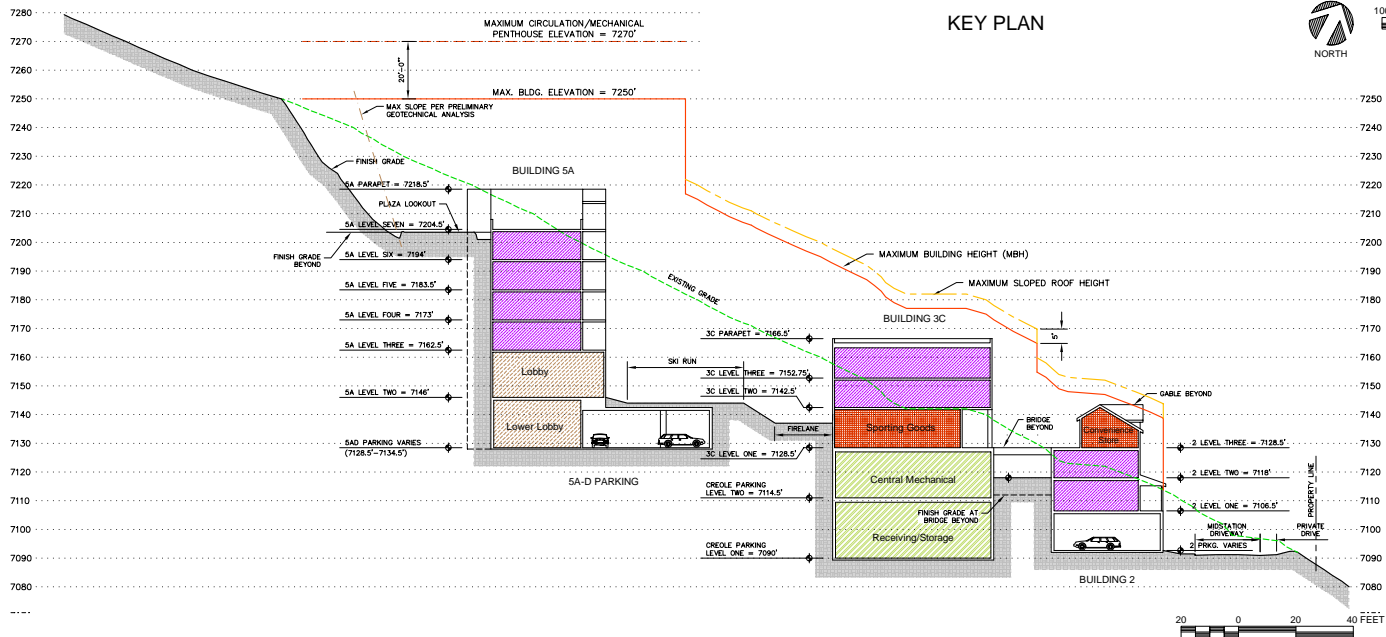
KEY PLAN



USE LEGEND

- RE RESIDENTIAL: Hotel
- RE RESIDENTIAL: Condominiums
- RE RESIDENTIAL: Support Commercial
- SUPPORT COMMERCIAL
- MEETING SPACE
- ACCESSORY SPACES*
- CIRCULATION & COMMON SPACE*
- EARTH AT FINISH GRADE

* Includes Residential and Resort Accessory Uses not specifically designated as "Condominium"
 * Includes public hallways, elevators, lobbies, etc.



UPDATES:

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V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building & Site Section

TREASURE - PARK CITY, UTAH

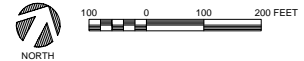
SHEET NO.

S3

DATE: 06/28/2017



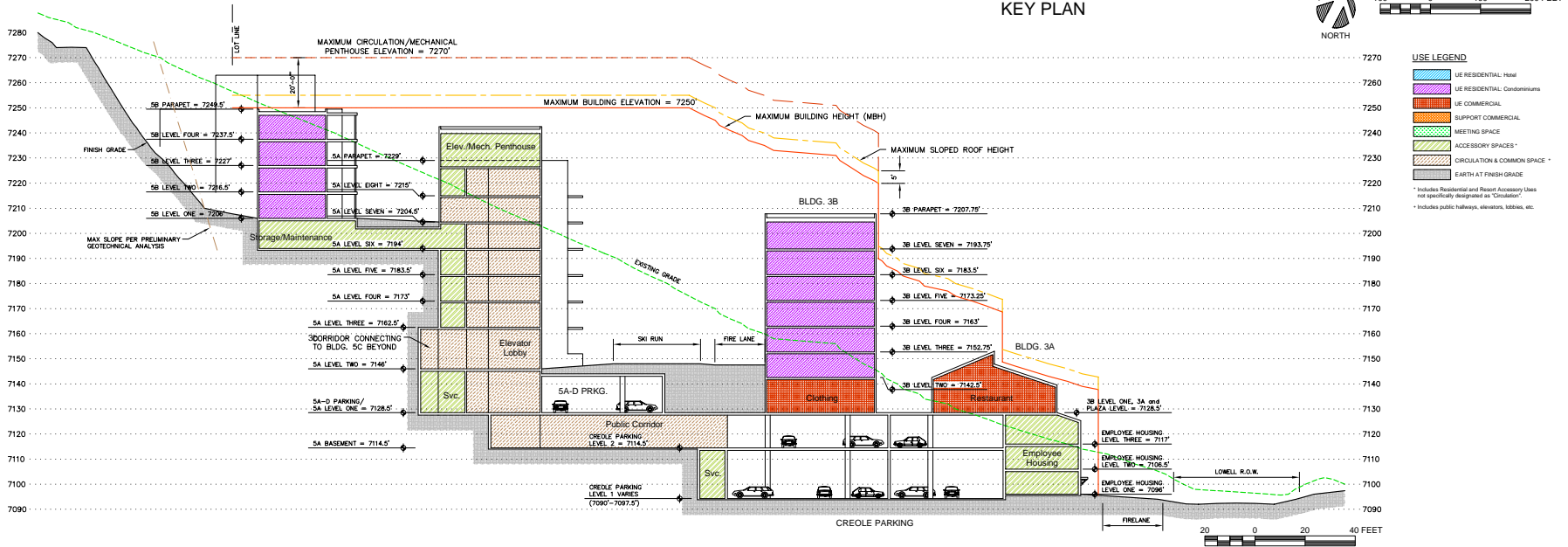
KEY PLAN



UPDATES:

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USE LEGEND

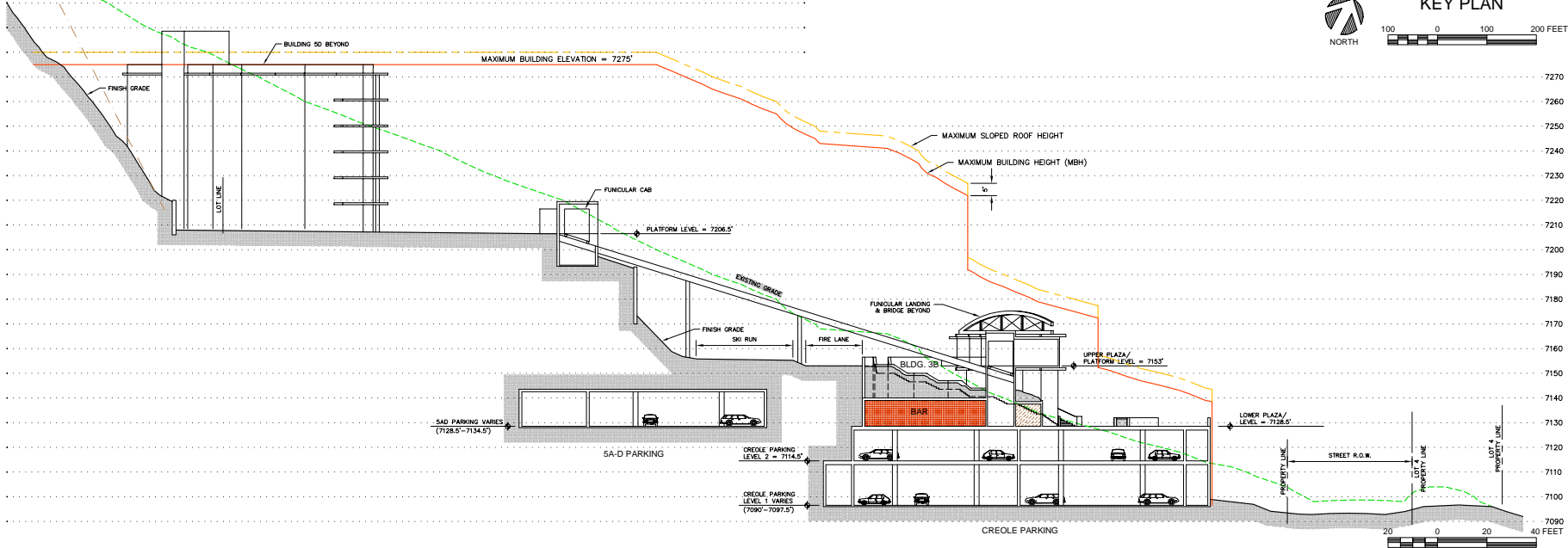
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[Purple Box]	VE RESIDENTIAL: Condominiums
[Orange Box]	VE COMMERCIAL
[Light Green Box]	SUPPORT COMMERCIAL
[Green Box]	MEETING SPACE
[Yellow Box]	ACCESSORY SPACES*
[Light Tan Box]	CIRCULATION & COMMON SPACE**
[Grey Box]	EARTH AT FINISH GRADE

* Includes Residential and Resort Accessory Uses not specifically designated as "Outlets".

** Includes public hallways, elevators, MBHs, etc.

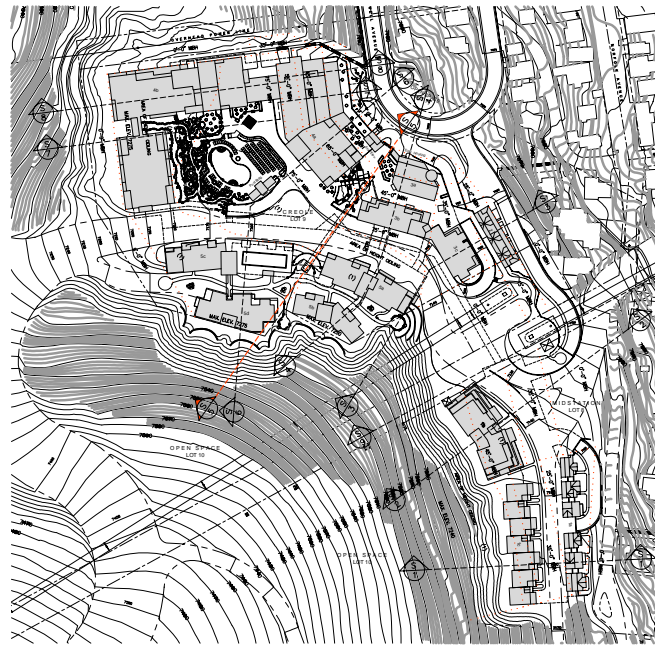
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building & Site Section
TREASURE - PARK CITY, UTAH

MAX SLOPE FOR PRELIMINARY GEOTECHNICAL ANALYSIS

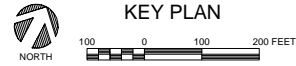


USE LEGEND

- LE RESIDENTIAL: Hotel
 - LE RESIDENTIAL: Condominiums
 - LE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
 - CIRCULATION & COMMON SPACE*
 - EARTH AT FINISH GRADE
- *Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".



KEY PLAN



UPDATES:

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Building & Site Section

TREASURE - PARK CITY, UTAH

SHEET NO.

S5

DATE: 06/26/2017

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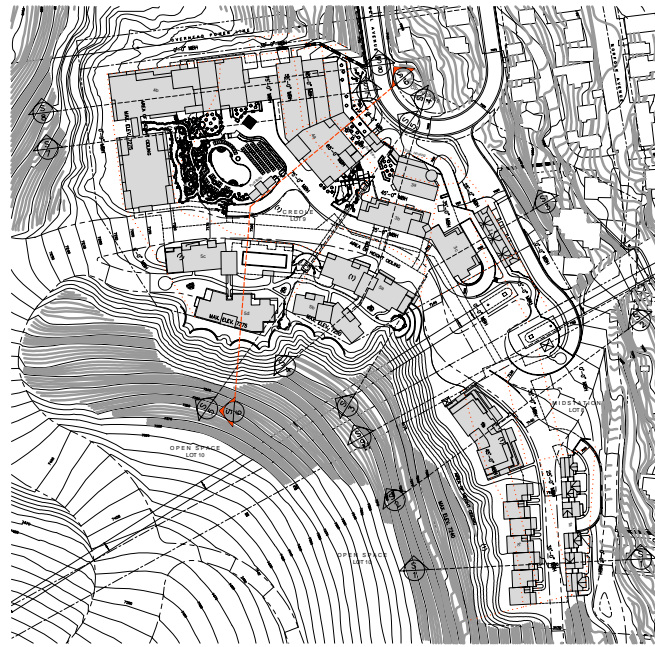
V17.1 - 2017 Refinements #1 to 2009 Submittal
Building & Site Section

TREASURE - PARK CITY, UTAH

SHEET NO.

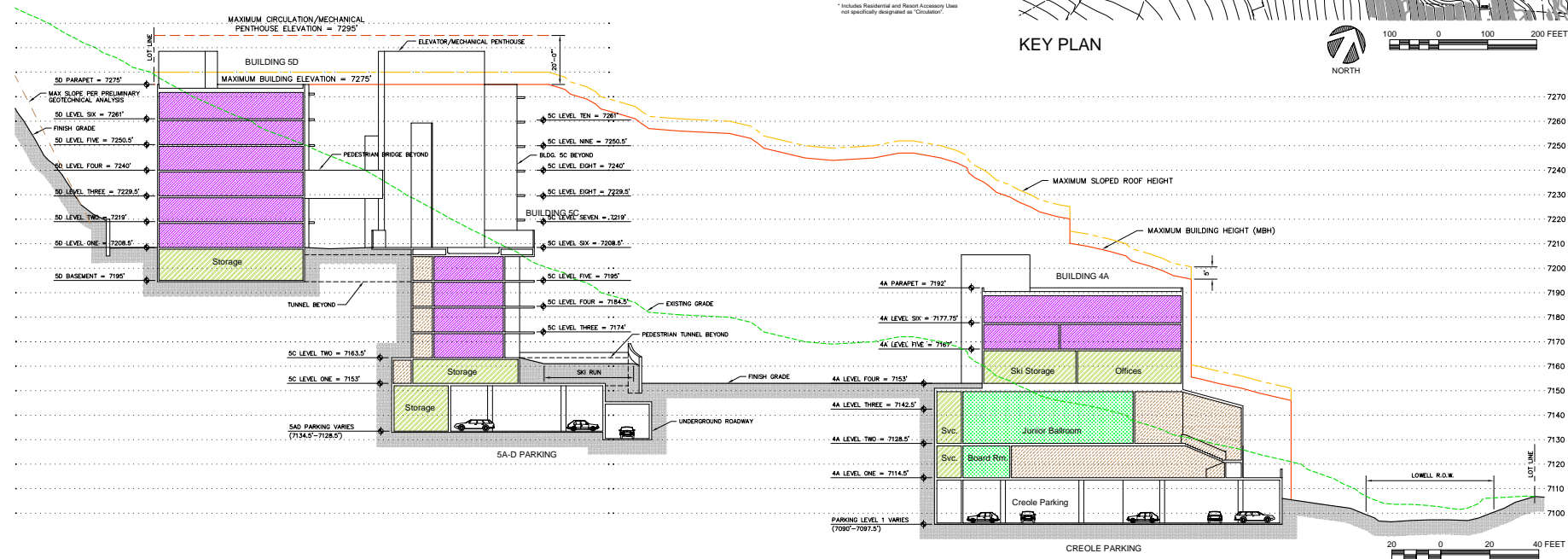
S6

DATE: 06/28/2017



KEY PLAN

- USE LEGEND**
- UE RESIDENTIAL: Hotel
 - UE RESIDENTIAL: Condominiums
 - UE COMMERCIAL
 - SUPPORT COMMERCIAL
 - MEETING SPACE
 - ACCESSORY SPACES*
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CREOLE PARKING

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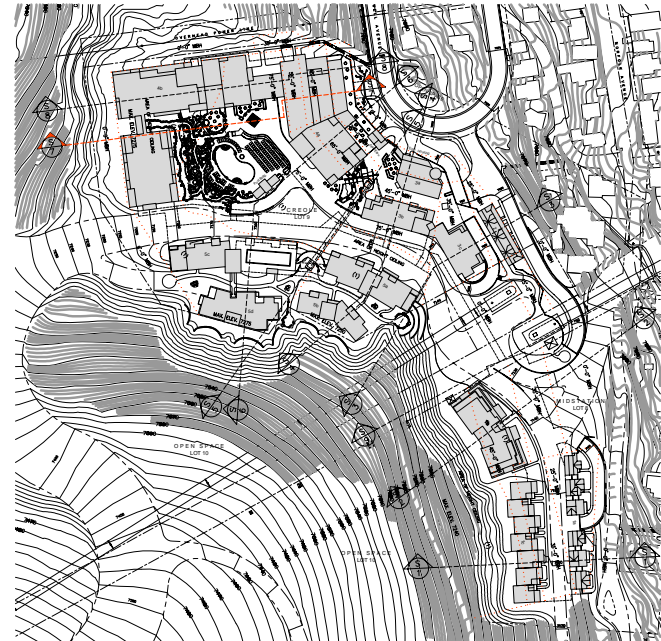
V17.1 - 2017 Refinements #1 to 2009 Submittal
 Building & Site Section

TREASURE - PARK CITY, UTAH

SHEET NO.

S7

DATE: 06/28/2017

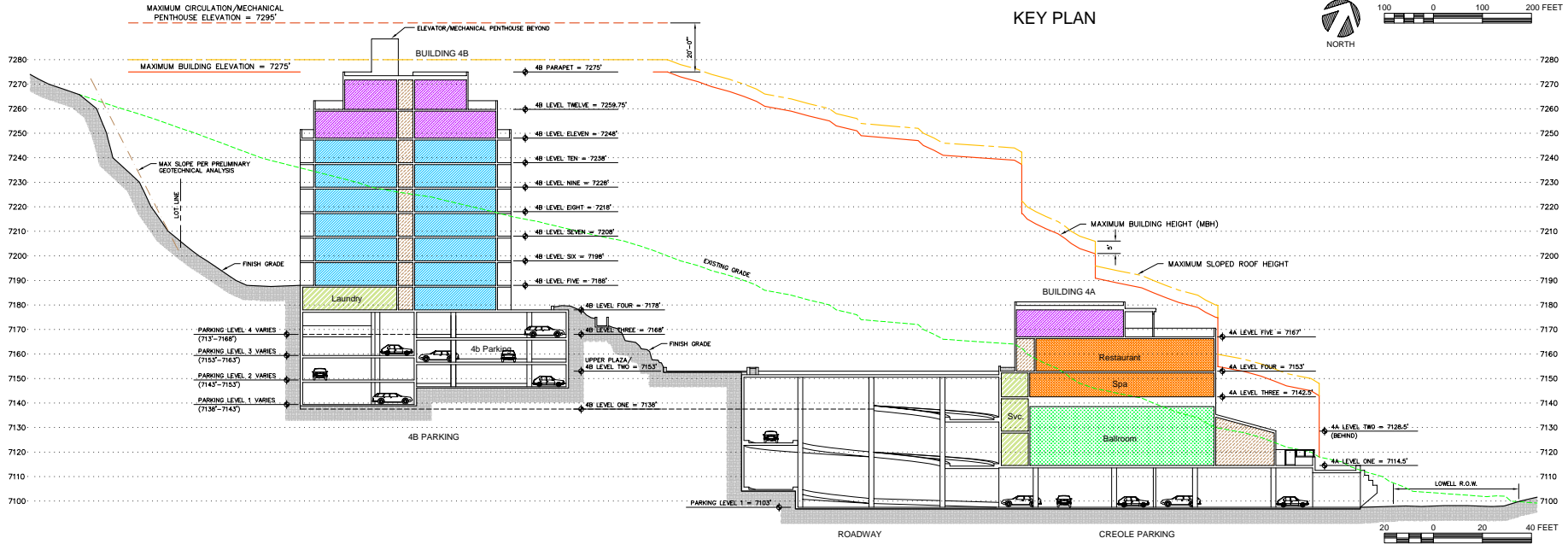
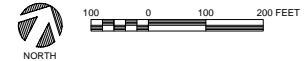


USE LEGEND

- LE RESIDENTIAL: Hotel
- LE RESIDENTIAL: Condominiums
- LE COMMERCIAL
- SUPPORT COMMERCIAL
- MEETING SPACE
- ACCESSORY SPACES*
- CIRCULATION & COMMON SPACE*
- EARTH AT FINISH GRADE

* Includes Residential and Resort Accessory Uses not specifically designated as "Circulation".
 * Includes public hallways, elevators, lobbies, etc.

KEY PLAN



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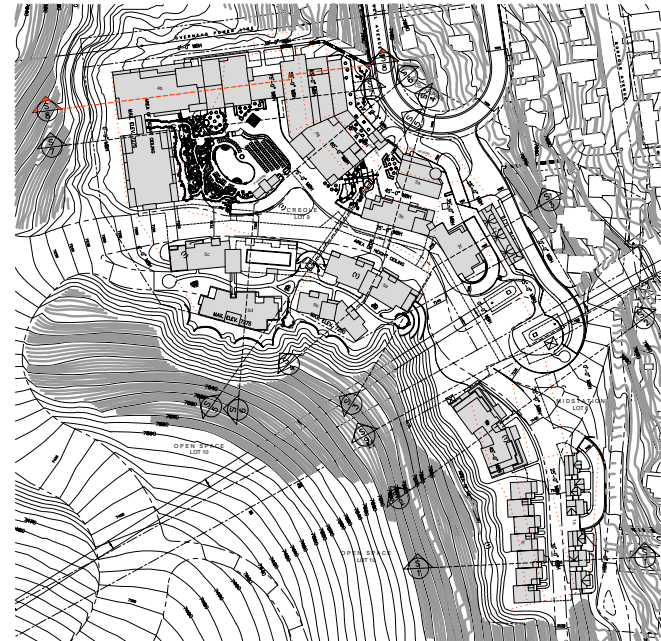
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S8

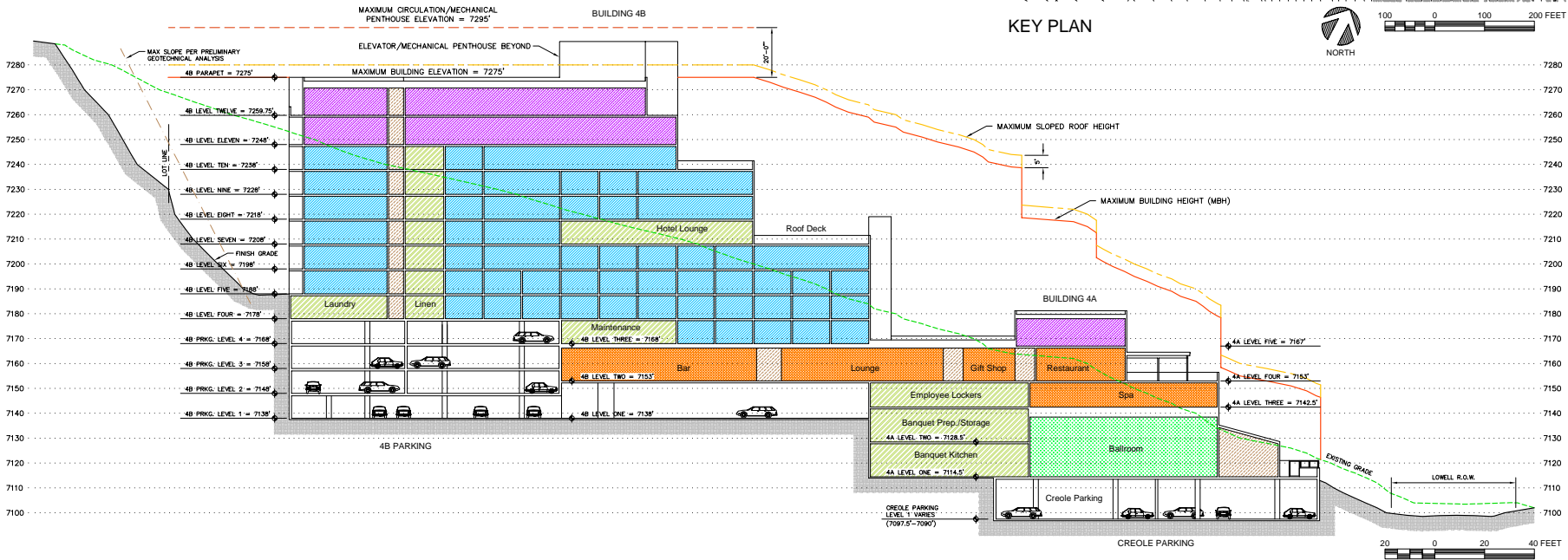
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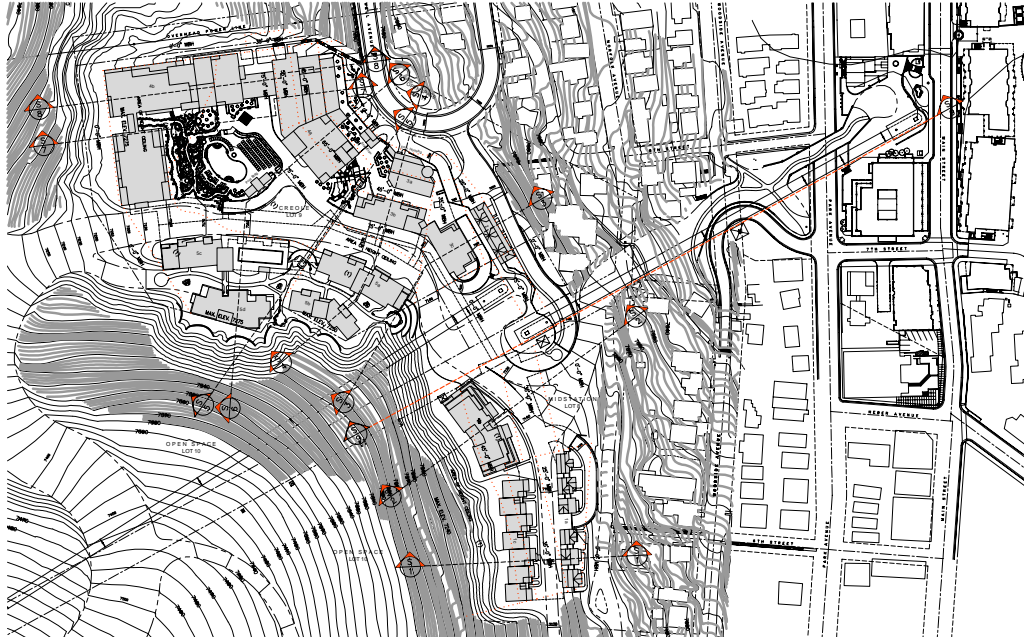


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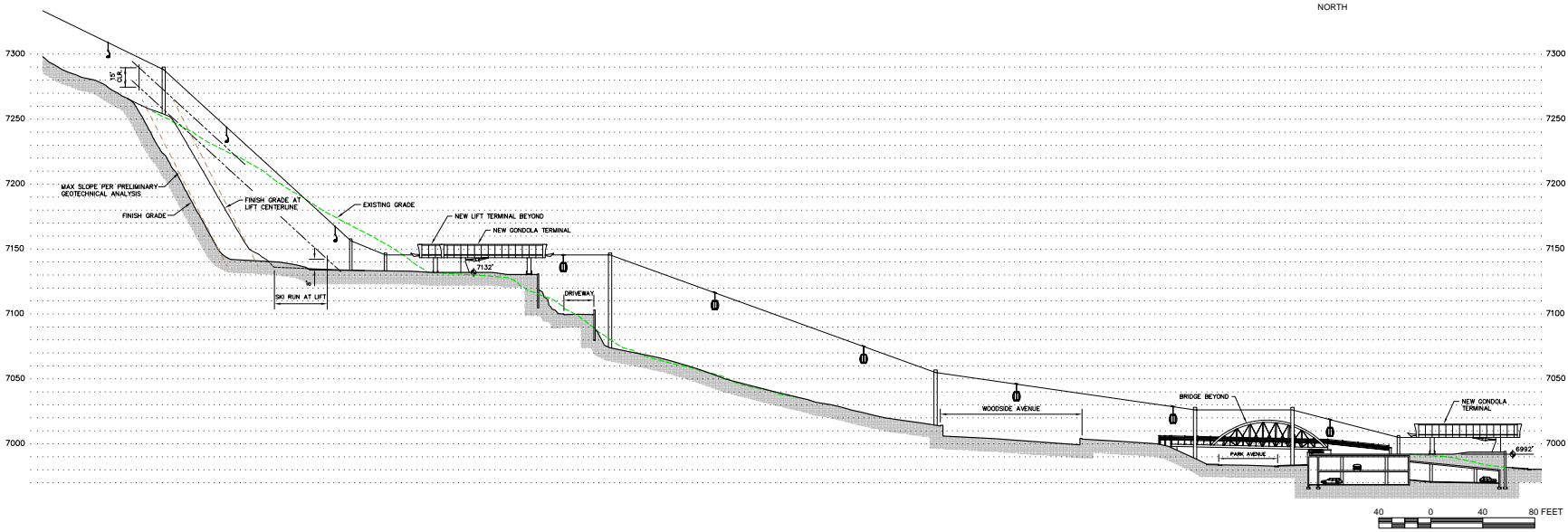
- LI RESIDENTIAL: Hotel
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SHEET NO.

S9

DATE: 06/28/2017