



# Historic Preservation Board Staff Report

Planning Department

**Author:** Anya Grahn, Historic Preservation Planner  
**Subject:** Material Deconstruction Review  
**Address:** 911 Empire Avenue  
**Project Number:** PL-17-03441  
**Date:** May 3, 2017  
**Type of Item:** Administrative – Material Deconstruction and Reconstruction

### **Summary Recommendation:**

Staff recommends the Historic Preservation Board review and discuss the application, conduct a public hearing, and approve the material deconstruction of non-historic and non-contributory materials at 911 Empire Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval. This site is listed as Landmark on the City’s Historic Sites Inventory (HSI) and was listed on the National Register of Historic Places on July 12, 1984, as part of the Mining Boom Era Residences Thematic District.

### **Topic:**

**Address:** 911 Empire Avenue  
**Designation:** Landmark  
**Applicant:** Tom Peek, represented by architect Jonathan Degray  
**Proposal:** Material Deconstruction of post-1983 railroad tie retaining wall, contemporary concrete block retaining wall, non-historic fence; demolition of post-1941 rear additions; non-historic porch railings on the front porch and post-1941 enclosed porch on the southwest corner; two (2) original front doors on the east and north facades and one (1) post-1941 door on enclosed porch; removal of 9’x9’ section of lower level façade wall to construct an invisible garage door; thirteen (13) historic wood windows; non-historic asphalt shingle roofing; brick chimney.

### **Background:**

On January 17, 2017, the Planning Department received a Historic District Design Review (HDDR) application for the property at 911 Empire Avenue. The application was deemed complete on January 19, 2017. The Historic District Design Review (HDDR) application has not yet been approved, as it is dependent on HPB’s Review for Material Deconstruction approval.

The property is located at 911 Empire Avenue on a developed lot. The site is designated as Significant on the City’s Historic Sites Inventory (HSI) (See [Historic Site Form](#)).

### **History of Development on this Site**

In c.1895, Ernest Lynn Kimball took out a mortgage for \$300, likely to construct this house; Kimball had purchased the property three years earlier in 1892. The pyramid

roof house form was one of three (3) main house types built during Park City's mining era, but this house is a variant from the traditional pyramid roof form in that typically pyramid roof cottages had a symmetrical façade with a full or partial-width front porch. This house has a truncated hip roof with a projecting bay that differs slightly from the more traditional square or rectangular forms. It has an asymmetrical façade and the two front porches are recessed into sections of the façade.

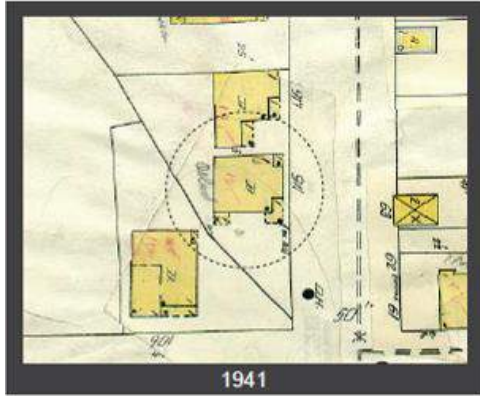
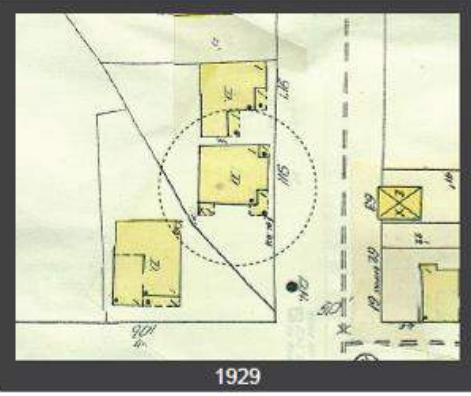
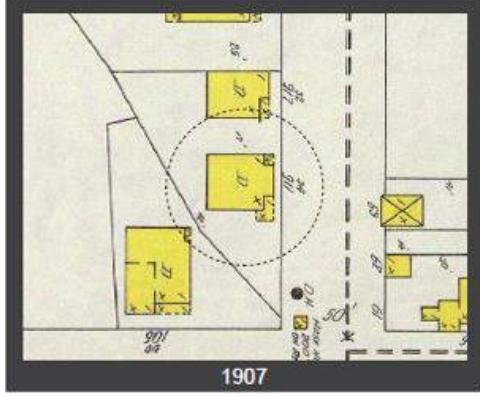
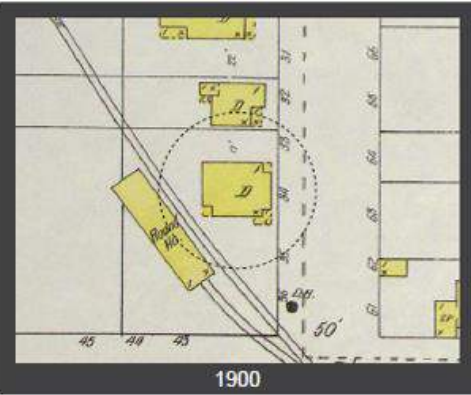
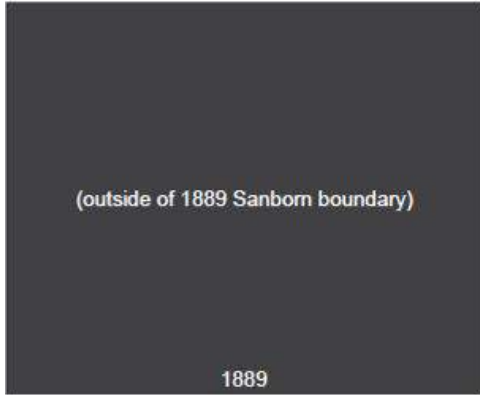
Kimball was born in Snyderville in 1866 and moved to Park City in 1886. He was engaged in mining activities early on, but he later operated the Dexter Livery Stable on Park and Heber Avenues (now the Kimball Art Center) with his brothers Robert and Lawrence—the largest in Park City. Kimball owned the house at 911 Empire Avenue through 1911, but it appears he rented it in 1910 to William L. Rice, a grocery salesman. Kimball moved to Los Angeles in 1916, four years after his wife Susie's death. He died there in 1950.

In 1911, Kimball sold the house to Edward D. Firmage who held on to the property until 1914.

Firmage then sold the house to Fred and Ida Nyholm. Per *Park Record* news articles, the Nyholms and their infant son Freddie split their time between Park City and a farm in Joyce, Washington, from 1917 through 1920. Eventually, the Nyholms sold the farm and moved back to Park City by 1920. Mrs. Ida Nyholm was a Park City native.

According to the *Park Record*, the Nyholms sold the house in 1917 to Zach and Eva Oblad. Zach Oblad (1890-1966) was born in Salt Lake City, but moved to Park City to work at Blyth Fargo Co. In 1925, Zach Oblad became bishop of the Park City LDS Ward and later became the patriarch of the South Summit LDS stake. He was co-owner of Oblad's store on Main Street. He married Eva Gertrude Ludlow (1892-1965) on April 25, 1911; they had two daughters, Bernice and Melva. Eva was also a Salt Lake City native. The Oblads are buried in the Salt Lake City Cemetery.

Throughout its history, the house has largely retained its original design. Based on the Sanborn Fire Insurance analysis, the house was initially constructed in front of the railroad roundhouse, which dictated the diagonal shape of its lot. By 1929, a porch was constructed on the southwest (rear) corner of the house. The c. 1941 tax photograph shows that this porch was enclosed.



The house was listed on the National Register of Historic Places in 1984 as part of the Mining Boom Era Residences Thematic District. The nomination found that the house reflected the Victorian tastes of the time as seen in its irregular form, irregular arrangement of window and door openings on the façade, lack of central focus, and the porches recessed into sections of the façade instead of the more typical full-width front porch seen on typical pyramid-roof cottages. Additionally, the nomination notes that “all of the openings are original” and the only modification to the house was the unobtrusive enclosure of the rear porch that occurred prior to the c.1941 tax photograph and the modification from geometric balusters to round balusters on the porch railings.



c.1941 Tax photograph (note the enclosed porch on the southwest (rear) corner of the house).



c. 2013 photograph of the house

### Material Deconstruction

Staff has analyzed the specific scope of work for the material deconstruction below:

#### 1. SITE DESIGN

The topography of the site slopes uphill from east to west along Empire Avenue; however, the steepest grades on the site are located in the rear yard. There is a two foot (2') tall railroad tie retaining wall that runs parallel with the street and that is located in the city's right-of-way; according to staff's photographic analysis, this retaining wall was likely constructed after 1983. There is also a four foot (4') tall concrete block retaining wall along the rear property line; the concrete blocks are contemporary in design and not historic. Additionally, there is a non-historic, contemporary fence that following the rear lot line and continues down the north side yard to the back of the house.

Staff has identified the fence and retaining walls in red below:







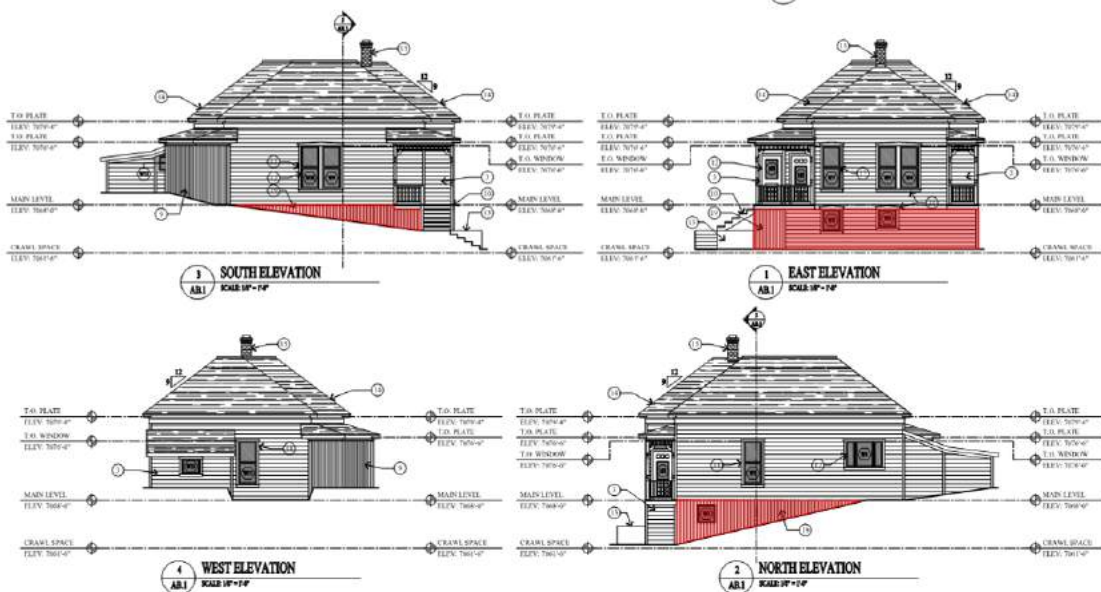
The applicant is proposing to remove these non-historic improvements. The front yard will be regraded and revegetated as a lawn. In the backyard, the applicant will be regrading and terracing the backyard with new stacked stone retaining walls, concrete planters, and vegetation in order to create an outdoor living space.

Staff finds that these improvements do not contribute to the historic integrity or historical significance of the site. The proposed exterior changes will not damage or destroy the exterior architectural features of the subject property that are compatible with the character of the historic site. Additionally, the majority of the proposed work is located in the rear yard and will not impact the visual character of the neighborhood.

## 2. Foundation

The house currently has no foundation. All of the posts and bearing walls sit directly on soil, which has led to portions of the original wood siding suffering from wood rot and deterioration. The applicant proposes to temporarily lift the structure in order to pour a new foundation.

Staff has shaded the areas to be (potentially) impacted by the construction of the foundation in red:



The applicant has not yet completed exploratory demolition. At this time, they are not proposing to remove the walls of the basement in order to temporarily lift the house and pour a new foundation; however, they anticipate that this may need to occur if the walls are in poor condition.

Staff finds that the proposed work to construct a new foundation is necessary in order to rehabilitate the historic house; however, staff finds that the extant historic walls of the foundation should be minimally impacted by this scope of work. Staff has added the following Condition of Approval to ensure the preservation of these walls:

*#2. Following interior demolition, the applicant shall schedule a site visit with the Chief Building Official and Planning Director to evaluate the condition of the foundation level walls. Should these walls need to be removed due to their deteriorated state, they shall either be removed in the largest panels possible or reconstructed with materials that match the original in all respects: scale, dimension, texture, profile, material, and finish. The Physical Conditions Report and Preservation Plan shall be amended to document the condition of these walls and provide an updated scope of work to the satisfaction of the Planning Department. Any changes, modifications, or deviations from the approved scope of work shall be reviewed and approved by the Planning Director in writing prior to construction.*

### 3. Exterior Walls

The exterior walls of the house consist of single-wall construction. The 1x12 horizontal and vertical wood planks of the interior are sided with 1x8 horizontal wood lap siding on the exterior. The applicant is proposing to remove all the contemporary materials from the interior of the house to determine the amount of surviving historic materials. The applicant proposes to rebuild the structure from the interior in order to meet the structural requirements of the International Building Code (IBC).

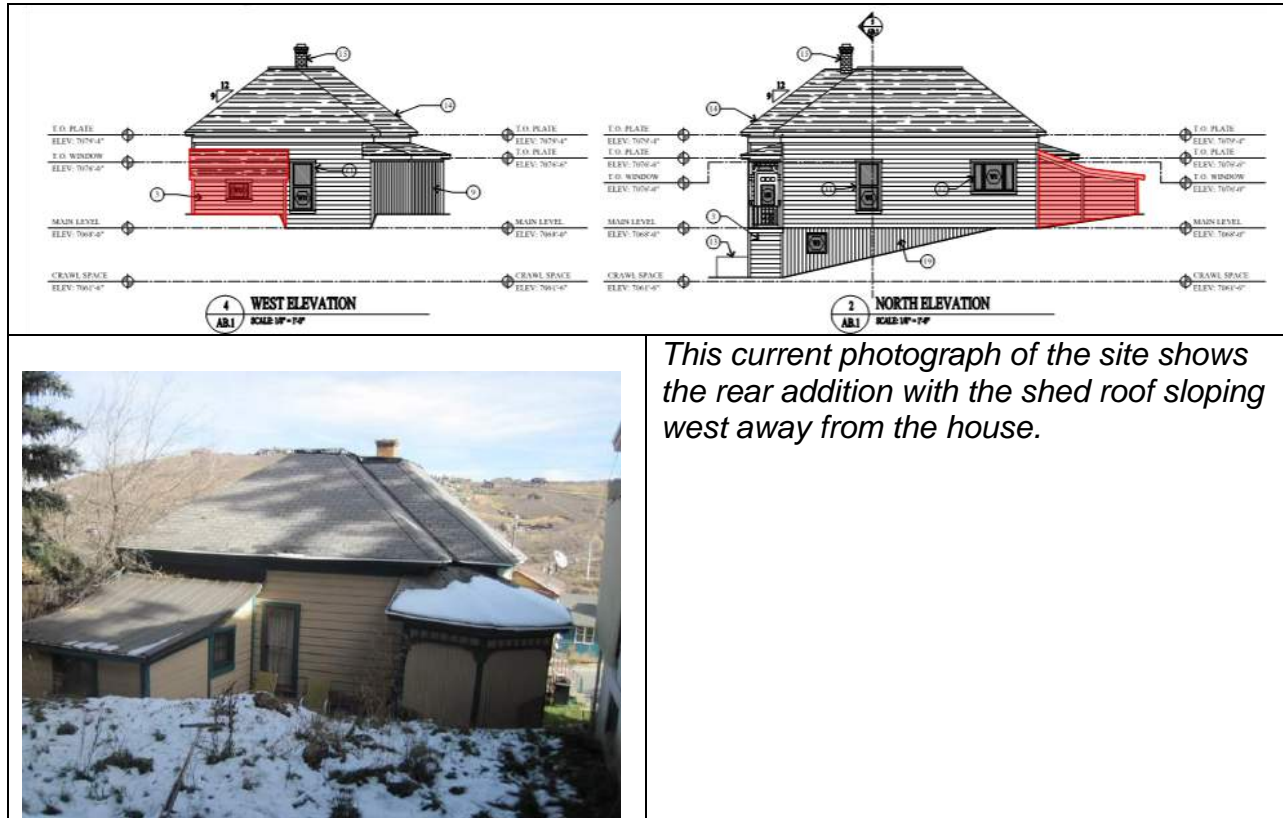
Staff finds that the proposed scope of work and any associated material deconstruction is necessary for the rehabilitation of the historic house. Staff anticipates that some siding on the house may be severely deteriorated and beyond repair. Staff has added the following Condition of Approval to address this:

*#3. Where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish. Prior to removal, the applicant shall demonstrate to the Planning Director that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. The Planning Director shall approve the replacement in writing. This incorporates all elements, including, but not limited to, original trim, overhangs and eaves, etc.*

#### 4. Addition

There are two existing additions on the back of the house. The first rear addition (shaded in red below) was likely constructed sometime after 1941, based on staff's analysis of the Sanborn Fire Insurance Maps and tax photographs. It features a 4.5:12 pitch and 3:12 pitch shed roof that slopes west away from the house; this change in roof pitch demonstrates that the rear addition was likely built in two phases. The addition is wood-framed and clad in horizontal lap siding.

Staff has shaded this addition in red below:



*This current photograph of the site shows the rear addition with the shed roof sloping west away from the house.*

The applicant is proposing to remove this addition in order to construct a new addition to the west (rear) elevation of the house. Staff finds that this addition is not historic and does not contribute to the historic integrity or historical significance of the structure.

The second addition to the house is the enclosed porch, which will be discussed in the following section in further detail.

#### 5. Porch

There are three (3) extant historic porches on this house—one on the north side, one on the south side, and an enclosed porch on the southwest corner of the historic house. While the overall form and dimensions of the porches have not been modified through its existence, there have been changes to the posts, railings, and stairs as seen in the photographs below:

		
<p><i>c.1941 Tax Photograph</i></p>	<p><i>1983 National Register photograph</i></p>	<p><i>2013 Photograph</i></p>

*Porch 1:*

The first porch on the northeast (front) corner of the house maintains its original location. No stairs lead away from this porch; it acts as a balcony. Sometime between 1941 and 1983, the wood railings were replaced with a simple wood railing. The decorative turned posts, ornamental brackets, and decorative cornice have survived. The porch has a 3.5:12 hipped roof covered with asphalt shingles.

*Porch 2:*

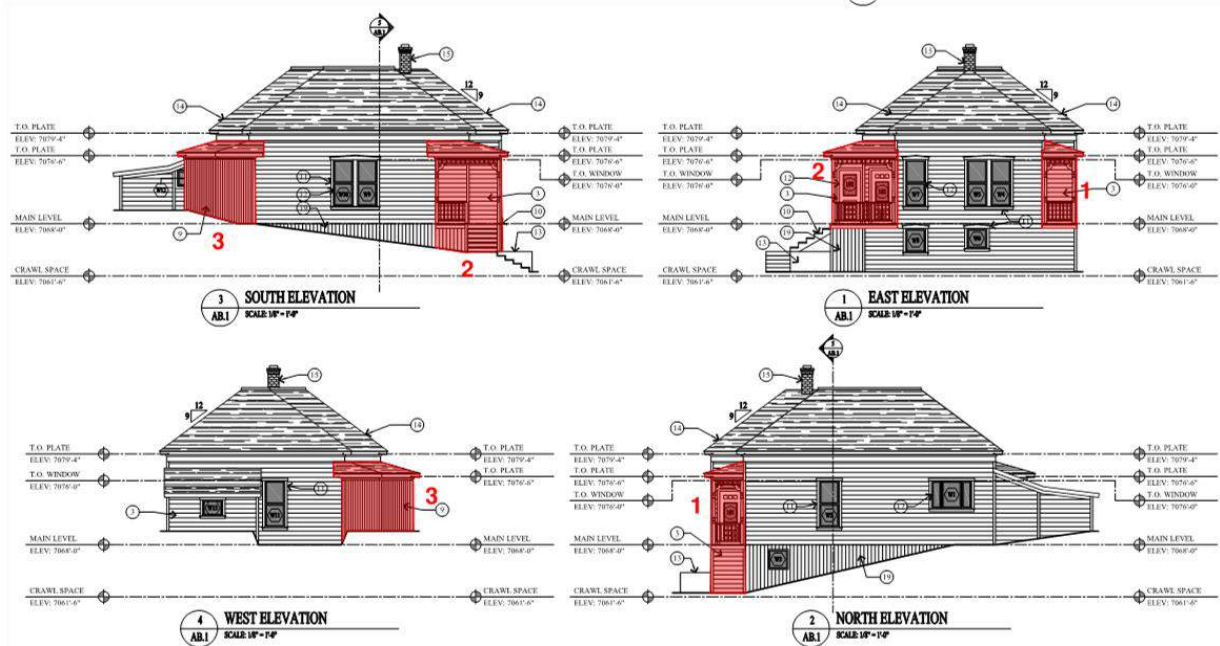
The porch on the southeast corner of the house has retained its original location. The turned posts, ornamental brackets, and decorative cornice have survived; however, the railing was replaced between 1941 and 1983. The porch has a 3.5:12 hipped roof covered with asphalt shingles. The porch stairs have been rebuilt.

*Porch 3:*

The third porch is located on the southwest (rear) corner of the house. This porch first appears in the 1929 Sanborn Fire Insurance map and it was enclosed prior to the c.1941 tax photograph. The porch walls consist of 1x4 vertical tongue-and-groove wood siding over framed walls. The walls were built from the interior of the porch, leaving the original details intact.

Staff has shaded these three porches in red below:





The applicant believes that Porches 1 and 2 can be lifted with the house to pour the foundation. The applicant believes the historic materials will be able to be preserved. Contemporary additions to the porches, such as the wood railing, will be replaced with new materials. Staff finds that the material deconstruction is required for the restoration of the building.

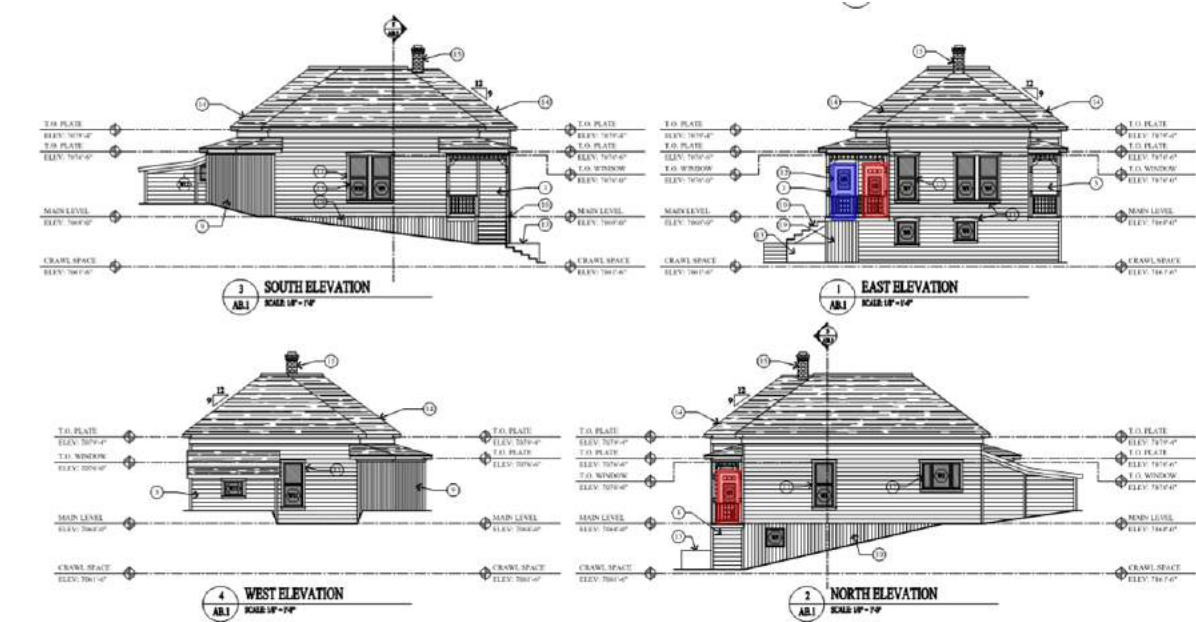
The applicant believes that Porch 3 on the southwest corner of the house will need to be demolished and reconstructed to facilitate the lift. They anticipate trying to salvage any historic materials they find on this porch to reuse in the reconstruction following construction of the foundation. Staff finds that the material deconstruction is required for the reconstruction of Porch 3 as an open porch.

## 6. Doors

There are three (3) historic doors on the exterior of the historic house. The applicant's physical conditions report finds that these doors are in fair condition. The doors on the front of the house may be restored or may require replacement. The door on the enclosed porch will be removed as part of the restoration of the original open porch design.

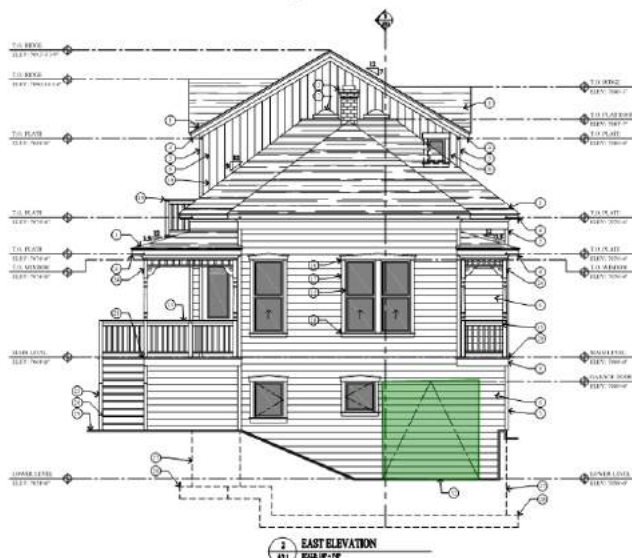
The applicant is proposing to review with staff the condition of the two (2) historic doors on the front of the house. Staff has added Condition of Approval #4 which states requires that the applicant shall coordinate with staff to determine if the two (2) historic doors on the front of the house can be restored or will require replacement. Should the doors need to be reconstructed due to their deteriorated state, they shall be replaced in-kind with new doors that match the original in all respects: scale, dimension, texture, profile, material, and finish. The replacement of the doors shall be approved by the Planning Director in writing prior to removal.

The two doors to be restored are shaded in red and the third door to be removed is shaded in blue below:



Staff finds that the material deconstruction on the two (2) historic front doors is required for the restoration of the house.

The applicant is also proposing to remove a section of the wall on the lower level of the façade in order to accommodate a new garage. Staff has shaded the location of the new garage door in green below:



The applicant is proposing to salvage the historic siding from this wall and install it over the new garage door so as to conceal its appearance. The photos below

show samples of projects outside of Park City that have utilized the invisible garage door:



Staff discussed this solution with our Preservation Consultant Anne Oliver from SWCA Environmental Consultants as well. The consensus was that this was a creative solution and far less disruptive than lifting the house to construct a new basement-level garage addition.

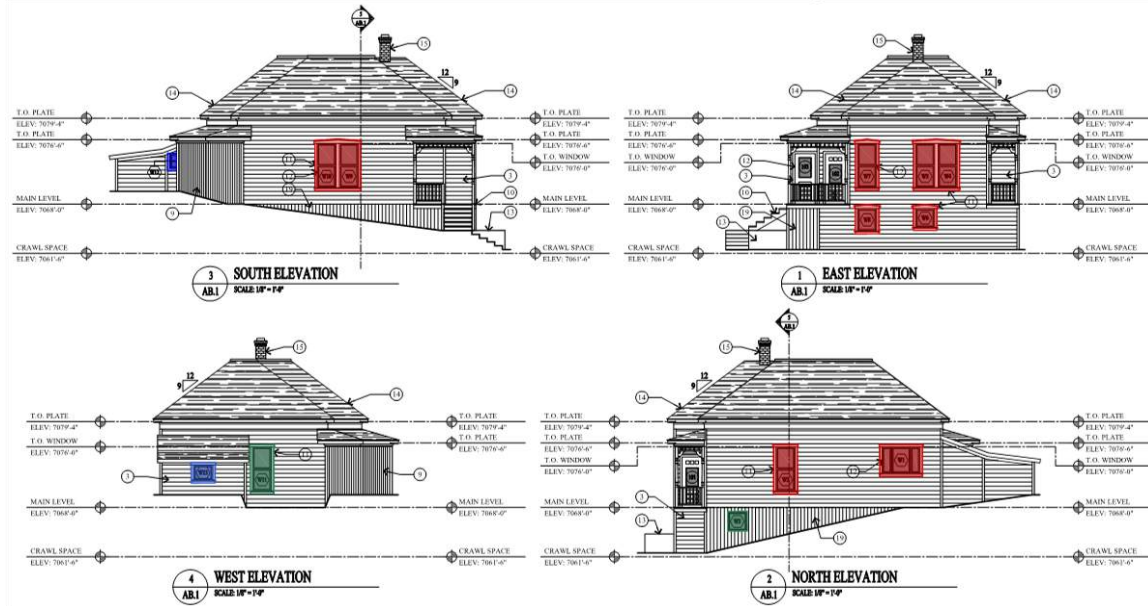
Staff finds that the proposed material deconstruction mitigates any impacts that would occur to the architectural integrity of the building. The proposed exterior change would not damage or destroy the exterior architectural features of the subject property that are compatible with the character of the historic site and are not included in the proposed scope of work.

***HPB Discussion Requested.***

7. Windows

There are thirteen original window openings on the house; eleven of these openings are located on the original pyramid-roof cottage and two (2) are located on the post-1941 rear addition.

Staff has shaded the historic window openings in red, non-historic openings in blue, and openings to be altered in green:



The applicant is proposing to remove the historic windows (shaded red) and replace them with new wood windows. The applicant has had a window assessment completed by American Heritage Window Rebuilders (Exhibit E), and they found that the windows were beyond restoration. They need to be replaced in-kind.

The non-historic windows (shaded blue) are on the rear addition and are proposed to be removed along with the addition.

There are two (2) historic windows to be altered (shaded green). On the west (rear) elevation, the historic window opening will be covered by the new addition. On the north (side) elevation, the applicant is proposing to remove and cover this historic window opening. Staff finds that the lower level window opening is not a character-defining feature. As a basement-level window, it was likely always concealed by vegetation in the side yard.

Staff finds that the proposed material deconstruction is required for the restoration of the windows and renovation of the structure. By replacing the wood windows in-kind, the proposed scope of work mitigates any impacts that will occur to the historical significance of the building and the architectural integrity of the building. The proposed modifications to the remaining window openings will not impact the historical significance or architectural integrity of the building.

## 8. Roof

The main roof is a pyramid-shape variant with a hip roof projecting east from the main form. It has a 9:12 pitch. The roof is covered with asphalt shingles over wood shank shingles. Typical of Park City construction, the wood shake shingles cover a 1x10 skip plank over 2x4 roof joists.



The asphalt shingles and flashing are in need of repair. The roof currently does not meet the code requirements for snow load. The applicant believes that the roof will likely need to be reconstructed in order to meet the structural requirements of the code and retain the historic form and appearance. Because no interior exploratory demolition has occurred, staff believes it may not be necessary to reconstruct the roof in its entirety. Staff has added the following Conditions of Approval to address this:

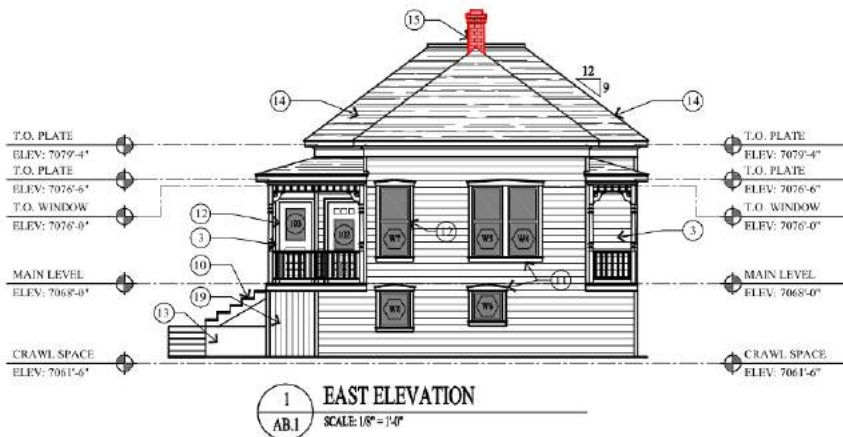
*#6. The applicant shall maintain the original pyramid variant roof form. Structural stabilization shall occur by adding new structural members to the interior of the roof.*

*#7. Should restructuring the roof from the interior not be possible due to the condition of the existing roof structure, the applicant shall schedule a site visit with the Chief Building Official and Planning Director to evaluate the condition of the roof structure. The applicant shall also submit a structural engineer's report to the Planning Director outlining the defects in the roof that prevent the new structure from being added alongside the existing roof members. The Physical Conditions Report and Preservation Plan shall be amended to document the condition of these walls and provide an updated scope of work to the satisfaction of the Planning Department. Any changes, modifications, or deviations from the approved scope of work shall be reviewed and approved by the Planning Director in writing prior to construction.*

Staff finds that the proposed structural upgrade to the roof is necessary for the renovation of the historic house.

9. Chimney

There is one (1) existing historic chimney on the front portion of the house that is original to the c.1895 structure. The chimney no longer functions as a smoke flue and has been modified on the main level. It is in need of repair. The chimney is highlighted in red below:



The applicant is proposing to deconstruct the existing brick chimney. He will salvage the existing bricks and reconstruct the historic chimney from the roof ridge. It will not be rebuilt on the interior.

Staff finds that the proposed material deconstruction is required for the restoration and reconstruction of the historic chimney. The proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.

**Recommendation:**

Staff recommends the Historic Preservation Board review and discuss the application, conduct a public hearing, and approve the material deconstruction of non-historic and non-contributory materials at 911 Empire Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval. This site is listed as Landmark on the City's Historic Sites Inventory (HSI) and was listed on the National Register of Historic Places on July 12, 1984, as part of the Mining Boom Era Residences Thematic District.

**Finding of Fact:**

1. The property is located at 911 Empire Avenue.
2. The site is designated as Landmark on the Historic Sites Inventory. It was listed on the National Register of Historic Places on July 12, 1984 as part of the Mining Boom Era Residences Thematic District.
3. Based on Sanborn Fire Insurance maps and historic research analysis, the house was likely constructed c.1895 by Ernest Lynn Kimball. The house has remained largely unchanged throughout its history, with the exception of the rear porch on the southwest corner of the house that was constructed by 1929 and enclosed by 1941 and the construction of a rear addition after 1941.
4. On January 17, 2017, the Planning Department received a Historic District Design Review (HDDR) application for the renovation of the historic house and construction of a new addition at 911 Empire Avenue; the application was deemed complete on January 19, 2017. The HDDR application is still under review by the Planning Department.
5. The applicant proposes to remove a two-foot (2') tall railroad tie retaining wall that was constructed after 1983, a four-foot (4') tall, contemporary concrete block retaining wall along the rear property line, and a non-historic, contemporary wood fence along the west and north property lines. These improvements do not contribute to the historic integrity or historical significance of the site. The proposed exterior changes will not damage or destroy the architectural features of the subject property that are compatible with the character of the historic site. The majority of the proposed work is located in the rear yard and will not impact the visual character of the neighborhood.
6. There currently is not a foundation beneath the historic house. All the posts and bearing walls sit directly on the soil which has caused the exterior walls to

deteriorate. The proposed work to construct a new foundation is necessary in order to rehabilitate the historic house.

7. The exterior walls of the house consist of single-wall construction. The applicant will be removing non-historic materials from the interior of the house in order to construct a new framed wall system from the interior.
8. The applicant does not propose to modify the historic siding on the exterior of the house. The proposed scope of work and any material deconstruction is necessary for the rehabilitation of the historic house.
9. There are two existing additions on the back of the house. The first rear addition was likely constructed sometime after 1941 and has a 4.5:12 roof pitch. A second addition was constructed off the west (rear) after the original and has a 3:12 roof pitch. The addition is not historic and does not contribute to the historic integrity or historical significance of the structure.
10. There are three porches on the historic house: one on the northeast (front) corner, one on the southeast corner (front), and an enclosed porch on the southwest (rear) corner of the house. Only the decorative turned posts, ornamental brackets, and decorative cornice have survived on the front porch. The third porch was enclosed by 1941. The applicant proposes to remove the non-historic railings and replace them with new wood railings on the front porches. The porch on the southwest corner of the house will need to be reconstructed as an open porch.
11. There are three (3) historic doors on the exterior of the historic house. Two of the doors are historic and may be able to be restored. The third door is on the enclosed porch and will be removed when it is restored. The material deconstruction of the two (2) historic front doors is required for the restoration of the house.
12. The applicant is proposing to remove a section of the wall on the lower level of the façade to accommodate a new garage door. The proposed scope of work mitigates any impacts that would occur to the architectural integrity of the building. The proposed exterior change would not damage or destroy the exterior architectural features of the subject property that are compatible with the character of the historic site and are not included in the proposed scope of work.
13. There are thirteen (13) original window openings on the house. Eleven (11) of these openings are located on the original pyramid-roof cottage and two (2) are located on the post-1941 rear addition. The applicant will be replacing the windows in-kind. The non-historic windows will be removed on the post-1941 addition. One window on the west (rear) elevation will be covered by the new addition and a second window on the north (side) elevation will be removed and covered. The proposed material deconstruction is required for the restoration of the windows and renovation of the structure. By replacing the wood windows in-kind, the proposed scope of work mitigates any impacts that will occur to the historic significance of the building and the architectural integrity of the building. The removal of the other windows will not impact the historical significance or architectural integrity of the building.
14. The historic wood shake roof is covered with new asphalt shingles. The applicant is proposing to structurally upgrade the roof from the interior. The proposed material deconstruction is necessary for the renovation of the historic house.
15. There is one (1) existing historic chimney on the front porch of the house that is original to the c.1895 structure. The chimney is in need of repair and will be reconstructed with salvaged bricks. The proposed material deconstruction is

required for the restoration and reconstruction of the historic chimney. The proposed exterior changes will not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.

**Conclusions of Law:**

1. The proposal complies with the Land Management Code requirements pursuant to the HR-M District and regarding historic structure deconstruction and reconstruction.
2. The proposal meets the criteria for relocation pursuant to LMC 15-11-14 Disassembly and Reassembly of the Historic Building(s) and/or Structure(s) on a Landmark or Significant Site.

**Conditions of Approval:**

1. Final building plans and construction details shall reflect substantial compliance with the HDDR proposal submitted March 2, 2017. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.
2. Following interior demolition, the applicant shall schedule a site visit with the Chief Building Official and Planning Director to evaluate the condition of the foundation level walls. Should these walls need to be removed due to their deteriorated state, they shall either be removed in the largest panels possible or reconstructed with materials that match the original in all respects: scale, dimension, texture, profile, material, and finish. The Physical Conditions Report and Preservation Plan shall be amended to document the condition of these walls and provide an updated scope of work to the satisfaction of the Planning Department.
3. Any changes, modifications, or deviations from the approved scope of work shall be reviewed and approved by the Planning Director in writing prior to construction. Where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish. Prior to removal, the applicant shall demonstrate to the Planning Director that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. The Planning Director shall approve the replacement in writing. This incorporates all elements, including, but not limited to, original trim, overhangs and eaves, etc.
4. The applicant shall coordinate with staff to determine if the two (2) historic doors on the front of the house can be restored or will require replacement. Should the doors need to be reconstructed due to their deteriorated state, they shall be replaced in-kind with new doors that match the original in all respects: scale, dimension, texture, profile, material, and finish. The replacement of the doors shall be approved by the Planning Director in writing prior to removal.
5. The applicant shall maintain the original pyramid variant roof form. Structural stabilization shall occur by adding new structural members to the interior of the roof.
6. Should restructuring the roof from the interior not be possible due to the condition of the existing roof structure, the applicant shall schedule a site visit with the Chief Building Official and Planning Director to evaluate the condition of the roof structure. The applicant shall also submit a structural engineer's report to the Planning Director outlining the defects in the roof that prevent the new structure from being added



alongside the existing roof members. The Physical Conditions Report and Preservation Plan shall be amended to document the condition of these walls and provide an updated scope of work to the satisfaction of the Planning Department. Any changes, modifications, or deviations from the approved scope of work shall be reviewed and approved by the Planning Director in writing prior to construction.

**Exhibits:**

Exhibit A – HPB Checklist for Material Deconstruction

Exhibit B – Updated Plans

Exhibit C – Physical Conditions Report

Exhibit D – Historic Preservation Plan

Exhibit E – American Heritage Windows Restoration report

## Exhibit A

### **Historic Preservation Board Material Deconstruction Review Checklist:**

1. Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
2. The material deconstruction is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
3. Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
4. The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where material deconstruction is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
5. The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
6. Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

# 911 EMPIRE RESIDENCE

## HISTORIC DISTRICT DESIGN REVIEW SET

### 911 EMPIRE AVENUE

### PARK CITY, UTAH 84060

CONSULTANTS

### INDEX TO DRAWINGS

#	SHEET #	COVER SHEET	SHEET DESCRIPTION
1	1a		SURVEY
2	1a1		ARCHITECTURAL
3	AB.1		AS-BUILT, FLOOR PLANS, ELEVATIONS AND BUILDING SECTION
4	AB.1		ARCHITECTURAL SITE PLAN
5	AB.2		LANDSCAPE PLAN
6	AL.1		LOWER LEVEL PLAN AND MAIN LEVEL PLAN
7	AL.2		UPPER LEVEL PLAN AND ROOF PLAN
8	A2.1		SOUTH AND EAST ELEVATIONS
9	A2.2		WEST AND NORTH ELEVATIONS
10	A2.3		DOOR, WINDOW AND DOOR SCHEDULES
11	AA.1		

### CODE ANALYSIS

APPLICABLE CODES  
 2015 IBC, 2015 IRC, 2015 IMC, 2015 NBC, 2015 PBC, 2015 SBC, 2015 TBC, 2015 UBC, 2015 VBC, 2015 WBC, 2015 YBC

OCCUPANCY: R-2  
 CONSTRUCTION TYPE: IV  
 BUILDING TO BE REFINISHED; CONTRACTOR TO PROVIDE APPROVALS PRIOR TO INSTALLATION.

HOUSE EXISTING	HOUSE ADDITION	TOTAL
986	986	986
1249	336	1249
790	790	790
3025	716	3025
279		279
279		279
1266		1266
2996		2996

LOD AREA: 1266

### LEGEND

	BRICK & STONE		ROOF DRAIN
	EARTH		ROOM NUMBER
	CONCRETE MASONRY UNIT		FLOOR, PORT, ELEV.
	STEEL (LARGE SCALE)		CENTER LINE
	RIGID INSULATION		ROUND DIA.
	ROUGH WOOD		CHAMFER
	BLOCKING		DETAIL
	ALUMINUM (LARGE SCALE)		SECTION CUT, DETAIL
	FINISHED WOOD		BUILDING SECTION
	BATT OR BLOWN INSULATION		KEYED NOTES
	PLASTER, SAND, GROUT, MORTAR		WINDOW TYPE
	STEEL (SMALL SCALE)		DOOR NUMBER
	STAINLESS PAVING		REVISION
	PLYWOOD		INTERIOR WALL ELEV.
	GYPSUM BOARD		WALL TYPE

### ABBREVIATIONS

AC	AIR CONDITIONING	FR	FLOOR DRAIN
ACB	ACROBATIC	FR.1	FLOOR FINISH
ADU	ADULT USE UNIT	FR.2	FLOOR FINISH
ALUM	ALUMINUM	FR.3	FLOOR FINISH
APPROX.	APPROXIMATE	FR.4	FLOOR FINISH
B.U.	BUILT UP	FR.5	FLOOR FINISH
B.B.	BUILDING	FR.6	FLOOR FINISH
B.L.	BLOCKING	FR.7	FLOOR FINISH
B.C.	BLOCKING	FR.8	FLOOR FINISH
B.D.	BLOCKING	FR.9	FLOOR FINISH
B.E.	BLOCKING	FR.10	FLOOR FINISH
B.F.	BLOCKING	FR.11	FLOOR FINISH
B.G.	BLOCKING	FR.12	FLOOR FINISH
B.H.	BLOCKING	FR.13	FLOOR FINISH
B.I.	BLOCKING	FR.14	FLOOR FINISH
B.J.	BLOCKING	FR.15	FLOOR FINISH
B.K.	BLOCKING	FR.16	FLOOR FINISH
B.L.	BLOCKING	FR.17	FLOOR FINISH
B.M.	BLOCKING	FR.18	FLOOR FINISH
B.N.	BLOCKING	FR.19	FLOOR FINISH
B.O.	BLOCKING	FR.20	FLOOR FINISH
B.P.	BLOCKING	FR.21	FLOOR FINISH
B.Q.	BLOCKING	FR.22	FLOOR FINISH
B.R.	BLOCKING	FR.23	FLOOR FINISH
B.S.	BLOCKING	FR.24	FLOOR FINISH
B.T.	BLOCKING	FR.25	FLOOR FINISH
B.U.	BLOCKING	FR.26	FLOOR FINISH
B.V.	BLOCKING	FR.27	FLOOR FINISH
B.W.	BLOCKING	FR.28	FLOOR FINISH
B.X.	BLOCKING	FR.29	FLOOR FINISH
B.Y.	BLOCKING	FR.30	FLOOR FINISH
B.Z.	BLOCKING	FR.31	FLOOR FINISH
C	CENTRAL	FR.32	FLOOR FINISH
CA	CASUALTY	FR.33	FLOOR FINISH
CB	CASUALTY	FR.34	FLOOR FINISH
CC	CASUALTY	FR.35	FLOOR FINISH
CD	CASUALTY	FR.36	FLOOR FINISH
CE	CASUALTY	FR.37	FLOOR FINISH
CF	CASUALTY	FR.38	FLOOR FINISH
CG	CASUALTY	FR.39	FLOOR FINISH
CH	CASUALTY	FR.40	FLOOR FINISH
CI	CASUALTY	FR.41	FLOOR FINISH
CJ	CASUALTY	FR.42	FLOOR FINISH
CK	CASUALTY	FR.43	FLOOR FINISH
CL	CASUALTY	FR.44	FLOOR FINISH
CM	CASUALTY	FR.45	FLOOR FINISH
CN	CASUALTY	FR.46	FLOOR FINISH
CO	CASUALTY	FR.47	FLOOR FINISH
CP	CASUALTY	FR.48	FLOOR FINISH
CQ	CASUALTY	FR.49	FLOOR FINISH
CR	CASUALTY	FR.50	FLOOR FINISH
CS	CASUALTY	FR.51	FLOOR FINISH
CT	CASUALTY	FR.52	FLOOR FINISH
CU	CASUALTY	FR.53	FLOOR FINISH
CV	CASUALTY	FR.54	FLOOR FINISH
CW	CASUALTY	FR.55	FLOOR FINISH
CX	CASUALTY	FR.56	FLOOR FINISH
CY	CASUALTY	FR.57	FLOOR FINISH
CZ	CASUALTY	FR.58	FLOOR FINISH
D	DRIVE	FR.59	FLOOR FINISH
DA	DRIVE	FR.60	FLOOR FINISH
DB	DRIVE	FR.61	FLOOR FINISH
DC	DRIVE	FR.62	FLOOR FINISH
DD	DRIVE	FR.63	FLOOR FINISH
DE	DRIVE	FR.64	FLOOR FINISH
DF	DRIVE	FR.65	FLOOR FINISH
DG	DRIVE	FR.66	FLOOR FINISH
DH	DRIVE	FR.67	FLOOR FINISH
DI	DRIVE	FR.68	FLOOR FINISH
DJ	DRIVE	FR.69	FLOOR FINISH
DK	DRIVE	FR.70	FLOOR FINISH
DL	DRIVE	FR.71	FLOOR FINISH
DM	DRIVE	FR.72	FLOOR FINISH
DN	DRIVE	FR.73	FLOOR FINISH
DO	DRIVE	FR.74	FLOOR FINISH
DP	DRIVE	FR.75	FLOOR FINISH
DQ	DRIVE	FR.76	FLOOR FINISH
DR	DRIVE	FR.77	FLOOR FINISH
DS	DRIVE	FR.78	FLOOR FINISH
DT	DRIVE	FR.79	FLOOR FINISH
DU	DRIVE	FR.80	FLOOR FINISH
DV	DRIVE	FR.81	FLOOR FINISH
DW	DRIVE	FR.82	FLOOR FINISH
DX	DRIVE	FR.83	FLOOR FINISH
DY	DRIVE	FR.84	FLOOR FINISH
DZ	DRIVE	FR.85	FLOOR FINISH
E	ELECTRICAL	FR.86	FLOOR FINISH
EA	ELECTRICAL	FR.87	FLOOR FINISH
EB	ELECTRICAL	FR.88	FLOOR FINISH
EC	ELECTRICAL	FR.89	FLOOR FINISH
ED	ELECTRICAL	FR.90	FLOOR FINISH
EE	ELECTRICAL	FR.91	FLOOR FINISH
EF	ELECTRICAL	FR.92	FLOOR FINISH
EG	ELECTRICAL	FR.93	FLOOR FINISH
EH	ELECTRICAL	FR.94	FLOOR FINISH
EI	ELECTRICAL	FR.95	FLOOR FINISH
EJ	ELECTRICAL	FR.96	FLOOR FINISH
EK	ELECTRICAL	FR.97	FLOOR FINISH
EL	ELECTRICAL	FR.98	FLOOR FINISH
EM	ELECTRICAL	FR.99	FLOOR FINISH
EN	ELECTRICAL	FR.100	FLOOR FINISH
EO	ELECTRICAL	FR.101	FLOOR FINISH
EP	ELECTRICAL	FR.102	FLOOR FINISH
EQ	ELECTRICAL	FR.103	FLOOR FINISH
ER	ELECTRICAL	FR.104	FLOOR FINISH
ES	ELECTRICAL	FR.105	FLOOR FINISH
ET	ELECTRICAL	FR.106	FLOOR FINISH
EU	ELECTRICAL	FR.107	FLOOR FINISH
EV	ELECTRICAL	FR.108	FLOOR FINISH
EW	ELECTRICAL	FR.109	FLOOR FINISH
EX	ELECTRICAL	FR.110	FLOOR FINISH
EY	ELECTRICAL	FR.111	FLOOR FINISH
EZ	ELECTRICAL	FR.112	FLOOR FINISH
F	FLOOR FINISH	FR.113	FLOOR FINISH
FA	FLOOR FINISH	FR.114	FLOOR FINISH
FB	FLOOR FINISH	FR.115	FLOOR FINISH
FC	FLOOR FINISH	FR.116	FLOOR FINISH
FD	FLOOR FINISH	FR.117	FLOOR FINISH
FE	FLOOR FINISH	FR.118	FLOOR FINISH
FF	FLOOR FINISH	FR.119	FLOOR FINISH
FG	FLOOR FINISH	FR.120	FLOOR FINISH
FH	FLOOR FINISH	FR.121	FLOOR FINISH
FI	FLOOR FINISH	FR.122	FLOOR FINISH
FJ	FLOOR FINISH	FR.123	FLOOR FINISH
FK	FLOOR FINISH	FR.124	FLOOR FINISH
FL	FLOOR FINISH	FR.125	FLOOR FINISH
FM	FLOOR FINISH	FR.126	FLOOR FINISH
FN	FLOOR FINISH	FR.127	FLOOR FINISH
FO	FLOOR FINISH	FR.128	FLOOR FINISH
FP	FLOOR FINISH	FR.129	FLOOR FINISH
FQ	FLOOR FINISH	FR.130	FLOOR FINISH
FR	FLOOR FINISH	FR.131	FLOOR FINISH
FS	FLOOR FINISH	FR.132	FLOOR FINISH
FT	FLOOR FINISH	FR.133	FLOOR FINISH
FU	FLOOR FINISH	FR.134	FLOOR FINISH
FV	FLOOR FINISH	FR.135	FLOOR FINISH
FW	FLOOR FINISH	FR.136	FLOOR FINISH
FX	FLOOR FINISH	FR.137	FLOOR FINISH
FY	FLOOR FINISH	FR.138	FLOOR FINISH
FZ	FLOOR FINISH	FR.139	FLOOR FINISH
G	GLASS	FR.140	FLOOR FINISH
GA	GLASS	FR.141	FLOOR FINISH
GB	GLASS	FR.142	FLOOR FINISH
GC	GLASS	FR.143	FLOOR FINISH
GD	GLASS	FR.144	FLOOR FINISH
GE	GLASS	FR.145	FLOOR FINISH
GF	GLASS	FR.146	FLOOR FINISH
GG	GLASS	FR.147	FLOOR FINISH
GH	GLASS	FR.148	FLOOR FINISH
GI	GLASS	FR.149	FLOOR FINISH
GJ	GLASS	FR.150	FLOOR FINISH
GK	GLASS	FR.151	FLOOR FINISH
GL	GLASS	FR.152	FLOOR FINISH
GM	GLASS	FR.153	FLOOR FINISH
GN	GLASS	FR.154	FLOOR FINISH
GO	GLASS	FR.155	FLOOR FINISH
GP	GLASS	FR.156	FLOOR FINISH
GQ	GLASS	FR.157	FLOOR FINISH
GR	GLASS	FR.158	FLOOR FINISH
GS	GLASS	FR.159	FLOOR FINISH
GT	GLASS	FR.160	FLOOR FINISH
GU	GLASS	FR.161	FLOOR FINISH
GV	GLASS	FR.162	FLOOR FINISH
GW	GLASS	FR.163	FLOOR FINISH
GX	GLASS	FR.164	FLOOR FINISH
GY	GLASS	FR.165	FLOOR FINISH
GZ	GLASS	FR.166	FLOOR FINISH
H	HARDWARE	FR.167	FLOOR FINISH
HA	HARDWARE	FR.168	FLOOR FINISH
HB	HARDWARE	FR.169	FLOOR FINISH
HC	HARDWARE	FR.170	FLOOR FINISH
HD	HARDWARE	FR.171	FLOOR FINISH
HE	HARDWARE	FR.172	FLOOR FINISH
HF	HARDWARE	FR.173	FLOOR FINISH
HG	HARDWARE	FR.174	FLOOR FINISH
HH	HARDWARE	FR.175	FLOOR FINISH
HI	HARDWARE	FR.176	FLOOR FINISH
HJ	HARDWARE	FR.177	FLOOR FINISH
HK	HARDWARE	FR.178	FLOOR FINISH
HL	HARDWARE	FR.179	FLOOR FINISH
HM	HARDWARE	FR.180	FLOOR FINISH
HN	HARDWARE	FR.181	FLOOR FINISH
HO	HARDWARE	FR.182	FLOOR FINISH
HP	HARDWARE	FR.183	FLOOR FINISH
HQ	HARDWARE	FR.184	FLOOR FINISH
HR	HARDWARE	FR.185	FLOOR FINISH
HS	HARDWARE	FR.186	FLOOR FINISH
HT	HARDWARE	FR.187	FLOOR FINISH
HU	HARDWARE	FR.188	FLOOR FINISH
HV	HARDWARE	FR.189	FLOOR FINISH
HW	HARDWARE	FR.190	FLOOR FINISH
HX	HARDWARE	FR.191	FLOOR FINISH
HY	HARDWARE	FR.192	FLOOR FINISH
HZ	HARDWARE	FR.193	FLOOR FINISH
I	INSULATION	FR.194	FLOOR FINISH
IA	INSULATION	FR.195	FLOOR FINISH
IB	INSULATION	FR.196	FLOOR FINISH
IC	INSULATION	FR.197	FLOOR FINISH
ID	INSULATION	FR.198	FLOOR FINISH
IE	INSULATION	FR.199	FLOOR FINISH
IF	INSULATION	FR.200	FLOOR FINISH
IG	INSULATION	FR.201	FLOOR FINISH
IH	INSULATION	FR.202	FLOOR FINISH
II	INSULATION	FR.203	FLOOR FINISH
IJ	INSULATION	FR.204	FLOOR FINISH
IK	INSULATION	FR.205	FLOOR FINISH
IL	INSULATION	FR.206	FLOOR FINISH
IM	INSULATION	FR.207	FLOOR FINISH
IN	INSULATION	FR.208	FLOOR FINISH
IO	INSULATION	FR.209	FLOOR FINISH
IP	INSULATION	FR.210	FLOOR FINISH
IQ	INSULATION	FR.211	FLOOR FINISH
IR	INSULATION	FR.212	FLOOR FINISH
IS	INSULATION	FR.213	FLOOR FINISH
IT	INSULATION	FR.214	FLOOR FINISH
IU	INSULATION	FR.215	FLOOR FINISH
IV	INSULATION	FR.216	FLOOR FINISH
IW	INSULATION	FR.217	FLOOR FINISH
IX	INSULATION	FR.218	FLOOR FINISH
IY	INSULATION	FR.219	FLOOR FINISH
IZ	INSULATION	FR.220	FLOOR FINISH
J	JOB	FR.221	FLOOR FINISH
JA	JOB	FR.222	FLOOR FINISH
JB	JOB	FR.223	FLOOR FINISH
JC	JOB	FR.224	FLOOR FINISH
JD	JOB	FR.225	FLOOR FINISH
JE	JOB	FR.226	FLOOR FINISH
JF	JOB	FR.227	FLOOR FINISH
JG	JOB	FR.228	FLOOR FINISH
JH	JOB	FR.229	FLOOR FINISH





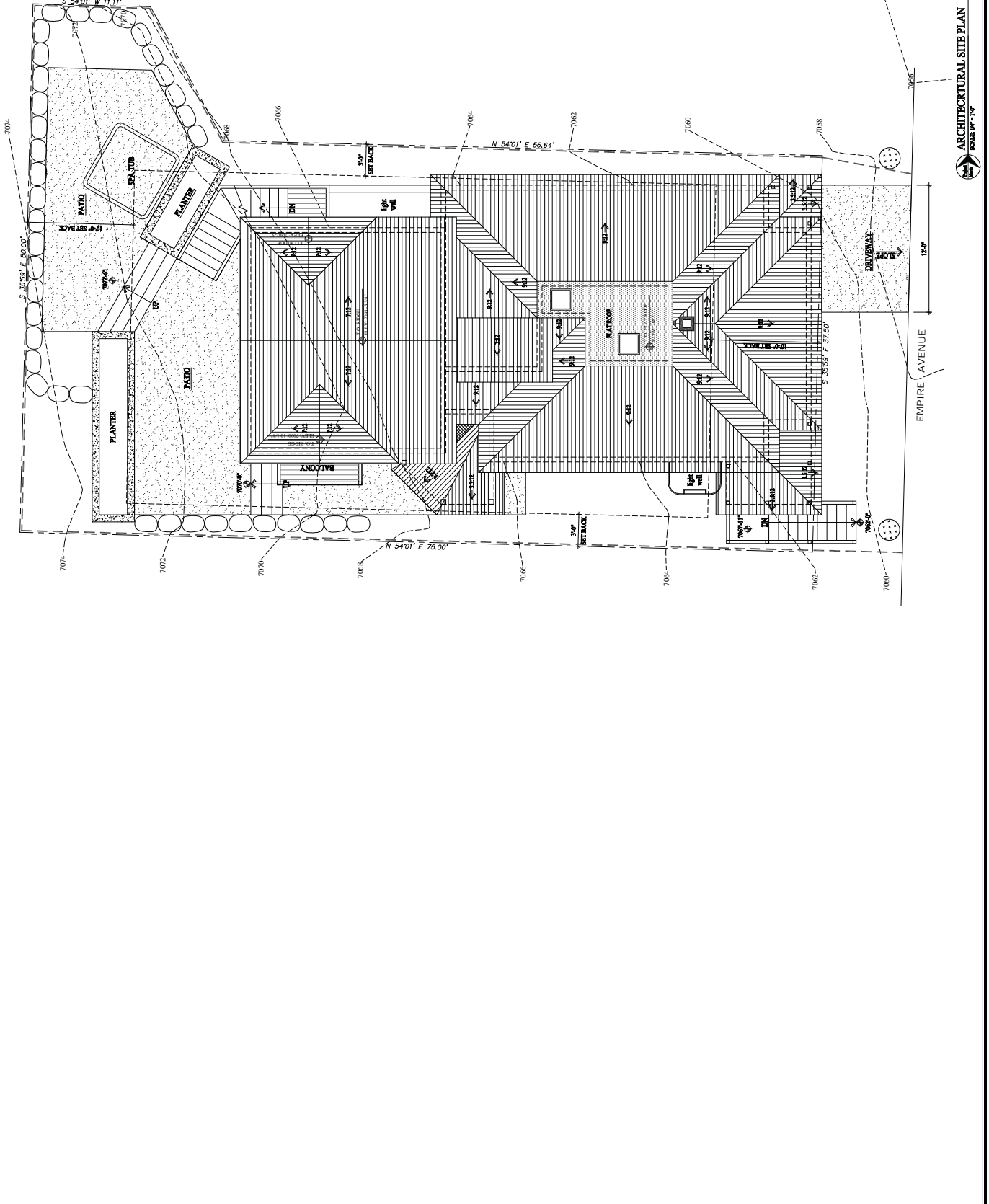


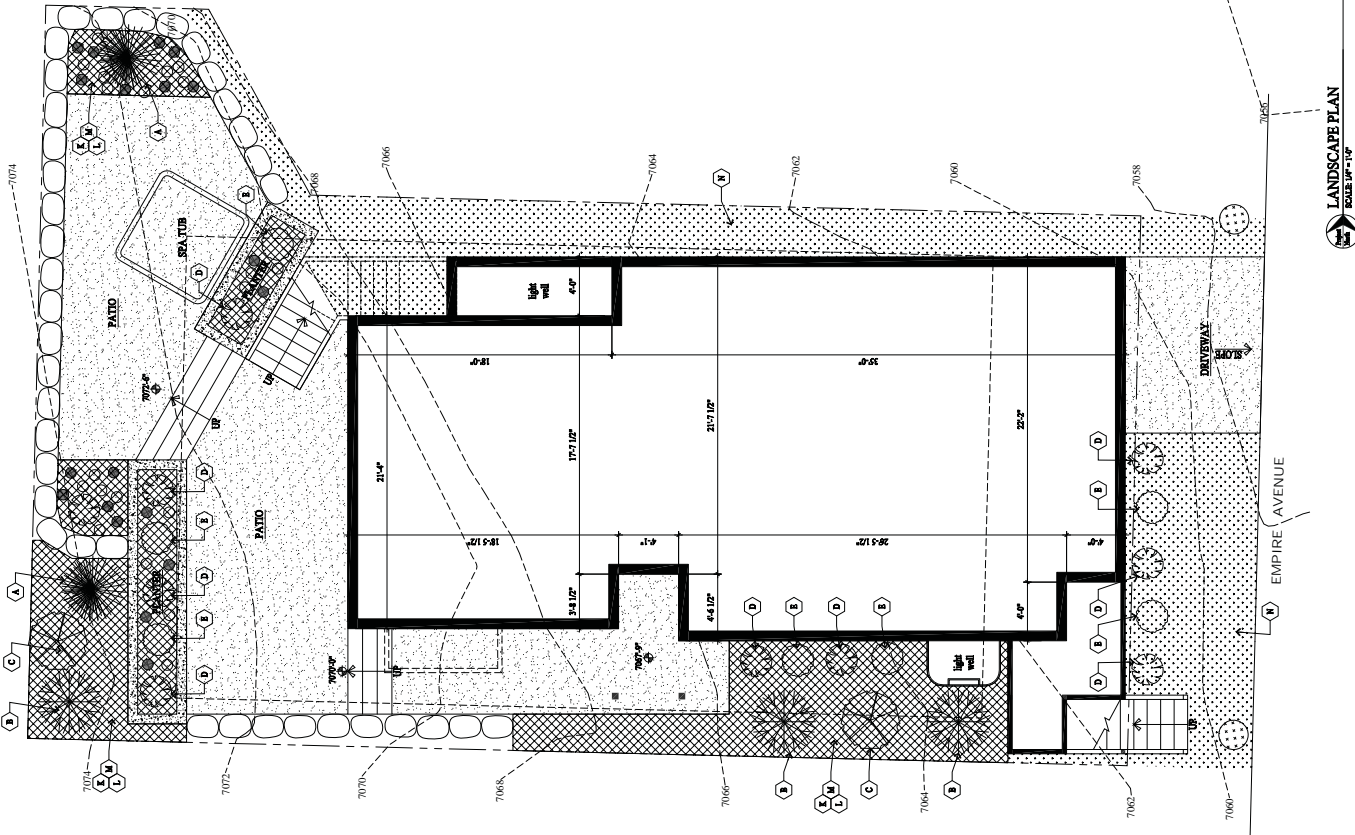
**GENERAL NOTES**

1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE TO THE STREET OR TO AN APPROVED DRAINAGE LOCUS BUT NOT ONTO THE ADJACENT PROPERTY. THE GRADE FIRST TO BE SET - SEE SCHEDULE 1. THE GRADE SHALL BE SET TO BE 1/4" BELOW THE FINISH GRADE OF THE ADJACENT PROPERTY.
2. ALL UTILITY LINES SHALL BE LAD BACK A MINIMUM OF 3' FROM THE HOUSE.
3. ALL UTILITY LINES SHALL BE INSTALLED OVER A CONCRETE PAD OR SHALL BE PROTECTED BY AN APPROVED METHOD. ALL UTILITY LINES SHALL BE FACED OVER THE EXISTING GRADE. ALL UTILITY LINES SHALL BE FACED TO EXCEED 4" EXPOSED HEIGHT.
4. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH IRC CHAPTER 4. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
5. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
6. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
7. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
8. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
9. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
10. ALL UTILITY LINES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

**LEGEND**

- SEWER MANHOLE
- GAS VALVE
- WATER VALVE
- WATER METER
- POWER POLE
- LOD POLE
- SEWER DRAINAGE FLOW
- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- WATER LATERAL LINE
- SEWER LATERAL LINE
- OVER HEAD UTILITY LINE





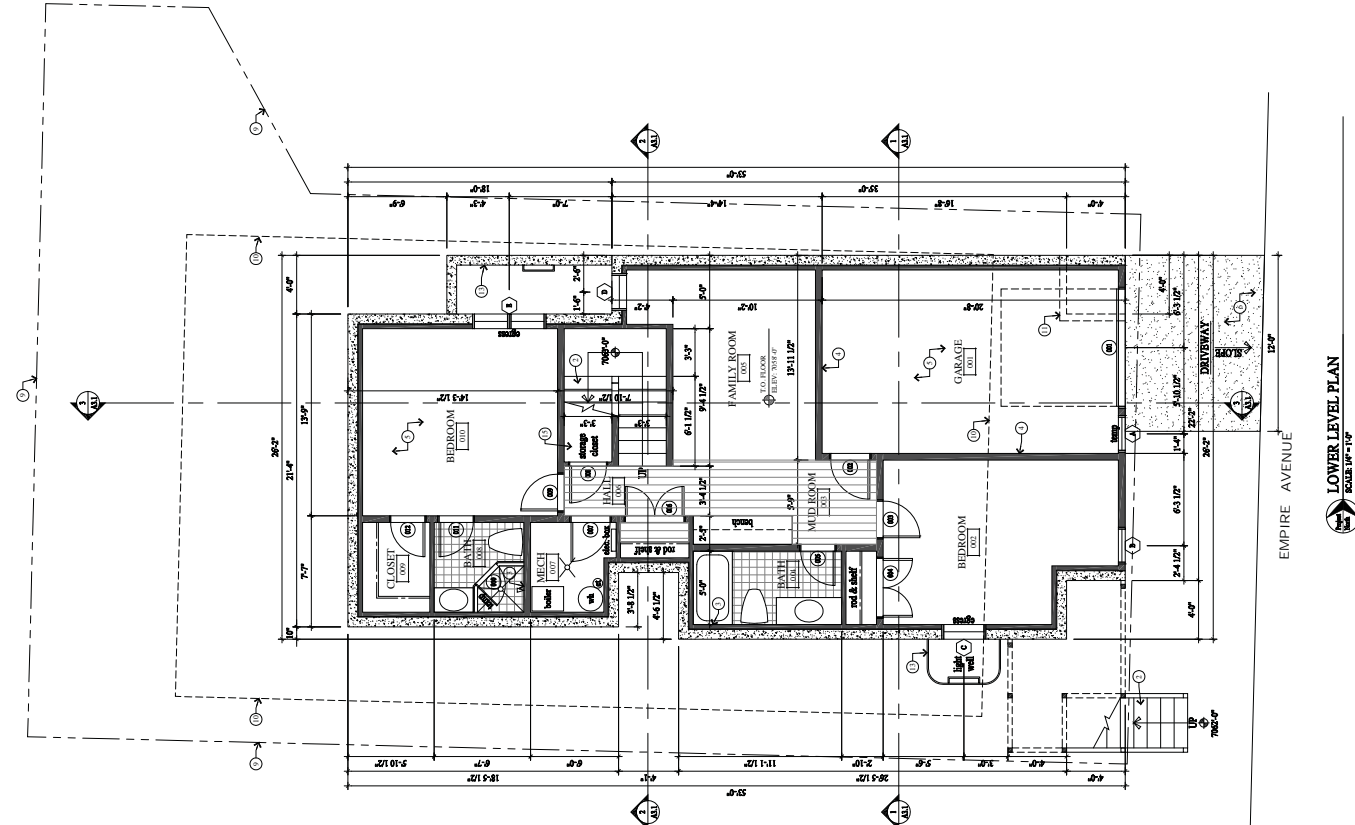
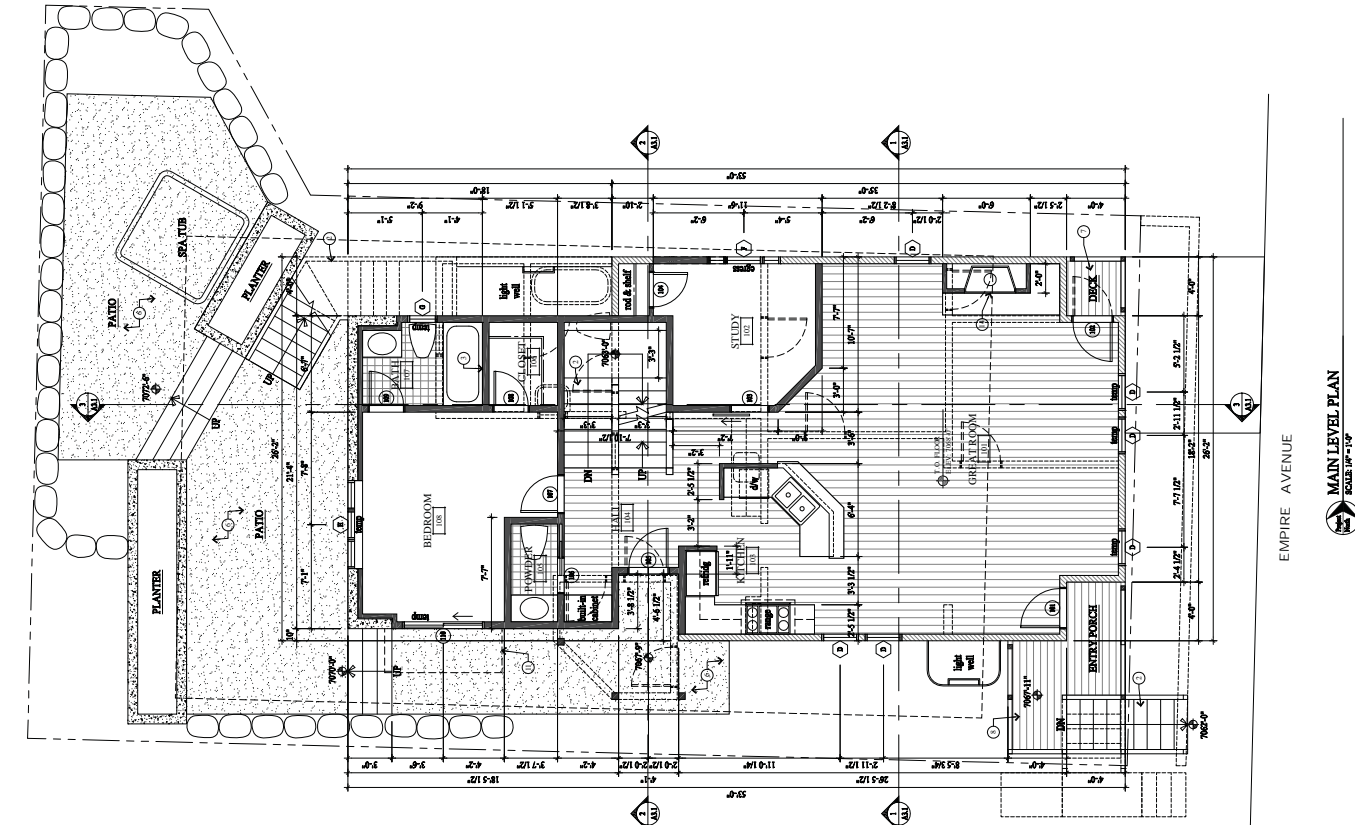
- PLANTING NOTES**
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION OF ANY PLANTING OR STRUCTURE. ANY DAMAGES TO EXISTING UTILITIES SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN RISK.
  - ALL PLANT MATERIAL SHALL BE COMPATIBLE TO CURRENT AMERICAN ASSOCIATION OF PLANTING CONTRACTORS (A.A.P.C.) STANDARDS.
  - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DRAWINGS, DETAILS, AND SPECIFICATIONS.
  - ALL PLANTING SHALL BE GUARANTEED. IN CASE OF A GUARANTEE, THE CONTRACTOR SHALL VERIFY ALL GUARANTEES. IN CASE OF A GUARANTEE, THE CONTRACTOR SHALL VERIFY ALL GUARANTEES.
  - NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
  - ALL PLANTS SHALL BE GUARANTEED FOR 3 YEARS.
  - ALL PLANTS SHALL BE GUARANTEED FOR 3 YEARS.
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  - ALL PLANTS SHALL BE GUARANTEED FOR 3 YEARS.
  - ALL PLANTS SHALL BE GUARANTEED FOR 3 YEARS.
  - NO BARE ROOT STOCK SHALL BE USED.

SYMBOL	EST QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	COMMENTS
(1)	2	Colorado Blue Spruce	<i>Picea pungens</i>	6'-8'	15'	
(2)	4	Rocky Mountain Juniper	<i>Juniperus scopulorum</i>	3'-4'	6'-8'	
(3)	2	Aspen	<i>Picea canadensis</i>	3'-4'	6'-8'	
(4)	9	Red Twig Dogwood	<i>Cornus sericea</i>	5'-6"		Spacing as noted on plan
(5)	7	Mountain Sage	<i>Artemisia tridentata</i>	5'-6"		Spacing as noted on plan
(6)	10	Blackberry	<i>Rubus occidentalis</i>	1'-0"	12"-18"	Distribute Equally
(7)	10	Cauliflower	<i>Brassica cauliflora</i>	1'-0"	12"-18"	Distribute Equally
(8)	10	Thimbleberry	<i>Rubus parviflorus</i>	1'-0"	12"-18"	Distribute Equally
(9)	10	Shrub Rose	<i>Rosa rugosa</i>	1'-0"	12"-18"	Distribute Equally
(10)	30	Mountain Yucca	<i>Yucca montana</i>	4"-6"	12"-18"	Distribute Equally
(11)	30	Cherry Blossom	<i>Prunella serrata</i>	4"-6"	12"-18"	Distribute Equally
(12)	35	Wood Choke	<i>Aegilops triuncialis</i>	Small	9" Thick Layer	
(13)	475	Native Grass Seed Mix		1.00/1500	Hydrated	See seed mix table

**NATIVE GRASS SEED MIX:**  
This seed mix is a blend of native grasses. The seed mix shall be applied at a sufficient rate to achieve a minimum coverage of 80% in a representative 10'x10' area. Coverage does not include 80% seedling survival. Apply at a rate of 80 lbs/acre in the following proportions:  
10% Indian Bunchgrass, 10% Alpine Bluegrass, 10% Bluegrass, 10% Fescue, 10% Hard Fescue, 10% Kentucky Bluegrass, 10% Meadow Fescue, 10% Perennial Ryegrass, 10% Smooth Bromegrass, 10% Tall Fescue, and 10% Timothy.

- WALL LEGEND**
- 1. EXISTING 8" THICK WALL
  - 2. EXISTING WALL TO BE REMOVED
  - 3. NEW CONCRETE WALL
  - 4. NEW STUCCO WALL
  - 5. RECONSTRUCTED WALL
  - 6. RECONSTRUCTED WALL
  - 7. RECONSTRUCTED WALL
  - 8. RECONSTRUCTED WALL
  - 9. RECONSTRUCTED WALL
  - 10. RECONSTRUCTED WALL

- KEY NOTES**
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
  2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
  3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
  4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
  5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
  6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
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  19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.
  20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 UTAH BUILDING CODE AND ALL APPLICABLE REGULATIONS.



**UPPER LEVEL PLAN**  
 ROOF PLAN

**911 EMPIRE RESIDENCE**  
 HISTORIC DISTRICT DESIGN REVIEW SET  
 911 EMPIRE AVENUE  
 PARK CITY, UTAH 84060

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 P: 435-649-7263, E-mail: degre@jdaarchitect.com

**WALL LEGEND**

- 1. EXISTING 2x4 FRAMED WALL
- 2. EXISTING CONCRETE WALL TO BE DEMOLISHED
- 3. NEW 2x4 FRAMED WALL
- 4. NEW CONCRETE WALL
- 5. EXISTING METAL LATH WALL
- 6. NEW METAL LATH WALL
- 7. EXISTING 8" CMU WALL
- 8. NEW 8" CMU WALL
- 9. EXISTING 12" CMU WALL
- 10. NEW 12" CMU WALL
- 11. EXISTING 16" CMU WALL
- 12. NEW 16" CMU WALL
- 13. EXISTING 20" CMU WALL
- 14. NEW 20" CMU WALL
- 15. EXISTING 24" CMU WALL
- 16. NEW 24" CMU WALL
- 17. EXISTING 30" CMU WALL
- 18. NEW 30" CMU WALL
- 19. EXISTING 36" CMU WALL
- 20. NEW 36" CMU WALL
- 21. EXISTING 42" CMU WALL
- 22. NEW 42" CMU WALL
- 23. EXISTING 48" CMU WALL
- 24. NEW 48" CMU WALL
- 25. EXISTING 54" CMU WALL
- 26. NEW 54" CMU WALL
- 27. EXISTING 60" CMU WALL
- 28. NEW 60" CMU WALL
- 29. EXISTING 72" CMU WALL
- 30. NEW 72" CMU WALL
- 31. EXISTING 84" CMU WALL
- 32. NEW 84" CMU WALL
- 33. EXISTING 96" CMU WALL
- 34. NEW 96" CMU WALL
- 35. EXISTING 108" CMU WALL
- 36. NEW 108" CMU WALL
- 37. EXISTING 120" CMU WALL
- 38. NEW 120" CMU WALL
- 39. EXISTING 144" CMU WALL
- 40. NEW 144" CMU WALL
- 41. EXISTING 168" CMU WALL
- 42. NEW 168" CMU WALL
- 43. EXISTING 192" CMU WALL
- 44. NEW 192" CMU WALL
- 45. EXISTING 216" CMU WALL
- 46. NEW 216" CMU WALL
- 47. EXISTING 240" CMU WALL
- 48. NEW 240" CMU WALL
- 49. EXISTING 270" CMU WALL
- 50. NEW 270" CMU WALL
- 51. EXISTING 300" CMU WALL
- 52. NEW 300" CMU WALL
- 53. EXISTING 324" CMU WALL
- 54. NEW 324" CMU WALL
- 55. EXISTING 360" CMU WALL
- 56. NEW 360" CMU WALL
- 57. EXISTING 408" CMU WALL
- 58. NEW 408" CMU WALL
- 59. EXISTING 456" CMU WALL
- 60. NEW 456" CMU WALL
- 61. EXISTING 504" CMU WALL
- 62. NEW 504" CMU WALL
- 63. EXISTING 540" CMU WALL
- 64. NEW 540" CMU WALL
- 65. EXISTING 576" CMU WALL
- 66. NEW 576" CMU WALL
- 67. EXISTING 612" CMU WALL
- 68. NEW 612" CMU WALL
- 69. EXISTING 648" CMU WALL
- 70. NEW 648" CMU WALL
- 71. EXISTING 684" CMU WALL
- 72. NEW 684" CMU WALL
- 73. EXISTING 720" CMU WALL
- 74. NEW 720" CMU WALL
- 75. EXISTING 756" CMU WALL
- 76. NEW 756" CMU WALL
- 77. EXISTING 792" CMU WALL
- 78. NEW 792" CMU WALL
- 79. EXISTING 828" CMU WALL
- 80. NEW 828" CMU WALL
- 81. EXISTING 864" CMU WALL
- 82. NEW 864" CMU WALL
- 83. EXISTING 900" CMU WALL
- 84. NEW 900" CMU WALL
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## PHYSICAL CONDITIONS REPORT

**Detailed Description of Existing Conditions.** Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.

### 1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

#### Elements/Features: Property Description & Wood Tie Retaining Wall

This involves:  An original part of the building  
 A later addition Estimated date of construction: 1980

Describe existing feature:

***The property slopes uphill from east to west off Empire Avenue. From front property line to back property line is 75 feet and slopes uphill approximately 14 feet, with the majority of the slope being in the rear yard (west). The front of the property off Empire Avenue has a 2 foot high wood tie retaining wall that runs parallel with the street and is in the city's R.O.W.***

***There is no significant vegetation on the property, it's all natural grasses.***

Existing Condition:  Excellent  Good  Fair  Poor

Photo Numbers: 1, 1A

Illustration Numbers: 1 of 1, A0.1, A0.2



**Photo #1: Wood tie retaining wall**



**Photo #1A: Wood tie retaining wall**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Elements/Features: Entry Stairs & Railing**

This involves:  An original part of the building  
 A later addition

Estimated date of construction: 1980

Describe existing feature:

***The stairs and railing on the southeast entry porch are not original to the house and are in need of repair. The railing on the northeast porch is not original and needs repair.***

Existing Condition:  Excellent  Good  Fair  Poor

Photo Numbers: 2, 3 Illustration Numbers: AB.1

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



**Photo #2: Southeast entry stairs & railing**



**Photo #3: Northeast porch railing**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Elements/Features: Concrete Block Retaining Wall & Wood Fence**

This involves:  An original part of the building

A later addition

Estimated date of construction: 1980

Describe existing feature:

***The rear patio has a 4 foot high concrete block retaining wall. From the top of retaining wall to the rear property line, the grade slopes up about 6 feet. The wood fence runs across the rear property (north & south) and continues down the north side of the property (east & west) to the rear of the house.***

Existing Condition:  Excellent  Good  Fair  Poor

Describe any deficiencies:

Photo Numbers: 4, 5 Illustration Numbers: \_\_\_\_\_



**Photo #4: Concrete block retaining wall**



**Photo #5: West & North wood fence**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



## 2. Structure

Use this section to describe the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

### Elements/Features: Historic Form & Structure

This involves:  An original part of the building  
 A later addition

Estimated date of construction: 1895 \_\_\_\_\_

Describe existing feature:

***The existing structure at 911 Empire Avenue was built in 1895 for Earnest Lynn Kimball. The house is a one story pyramid variant form. The two corner porches on the front façade are recessed into the structure. The stairs to entry porch on the south side are not original to the house. The enclosed porch on the southwest corner was built between 1908 –1929. The rear addition on the northwest was built sometime after 1941. The posts on the porches are lathe turned topped with decorative brackets with a spindle band between the posts. The existing structure has no foundation and all post and bearing walls sit on soil.***

Existing Condition:  Excellent  Good  Fair  Poor

Photo Numbers: 2, 3, 6, 7, 8, 9, 14, 15

Illustration Numbers: AB.1

**Photo #6: Bearing walls and post on soil**



**Photo #7: Bearing walls and post on soil**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

### 3. Roof

Use this section to describe the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Supplemental pages should be used to describe additional elements and features.

#### Elements/Features: Roof Assembly

This involves:  An original part of the building  
 A later addition Estimated date of construction: 1895 - 1941

Describe existing feature:

***The main roof form is a pyramid variant with a hip roof projecting east off the main form. The main pyramid/hip has a 9:12 pitch. The lower covered entry porches have a 3.5:12 hipped shed, built 1895. The enclosed porch on the southwest corner built between 1908 – 1929 has a 3.5:12 hipped shed. The rear northwest addition of the house has a simple 4.5:12 pitch and 3:12 pitched shed running west off the rear of the house, built after 1941. The roof material is asphalt shingles (non-historic) over wood shake shingles (historic) over 1x10 skip plank (historic) over 2x4 roof joist (historic) @ 24" o.c. The rear northwest addition has a metal roof. The flashing on the flat roof is in need of repair. All drip metal, fascia and soffit needs repair. The asphalt shingles are coming off and needs repair.***

Existing Condition:  Excellent  Good  Fair  Poor

Photo Numbers: 8, 9

Illustration Numbers: AB.1

**Photo #8: West elevation**



**Photo #9: South elevation**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



**4. Chimney**

Use this section to describe any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

**Elements/Features: Masonry Chimney**

This involves:  An original part of the building  A later addition Estimated date of construction: 1895

Describe existing feature:

***The masonry chimney is original to the historic 1895 structure. The chimney no longer functions as a smoke flue. The masonry chimney has been modified on the main floor and needs repair.***

Existing Condition:  Excellent  Good  Fair  Poor

Photo Numbers: 8, 9

Illustration Numbers: AB.1



## 5. Exterior Walls

Use this section to describe exterior wall construction, finishes, and masonry. Be sure to also document other exterior elements such as porches and porticoes separately. Must include descriptions of decorative elements such as corner boards, fascia board, and trim. Supplemental pages should be used to describe additional elements and features.

### Elements/Features: Exterior Wall Assembly

This involves:       An original part of the building  
                          A later addition                      Estimated date of construction: 1895 - 1941

Describe existing feature:

***The 1895 historic structure wall assembly: 1x8 horizontal lap siding on 1x12 horizontal and vertical plank on 2x4 studs @ 24" o.c.***

***The enclosed porch on the southwest corner built between 1908 –1929 wall assembly: 1x4 vertical T&G wood siding on 2x4 studs @ 24" o.c. on 1x4 vertical T&G wood siding.***

***The rear addition built after 1941 wall assembly: 1x8 horizontal lap siding on 1x12 horizontal and vertical plank on 2x4 studs @ 24" o.c.***

Existing Condition:     Excellent     Good     Fair     Poor

Photo Numbers: 1, 2, 3, 8, 9

Illustration Numbers: AB.1

## 6. Foundation

Use this section to describe the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Supplemental pages should be used to describe additional elements and features.

**Elements/Features: *The existing structure has no foundation and all post and bearing walls sit on soil. See 2. Structure.***

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**7. Porches**

Use this section to describe the porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials. Supplemental pages should be used to describe additional elements and features.

**Elements/Features:** See 1. Site Design and 3. Roof.

**8. Mechanical System, Utility Systems, Service Equipment & Electrical**

Use this section to describe items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features.

**Elements/Features: Mechanical and Electrical system**

This involves:       An original part of the building  
                          A later addition                      Estimated date of construction: After 1941

Describe existing feature:

***The mechanical system and electrical system is dated and not code compliant.***

Existing Condition:     Excellent     Good     Fair     Poor

Photo Numbers: 10,11, 12, 13

Illustration Numbers: \_\_\_\_\_

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Photo #10: Electrical and Plumbing @ crawl space**



**Photo #11: Electrical and Plumbing @ crawl space**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Photo #12: Electrical, Plumbing and Mechanical**



**Photo #13: Electrical, Plumbing and Mechanical**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**9. Door Survey**

Total number of door openings on the exterior of the structure: 4

Number of historic doors on the structure: 4

Number of existing replacement/non-historic doors: 7

Number of doors completely missing: 0

Number of doors to be replaced: 11

<i>Door #:</i>	<i>Existing Condition (Excellent, Good, Fair, Poor):</i>	<i>Describe any deficiencies:</i>	<i>Photo #:</i>	<i>Historic (50 years or older):</i>
101	Fair	Single pane glass	3	Historic
102	Fair	Single pane glass	14	Historic
103	Poor	Single pane glass	15	Historic
104	Poor			
105	Fair	Single pane glass		Historic
106	Good		19	
107	Good		21	
108	Good		21	
109	Good		17	
110	Good		21	
111	Good		17, 18	

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



## 10. Window Survey

Total number of window openings on the exterior of the structure: 13

Number of historic windows on the structure: 13

Number of existing replacement/non-historic windows: 0

Number of windows completely missing: 0

Number of windows to be replaced: 13

<i>Door #:</i>	<i>Existing Condition (Excellent, Good, Fair, Poor):</i>	<i>Describe any deficiencies:</i>	<i>Photo #:</i>	<i>Historic (50 years or older):</i>
W1	Poor	Single pane glass, non-operable	3, 24	Historic
W2	Poor	Single pane glass, non-operable	3, 24	Historic
W3	Poor	Single pane glass, non-operable	3, 24	Historic
W4	Poor	Single pane glass, non-operable	3, 9, 14	Historic
W5	Poor	Single pane glass, non-operable	3, 9, 14	Historic
W6	Poor	Single pane glass, non-operable	1, 9, 14	Historic
W7	Poor	Single pane glass, non-operable	9, 14	Historic
W8	Poor	Single pane glass, non-operable	1, 9, 14	Historic
W9	Poor	Single pane glass, non-operable	9,14,15,23	Historic
W10	Poor	Single pane glass, non-operable	9,14,15,23	Historic
W11	Poor	Single pane glass, non-operable	8	Historic
W12	Poor	Single pane glass, non-operable	8	Historic
W13	Poor	Single pane glass, non-operable	8	Historic

## 11. Interior Photographs

Use this section to describe interior conditions. Provide photographs of the interior elevations of each room. (This can be done by standing in opposite corners of a square room and capturing two walls in each photo.)

### Elements/Features: Interior elevations

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Photo #14: Southeast front entrance**



**Photo #15: South elevation**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Photo #16: Rear entry**



**Photo #17: Living room looking northwest**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



**Phot #18: Living room looking east**



**Photo #19: Bathroom looking northwest**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Photo #20: Bathroom sink**



**Photo #21: Bedroom #1 looking east**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.



**Photo #22: Kitchen cabinets**



**Photo #23: South elevation, windows W9 and W10**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

**Photo #24: North elevation**



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014.

# Exhibit D

## 1. Site Design

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Element/Feature: Site Design

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**The property slopes uphill from east to west off Empire Avenue. From front property line to back property line is 75 feet and slopes uphill approximately 14 feet, with the majority of the slope being in the rear yard (west). The front of the property off Empire Avenue has a 2 foot high wood tie retaining wall that runs parallel with the street and is in the city's R.O.W. There is no significant vegetation on the property, it's all natural grasses.**

## 2. Structural

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Structure

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**It is our intention to strip the existing historic structure down, removing all the contemporary material and then see what we have. We would propose to proceed as follows:**

- 1. Stabilize the historic wood structure and lift it up enough to construct a new foundation.**
- 2. Re-install the historic structure to the new foundation.**
- 3. Re-build the historic structure from the inside to meet the structural requirements of the code.**

### 3. Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: Roof

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**The roof will be rebuilt to meet the structural requirements of code and retain the historic form and appearance.**

### 4. Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Masonry Chimney

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**The masonry chimney is original to the historic 1895 structure. The chimney no longer functions as a smoke flue. The masonry chimney will be reused and rebuilt from the roof structure up.**

### 5. Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: Exterior walls

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**It is our intention to strip the existing historic structure down, removing all the contemporary material and then re-build the historic structure from the inside to meet the structural requirements of the code.**

## 6. Foundation

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: Foundation

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**A new foundation will be built that is code compliant.**

## 7. Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: Porch

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**It is our intention to strip the existing historic structure down, removing all the contemporary material and then repair as needed.**

## 8. Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: Doors

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**All historic doors will be evaluated case by case by the planning staff to determine if the doors will re-built or replaced.**



## 9. Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: Windows

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**All historic windows will be evaluated case by case by the planning staff to determine if they will re-built or replaced.**

## 10. Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Mechanical & Electrical systems

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**All Mechanical and Electrical systems will be new and code compliant.**

## 11. Additions

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: Addition

This involves:  Preservation  Restoration  
 Reconstruction  Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

**The new addition will be built on the rear of the historic form and be distinctive from the exiting home.**

**12. PROJECT TEAM**

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

- 1. Architect: Jonathan DeGray Architect, 435-649-7263, [degrayarch@qwestoffice.net](mailto:degrayarch@qwestoffice.net).**
- 2. Structural Engineer: Shen Engineers, Henry Shen, 801-466-2625, [sheneng@msn.com](mailto:sheneng@msn.com)**
- 3. Contractor: None chosen at this phase in the project.**

**13. SITE HISTORY**

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

**See Historic Site Inventory**

**14. FINANCIAL GUARANTEE**

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

**Owner will place a lien on the property in favor of the city.**

**15. ACKNOWLEDGMENT OF RESPONSIBILITY**

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Applicant: \_\_\_\_\_

# Exhibit E



**American Heritage™**  
Window Rebuilders  
*Innovative Restoration and Thermal Upgrading*

46 East Herbert Avenue • Salt Lake City, Utah 84111

3/8/17

Tom Peek,

After having inspected the windows on 911 Empire Ave., we have concluded that due to the age the damage is severe. These windows have unfortunately fallen into decay and repairing them will be very costly. If you choose to repair these windows, the finished work will not be something that will last or withstand the test of time. We recommend replication of these windows, this will ensure that the money spent on the improvement of these windows will be a sound investment.

Phil Kearns

philip@vintagewindows.com

801-359-6639

American Heritage Window Rebuilders  
46 E Herbert Ave  
SLC, UT 84111