



AGENDA

SITE VISIT – 4:00 PM – *No discussion or action will be taken on site.*

1406 Park Avenue – Site Visit will be at 4:00 PM

1055 Norfolk Avenue – Site Visit will be at 4:30 PM

MEETING CALLED TO ORDER AT 5:00 PM

ROLL CALL

ADOPTION OF MINUTES OF March 2, 2016

STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

REGULAR AGENDA – *Discussion and possible action as outlined below*

1406 Park Avenue – Determination of Significance

Public hearing and possible action

PL-15-02883 51

Planner

Grahn

1259 Norfolk Avenue – Determination of Significance

Public hearing and possible action

PL-15-02645 91

Planner

Turpen

1055 Norfolk Avenue - Material Deconstruction - Significant designation. The applicant is proposing a remodel restoration: Raise the house, restore existing historic home, add basement and garage and rear addition.

Public hearing and possible action

PL-15-02827 177

Planner

Astorga

3000 N. Highway 224 McPolin Barn - Material Deconstruction - Removal of portions of the historic roof to accommodate structural upgrades and removal of boarded windows to accommodate historically compatible windows.

Public hearing and possible action

PL-16-03117 279

Planner

Turpen

3000 N. Highway 224 McPolin Barn - Structural Upgrade and Restoration – HPB to participate in the design review of the City owned project designated as Landmark on the Historic Sites Inventory.

Public hearing and possible action

PL-16-03117 417

Planner

Turpen

Historic Preservation Updates— Review with HPB in preparation for 4.14.16 City Council quarterly update on Design Guidelines, Material Deconstruction applications, HPB’s authority to conduct design reviews, and Historic Site Inventory (HSI) Updates.

Discussion item only, no action taken

Planner

463

Grahn

Annual Preservation Award - Staff recommends the Historic Preservation Board choose one (1) awardee for the annual Preservation Award, select three (3) members to form an Artist Selection Committee, and discuss awarding commemorative plaques.

GI-15-02972 473

Planner

Grahn

Public hearing and possible action

ADJOURN

PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF MARCH 2, 2016

BOARD MEMBERS IN ATTENDANCE: David White, Lola Beatlebrox, Cheryl Hewett, Puggy Holmgren, Hope Melville, Douglas Stephens, Jack Hodgkins

E□ OFFICIO: Bruce Erickson, Anya Grahn, Hannah Turpen, Francisco Astorga, Polly Samuels McLean, Louis Rodriguez

ROLL CALL

Chair White called the meeting to order at 5:04 p.m. and noted that all Board Members were present.

PUBLIC COMMUNICATIONS

There were no comments.

ADOPTION OF MINUTES

February 3, 2016

MOTION: Board Member Beatlebrox moved to APPROVE the minutes of February 3, 2016 as written. Board Member Stephens seconded the motion.

VOTE: The motion passed unanimously.

STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

Planner Anya Grahn reported that she and Planner Turpen were working on public outreach regarding the Design Guideline Revisions. They plan to set up a webpage off the Park City Planning Department webpage to keep people informed of meetings and public outreach sessions, as well as to provide background on some of the proposed revisions.

Planner Grahn stated that the first community outreach would be to the design and building community on March 16th from 12:00-1:00 p.m. She and Planner Turpen will update the HPB on all public comments to be considered as part of the Design Guideline discussions. Planner Grahn remarked that because the outreach session is not a public meeting the HPB could not participate, but they were welcome to attend but keep silent.

Assistant City Attorney McLean explained that per the public meeting laws, if a quorum of HPB members attend and participate in a discussion they have purview over, it becomes a meeting. The public outreach sessions are not

intended to be public meetings per se. The Board members are entitled to attend to hear the comments but she requested that they listen and not participate.

Planner Grahn stated that the agenda items would be rearranged from their printed order. Prior to doing the determination of significance for 1259 Norfolk, 569 Park Avenue, and 1406 Park Avenue, the Staff wanted to first hold the work session on the Historic Sites Inventory Review to update the Board on why they were doing these reviews. It would provide the Board with an overview before they begin discussing the determinations of significance.

Board Member Melville referred to the Determination of Significance of 569 Park Avenue. She disclosed that her house is on that same block but she has no financial interest in that property or any other adjacent properties. Ms. Melville stated that in the past she has mentioned to the Planning Department that this structure should be evaluated for its historic significance. Ms. Melville understood that a new LMC applies to this determination and she believed she could fairly apply the new Code.

CONTINUATIONS (Public Hearing and Continue to Date Specified.)

1. 1055 Norfolk – Material Deconstruction and Significant Designation. The applicant is proposing a remodel restoration: raise the house, restore existing historic home, add basement and garage and rear addition.
(Application PL-15-02827)

Director Erickson requested a continuance to April 6, 2016 in order for the Staff to further work with the applicant before preparing the Staff report.

MOTION: Board Member Holmgren moved to CONTINUE 1055 Norfolk Avenue until April 6, 2016. Board Member Stephens seconded the motion.

VOTE: The motion passed unanimously.

REGULAR AGENDA – Discussion and Possible Action

1450 Park Avenue – Relocation – Significant House. The applicant is proposing to relocate the existing historic house on its lot (Application PL-15-03029)

1460 Park Avenue – Relocation – Significant House. The applicant is proposing to relocate the existing historic house on its lot (Application PL-15-03030)

Planner Grahn stated that 1450 and 1460 Park Avenue were proposing to relocate on their existing lots. She noted that 1450 Park Avenue was proposing

to relocate 8'6" inches to the west, and 1460 Park Avenue was proposing to be relocated 5'5".

Planner Grahn reported that during the last meeting the HPB requested that the applicant provide additional information, including a setback analysis of the neighboring buildings and neighboring historic houses, as well as a review of how the relocation would impact the historic character of the buildings. The Staff had included the additional analysis in the Staff report, as well as a letter from Clark Baron, who was unable to attend this evening and wanted to provide public input. Planner Grahn stated that the Staff had prepared findings of facts both in support of the relocation and against the relocation.

Planner Grahn stated that the applicant had conducted the additional analysis and they were prepared with a presentation this evening.

Rhoda Stauffer, City Housing Specialist, representing the applicant, Park City Municipal, introduced Hans Cerny, the project architect, and Steve Brown, project consultant.

Ms. Stauffer referred to page 53 of the Staff report, which was the additional analysis of 1460 Park Avenue. The additional analysis for 1450 Park Avenue was included on page 71. Ms. Stauffer noted that the analysis was similar for both structures. They primarily looked at the radical nature of the change in the historic context. She compared the Sanborn map on page 61 of the Staff report to the current oversight to show that the neighborhood had changed radically from small miner shacks to predominantly multi-unit condo buildings in that neighborhood. Ms. Stauffer reported that the National Park Service determines this property as ineligible for landmark designation simply because of that radical change. Ms. Stauffer pointed out that the setbacks in the neighborhood vary from 4' in one instance to 60' to 90' in the areas that have parking lots in front of each of the units.

Ms. Stauffer stated that the next item that allows for movement of historic property is that the new site shall convey a character similar to that of the historic site. Because the historic context is no longer there, they believe the movement of the buildings would actually enhance these historic properties because the site from the street is more apparent and readily available. The structures would be moved closer to the street but it would still allow for a 28' foot yard in front of each house.

Mr. Stauffer remarked that there was very little historic context remaining in the area, and moving the structures forward would help to appreciate the structures even more. They believed the integrity and significance of the historic buildings would not be diminished.

Board Member Melville noted that in addition to these two structures, the applicant's presentation showed a variety of other structures as well. She stated that one of the criteria is to determine that unique conditions warrant the proposed relocation/reorientation. It has to be unique conditions from the premise that a historical building should remain in place unless there are unique conditions. Ms. Melville was trying to understand how the change of context were unique conditions that would not apply to every historic place in Park City, because changes have occurred in other areas throughout Park City.

Board Member Melville stated that at the last meeting they determined that the houses could be restored in their current location. Therefore, relocation is not required for restoration. Ms. Melville was concerned about setting a precedent that if they allow this relocation, because every other historic house that is not right up to its setback could request to be moved forward in order to achieve additional square footage for development on the property.

Ms. Stauffer replied that the Code specifically states that the unique condition is the radical change since the historic context no longer exists.

Board Member Stephen asked if unique conditions were addressed in the LMC or the Design Guidelines. Planner Grahn replied that it was addressed in 15-11-13 of the LMC. She reviewed the unique conditions outlined on pages 44 and 45 of the Staff report.

Board Member Holmgren stated that on several occasions she has mentioned the old apple trees and lilac bushes on the property. She felt strongly that they should not be compromised at any time for any reason. Planner Grahn noted that the apple trees and lilac bushes were discussed as part of the material deconstruction that was previously approved. Being aware of Ms. Holmgren's comments to protect the landscaping, a condition of approval was added to address her concerns.

Board Member Melville understood that the proposal was for the site to be scraped and everything removed. Planner Grahn stated that the goal is to keep as much of the mature vegetation as possible. However, some vegetation might have to be removed or replanted due to construction activity. However, the Staff requested that if any vegetation had to be destroyed, it would be replaced with new vegetation. In addition, any new vegetation on site should be more fruit tree oriented in keeping with the existing vegetation. Ms. Holmgren pointed out that the old apple trees could not be replaced.

Board Member Melville noted that minutes from the last meeting reflect that this property was the subject of a private proposal for development by the Greenpark Co-Housing. They had asked to move the historic buildings a certain number of feet and that request was denied. Ms. Melville thought the issue of fairness was

a problem since the private developer wanted to move the structures for the same reason to get more development on the property. Since that time the Code has changed and it could be allowed under the argument of unique. Ms. Melville did not necessarily agree with the argument, and she felt strongly about the issue of fairness.

Assistant City Attorney McLean stated that it was not a fairness issue from a legal standpoint because the Code criteria has changed. Ms. McLean pointed out that the conditions were different, as explained by Council Member Matsumoto at the last meeting. When the City went under contract with the Greenpark Co-Housing Group, part of the RFP that went out indicated that the houses could not be moved based on stricter Code criteria at that time. Ms. McLean clarified that the HPB never voted to deny relocating the houses. It was a contractual agreement between the City and the Greenpark Co-Housing Group who wanted to develop the site.

Board Member Melville wanted to know why the City set forth a criteria for not allowing the structures to be moved at that time. If it was important at that time as part of the contract proposal, she questioned why it was no longer an issue. Ms. McLean replied that it was a question for the City Council. She could only say from a legal standpoint that it was no longer an issue based on the criteria.

Board Member Stephens remarked that the HPB was not evaluating this proposal based on any construction that would occur on this site. The applicant has requested to move these two homes to a different location and that was a separate issue from what would be put on the site. Mr. Stephen stated that the Board should focus on whether or not these two historic homes would retain their historical integrity if they were moved a certain distance closer to Park Avenue.

Board Member Melville pointed out that the HPB needed to make a determination on whether there were unique circumstances in order to move the home. Mr. Stephens suggested that there was too much emphasis on the word "unique". In looking at the criteria in the LMC regarding unique conditions, he was unsure how much emphasis should be put on the question of "unique" in this situation.

Board Member Hodgkins was not clear on what they were claiming as unique criteria. He recalled that at the last meeting they talked about unique criteria as trying to move the historic buildings further away from the proposed new construction to allow the historic structures to "breathe". From the comments this evening it now appeared that the unique condition were other properties in the neighborhood. Mr. Hodgkins felt there was confusion regarding the actual argument for unique conditions.

Ms. Stauffer replied that the LMC itself defines "unique" in Items 1, 2 and 3 under the conditions. She read, "Determines that unique conditions warrant the proposed relocation in the following ways: 1, 2 and 3; one being, "historic context of the building has been radically changed." Ms. Stauffer believed that was the unique condition. She Ms. McLean if she was interpreting the language correctly.

Assistant City Attorney McLean stated that it was for the HPB to evaluate it; however, based on the wording, unique conditions include but are not limited to those three items. She noted that there was an "or" between items 1, 2 and 3. Those were the type of items the Board could consider as being unique.

Board Member Hodgkins stated that he was trying to understand the historic context of the building has been radically altered. He asked if they were saying that the historic context will be radically altered by the development that goes in behind them; or that it is already radically altered by the neighborhood.

Steve Brown remarked that the question is not the historic context of the building. The question is the historical context of the surrounding neighborhood. At the last meeting the Board directed the applicant to go back and make a determination as to what the consistency was in the larger neighborhood, which is why they prepared the documents presented this evening. They did a measurement of all the setbacks along the east and west sides of Park Avenue to paint a picture that there is no consistency remaining in this particular area of town. Mr. Brown stated that the uniqueness has been disbursed over time. The request to move one home forward 8'6" and another home forward 5'5" does not in any way negate the historical context of the homes themselves, and it is not necessarily inconsistent with the lack of historical context in the larger area of Park Avenue. The applicant and the Staff believe that moving the homes forward enhances the historical significance of the home and appreciation of the historical significance. The historic significance of these homes will not be damaged in any way, and the homes would be restored to their historic architecture.

Mr. Brown stated that the primary issue is whether there is anything left that is truly unique in this neighborhood historically that would be damaged by moving the two homes forward. Mr. Brown noted that they were doing everything possible to maintain the landscaping forward. If the requested relocation is approved, the setback would still be 28'6" from the curb on Park Avenue, which is further than most homes along the thoroughfare.

Ms. Melville reiterated her continuing concern about setting a precedent. She believed every neighborhood in Park City has been radically altered from its historic setting. However, there were still a lot of historic houses and variations in setbacks and that is part of the character of those neighborhoods. Ms. Melville supported affordable housing and she agreed with developing the maximum

amount; but if everyone else wants maximum development it would impact the historic fabric.

Board Member Stephens understood Ms. Melville's concern, but he did not believe they were looking at these two homes in the context of the entire City. If they approve moving these homes forward it needs to be in the context of the surrounding built environment. He noted that if approved, the approval should make reference to that fact. Mr. Stephens agreed with Ms. Melville with regards not setting a precedent for moving historic homes; however, each case is different. For example, two homes on Upper Park Avenue are different from these two homes. If these two homes looked like the other homes on Park Avenue and multi-dwellings were not built around it, he believed this would be a different discussion. Mr. Stephens thought they needed to make their decision based on the context of what was already built and what occurred in the past. He understood that the multi-dwelling buildings were built because there was vacant land and very few houses.

Chair White understood that moving these two homes forward would not change the historic significance one way or the other. If they were two Landmark homes the question of moving them would be much different than what they were discussing now. Planner Grahn replied that he was correct. She explained that a Landmark building means that it is National Register eligible, which means it has not been relocated. There are examples of relocated buildings on the National Register such as the Miner's Hospital. However, generally if the structure is relocated it loses its National Register eligibility. Planner Grahn noted that the Historic Site Inventory Forms are very clear that even if these homes are renovated and restored to their 1904 condition they would still not be National Register eligible because of the change in the neighborhood context with the larger surrounding buildings. For that reason, these homes will remain Significant even after they have been restored.

Board Member Beatlebrox noted that last month she went on record as saying that she felt the radical change to the environment did not seem to apply. Her thinking was that the historic home was not in the middle of a ski run or an electrical transformer power station. It was just in a neighborhood with a number of other non-historic buildings. However, when she read in the Staff report that it would not be on the National Register due to the radical transformation of the lower part of Park Avenue and that the setbacks are very close to the road, she changed her opinion and now believed there has been a radical change in the neighborhood. Ms. Beatlebrox thought this was a unique situation and that moving these homes would not change their own historic value. She was less concerned about setting a precedent because it would not apply to an area that was eligible for the National Register or other neighborhoods in Old Town.

Chair White opened the public hearing.

Ruth Meintsma, a resident at 305 Woodside, did not believe the context had changed radically because there was still enough of the integrity and significance of the site that gives it the character that the town is looking to save. Ms. Meintsma stated that in looking at historic in the General Plan the lead title is character. She referred to the Sanborn map of 1907 and indicated the very edge of the ballfield on Park Avenue and a few houses north of the ballfield. The houses were consistent with the houses on Upper Park where they were close to the street in an orderly manner. The density was consistent with the upper part of Park Avenue. Ms. Meintsma pointed out where the roundhouse and the tracks divided the town and it becomes a different type of area with larger lots and more scattered homes. She spoke with someone who was born in 1930 and lived in Park City all his life. He told her that back in the day when you reached the 7-11 you were out of town. Ms. Meintsma remarked that based on that statement, the two houses in their historic setting in 1907 were at the edge of town. They did not have the same type of neighborhood and order that was found in town and they have a different character.

Ms. Meintsma presented another slide showing the streetscape. When she thinks about remaining historical context, there are two houses and those houses relate to each other in context. If it was one house alone it would be a completely different issue; but the two houses create a context on their own. They do not have the same setback, which is characteristic at the edge of town. The front yards are deeper because people in that area had larger lots as opposed to the lots in town. Ms. Meintsma pointed out that the two homes were still standing in their original historic location and they related to each other. The sites remain as they were historically. They have not been altered in any way. She thought the site itself showed a historical context.

Ms. Meintsma referred to the buildings on either side and agreed that they are different and represent a change in context, but they are residential. It is still a residential area so the context of residential remains. The density is different but other points keep it the same. Ms. Meintsma took issue with the 28 foot yard if they were moved closer to the street. She noted that 18 feet of that would be public right-of way so it would not actually be a 28 foot front yard. The public right-of-way would be in the very center of very busy, very populated activity so it would not really be a private front yard. In reality, the front yard would be ten feet and if they put up a fence the fence could not go beyond that ten feet. Ms. Meintsma presented a picture of the house at 1450 Park Avenue standing from across the street. She thought the length of the sidewalk gave an idea of how the house has its context away from the street. She asked the Board to visualize moving the house 8-1/2 feet closer to the street. It would be in the public face and not quiet and setback like the houses at the edge of town were historically. Ms. Meintsma thought a significant amount of context remained. She believed the houses in their historic location were an anchor to that area of town.

Ms. Meintsma commented on the idea that moving the house forward would enhance it. She noted that the house at 1460 is even with the adjacent condo. Moving it forward five feet would expose the house to that crazy public section of Park City. It would stick out like a "sore thumb" and it would diminish the quality of life that comes with living in a quiet historic house. In addition, if both houses were moved forward the distance being proposed, it would align the homes and that would not represent this area of town historically. These homes identify the outskirts of Old Historic Park City. It has a different character but a very important and significant character.

Ms. Meintsma felt there were misconceptions in the Findings of Fact. She stated that Finding #10 talks about pattern that has been lost, but there was never a pattern in this part of town. Finding #15 states that the site shall convey a character similar to that of the historic site and talks about the site relationship. Ms. Meintsma believed the site relationship would change. Ms. Meintsma referred to language stating that the structures were not eligible for National Historic Places. She stated that the National Register of Historic Places is a guide they can learn from, but it is not a criteria by which to judge. Character to the Park City community is different than character on the National Register. Ms. Meintsma disagreed with the statement that the streetscape has been diminished because these house actually create the streetscape. She also disagreed with the statement that all other possibilities have been explored. This is HRM, Medium density, and multi-structures are allowed. Therefore, the cottages do not have to be individual unit. She believed two triplexes would fit nicely and greatly increase open space. Ms. Meintsma believed there were several options for using the root cellar.

Jeff Love, a resident on Woodside Avenue, stated for the record that he was not against affordable housing but he was against some of what the Municipal body does. Mr. Love stated that he was well versed in the criteria because he spent 26 months fighting the City and prevailing in District Court, but he ended up spending \$100,000 over this very same criteria. Mr. Love reported that during the process he requested an advisory opinion from the Department of Commerce in Salt Lake City, the Office of the Property Rights Ombudsman. He explained that an Ombudsman is an attorney who works for the State and acts as a neutral third party. When someone feels that the Municipality is misinterpreting an ordinance they can request an advisory opinion. Mr. Love read the first statement of the advisory opinion, "Interpretation of ordinances starts with the language of the ordinance and the purposes the ordinance is intended to promote". He thought it was important for everyone to understand why the City Council and the Planning Commission put that language into the LMC in 2009. He encouraged the Board to research the reason for themselves. He stated that the first building boom in Old Town was in 2005, 2006 and 2007. During that time the residents and others were concerned about losing the historic fabric of

the community. The City started having public meetings and ended up drafting different ordinances to try to curb some of the construction. Mr. Love remarked that certain developers and individuals with historic houses moved them to the front setback to enhance their building pad in an effort to use their entire building footprint. A 700 or 800 square foot historic house was turned into a 3,000 or 4,000 square foot house. The City Council and the Planning Commission decided it needed to stop and they put on this limitation to reduce or limit that practice. Mr. Love requested that the HPB find out why the ordinance was put in place before they make a decision. He pointed out that the City adopted this ordinance and now the City as the applicant wants to do exactly what they tried to prevent.

Mr. Love stated that he asked Planner Grahn to see a copy of the pre-HDDR, DRT meeting notes. It turns out there was never a DRT meeting. He read from the design guidelines, "The Planning Department Staff will answer general questions, provide the applicant with an application packet outlining all the application requirements, and will schedule the project for a mandatory pre-application meeting with the DRT." He wanted to know why the City did not follow its own rule. This has been in place for seven years and the Staff did not know it was a mandatory meeting.

Mr. Love intended to raise perception issues this evening. He did not believe perception and reality were that far apart. In his opinion, the perception of what was going on "stinks." The City is the applicant and the Planning Department did not do the mandatory meeting. Mr. Love had read the minutes from the last meeting and commented on the number of times the Staff has said the LMC has changed. In the last meeting Council Member Matsumoto stated the following, "They were advised since they had gone out for a public RFP they could not change the rules in midstream and allow Greenpark to move the building." Mr. Love was unsure when the City started this process, but he knows from experience that it takes a long time to put together an HDDR. Mr. Love noted that in August the City Council directed the Staff look at making a number of changes that were adopted on December 17th, 2015, which included changes to the relocation and disassembly of a structure. The only change was to move the authority from the Chief Building Official and the Planning Director to the Historic Preservation Board. Mr. Love noted that the new language was added without any explanation. As the City was creating their plan, the Planning Department was changing the rules. The new rules added justification for allowing the houses to be moved. Mr. Love thought the Municipality should lead by example and follow the rules that apply to everyone else. He suggested that the City use these two historic houses as examples of how preservation should be done in Park City. Mr. Love stated that preservation is a controversial subject, and he thought everyone would agree that Rory Murphy's project at 820 Park Avenue project was the biggest preservation disaster in Town. Mr. Love noted that at least three times in the Staff report the Staff tells the HPB how to vote. He

wanted to know why the Staff could not provide a Staff report that just provides the facts instead of trying to convince the Board how to vote. He read from three places in the Staff report where the language tries to influence the Board's decision. He did not believe it was a fair process and suggested that the City fix the problem and start providing neutral Staff reports.

Mr. Love remarked that the idea of having to move the house because of the condo defense was laughable. In reality, the applicant wanted to move the houses to create a larger building pad to build more structures. That was the condition and the question is whether or not it is unique. Mr. Love thought Ms. Meintsma made great points in her comments, particular regarding the context of the two houses next to each other. Mr. Love requested that the HPB send a message to the City Council and deny this request.

Chair White closed the public hearing.

Board Member Holmgren asked if the right-of-way that Ms. Meintsma mentioned would actually cut back the front yard. Assistant City Attorney McLean stated that the setback is required to be 10 feet back from the property line; however, from where the street is, it is actually setback further. Ms. McLean noted that there is right-of-way there and the City has the ability to expand that right-of-way. To her knowledge widening Park Avenue is not anticipated in the master street plan or any other plan.

Mr. Brown explained that the dimensions of the 28'6" are 5 inches of curb, 5 feet of sidewalk, 8 feet of right-of-way and then 15 feet from the property line to the front of the homes in their proposed location. Chair White believed Ms. Meintsma was correct in estimating 18 feet. Mr. Brown stated that the sum of 5 feet of sidewalk plus 8 feet of right-of-way is 13 feet.

Director Erickson clarified that the right-of-way includes the sidewalk and the back of the curb. Therefore, the sidewalk dimension and the back of the curb dimension is included in the 18 feet of right-of-way, resulting in 13 feet of right-of-way. Mr. Brown noted that the homes will be offset to maintain their current historic orientation. They would simply be picked up and moved forward in the same orientation. From that point there is 15 feet from the property line to the beginning of the right-of-way, and then 8 feet, 5 feet and 5 inches if you include the width of the curb.

Planner Grahn pointed out that the property line does not start at the curb like it might in other parts of town where the right-of-way occurs. In this case there is the road, a sidewalk and a grassy area before the property line begins. From that property line the houses have to be setback a minimum of 15' feet. It creates a larger front yard because it also includes the right-of-way in from of the property line.

Chair White asked if moving the houses forward respects the required setback from the property line. Planner Grahn answered yes. She stated that if the houses were to be moved, the front of the house to the front property line would be 15 feet and an additional 13 feet of right-of-way before reaching the curb.

Board Member Stephens stated that Ms. Meintsma and Mr. Love made good points if they were looking at this just in the context of these two homes. However, he looks at it as if he were across the street and looking at what was going on around it. He believed that was the unique condition. Mr. Stephens stated that if the surrounding built product did not exist this would be a different question. If there were a number of houses sited around that area it would be a different issue and the zoning would be different. Mr. Stephens remarked that since the buildings have already been built they need to relate to them and that creates a unique condition that allows him to feel comfortable about moving the homes.

Board Member Stephens was more uncomfortable in not knowing whether the homes as they sit still retain their historical significance on a closer examination. He looks at them one way from across the street and a different way if he stands right in front of them. Mr. Stephens was concerned with language on page 46 of the Staff which states that these homes become the focal point of a project. He disagreed with that statement because these two homes should become the focal point for themselves and not part of the project. The frontage for these homes should be from Park Avenue. They should not be the entrance to a project behind it. Whatever is built behind it should front onto Sullivan Road and not Park Avenue. Mr. Stephens stated that in the process of design looking at the homes from the standpoint of higher up he did not believe moving the homes the distances proposed would change them. However, he was concerned that in looking at the homes closer up, the sense of public interest would be changed, as well as how they relate to what might be built behind them. Mr. Stephen stated that if the HPB chooses to approve the request to move the structures, he would suggest a condition of approval directing the Planning Department to make sure there is separation between the historic homes visually in terms of how they relate to Park Avenue.

Board Member Stephens believed that if it was the City's intention to prohibit moving homes the Land Management Code would specifically not allow it. Instead, they set up a process where it might seem appropriate to move homes. Mr. Stephens assumed that the process on Lower Park Avenue was different than the process on Upper Main Street.

Board Member Melville agreed that it was important for the City to set an example of historic preservation. Ms. Melville understood that the argument was made for unique conditions because the context has been changed; however,

she was not persuaded that the conditions were unique enough. If it was unique in this case, she could not understand why it would not set a precedent for arguing unique conditions everywhere else in town. Ms. Melville believed that everyone would be asking to move their historic home to the setback for the same reasons requested for these homes. She thought it was important to note that these homes could be restored and renovated on their current location. That may not be the case in other situations and the unique conditions under the Code are supposed to represent those situations. Ms. Melville remarked that the fact that a previous developer was not allowed to move the homes is critical to the perception of fairness, even it is currently allowed by Code.

Board Member Hodgkins thought the discussion hinged on the wording "unique condition" and he understood that the Staff was saying that the neighborhood was the unique condition. He referred to a statement in the Staff report stating that the neighborhood is preventing the structures from being a qualified building on the National Register for Historic Places. Mr. Hodgkins asked for an explanation of how the neighborhood for any historic structure would prohibit it from being listed on the National Register.

Planner Grahn understood that they always look at the neighborhood as well as the historic house. She provided an example of a historic farm house that is surrounded by commercial buildings. The historic context has been lost because the farmhouse is no longer surrounded by fields and open space as it was historically. Planner Grahn stated that individual houses on Upper Park Avenue where there is still a lot of historic integrity to the streets and the historic houses create the historic fabric is a different context that this situation where there are random houses on the same street that do not relate to each other. In contrast, the houses on Upper Park Avenue create a rhythm, scale and pattern to the neighborhood.

Board Member Hodgkins asked if these homes have ever been nominated for the National Registry. Planner Grahn did not believe so. She pointed out that it would not qualify due to the aluminum siding and the context. This is the first chance to actually restore it to look like it did historically. Board Member Hodgkins stated that he had looked at the criteria on the National Park Website for what might qualify. He noted that a number of items were listed that would prohibit National Register eligibility, but neighbor context was not listed. Moving a structure was listed. Mr. Hodgkins believed that if they approve moving the structures, they would be denying the ability to ever be listed. He thought it was an important fact for the HPB to consider. Planner Grahn understood his concern.

Ms. Stauffer remarked that changes to the structures in the past would prohibit them from ever being listed. Mr. Hodgkins disagreed. He pointed out that Planner Grahn said they have never been nominated, but that does not mean

they were denied. Planner Grahn remarked that the Historic Mining Era Residences District is a Thematic District because the sites are scattered. It is not a National Register Town District like Main Street because those buildings are all adjacent. Planner Grahn reported that when the previous consultant, Dina Blaes, reviewed this with SHPO she found that these sites would not qualify for the National Register because of the change in the context of the neighborhood. In addition, the aluminum siding and aluminum windows and the incompatible additions kept it from being nominated. Following the renovation they could look to see if the homes would be National Register eligible, but she thought it would be a hard argument to make given the changes to the neighborhood context and based on how she was taught to evaluate the National Register criteria.

Board Member Stephens stated that having gone through the process with the National Park Service it does need to be supported by SHPO. With regards to the National Park Service Website, they talk about not moving it, but his historic home on Main Street was moved 75 feet and raised a couple of feet, and it was one of two or three homes that are on the National Park Service Register. It was approved even though it had been moved, but he was unsure how it was justified.

Board Member Hodgkins asked if it was impossible for the context of the neighborhood to change again. Planner Grahn did not believe it was impossible. However, given that the surrounding structures are condo units that are often owned by HOAs and multiple owners, she thought the chances of incompatible buildings being demolished and replaced with something compatible was unlikely.

Chair White asked whether the lots these homes sit on are 25' x 75' lots or whether the lots go all the way back to the park. Mr. Cerny recalled that the lots were 200 feet deep from property line to property line. He offered to verify that number if necessary.

Board Member Beatlebrox stated that according to the Guidelines, the way to address buildings, setbacks and orientation is to maintain the existing front and side yard setbacks of historic sites. However, there is also a process for moving a building if it is in the best interest of one or other of the parties. In looking at the new Guidelines, she pointed out that the two conditions they were looking at was "or" and not "and". She wanted it clear that they did not need to meet both requirements in deciding whether the building could be moved. Ms. Beatlebrox noted that the Board would be looking at another structure that was moved later this evening. She appreciated the fact that some buildings do get moved.

Board Member Holmgren did not have a problem moving the homes forward a little bit. She has been inside those buildings and she would like to see them brought back to what they were historically, and to become a show case on Park

Avenue for preservation. Ms. Holmgren agreed that the entrance to the back of the property should be off of Park Avenue. It should not become a driveway or a pass through. The homes are cute places that have been badly abused. In her opinion it is demolition by neglect. She thought with renovation and good landscaping they could highlight how good these homes can be. Ms. Holmgren expressed her opinion that in many cases changing the rules can be beneficial.

MOTION: Board Member Melville moved to DENY the relocation of the property located at 1450 Park Avenue according to the Findings of Fact and Conclusions of Law on page 49-50 of the Staff report, with an additional Finding that the evidence presented shows that the structure can be renovated and restored at its current location. Board Member Hodgkins seconded the motion.

VOTE: The motion failed 2-5. Board Members Melville and Hodgkins voted in favor of the motion. Board Members Holmgren, Hewett, Beatlebrox, Stephens and White voted against the motion.

Chair White called for another motion.

MOTION: Board Member Stephens moved to APPROVE the relocation of the house at 1450 Park Avenue as proposed in accordance with the Findings of Fact, Conclusions of Law and Conditions of Approval found in the Staff report. Board Member Holmgren seconded the motion.

Board Member Melville did not believe they could approve Finding of Fact #21 which states, "All other alternatives to relocation have been reasonably considered prior to determining relocation of this building" because the evidence presented finds that it can be restored without moving it. Ms. Melville requested that the Mr. Stephen amend his motion to strike Finding of Fact #21.

Board Member Beatlebrox asked if all the language in Finding of Fact #21 has been disproved. Ms. Melville read the entire Finding and asked if the Board wanted to approve this based on maximizing development. Ms. Beatlebrox thought Mr. Stephens was clear in making sure that whatever occurs in the rear of the lot was very distinct from the two historic houses. Mr. Stephens concurred with Ms. Melville because the purview of the HPB is not to limit the number of affordable housing units or have consider it in any way as part of this approval process.

Board Member Stephens amended his motion to delete Finding of Fact #21. Board Member Holmgren seconded the amendment to the motion.

VOTE: The motion passed 5-2. Board Members Holmgren, Hewett, Beatlebrox, Stephens and White voted in favor of the motion. Board Member Melville and Hodgkins voted against the motion.

MOTION: Board Member Stephens moved to APPROVE the relocation of the historic house at 1460 Park Avenue as proposed and in accordance with the Findings of Fact, Conclusions of Law and Conditions of Approval found in the Staff report, with the exception of striking Finding of Fact #21. Board Member Holmgren seconded the motion.

VOTE: The motion passed 5-2. Board Members Beatlebrox, Hewett, Holmgren, Stephens and White voted in favor of the motion. Board Members Melville and Hodgkins voted against the motion.

Findings of Fact – 1450 Park Avenue

1. The property is located at 1450 Park Avenue, Lot 2 of the Retreat at the Park Subdivision.
2. The historic house is listed as Significant on the Historic Sites Inventory.
3. The house was originally constructed c. 1904, per the Historic Site Inventory (HSI) Form, as a cross-wing. Following its initial construction, several additions were constructed on the rear elevation of the original cross-wing form. Material alterations, such as the asbestos siding, aluminum windows, and metal porch, were added starting in the 1940s.
4. On December 8, 2015, the Planning Department received a Historic District Design Review (HDDR) application for the renovation of the historic house at 1450 Park Avenue; the application was deemed complete on December 17, 2015. The HDDR application is still under review by the Planning Department.
5. The Historic Preservation Board approved the request for Material Deconstruction on February 2, 2016.
6. The applicant proposes to relocate the existing historic house 8'6" to the west, towards Park Avenue, as part of this renovation in order to construct three (3) new affordable housing cottages behind the historic house.
7. The proposal to relocate complies with LMC 15-11-13 Relocation and/or Reorientation of a Historic Building or Historic Structure.
8. The Planning Director and the Chief Building Official gave input that unique conditions warrant the proposed relocation and/or reorientation on the existing Site.
9. There are unique conditions that warrant the relocation of the historic house on its site as the context of the building's setting has been so radically altered that its present setting does not appropriately convey its history.
10. The 1907 Sanborn Fire Insurance map shows the neighborhood characterized by smaller single-family residences and accessory structures on larger lots. This development pattern did not have consistent setbacks, lot sizes, or a high urban density. This pattern has

- been largely lost and replaced by multi-family housing developments that have smaller side and rear yard setbacks.
11. The density of the neighborhood has increased, which has significantly diminished the historic integrity of the streetscape.
 12. Further, these new developments do not have consistent front yard setbacks with setbacks varying from 4 feet to over 90 feet.
 13. Much of the street is characterized by parking lots in front yard setbacks.
 14. The relocation will enhance the ability to interpret the historic character of the site as it will allow the house to become a focal point of project as well as the streetscape as a whole.
 15. The new site shall convey a character similar to that of the historic site, in terms of scale of neighboring buildings, materials, site relationships, geography, and age.
 16. Relocating the house 8'6" to the front of the lot will not diminish its historic integrity and significance as, even once restored, the house will not be eligible for the National Register of Historic Places due to the changes of its historic context.
 17. There are not consistent front, side, or rear yard setbacks that characterize this portion of Park Avenue's streetscape.
 18. The neighborhood has transitioned from historic houses on large lots with a low urban density to multi-family condominium projects with varying setbacks that have created a higher urban density.
 19. The relocation will not diminish its relationship with neighboring properties, but rather allow the historic house to have greater visibility among its neighbors.
 20. The integrity and significance of the historic building will not be diminished by relocation. There is little historic context remaining due to the loss of neighboring historic houses, the development of large condominium dwellings that dwarf this site, and the variety of front, side, and rear yard setbacks along Park Avenue that do not establish a clear rhythm and pattern along the streetscape.
 21. Relocation allows the historic structures to become the focal point of the new project as well as distinguish it further from neighboring non-historic structures.

Conclusions of Law – 1450 Park Avenue

1. The proposal complies with the Land Management Code requirements pursuant to the HR-M District and regarding historic structure deconstruction and reconstruction.
2. The proposal meets the criteria for relocation pursuant to LMC 15-11-13 Relocation and/or Reorientation of a Historic Building or Historic Structure.

Conditions of Approval – 1450 Park Avenue

1. The Chief Building Official and Planning Director, or their designees, shall review the Historic Preservation Plan and Relocation Plan to ensure that the historic structures are structurally stabilized in such a manner that they will survive the relocation.

Findings of Fact – 1460 Park Avenue

1. The property is located at 1460 Park Avenue, Lot 2 of the Retreat at the Park Subdivision.
2. The historic house is listed as Significant on the Historic Sites Inventory.
3. The house was originally constructed c. 1901, per the Historic Site Inventory (HSI) Form, as a cross-wing. Following its initial construction, several additions were constructed on the rear elevation of the original cross-wing form. Material alterations, such as the asbestos siding, aluminum windows, and metal porch, were added starting in the 1940s.
4. On December 8, 2015, the Planning Department received a Historic District Design Review (HDDR) application for the renovation of the historic house at 1460 Park Avenue; the application was deemed complete on December 17, 2015. The HDDR application is still under review by the Planning Department.
5. The Historic Preservation Board approved the request for Material Deconstruction on February 2, 2016.
6. The applicant proposes to relocate the existing historic house 5'5" to the west, towards Park Avenue, as part of this renovation in order to construct three (3) new affordable housing cottages behind the historic house.
7. The proposal to relocate complies with LMC 15-11-13 Relocation and/or Reorientation of a Historic Building or Historic Structure.
8. The Planning Director and the Chief Building Official gave input that unique conditions warrant the proposed relocation and/or reorientation on the existing Site.
9. There are unique conditions that warrant the relocation of the historic house on its site as the context of the building's setting has been so radically altered that its present setting does not appropriately convey its history.
10. The 1907 Sanborn Fire Insurance map shows the neighborhood characterized by smaller single-family residences and accessory structures on larger lots. This development pattern did not have consistent setbacks, lot sizes, or a high urban density. This pattern has been largely lost and replaced by multi-family housing developments that have smaller side and rear yard setbacks.
11. The density of the neighborhood has increased, which has significantly diminished the historic integrity of the streetscape.
12. Further, these new developments do not have consistent front yard setbacks with setbacks varying from 4 feet to over 90 feet.
13. Much of the street is characterized by parking lots in front yard setbacks.

14. The relocation will enhance the ability to interpret the historic character of the site as it will allow the house to become a focal point of project as well as the streetscape as a whole.
15. The new site shall convey a character similar to that of the historic site, in terms of scale of neighboring buildings, materials, site relationships, geography, and age.
16. Relocating the house 5'5" to the front of the lot will not diminish its historic integrity and significance as, even once restored, the house will not be eligible for the National Register of Historic Places due to the changes of its historic context.
17. There are not consistent front, side, or rear yard setbacks that characterize this portion of Park Avenue's streetscape.
18. The neighborhood has transitioned from historic houses on large lots with a low urban density to multi-family condominium projects with varying setbacks that have created a higher urban density.
19. The relocation will not diminish its relationship with neighboring properties, but rather allow the historic house to have greater visibility among its neighbors.
20. The integrity and significance of the historic building will not be diminished by relocation. There is little historic context remaining due to the loss of neighboring historic houses, the development of large condominium dwellings that dwarf this site, and the variety of front, side, and rear yard setbacks along Park Avenue that do not establish a clear rhythm and pattern along the streetscape.
21. Relocation allows the historic structures to become the focal point of the new project as well as distinguish it further from neighboring non-historic structures.

Conclusions of Law – 1460 Park Avenue

1. The proposal complies with the Land Management Code requirements pursuant to the HR-M District and regarding historic structure deconstruction and reconstruction.
2. The proposal meets the criteria for relocation pursuant to LMC 15-11-13 Relocation and/or Reorientation of a Historic Building or Historic Structure.

Conditions of Approval – 1460 Park Avenue

1. The Chief Building Official and Planning Director, or their designees, shall review the Historic Preservation Plan and Relocation Plan to ensure that the historic structures are structurally stabilized in such a manner that they will survive the relocation.

Chair White closed the Regular Agenda and moved into Work Session for the Historic Sites Inventory Review.

WORK SESSION – Discussion

Planner Grahn provided a brief background of the Historic Sites Inventory prior to the Board reviewing the three determinations of significance on the agenda this evening. She stated that the current Historic Sites Inventory was adopted in 2009 and contains 414 sites. A 192 of those sites are Landmark and 222 are Significant. Planner Grahn noted that the numbers were recalculated based on the DOS applications that were reviewed last Spring.

Planner Grahn stated that in December 2015 the City Council passed amendments to the LMC in order to expand the criteria for designating sites as Significant to the Historic Sites Inventory. The criteria now includes additional language to be considered such as structures that may have received a grant; if the structure was previously listed on the Historic Sites Inventory and removed; or despite non-historic additions, the structure retains its historic scale, context and materials in a manner or degree that can be reasonably restored and is consistent with the neighborhood.

Planner Grahn stated that after the City Council passed the amendments the Staff went through the Historic Sites Inventory and pulled records from Summit County to determine whether houses had been overlooked that could possibly qualify for Significant listing under the new criteria. The list of additional sites was outlined on page 339 of the Staff report. Included on the list were 569 Park Avenue, 1259 Norfolk and 1406 Park Avenue, which were on the agenda this evening.

Planner Turpen explained why the remaining structures on the list were not being considered. She reported that 222 Grant was originally included on the HSI in 2009 but it was removed from the HSI in 2011. It was removed because the consultant at the time found photographic evidence showing that the structures was not in a photo from 1965; however, it was present in a photo in 1978. The consultant determined that the structure was constructed between 1965 and 1978. The same reason applied to 210 Grant Avenue.

Planner Grahn had conducted the analysis for 921 Norfolk. The structure was initially listed on the HSI; however it was reviewed by the HPB in March of 2010 and removed due to the number of out-of-period alterations that have occurred. Planner Grahn stated that the roof form was severely modified and it looks more like a 1970s bungalow than the original pyramid roof cottage. In looking at the floor plan, it is impossible to determine the original footprint because of the number of inline additions that have been done. Additionally, the 1970s survey and the CRSA survey both found that the alterations have made the structure incompatible with the Historic District.

Planner Grahn clarified that 39 King Road was a misprint in the Staff report because it is listed on the HSI as 39 7th Street.

Board Member Melville noted that the amendments to the LMC also included the addition of a Contributory Site category. She asked if they had considered whether or not 222 Grant Avenue, 210 Grant Avenue and 921 Norfolk could possibly qualify as Contributory Sites. Planner Grahn replied that they had not looked at Contributory, but Contributory status would not prevent demolition. It is simply an additional designation. She offered to look at the ones on Grant Avenue as possibly being contributory since their scale and massing is much smaller. She did not believe 921 Norfolk would qualify for Contributory because it does not speak to the Historic District at all.

Ms. Melville asked which structures would be considered for the category of Contributory Site. Planner Grahn stated that the Staff has been concentrating on moving through the Determinations of Significance to make sure the Historic Sites Inventory is updated. Once that process is completed they would begin looking at Contributory structures.

Chair White closed the Work Session and re-opened the Regular Agenda to discuss the Determination of Significance items on the agenda.

REGULAR AGENDA – Discussion, Public Hearing and Possible Action

Assistant City Attorney McLean noted that Park City Municipal was the applicant requesting the Determination of Significance on all three properties. The property owners have the right to address the HPB.

3. 1259 Norfolk Avenue – Determination of Significance (Application PL-15-02645)

Planner Turpen provided a brief history of the structure over its lifetime. The structure was constructed in circa 1900. It showed up on the Sanborn map for the first time in 1907 because it was outside of the Sanborn Fire Insurance area prior to that time. The front porch was added sometime between 1907 and 1929. As shown on the 1941 Sanborn Map there were no alterations to the structure.

Planner Turpen presented a photo of Park City from 1904 to 1905. There was some discussion as to whether or not this house was the one in the photo. The Staff has determined that it is the same house, but before the porch was added. Planner Turpen asked the Museum to help identify the time frame of a photo that she had found. The Museum believed the photo was taken between 1950 and 1962.

Planner Turpen noted that there were no records between the late 1960s and early 2000s for this property. In 2001 the property was awarded a grant by the Historic District Commission in the amount of \$16,500, which was a dollar for dollar match. The grant was for new foundation, structural, electrical, plumbing and mechanical improvements. The door was replaced and the owner brought back the original window openings. They also re-roofed the structure. The original exterior siding was found under the non-historic siding.

Planner Turpen stated that owner had one parcel and wanted to subdivide; however the house was located in the middle. The Historic District Commission approved moving the house at that time. The property was subdivided to create two lots and the house moved slightly to the southeast.

Planner Turpen presented a photo of the house prior to the renovation. She believed the photo was taken in 2001. She also presented a current photo taken in 2014. She outlined what was done to bring the house back to how it looked in the 1940s tax photo, as well adding a new addition below the property with a garage. Planner Turpen noted that the Historic District Commission approved the work with conditions. The garage was to be set back under the porch so it would not visually compete with the historic structure above. The materials were changed on the lower level to vertical board and batten compared to the horizontal lap siding above. The 2001 photo showed an enclosed porch on the south side. That was brought back to its original orientation and they brought back the historic window opening.

Planner Turpen remarked that a historic addition was lost on the other side of the house that was not visible in the photo. The Historic District Commission determined that bringing back this porch was more important than keeping the addition. The addition had to be removed in order to meet setbacks on the new property.

The Staff finds that this structure would not meet the criteria for a Landmark Site because it could not be on the National Register. However, Staff finds that it does meet the criteria for a Significant Site. It is older than 50 years and it received a grant. The Staff was unable to determine why it was not included in the 2009 HSI. It was a windshield survey and it was possibly just missed somehow. The Staff finds that the structure has retained much of its historic architectural features and those have been brought back. It also contributes to the Park City Mature Mining Era.

Chair White opened the public hearing.

Malia Binderly, representing her mother who is the property owner, argued that just because a building still stands in place does not necessarily mean it is historic. In addition, if an owner does things to make it look in character with the

community, that does not make it historic. Ms. Binderly believed some of the items in the Staff report were skewed. She referred to the circa 1940s photograph and noted that the actual photograph was from an appraisal that was submitted in 1963 or 1968. Ms. Binderly stated that her mother is not the original property owner and they were not part of the historic grant that was applied to the property. She emphasized that the photo being represented as the 1940s was actually much later than that in the 1960s. Ms. Binderly was able to contact the previous owner and this house is characteristic of the photo showing a 1960s car. She also pointed out that the clothes the gentleman was wearing was much later than the 1940s.

Ms. Binderly requested amending the Staff recommendation and the Findings to correctly identify the date of the photo. Planner Turpen offered to confirm the date of the tax photo with the Museum.

Ms. Binderly noted that the bottom of the form itself says Record of Assessment of Improvements. She is in the real estate business and this form was revised in 1961, as indicated on the bottom of the form. That was further evidence that the photo was taken after 1961. She was also aware that Howard Sweatfield, the record owner on the tax card, did not own the property in the 1940s.

Ms. Binderly clarified that she was raising these points because it is an upcoming issue for Park City. There are a lot of properties around them. Her property is a single family structure surrounded by a new single family homes, the Chateau Apre, which is not historic and will be demolished at some point, two single family homes behind them, and then another non-historic building, with a fourplex in front of that structure. To the right is another massive multi-unit building. She referred to the previous discussion regarding neighborhood context and noted that the same context argument also matters to her. Ms. Binderly remarked understood that the issue was specific to demolition, and her comments were directed to demolition. She has a house that was kept in character because the family has been here since the 1960s, not the 1940s. Under their own personal preference the previous owner chose to keep the characteristic nature of the house. It was never designated historic and the work that was done did not make it historic. The surrounding circumstances have made it a recreation commercial zone and there is a random historic house in the middle. She pointed out that a lot of structures in Park City are going to be over 50 years old, but that still does not mean they are historic or fit the guidelines.

Ms. Binderly appreciated what the previous owner had done, but she did not believe that moving forward her family should be denied their rights that have been afforded to others. They should also not be denied the right to be in proper context with the recreational commercial zone. If the HPB designates the house historic, they would be denying them their rights. Ms. Binderly commented on

the work that was done and why she believes the home is not eligible for historic Significance.

Ms. Binderly offered to come back with additional information if necessary if the Board wanted to continue their decision this evening.

Board Member Stephens felt there were contradictions between Ms. Binderly's comments and the Staff report. He understood that she was the current owner of the property but she was not the owner when the property was remodeled with the grant. Ms. Binderly replied that he was correct. Mr. Stephens understood from her comments that the original house was torn down, which would mean that this was an entirely new structure. Ms. Binderly stated that it is brand new. Mr. Stephens asked if that included the framing and the roof structure. Ms. Binderly answered yes. Mr. Stephens stated that based on her comment, if he had visited the site while they were doing the work with the grant it would have been a vacant site.

Chair White believed that would be easy to verify by checking to see if there is historic fabric left in the house. Mr. Stephen was confused by that claim because it would have been contrary to the grant program at that time. He could not imagine the City giving a grant to a home that would be torn down and rebuilt as a replica. Board Member Holmgren stated that she is familiar with that house because it used to be on her dog walking route. She had no recollection of that house ever being torn down.

Ms. Binderly stated that she has access to that homeowner who could provide records. Planner Turpen stated that she could research the background. The Planning Department has the Historic District Design Review for the 2002 renovation, and those plans are in the archives. The action letter also references the 1940s tax photo. If the Staff is wrong, they were also wrong in 2002, which is the photo that was referenced in terms of the porch.

Chair White asked if the Board wanted to continue this item pending additional information. Board Member Melville noticed the tax card on pages 104 and 106 of the Staff report states that the house was built in 1924 and the age being at least 25 years. That would indicate that the tax card was from 1948 or 1949, but the house was built in 1924. She asked if that was consistent with the information provided. Planner Turpen noted that the house also shows up on the 1907 Sanborn map and based on the HSI form the consultants have determined that it was built in circa 1900. That determination was supported by the Sanborn evidence.

Ms. Binderly reiterated her comment that just because there is an existing structures does not mean it is historic. She asked if a house burns down in a fire if it is designated as historic if the house is rebuilt. Or if a house is significantly

altered in a remodel does it remain historic because one board is left. She emphasized that in this case they were looking at a house that was literally brand new, even though it existed on a Sanborn map in 1907. By designating a new property as historic, they wipe out the opportunity for demolition and take away the owner's property rights.

Board Member Melville asked if this structure was reconstructed. Planner Turpen replied that the word "reconstruction" was not used in any of the documentation of the 2002 Historic District Design Review. The documents only talk about the fact that the owner was bringing back specific elements and they were lifting the structure.

Board Member Stephens stated that if this house was torn down in 2001 and a brand new home was built, Ms. Binderly would have a valid point. He believed the issue was that Ms. Binderly's claim was contrary to the way the grant program worked in 2001. He needed additional information on what took place with regards to the reconstruction. Mr. Stephens suggested that the Staff research the Historic District Commission meeting that took place to provide clarity. Planner Turpen could not recall whether there were minutes from the HDC meeting, but she could provide the Action Letter from the HDC. The action letter is very thorough and addresses each guideline and how it was met. Mr. Stephens preferred to continue the item and let the Planning Department confirm the scope of work that was done on this piece of property.

Board Member Melville was sympathetic with the reality that if this is a historic house, the fact that it is the only historic house left was a concern they all have. When they start letting the houses go and it comes down to one, the context is different and the house sticks out like a sore thumb rather than being part of a historic fabric. Ms. Melville thought it was important to keep that in mind as they look at other structures. If it is only one house, she suggested that it might be better to move the house to a historic district.

Board Member Beatlebrox asked Ms. Binderly if her mother owns the house. Ms. Binderly answered yes. She appreciated the opportunity for a continuance to allow time to research additional information.

Chair White closed the public hearing.

Board Member Hodgkins noted that in a previous meeting the Staff presented a building that was a reconstruction and there was a request for materials demolition. At that time he asked how it met the criteria for the Board to review the demolition portion. He recalled that the answer was because it was a historic site. Mr. Hodgkins thought the argument was whether or not this was a historic building or a historic site; and the question was whether it really matters because it would be subject to the same rules.

Board Member Melville thought the Code indicates that a reconstruction remains historic. Assistant City Attorney McLean referred to Section 15-11-10, which is the Determination of Significance. If it meets the criteria it does remain historic. She explained that the difference between a reconstruction and a new site is that they allow for reconstruction and reconstructed sites can be on the Inventory. Typically it is because it has gone through the process to approve a reconstruction. She pointed out that there could be a situation where a structure was reconstructed prior to that Code process, but even if it was not mandated by the City she could see no reason why it would not remain historic as long as it meets the criteria. Ms. McLean stated that the recent changes to the Code that were adopted in December makes it clear that a reconstruction could still be on the Inventory. The language also allows the site to remain on the Inventory in the case of a panelization, relocation, or reorientation.

Board Member Melville assumed there were other photos of this house from the past besides the ones presented. Planner Turpen believed she had other photos but she needed to confirm the year with the Museum because it would help to verify the year of the tax photo.

Assistant City Attorney advised against each Board member doing their own research because it needs to take place in a forum where the owner and the public have the benefit of seeing the same information. She suggested that they either schedule a site visit to the Museum to look at the evidence or ask someone from the Museum to attend the next meeting. Board Member Melville asked if the Planners could obtain the evidence from the Museum and send it to the Board. Ms. McLean answered yes. However, if the evidence was in a book or some other means that could not be moved from the Museum, they could plan a site visit.

Director Erickson believed that Planner Turpen was suggesting that the applicant visit the Museum and not the Historic Preservation Board. He stated that the HPB would take evidence from the Planners and the applicant has the right to do their own review. In accordance with Section 15-11-10(A), the HPB is making the determination on one or more of the following: Retention of historic scale, context and materials in a manner and degree which can be restored to historic form, even if it has non-historic additions, and it reflects the historical architectural character of the site or District. It will be reviewed under that criteria. The Planning Department will verify the evidence and the HPB can make the determination. The owner has the right to present additional input at the discretion of the Chair at the next meeting.

MOTION: Board Member Holmgren moved to CONTINUE the discussion on 1259 Norfolk Avenue - Determination of Significance. Board Member Beatlebrox seconded the motion.

VOTE: The motion passed unanimously.

Assistant City Attorney McLean stated that the item would be re-noticed since it was not continued to a date certain.

4. 569 Park Avenue – Determination of Significance
(Application PL-15-02879)

Planner Grahn referred to the Sanborn map on page 128 of the Staff report which showed that the house was clearly a cross-wing form. However, by 1929 it was replaced by a rectangular bungalow with a full-width front porch. The Sanborn map on page 129 shows the same bungalow form still in existence. A historic tax photo shows a full-width front porch, a pyramid roof and definitely a cross-wing bungalow. Planner Grahn stated that outside of the historic period and after 1941 three significant alterations occurred to these homes. She presented a photo showing how the hip roof form was changed to a gable. Half of the full-width front porch was filled in. A portion of the porch was left but the windows were altered. Between 1990 and 1995 the roof form was changed again to a gable on a hip roof form. The recessed porch was completely filled in and they tried to re-create the look of the bungalow by adding back the full-width front porch. At that time square porch posts and a solid rail were added, which were reminiscent of the original bungalow but not based on photographic or physical evidence. Because of the way the tax photo was taken it is difficult to determine what kind of windows would have originally been on this site. Planner Grahn assumed they were either the Chicago style windows or possibly double-hung windows. However, they have been more recently placed by vinyl windows and sliders.

Planner Grahn reported that this structure was on the 2009 Historic Site Inventory. It was removed in 2010 because they found that the alterations to the roof form had occurred outside of the historic period. This house also received grant funds in 1988 for a re-roof, replacing trim and a stone walkway. Planner Grahn stated that because the City Council adopted the Land Management Code amendments that expanded the criteria for Significant, the Staff re-reviewed this property to see if it meets the designation for Significance.

Planner Turpen reported that the Staff has determined that this site does not qualify for a Landmark site because it would not be eligible for the National Register. However, the Staff finds that it meets the qualifications for a significant site because it is at least 50 years and it received a grant in 1988. Planner Turpen stated that the current building does not reflect the architectural style or design of the original house; however, the house is compatible with the scale, context and materials use historically. The gable and hip style roof reflects the historic and architectural character of the District through its design

characteristics. The original hip roof bungalow form has been transformed to a front gable on hip form, but the Staff finds that these alterations could be removed, in which case the historical form could be restored. Planner Turpen noted that the wall plans on the north and south are still in their original location despite out-of-period additions occurring to the east and west. The Staff finds that if these were removed the historic structure could be found beneath.

Planner Grahn stated that the structure meets the criteria for contributing to regional history in that it is associated with the Mature Mining Era based on its original date of construction.

Chair White opened the public hearing.

Bill Kershaw stated that he was one of the owners of 569 Park Avenue and Todd Simpson is the other owner. He and Mr. Simpson have been coming to Park City for 30 years and they started with a timeshare. As time progressed they eventually purchased the home at 569 Park Avenue in 2009 and the primary attraction was the double-wide lot. The double-wide lot was a selling point because they each have families and at the appropriate time they could split the lot and build two homes. The idea was to give their kids the opportunity to continue in this vein because they love to ski. Mr. Kershaw pointed out that when they were looking to purchase the property no one mentioned historic significance or that there was an HSI Inventory. Until recently, they were not even aware that the site has been listed in 2009 and de-listed in 2010. They have been good neighbors and the property is well-maintained. Mr. Kershaw stated that they intended to build on the lot and consulted with Jonathan DeGray in terms of what could be built. In April 2015 a house down the street was listed for sale and unbeknownst to them it triggered a flow of letters, which he only discovered today. He has been traveling and when he pulled the agenda electronically he saw the letters. Mr. Kershaw stated that neither he nor Mr. Simpson were copied on the letters nor informed that it was occurring. The neighbors were writing letters, the Staff was responding and Staff reports were being prepared. He was completely unaware until he received an email from Assistant City Attorney McLean telling him that the issue of Significance would be addressed by the City Council. At that point he discovered that their house had been listed as Significant and then de-listed as Significant. It was a major issue because it was a critical point in their long-held plans in terms of how to manage the property to accommodate their families.

Mr. Kershaw stated that they have always been concerned about the historical nature of Park City and he was frustrated that no one approached them to see if something could be worked out. Instead, there was a City Council meeting and an outpouring from the neighbors regarding 569 Park Avenue; and the Staff was directed to relook at the LMC in light of this issue to see what could be done. Mr. Kershaw noted that as the revamping started to occur the idea of a Contributor

category was raised as a catch-all for buildings that were not Significant. The Contributory category was explored and it was discussed at length by the Planning Commission. Mr. Kershaw believed that some of the comments were very telling with respect not only to Contributory, but it could be applied to the category of Significance as well. Mr. Kershaw read from the minutes of the October 14, 2015 Planning Commission meeting, "Commissioner Phillips noted that Staff reported that Contributory sites would be identified through a survey that was not yet completed." "Commissioner Joyce understood that someone interested in purchasing a historic house would know that the house was considered Contributory before buying it rather than finding out when they went to remodel or do an addition." "The 40 year issue was kind of a moving target." Mr. Kershaw stated that Contributory was not in existence when they purchased their property, but they also did not know about the Significance issue when they purchased. Mr. Kershaw continued to read from the minutes. "Commissioner Joyce thought the term Contributory was vague." Mr. Kershaw agreed that a lot of the language that has to do with Significant and Contributory is vague and ambiguous, and it is in the eyes of the beholder. "Commissioner Joyce noted that A-frames are part of the ski culture of Park City and pre-1975, but there is no interest in preserving those structures." "Director Erickson explained that ski-era buildings are Contributory in terms of mass and scale but not particularly for the design." "Commissioner Joyce was concerned about going down the path of preserving structures that were previously determined not worth saving." "Commissioner Phillips was concerned that the process left the door open for opinionate discretion." Mr. Kershaw reiterated that it is in the eyes of the beholder.

Assistant City Attorney McLean clarified that the issue for discussion this evening was not the history but rather the criteria and the historic fabric of the house. She recommended that the owner's comments pertain to what is being discussed as opposed to the intent of the use of the house or the history of the Code change.

Mr. Kershaw argued that many of his points were apropos to what the Board would determine this evening. Specifically, "Commissioner Worel concurred about the vagueness of the Contributory concept. She was bothered by the vagueness when she read the Staff report." "Commissioner Joyce thought the language rhythm and pattern of the streetscape was vague." Mr. Kershaw believed this was an issue with respect to Significant sites. "Commissioner Band was not in favor of leaving anything vague or arbitrary. The HPB review should not be a subjective process."

Mr. Kershaw reviewed the items on the agenda regarding Significant sites that he believed it was a "road map" to their concerns. He stated that the full real issues was 15-11-10(B) – It retains its historical form as may be demonstrated but not limited by any of the following: 1) It previously received a historic grant from the

City. He stated that the third paragraph on page 128 of the Staff report directly addresses the issue of the historic grant. He read, "In 1988 historic district grant funds were issued for a re-roof, replacing trim, and a stone walkway, but we are still searching for records from this time period. Grant eligibility was likely determined by a different criteria; either by zone or extended to properties listed as Contributory. On the original Utah State Historical Society Historic Preservation Research Office Structure/Site Information Forms" Mr. Kershaw stated that in looking at the referenced form, under building conditions it says major alterations completely changed. The next lines says preliminary evaluation, not Contributory. Mr. Kershaw pointed out that the form finds that this particular house was not Contributory. He thought those statements were contrary to the idea that this was the justification for the historic grant that entitles it to be placed on a historic list that prohibits improvements or demolition.

Mr. Kershaw read the second point under (B): 2) it was previously listed on the Historic Sites Inventory or it was listed as Significant or on any reconnaissance or intensive level survey of historic resources. He agreed that it was listed, but it was found to be a mistake and that it should not have been listed.

Mr. Kershaw believed 15-11-10C, was the core of this issue. He read, "It has one or more of the following: It retains its historic scale, context, materials in a manner and degree which can be restored to historical form even if it has non-historic additions" Mr. Kershaw noted that the Staff conclusion is that it complies with that language because "the gable on hip style reflects the historical and architectural character of the District" Mr. Kershaw referred to the February 2010 Historic Site Form and the analysis of the Historic Site Inventory with respect to 569 Park Avenue. Under the discussion of workmanship and feeling of the property, the specific statement reads, "The gable on hip roof form was not used in Park City during the Mining Era, but rather seen in French colonial style buildings rarely from the late 19th Century, and Queen Anne style buildings, also rarely, from the early 20th Century. He believed that was directly contrary to the conclusion which states the gable on hip style reflects the historical and architectural character of the Mining Era District. Mr. Kershaw remarked that the contradictions were an issue and if he was a Board member it would bother him.

Mr. Kershaw stated that the way this has evolved, he and Mr. Simpson felt like they were being targeted by this new ordinance. He commented on the discussion resulting from an expert report commissioned by a neighbor about returning the site to its original form. Mr. Kershaw noted that if they did that they would lose a lot of space within the house. In summary, he stated that in 1978 the house was not Contributory. In 2009 it was found to be Significant. In 2010 it was found to be a mistake. Now in 2016, because of public uproar, the City wants to reverse the 2010 determination and make the structure Significant again. Mr. Kershaw wanted to know why no one had bothered to talk to him or Mr. Simpson before moving forward on this.

Chair White stated that it was one of his questions as well. He clarified that Mr. Kershaw was saying that while this activity was occurring neither he nor Mr. Simpson were ever notified. Mr. Kershaw replied that until he received an email from Ms. McLean he had no idea. He believed he received the email sometime in July. All he knew was that people were coming from everywhere to talk to him about his property. He became aware once it went to the City Council. Mr. Kershaw wanted it clear that he was not trying to be adversarial. He was only asking for the chance to work something out before they make their decision.

Board Member Stephens asked when Mr. Kershaw purchased the home. Mr. Kershaw replied that they closed on the house in May 2009; however, they started looking at the house and talking with the owners in January and February 2009.

Graham Gilbert, representing Todd Simpson and his wife Lila, co-owners of 569 Park Avenue. Mr. Gilbert passed out a packet and CD that contained various documents related to 569 Park Avenue. Mr. Gilbert raised a few points that he thought were very important to the decision the HPB would be making, particularly since it would be a significant decision for his clients, the property owners. Mr. Gilbert referred to page 130 of the Staff report and called out a few things that had changed. There has been a lot of talk about the roof and he believed Mr. Kershaw had made a good point that it was hip on gable, which is not typical of the Mature Mining Era. Mr. Gilbert commented on the porch and noted that it was not the original porch. The existing porch is several feet in front of the original porch. It is styled to look like a bungalow but it does not look like the original porch on the home. He stated that a chimney has been removed, a window on the south façade has been covered over, and there are vinyl windows on the front of the home and some vinyl siding. Mr. Gilbert remarked that the existing home is not the historic home and it was not restored to look like the historic home. The home has gone through several changes over time that make it less and less historic. Mr. Gilbert referred to the expert report in the Staff report that was prepared by Mr. Winter. He believed the report makes the inaccurate conclusion that the existing porch is the original porch. It is not the original porch and as Mr. Kershaw pointed out, to restore the original porch would mean taking away half the kitchen, eliminating the roof. It would require substantial work. Mr. Gilbert remarked that there were four criteria that the HPB needed to consider in making their decision; and they have to find that each of those criteria has been satisfied with respect to this property. Mr. Gilbert spoke specifically about the historic grant from 1988 that Mr. Lee received. He stated that the historic grant program has evolved over time and in 1988 the criteria applied to this grant were unclear. They do not know what was required to qualify for the grant, what conditions were placed on the grant, and there was no restrictive covenant associated with the grant or future restrictions on development. Mr. Gilbert pointed out that the grant was for a re-roof. It was not to restore the historical

character of the home. He also pointed out that after the grant was received, the home was modified again to create the hip on gable roof which is not historic. Mr. Gilbert noted that Mr. Kershaw had already talked about historical form, as well as the previous listing and how it was deemed inaccurate. The important point is that the house did not retain its historical form with respect to the roof, the porch, the chimney, the windows, the siding and other alterations. Mr. Gilbert thought Mr. Kershaw had done a good job of addressing the compatibility issue. He referred to Subpart D with respect to whether or not this qualifies as a significant site. The questions to be considered in making their decision are: 1) the association of the home within an era of historic importance; 2) The materials construction or craftsmanship of the home. Mr. Gilbert stated that the relevant historic period would be the Mature Mining Era, and this home is not reflective of the Mature Mining Era due to the significant changes. Similarly, the vinyl siding and vinyl windows are not reflective of the materials and craftsmanship during that period. Mr. Gilbert stated that to list this home as Significant would be taking a home that is clearly not significant in its architecture, and going through contortions to try and make it significant. He stated that if they care about Park Avenue and how it looks, the way to preserve it is not to list 569 Park Avenue and to allow the owners to apply for the Historic District Design Review Process and comply with the Historic District Design Guidelines. The owners care a lot about Park City and how it looks and they want to build a home that will be consistent with that look.

Wade Budge, legal counsel for Bill Kershaw, stated that he would not repeat the points that have already been argued. However, he wanted to highlight other points that he thought were important as the HPB considers this application. Mr. Budge thought the ordinance needed to be applied in a practical context as well as a legal context. One of the important aims and purposes of the City is to make sure that the historic feel of this area in Old Town is preserved. Mr. Budge stated that Park City was able to prepare the ordinance because the State has delegated authority to the City because that power has been used in a thoughtful way. Mr. Budge remarked that the delegation from the State of Utah is very narrow. It is found in two sections: Title 10-8-85.9 and also in LUDMA. Both of those sections talk about representing property rights at every step of the way. Mr. Budge agreed that it was very important that historic preservation continue in Park City because it is an important feature of this community. However, it needs to be applied in a way that stays true to the principles and the delegation of the power and authority. Mr. Budge stated that if this application that was submitted by the City is approved, they would be running afoul of the legal standards that exist in the delegation primarily due to the fact that they were dealing with a home that is not historic. Mr. Budge reiterated all the reasons why they believe it is not historic. He remarked that another component is that when they look at the criteria in the new ordinance they have to make sure it is applied in a legal way. If the Staff recommendation is that because this home received a grant in 1988 it is eligible to be declared Significant and if that interpretation is

applied in this case, it would result in a legal effect on the owners because there was no restriction on demolition in 1988. A recipient of the grant money would not be able to expect that if they received that money they would be surrendering a significant property right to later make sure of the two lots on which this home is located. Mr. Budge commented on retroactive effect. He thought the ordinance as amended could be applied to anyone who accepts a grant moving forward, and the person receiving the grant would understand that they may be deemed eligible. In case, the grant that was received was not to restore historic features. It was for the installation of non-historic trim and stonework. Mr. Budge stated that if this application is approved it will work an unlawful exaction on his clients. He noted that the US Supreme Court in a case decided last year stated that cities need to apply their ordinances in a way that does not unjustifiably burden the property owners. There is a recorded subdivision plat with two lots and everyone is aware of that subdivision plat. It would be an unjustifiable action to require his clients to always keep their property in that same place so the adjacent owners can enjoy the airflow between those two properties. Instead, it would be consistent to allow the form of this neighborhood to continue and to allow new homes to be built that are consistent with the Historic Design Guidelines. Mr. Budge stated that preventing people from making use of their lots would result in a taking of significant property rights. Actions taken by bodies to address a particular property can create Class of One situation.

Mr. Budge had prepared proposed Findings of Fact for denial since there were none for denial in the Staff report. He read the Findings as proposed: 1) Incorporate Findings one through seven in the Staff report with the modification that the date on Finding 5 be changed to circa 1941 as to that referenced photos. 2) The current building does not reflect the architectural style or design of the original circa 1923 bungalow in that it has been modified in a way that is inconsistent with the period of historic significance. 3) Nothing has changed on the building since the decision was made to delist the building due to an error in 2009, as discussed in the letter dated July 27, 2015 from CRSA Architects. 4) The new amendments do not change the fact that the home has not received a historic grant to establish or maintain a historic feature on the building. Instead, the building has been dramatically changed by its additions, including the out of period roof, porch and window elements. Further, the owners have not received notice a historic grant, no recorded notice or no restrictive covenant, and no new historic grant has been provided since the amendment of this Code was enacted in December. 5) The house has never been properly listed as a Significant historic site and that the only prior attempt to designate was done so in error and was corrected by the City in 2010. 6) To find the building a Significant historic site would work a burden on the applicants that is not necessary to address impacts associated with the owner's use of the property. 7) To make or restore the property to its historic condition would require significant re-construction, the loss of a significant portion of the kitchen, and the loss of living space. 8) Any

new structures on the two lots would have to comply with Historic Design Guidelines that are designed to protect the historic feel and appearance of the neighborhood. And these ordinance would protect the fabric and the historic components of this neighborhood.

Mr. Budge had also prepared two Conclusions of Law: 1) The existing structure located at 569 Park Avenue does not meet the required criteria in LMC Section 15-11-10(a)(2). 2) A denial of this application prevents an unconstitutional taking or exaction or burdening of owners' property rights and is consistent with the delegation of authority to this Board and to the City by the State of Utah.

Justin Keys, an attorney with Jones Waldo stated that he was representing two homeowners on Park Avenue, Linda Cox and John Browning, who own homes in close proximity to 569 Park Avenue. Mr. Keys noted that when Mr. Kershaw purchased this home it was listed as a Significant home at that time. It was delisted after that due to a misunderstanding based on comments made by Sandra Morrison. However, Ms. Morrison corrected the misunderstanding when it was brought to her attention in April of last year, and that spawned the communication Mr. Kershaw had mentioned. Mr. Keys disputed some of the legal points that were made this evening; however, he would not take time this evening to argue those points because the HPB was represented by the Assistant City Attorney and she could advise them on the legal points that were raised. He noted that many of the same legal points were raised to the City Council and the Council went ahead and adopted these amendments to the LMC. Mr. Keys stated that the question before the HPB is whether or not 569 Park Avenue meets the criteria necessary for determination that it is a Significant site under the LMC as amended. Mr. Keys reviewed the criteria on page 132 of the Staff report that the HPB would consider in making their decision. There was no dispute with criteria A because everyone recognizes that it is at least 50 years. Criteria B - Does it retain its historic form as may be demonstrated but not limited by any of the following: It previously received a historic grant from the City; or it was previously listed on the Historic Sites Inventory; or it was listed as Significant or on reconnaissance or intensive level survey of the historic resources. Mr. Keys thought it was undisputed that 569 Park Avenue meets all of the above categories. He reiterated that it was de-listed in 2010 as a result of a miscommunication from Sandra Morrison.

Mr. Keys referred to a letter from Tim Lee on page 168 of the Staff report. Mr. Lee was the prior owner who received the grant from the City and did the work with the grant money to bring it back to a closer resemblance of what it was originally. Mr. Keys urged the Board to carefully read the letter because many of Mr. Lee's statement are helpful. According to the letter a grant was awarded in the maximum amount of \$5,000. The Planning Department and HPB encouraged him to work from the historic photos to replicate the appearance of the original front porch that had been framed in. Mr. Lee worked to replicate the

original home and it received a historic preservation award. The home was included on a number of tours up to and through 2012.

Mr. Keys continued with the next criteria and noted the structure has to meet one or more of the following: It retains its historic scale, context and materials in a manner and degree which can be restored to the historical form even if it has non-historic additions. He believed Mr. Lee's letter was very important because he performed the work on the roof and addressed it in his letter. Based on the letter, Mr. Keys stated that the original roof is under the gable hip roof and could be brought back to its original form. Mr. Keys pointed out that the letter from Mr. Lee was not included and the information and evidence was not considered in the decision to de-list the home. In addition, LMC amendments in place today also changed the factors. Mr. Keys read the next criteria. It is important in local or regional history, architecture, engineering or culture associated with at least one of the following: An era of historic importance to the community; or lives or persons noteworthy; or methods of construction. He believed 569 Park Avenue meets an era of historic importance to the community because it is of the Mature Mining Era. Mr. Keys referred to the photo on page 141 which showed the home in the context of the neighborhood. He believed the importance is where the home is located and its context of the neighborhood generally. When the City Council was considering this ordinance they worried about the loss of homes that contribute to the fabric and structure of the Historic District, and they wanted to avoid piecemeal removal. Mr. Keys stated that the issue with this home is exactly what the amendments to the provision were meant to do. He noted that what started this process was a submission by Mr. Kershaw to demolish this house and it was very concerning to the residents in the area. If it were to be demolished it would impact the home values for all of the homes in the area because they would lose part of the fabric of this historical community. For that reason and because it meets the criteria, Mr. Keys thought the HPB should vote to relist the home as Significant.

Referring to a comment Mr. Keys made about previously crossing paths with Mr. Keys on another litigation matter, Mr. Budge wanted it clear the Mr. Kershaw has never met Mr. Keys. He did not want the Board to think that Mr. Kershaw was litigious or constantly crossing swords with lawyers.

John Plunkett a resident on Park Avenue, commended the HPB for volunteering for this citizen board and for listening to the insane amount of detail at each public hearing. Mr. Plunkett stated that he and his wife have redone three houses in a row on Park Avenue, including the one at 561 Park Avenue which they sold to John Browning, and which is next door to Mr. Kershaw's house. Mr. Plunkett stated that if you step back from the mountain of details and legally debate, the question is whether it is worth keeping a 93 year old house that sits in the middle of two lots, or is it better to tear it down and build two new houses. Which one is more in line with the City's goals of preservation of the historic

district. Mr. Plunkett noted that rhythm and pattern were mentioned. In looking at the Sanborn maps for 93 years a house more or less in that shape has been in that location. He believed that was a rhythm and pattern worth maintaining. Mr. Plunkett acknowledged that this house has been modified, but the question is whether any historic house in Park City has not been modified. To his knowledge, every house in the Historic District that is listed has either had major or minor modification, which is a natural part of houses over time. However, when Tim Lee redid the house in 1988, it was attempt to bring it back to something more like the tax photo. Mr. Plunket noted that Mr. Lee followed the process and went through the Planning Department, which he has done himself on four historic homes. None of the homes looked like the historic photos because they had all been modified, and he put them back as accurately as possible to match the historic photos. Mr. Plunkett believed the modification issue was intrinsic to maintaining and preserving the historic district.

Mr. Plunkett commented on significant discussion this evening regarding the rights of individual homeowners, and he agreed that all homeowners like to have their rights respected. The role of the HPB is to balance the rights of the individual homeowner against the rights of all the homeowners in the Historic District. Mr. Plunkett stated that the City has a duty to preserve and protect the investments of all historic district homeowners. The community relies on the City to fulfill that obligation and protect the value if their investments.

Chair White closed the public hearing.

Board Member Stephens asked about the process that the homeowner may have expected when he purchased the home. He wanted to know when the City began the Historic Survey Inventory. Planner Grahn believed the survey was conducted between 2007 and 2008, and it was officially adopted in 2009. Mr. Stephens asked if the City relied solely on the LMC prior to the HSI. He recalled that certain criteria within the LMC. If the structure was at least 50 years old it was expected to go through a Design Review process.

Assistant City Attorney McLean could not recall the exact process. She thought there were different renditions of the inventory prior to 2009; and that the HSI adopted in 2009 was a revamp of what already existed.

John Plunkett explained that when he moved to Park City in 1991 he obtained a copy of the LMC and the Design Guidelines from the Planning Department, as well as a written list of houses that were included in the Historic District. At that time most of the houses were listed as Contributing with the exception of a few houses that were Federal Landmarks. Mr. Stephens believed it was contributing to the thematic nomination for the Historic District. Mr. Plunkett stated that it was listed by address, and all of Park Avenue and all the residential streets were listed as Contributing. Mr. Stephens pointed out that it was not the same list that

SHPO prepared because Contributory within the City was on SHPO's list. Mr. Plunkett remarked that Derek Satchel, the historic planner in the 1990s worked on making a more official version. Chair White also recalled that Mr. Satchel was very instrumental in preparing a list. Mr. Stephens could not recall a specific list. His recollection was if a structure was 50 years or older and within an HR zone it was listed as Contributory. He believed some homes outside of the HR District were also Contributory and had to go through the historic process.

Assistant City Attorney McLean clarified that the Board needed to look at the criteria. The first criteria that talks about the grant are only indicators of retaining its historic form. Determining that the structure retained its historic home is demonstrated but not limited by the points listed. They are intended to be examples of how the HPB could find whether or not the historic form was retained.

Board Member Beatlebrox stated that she is concerned about preserving the line of historic homes and the whole neighborhood, and making sure that everyone's preservation is the same as an individual's preservation. Ms. Beatlebrox stated that there were questions regarding the impact of the new ordinance on property rights, and that this issue was raised with the City Council. She asked if Mr. Kershaw or his representative gave their opinion to the City Council when that discussion was occurring in terms of the denial of property rights and what could be done with the property.

Assistant City Attorney McLean stated that City Attorney Mark Harrington is the attorney who advises the City Council. She believed that legally the City was on firm ground because they were not taking away all use of these properties from the owners, which is the criteria for determining a taking. Furthermore, zoning is changed all the time and that changes property rights. Ms. McLean remarked that just because property rights have been altered it does not make it illegal.

Board Member Stephens understood that within the Significant Site designation the owner still has the opportunity to go through a demolition process. Planner Grahn clarified that a Significant Site cannot go through the demolition process. If the owner wanted to scrape the site completely they would have to keep the building off of the HSI because any site on the HSI is protected from demolition. If the City finds that the building was in such poor condition that it needed to be reconstructed, that would be a material deconstruction. The reconstruction would be approved by the HPB. Planner Grahn stated that a reconstruction can still be listed as Significant.

Board Member Holmgren understood that when a grant is awarded a lien is placed against the property. When the work is completed the lien is released. She believed that information would show up in a Title Search. Ms. McLean replied that liens were not placed when this home received a grant in the 1980s.

The process of placing liens when grants are awarded came later in the Grant Program. Ms. McLean explained that the purpose of the lien was to keep people from taking the grant money and then flipping the house.

Board Member Holmgren questioned why Mr. Budge was suggesting that they change the date of the tax photo from 1938 to 1941. Ms. Holmgren noted that the owners purchased the house in 2009. In 2009 the home was still on the HSI as Significant and the broker or realtor had the responsibility to inform the buyer before the house was purchased.

Board Member Hewett stated that she was not considering the grant because in her opinion it has no bearing. She thought the 93 years has a lot of bearing with regards to the streetscape. Everyone who purchases within a historic area knows that if the property is 93 years old they are buying historic property.

Board Member Melville stated that in looking at the criteria on pages 132-133, the home is at least 50 years old, it retains its historic home, previously received a historic grant, was previously listed on the Historic Sites Inventory, it was listed as Significant on any reconnaissance or intensive level historic resources, and it is important to local and regional history. Per the Code as written, Ms. Melville believed there was compliance with each of those criteria.

Assistant City Attorney McLean referred to Sub (b) and noted that Historical Form is capitalized. The definition of essential historical form in the Definition Section of the Code states, "The physical characteristics of a structure that make it identifiable as existing in or relating to an important era in the past"

Chair White stated that he was interested to hear from Mr. Keys that the original roof forms, the pyramid roof and the structure was still there and remains intact. He believed that was an important fact.

Board Member Stephens agreed with Ms. Melville because their decision is based on the criteria in the LMC as written. In 1988 there was some indication by the Historic District Commission at that time that this building was worth preserving and saving. The home was listed on the Historic Sites Inventory, and based on his own restoration experience during that time period, he would have been surprised if this home was not on some type of list as historic. Based on how the LMC was written, Mr. Stephens understood that it only needed to comply with Sub (a) and (b). It then says or (c) or (d). Mr. Stephen believed this home should be listed as Significant on the Historic Sites Inventory.

MOTION: Board Member Holmgren made a motion to list 569 Park Avenue on the Historic Sites Inventory as a Significant site in accordance with the Findings of Fact and Conclusions of Law found in the Staff report. Board Member Hodgkins seconded the motion.

VOTE: The motion passed unanimously.

Findings of Fact – 569 Park Avenue

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 414 sites of which 192 sites meet the criteria for designation as Landmark Sites and 222 sites meet the criteria for designation as Significant Sites.
2. The house at 569 Park Avenue is within the Historic Residential (HR-1) zoning district.
3. The residential structure at 569 Park Avenue was included in the 2009 HSI; however, it was removed in April 2010 due to the modifications made to the original roof form outside of the historic period based on earlier criteria.
4. In December 2015, City Council amended the Land Management Code to expand the criteria for what structures qualify to be significant sites.
5. The house was built c. 1923 during the Mature Mining Era (1894-1930). The structure appears in the 1929 and 1941 Sanborn Fire Insurance maps. A c. 1938 tax photo of Park City also demonstrates that the original low-pitch hipped-roof bungalow form.
6. Between 1958 and 1968, the hip roof was modified to a low-pitch gable. A portion of the bungalow's full-width front porch was infilled to create a recessed, partial-width front porch.
7. Between 1990 and 1995, the roof pitch was modified once again to create a gable-on-hip roof. The partial width front porch was filled in and a new full-width porch was constructed on the façade. During this renovation, bungalow-style elements such as the square porch posts and solid rail were returned; however, these were not based on physical or photographic evidence.
8. The site meets the criteria as Significant on the City's Historic Sites Inventory.
9. Built c.1923, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
10. While the current building does not reflect the architectural style or design of the original c.1923 bungalow, the gable-on-hip form reflects the Historical and Architectural character of the district through its design characteristics, including its mass, scale, composition, materials, treatments, and other architectural features that are visually compatible to the Mining Era Residences National

Register District, despite alterations made to its façade between 1990-1995.

11. The original hip-roof bungalow form could be restored to its Historical Form if the non-historic additions to the façade and rear were removed. The wall planes on the north and south elevations remain in their original location, through the length of the wall plane has been extended toward the east and west due to out-of period in-line additions.

12. The house is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era.

13. Staff finds that the structure at 569 Park Avenue meets the standards for local "significant" designation, but does not meet the criteria for "landmark" designation. In order for the site to be designated as "landmark," the structure would have to be eligible for the National Register of Historic Places and retain a high level of integrity.

Conclusions of Law – 569 Park Avenue

1. The existing structure located at 569 Park Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:

(a) It is at least fifty (50) years old or the Site is of exceptional importance to the community; and

Complies.

(b) It retains its Historical Form as may be demonstrated but not limited by any of the following:

(i) It previously received a historic grant from the City; or

(ii) It was previously listed on the Historic Sites Inventory; or

(iii) It was listed as Significant or on any reconnaissance or intensive level survey of historic resources; or

Complies.

(c) It has one (1) or more of the following:

(i) It retains its historic scale, context, materials in a manner and degree which can be restored to Historical Form even if it has non-historic additions; and

(ii) It reflects the Historical or Architectural character of the site or district through design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District even if it has non-historic additions; or

Complies.

2. The existing structure located at 569 Park Avenue does not meet all of the criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site including:

a. It is at least fifty (50) years old or has achieved Significance or if the Site is of exceptional importance to the community; and Complies.

b. It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and **Does Not Comply.**

c. It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

i. An era that has made a significant contribution to the broad patterns of our history;

ii. The lives of Persons significant in the history of the community, state, region, or nation; or

iii. The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. **Complies.**

5. 1406 Park Avenue – Determination of Significance
(Application PL-15-02883)

Planner Grahn reported that the Staff was forwarding a neutral recommendation because they were unable to make a specific recommendation and needed the HPB to make the determination.

Planner Grahn noted that this site was being reviewed based on the Land Management Code changes. She referred to the 1929 Sanborn map analysis on page 190 of the Staff report, which showed that the house originated as a cross-wing house. The 1941 Sanborn map on page 191 shows that the house remained the same. She explained that the house did not show up until the 1929 Sanborn map was because prior to that it was outside of the City limits in a rural area of Park City.

Planner Grahn stated that between 1949 and 1968 several major changes occurred to the house, which was outside of the historic period of significance. Based on the tax code analysis the first one notes that an addition was added to the northeast corner of the cross-wing in 1943. In 1958 the home was clad in aluminum siding and the form was modified further by adding a new porch on the northwest side of the house, consuming the cross-wing. By 1968 the front porch was relocated to the northwest side of the house, which is consistent with what exists today. The sun porch and roof were further altered in the 1980s. The roof was extended over the existing porch and sun porch to create the new roof.

Planner Grahn compared photos on page 192 and 193 and pointed out the differences in the structure over time and how additions had changed the original roof form.

Planner Grahn stated that the three major alterations included 1) an inline addition that created more of a saltbox form and non-projecting gable; 2) the front porch was built in and a new sun porch was added in front; 3) the roof form has been altered on the north/south stem wing. Planner Grahn remarked that based on the analysis the site does not meet the criteria for Landmark, and the extent of the alterations have made it ineligible for the National Register. The Staff requested that the HPB determine whether or not the house meets the criteria for a Significant designation. The Staff report included Findings of Fact both in support and in opposition of listing it on the Historic Sites Inventory.

Planner Grahn reviewed the criteria for determination. The first is whether or not the house is 50 years old. According to the Summit County Recorder the house was constructed in 1912, making it at least 104 years old. The second criteria is whether it retains its historic form. Planner Grahn reported that the house was initially listed on the HSI in 2009 but it was removed in 2010 when the Staff discovered that the tax cards showed that the alterations had been made outside of the historic period. The third criteria is that it has one or more of the following: It retains its historic scale, context and material; or it retains a historic form consistent with what is in Park City. Planner Grahn stated that the house does not retain a historic form consistent with what is in Park City, but the scale and the context have been maintained in the sense that the scale of the house is still relatively small and there were no large additions. The windows, door openings, materials, treatment of cornice and architectural features have all been lost. New materials were added. Planner Grahn believed that the criteria of whether the house is important to local or regional historic was based on its date of construction. It is associated with the Mature Mining Era based on the 1912 Construction date. She pointed out that the 1949 tax cards note that the walls were lumber lined. She assumed that meant single wall construction, which was prominent during the historic period.

Planner Grahn requested that the HPB discuss this application and determine whether or not the house at 1406 Park Avenue belongs on the Historic Sites Inventory.

Chair White opened the public hearing.

Lisa Laporta, the owner, stated that she purchased the house 20 years ago. She approached the City because she wanted to know what she could do to improve the house. She could not afford to move anywhere else and she could not afford to tear it down and build a new home. Ms. Laporta noted that it would be nice if she could get a grant, but \$15,000 would not accomplish much. She was

interested in hearing the Board's evaluation of the home and how she could improve it. Ms. Laporta remarked that her house is an isolated historic home surrounded by condos.

Chair White closed the public hearing.

Board Member Melville referred to the Google Map on page 60 of the Staff report which showed an aerial map of all the buildings. The map shows that the 1406 Park Avenue sits next to another historic house at 1420 Park Avenue. Therefore, in context there are two historic houses. She believed that was important to consider in terms of not only this house but also the integrity of the other house. Ms. Melville asked if it made a difference to Ms. Laporta to live next door to a historic house.

Ms. Laporta stated that Jeff Camp owned the house at 1420 and he eventually built condos behind their houses. Before the condos they had open property behind them and the dogs would move back and forth. In response to Ms. Melville, Ms. Laporta stated that it was not important to her to be part of a couple of historic houses. She personally felt the house was destroyed once everything was built behind it. The house at 1420 has no privacy. She has a little more privacy because the condos behind it do not have windows facing into her backyard. It would be nice to have the integrity and charm of Old Town by having those two houses, but that was already diminished by the encroaching condominiums. Ms. Laporta noted that there is another large condo building across the street. She is newly married and she and her husband have no intentions of moving. For that reason, they would like to know the possibility of adding a second level to accommodate another bedroom, as well as making other improvements to the house. She wants a yard and the small community charm, and she wants to live in Park City. Ms. Laporta noted that the house has already had many additions and the walls are thin.

Board Member Melville asked if Ms. Laporta was opposed to having the home placed on the Historic Sites Inventory. Ms. Laporta was concerned that a Significant Designation would limit the possibilities for improving the home. However, she believed there should be some limitations for altering historic homes.

Board Member Holmgren asked if Ms. Laporta had spoken with an architect to see what could potentially be done to improve the house. Ms. Laporta replied that she had consulted an architect who said that she could demolish the house and build a new house for \$500,000, and then sell it for \$1.3 million. She has no intention of ever doing that or even spending \$500,000 to rebuild. Ms. Laporta clarified that she only wanted to improve the existing house.

Chair White informed Ms. Laporta that if the house was determined to be Significant and on the HSI, it would not take away her ability to do an addition. Chair White asked Planner Grahn if there was anything left of the original roof or the original form. Planner Grahn was not able to speak to the north-south cross wing. She asked if Ms. Laporta had looked in her attic to see if the structural members were still there. Ms. Laporta replied that the home has had so many additions that she would not be able to tell. Planner Grahn had been inside the home and from what she could tell the cross-wing form is partially there among layers and layers of alterations. Where the saltbox occurs is a new bedroom wing. Where the original gable would have been in more like the living room. She noted that the sun porch has completely obliterated where the historic porch would have been. If they had to draw a line she was unsure where to draw it.

Board Member Beatlebrox stated that in terms of Park City vernacular, she thought it looked like a charming Old Town house. However, it does not look like any of the historic structures that they know and love as part of the Mining Era. Ms. Beatlebrox thought it looked more like a hippie home.

Board Member Hodgkins asked if the additions were presumed to be over 50 years old. Planner Grahn replied that the additions started in 1943 and went on until the 1980s.

Board Member Melville referred to page 195 of the Staff report and noted that the house was initially listed on the Historic Sites Inventory and later removed. Assistant City Attorney McLean stated that it was language to help the HPB determine whether or not it retains its historic form. She re-read the definition of essential historical form. □The physical characteristics of a structure that make it identifiable as existing in, or relating to an important era in the past□ Board Member Melville stated that based on that definition and sub (b), it is a historic house that is older than 50 years old and it was listed on the HSI at one time. She believed it could meet (b) in two ways. Ms. Melville also thought it would meet (c) because it has retained its historic scale and context. She also thought it could potentially be restored to its historic home even if it has non-historic additions, but that was still unclear. Ms. Melville stated that it would also meet (d) because it was important to the Mature Mining Era.

Board Member Hewett was in favor of finding the house historically Significant based on most of the criteria. The only thing that would hold it back were the visual aspects, which she believed was part of the conversation they had with the other structures this evening. Ms. Hewett chose to disregard that visual aspect piece and to look at the fact that it complies with the rest of the criteria for being historically Significant.

Board Member Stephens asked why it was listed on the HSI in 2009. Planner Grahn clarified that she was not with the City in 2009; but she assumed they took

a list from the County Recorder's Office and found buildings that were built during the Mature Mining Era. In 2010 the house was removed from the Inventory due to the roof alterations that had occurred outside of the historic period. Mr. Stephens understood that in order to be a Significant site it must comply with (a) and (b); and then or (c) and (d). The home did not receive a grant and there was no evidence that it was on any other intensive level surveys. For that reason, he was struggling with compliance with (b) ii, if it was put on the HSI in error. Planner Grahn clarified that she had expressed her assumption for how it got listed on the HSI, but she had no specific knowledge as to how it was actually determined.

Board Member Stephens stated that if he were to acquire a piece of property and wondered if he could restore it, he would need to know whether there was historic fabric left underneath the additions. He had visited the site and he could not see where there was any historic fabric left underneath the exterior alterations. He assumed the exterior walls were probably removed in the process of remodeling. Without having evidence to the contrary, he did not believe there was any historic left on the home. Mr. Stephens had difficulty finding that this should be put on the HSI.

Board Member Melville asked if this home would be eligible for a historic grant if it was not listed on the HSI. Planner Grahn answered no because it would not be considered historic. Assistant City Attorney McLean pointed out that once the Contributory Inventory is completed, structures that are found to be Contributory will be allowed to apply for a grant. Planner Grahn clarified that if the owner does not take the grant money on a Contributory structure they would still be allowed to demolish it.

Board Member Hodgkins wanted to know the process if the HPB voted to place it on the HSI and it was later discovered during remodeling that there is no historic material. Ms. McLean stated that the home would still have to retain its historic form. She remarked that if the HPB was basing their decision on whether or not there was still historic material left in the house, she would recommend a continuance and request an exploratory or some other means to find the evidence. Ms. McLean emphasized that once the HPB makes a decision it is the final action.

Board Member Stephens noted that a third alternative would be not to take any action, in which case it would stay not be listed on the HSI and the HPB would not be ruling whether it is or is not Significant. Assistant City Attorney McLean stated that the homeowner has a due process right to have a determination.

Board Member Beatlebrox thought there was a significant missing piece of information. She was surprised this evening at how their decisions have been on

inheritance, resale value, property rights and known and unknown futures. She preferred to have the missing information before making any type of decision.

Board Member Melville referred to the two photographs on page 192 and thought it appeared that the footprint was not much different from the tax 1938 tax card photo, with the exception of the addition on the side. The context, the scale and the fact that the house looks old Park City leans in the direction of meeting the criteria under historical form. Ms. Melville could not dismiss the fact that it was one of two side by side houses that were listed as 1914 and 1912. Should one go ahead it creates the situation of one historic house in the neighborhood which diminishes the house itself and the streetscape. Based on those reasons, Ms. Melville was leaning towards the criteria that it retains its historic form per the criteria that it could be restored.

Ms. Laporta pointed out that the house looks cute on the outside because she painted it and had the roof redone and added a fence. It was far from looking cute before that because it had flesh colored aluminum siding and the house was basically taped together. She has made an effort to keep the house cute. Ms. Laporta did not have an opinion on whether or not it was better to make the house Significant, but she felt that listing it on the HSI would take away her rights. She pointed out that the house was not on the Historic Sites Inventory when she purchased her house 20 years ago.

Assistant City Attorney McLean advised the Board to focus on apply the criteria in making their decision. Board Member Stephens noted that the Board members have not had the opportunity to look inside the home to understand what is actually taking place. The fact that Planners Grahn and Turpen were unable to make a recommendation even after being inside the house demonstrates how perplexing this was. Mr. Stephens stated that if could not have the level of survey that the Planners had either more complete through documentation or through a site visit, it would be difficult for him to make a decision. If the Planners had trouble based on their career experience, he was uncomfortable making a decision that would affect someone's property rights over a long period of time. Board Member Beatlebrox concurred. Chair White preferred to do a site visit before making a decision.

MOTION: Board Member Beatlebrox moved to CONTINUE the Determination of Significance for 1406 Park Avenue to allow for a site visit.

Ms. McLean noted that the site visit would be noticed as a meeting because the Board would be visiting the site as a group. The Board could continue this item to a date uncertain and it will be noticed 14 days prior, or it could be continued to the next meeting on April 6th. Planner Grahn suggested that they continue to April 6th and if there is a conflict it could be continued again to the May meeting.

AMENDED MOTION: Board Member Beatlebrox amended the motion to CONTINUE 1406 Park Avenue to April 6, 2016. Board Member Holmgren seconded the motion.

VOTE: The motion passed unanimously.

Director Erickson stated that the Staff would tentatively schedule a site visit on April 6th prior to the regular meeting.

6. Annual Preservation Award – Staff recommends the Historic Preservation Board choose one (1) awardee for the annual Preservation Award, select three (3) members to form an Artist Selection Committee and discuss awarding commemorative plaques. (Application GI-15-02972)

Due to the late hour Board Member Melville preferred to continue this item to the next meeting when the Board would have time for an adequate discussion.

MOTION: Board Member Melville moved to CONTINUE the Annual Preservation Award to April 6, 2016. Board Member Stephens seconded the motion.

VOTE: The motion passed 6-1. Board Member Hodgkins voted against the motion.

7. Design Guideline Revisions – Staff recommends that the Historic Preservation Board take public comment on the proposed changes to the Design Guidelines for Park City’s Historic Districts and Historically Significant Buildings. (Application GI-13-00222)

Chair White noted that the HPB had reviewed these Guidelines several times. Board Member Melville agreed. Board Member Beatlebrox thought the revisions were well done.

Chair White opened the public hearing.

There were no comments.

Chair White closed the public hearing.

MOTION: Board Member moved to APPROVE the Revisions to the Design Guidelines as presented on pages 302 to 319 of the Staff report. Board Member Beatlebrox seconded the motion.

VOTE: The motion passed unanimously.

Planner Grahn noted that the Historic Preservation Updates was scheduled for Work Session. If the Board decided to continue this evening, in their quarterly update to the City Council on March 31st the Staff would not include the issue of whether or not the HPB would do design review because the Board would not have discussed it at an open meeting.

Board Member Melville stated for the record that the Board members had received a letter dated March 2, 2016 that was public comment for this work session.

Director Erickson stated that when the Staff give their report to the City Council on the Historic Preservation Update, they would omit the section regarding the HPB's desire to do historic design review. The report would include the Historic District Updates, the Grant Program, the plaques, the CRSA survey, as well as other topics.

Board Member Hewett asked if the Staff had any idea that this meeting would go this late. Planner Grahn stated that she did not think it would be to this extent. Ms. Hewett thought it would be helpful if the Board could have prior notice so they would be prepared to sit through a long meeting.

Board Member Stephens stated that if the intent is to hear from the public he did not believe the public is well-served when they are asked to keep their comments short. He recalled that when the HPB went back to one meeting a month they left open the idea of meeting twice a month if necessary. He was willing to attend a second meeting if required.

Planner Erickson stated that Planner Grahn has the responsibility of managing the agenda looking forward six months. This was the first time they had the chance to see the depth of the inquiries regarding Determinations of Significance and he believed Planner Grahn would have a better idea of how to manage the agenda moving forward.

The meeting adjourned at 9:04 p.m.

Approved by _____
David White, Chair
Historic Preservation Board

Historic Preservation Board Staff Report

Author: Anya Grahn, Historic Preservation Planner
Subject: Historic Sites Inventory
Address: 1406 Park Avenue
Project Number: PL-15-02883
Date: March 2, 2016
Type of Item: Administrative – Determination of Significance

Summary Recommendations

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and determine whether to designate the house at 1406 Park Avenue as a Significant Site on the Park City Historic Sites Inventory (HSI) in accordance with the attached findings of fact and conclusions of law.

Topic:

Project Name: 1406 Park Avenue
Applicant: Park City Municipal Corporation
Owners: Lisa A. Laporta
Proposal: Determination of Significance

Background:

The Historic Preservation Board continued this item on March 2, 2016. The HPB found that they needed to visit the site to gain a better understanding of the house before proceeding with a determination. Staff has arranged a site visit as part of the April 6th HPB meeting.

The March 2nd HPB report and exhibits are attached as Exhibit 1.

Exhibits:

Exhibit 1 — March 2nd HPB report and exhibits



Planning Department

Historic Preservation Board Staff Report

Author: Anya Grahn, Historic Preservation Planner
Subject: Historic Sites Inventory
Address: 1406 Park Avenue
Project Number: PL-15-02883
Date: March 2, 2016
Type of Item: Administrative – Determination of Significance

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and determine whether to designate the house at 1406 Park Avenue as a Significant Site on the Park City Historic Sites Inventory (HSI) in accordance with the attached findings of fact and conclusions of law.

Topic:

Project Name: 1406 Park Avenue
Applicant: Park City Municipal Corporation
Owners: Lisa A. Laporta
Proposal: Determination of Significance

Background:

City Council adopted amendments to the Land Management Code (LMC) on December 17, 2015, to modify the criteria regarding the designation of “Significant” structures which would expand the Historic Sites Inventory criteria to include or consider the following terms:

- Any structure that has received a historic grant from the City;
- Has previously been on the Historic Site Inventory or listed as significant or contributory on any reconnaissance or other historic survey;
- Or despite non-historic additions retain its historic scale, context, materials in a manner and degree, which can reasonably be restored to historic form.

The Planning Department identified and submitted applications for determination of significance for several properties, including 1406 Park Avenue, which may qualify for local designation on the inventory under the new LMC changes.

The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, currently includes 414 sites of which 192 sites meet the criteria for designation as Landmark Sites and 222 sites meet the criteria for designation as Significant Sites. Since 2009, staff has reviewed Determination of Significance (DOS) applications with the HPB on a case-by-case basis in order to keep the Historic Sites Inventory (HSI) current.

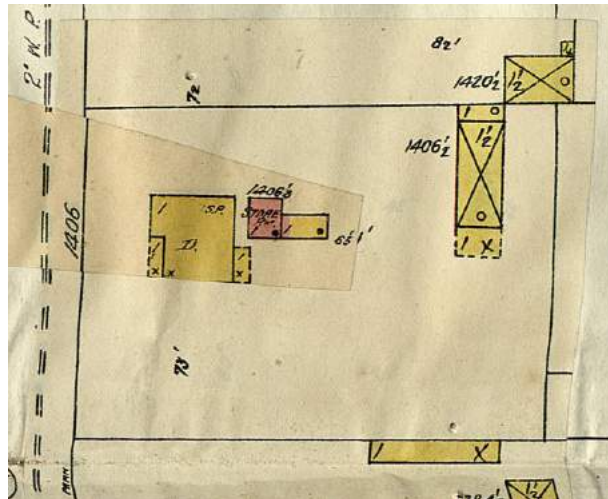
In July 1982, the City issued a building permit for a new foundation, door and window reconfiguration, and a small addition on the rear. The house was re-roofed in 2000.

The Historic Preservation Board approved a Determination of Significance (DOS) application to remove the house from the HSI due to the major alteration that destroyed its Essential Historical Form in April 2010 based upon the older criteria. The amendments to the LMC to become a Significant Site expanded the criteria and now may include properties which did not meet the criteria previously.

There is currently a Historic District Design Review Pre-Application (Pre-app) on file for this property, and the owner is interested in possibly renovating the house in the future to construct a foundation and second level.

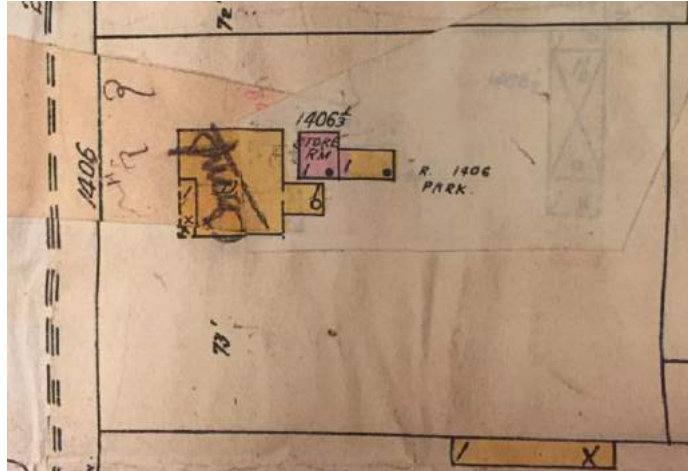
History of the Structure:

The one-story wood frame residence was constructed in 1912, per the Summit County Recorder. This is consistent with Sanborn Fire Insurance Map analysis which shows that the c. 1912 cross-wing form first appears in the 1927 Sanborn Fire Insurance Map. At this time, the house was an L-shape with front and rear porch. An unattached masonry “store room” is directly east of the house. It is identified as 1406-1/3 and likely served as a root cellar. It appears that 1406-1/2 Park Avenue, at the back of the lot, served as a residence as it was a 1.5 story wood-frame building with 1-story porch.



1929 Sanborn Fire Insurance Map

By 1947, 1406-1/2 had been demolished. The primary cross-wing form remains largely unchanged, with the exception of a new rear addition that replaced the rear porch seen in the 1927 Sanborn map. 1406-1/3 remains unchanged.



1941 Sanborn Map

From the 1949 to 1968, several significant changes occurred to the house, as noted in the tax cards from these years:

- The 1949 tax card notes a c.1943 addition on the northeast corner of the original cross-wing and the house is attached to the root cellar (formerly 1406-1/3 Park Avenue). The house consists of just four (4) rooms.
- By 1958, the house has been clad in aluminum siding. The form of the house has been modified further and there is now a new porch on the northwest side of the house; the cross-wing appears to be lost.
- By 1968, the front porch has been relocated from the northwest side of the house to the southwest side, which is consistent with what exists today.
- In talking to the owner, she said that the sunporch and roof were altered in the 1980s when she was renting the house. The roof was further modified at this time and built over the sunporch.

The modifications occurring to the house from 1949 to 1958 altered the appearance of the original cross-wing form and its appearance from the street. The pitch of the east-west gable was modified in order to cover the new addition on the north elevation. Rather than retaining the principal roof and extending a shed roof over the addition, the principal roof now appears as a low-pitched, side-facing salt box.

Further, the stem wing, according to what is visible in the c.1938 tax photograph, originally had a dropped shed roof above the inset partial-width porch. The porch roof has been raised and springs from the principal roof to reflect a stylized gambrel roof form with the steeper slope above the shallower slope.

The photographs below show these modifications.



C. 1938 Tax Card Photograph



Current photograph of the house, provided by Google Maps



Photo of the south elevation, north-west wing.

Three major alterations have occurred to the front façade after the historic photograph was taken c.1938:

1. An in-line addition was constructed to the north side of the house. The original gable roof-form of the front projecting gable of the cross-wing was altered to create a salt-box roof form on this elevation.
2. The front porch was in-filled and a new sunporch was constructed in front of it.
3. The roof form was altered on the north-south gable wing in order for the roof to extend over to the new sunporch. The photo of the façade shows these modifications, and the photo of the south elevation shows how drastically this roof form was altered, leaving only a portion of the original gable pitch intact.

Analysis and Discussion:

The Historic Preservation Board is authorized by Title 15-11-5(I) to review and take action on the designation of sites within the Historic Sites Inventory (HSI). The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). Land Management Code Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory (HSI). The site is currently not listed on the HSI.

Staff finds that the site would not meet the criteria for Landmark designation, based on the following:

LANDMARK SITE. Any Buildings (main, attached, detached, or public), Accessory Buildings, and/or Structures may be designated to the Historic Sites Inventory as a Landmark Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance or if the Site is of exceptional importance to the community; and

Per the County records, the house was constructed in 1912, making it 104 years old.

(b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and

The site does not meet these criteria. Major alterations, made outside of the period of significance (1869-1929), have destroyed the original cross-wing form. The tax records show extensive alterations occurring to the building between 1941 and 1968, including the construction of an in-line addition on the north elevation, changes to the exterior materials, and alterations to the original form. Further, the pitch of the roof above the gable wing was modified between 1949 and 1958 in order to cover the addition to the north. The roof pitch on this front-facing gable was lost and the shed roof extended over the addition to create the low-pitch side-facing saltbox form present today. Further, the north-south stem wing, according to what is visible in the tax photo, originally had a drop shed roof above the inset partial-width porch. The porch was enclosed to create interior space and a new sunporch added to the exterior of the house; the porch roof has been raised and now springs from the principal roof to reflect the stylized gambrel roof form with the steeper slope above the shallower slope, as seen on the south elevation.

The house is not eligible for the National Register of Historic Places due to the cumulative changes to its design, materials, and workmanship that have severely diminished its historic integrity.

(c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

- (i) An era that has made a significant contribution to the broad patterns of our history;
- (ii) The lives of Persons significant in the history of the community, state, region, or nation; or
- (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman.

The site is associated with the Mature Mining Era (1894-1930) of Park City primarily because of its original date of construction. Further, the 1949 tax card notes that the construction is "lumber-lined" with "no studs", confirming that the house was initially built using single-wall construction. This type of construction is consistent with other historic buildings throughout Park City.

In order to be included on the HSI, the Historic Preservation Board will need to determine that the building meets the criteria for Significant, as outlined below:

SIGNIFICANT SITE. Any Buildings (main, attached, detached or public), Accessory Buildings and/or Structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or the Site is of exceptional importance to the community; and

Per the County records, the house was constructed in 1912, making it 104 years old.

(b) It retains its Historical Form as may be demonstrated but not limited by any of the following:

(i) It previously received a historic grant from the City; or

(ii) It was previously listed on the Historic Sites Inventory; or

(iii) It was listed as Significant or on any reconnaissance or intensive level survey of historic resources; or

The site was initially listed on the Historic Sites Inventory in 2009, but removed in 2010 when staff discovered the tax cards and found that the alterations to the historic form had occurred between 1949 and 1958. As previously noted, the tax records show extensive alterations occurring to the building between 1941 and 1968, including the construction of an in-line addition on the north elevation and changes to the exterior materials. Further, the original roof pitches were modified in order to create the low-pitch side-facing saltbox form on the east-west stem wing as well as the stylized gambrel roof form, visible from the south elevation, that springs from the original roof form to cover the c.1980 sunporch. These changes to the roof significantly altered the original form of the building.

While these alterations do detract from the original cross-wing form of the house, the cross-wing form still could be discernible among layers of non-historic additions. Historic materials as well as original window and door openings have been modified.

(c) It has one (1) or more of the following:

(i) It retains its historic scale, context, materials in a manner and degree which can be restored to Historical Form even if it has non-historic additions; and

(ii) It reflects the Historical or Architectural character of the site or district through design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District even if it has non-historic additions; or

While the house does not retain its Historical Form, its scale and context have been maintained. The house could be restored to its Historical Form if the post-1943 additions were removed. Its mass and scale remain small and consistent with the historic district, though the composition of its window and door openings, materials, treatment, cornice, architectural features, and overall form have been lost.

(d) It is important in local or regional history architecture, engineering, or culture associated with at least one (1) of the following:

(i) An era of Historic Importance to the community, or

(ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

The site is important to local and regional history because of its association with the Mature Mining Era (1894-1930) of Park City and its original date of construction. Further, the 1949 tax card notes that the construction is “lumber-lined” with “no studs”, confirming that the house was initially built using single-wall construction. This type of construction is consistent with other historic buildings throughout Park City.

Process:

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the “Criteria for Designating Historic Sites to the Park City Historic Sites Inventory.” The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice:

On February 20, 2016, Legal Notice of this public hearing was published in the Park Record, according to the requirements of the Land Management Code. Staff also sent a mailing notice to the property owner and property owners within 100 feet on February 17, 2016 and posted the property on February 17, 2016.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for **1406 Park Avenue** described herein and determine whether the structure at **1406 Park Avenue** meets the criteria for the designation of “Significant” to the Historic Sites Inventory according the draft findings of fact and conclusions of law, in whole or in part.

- Conduct a public hearing and find the structure at **1406 Park Avenue** does not meet the criteria for the designation of “Significant” to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Significant Impacts:

The structure at 1406 Park Avenue is not currently listed on the Historic Sites Inventory (HSI). If designated as “Significant” on the HSI, any alterations must comply with the Design Guidelines for Historic Sites; the site will be eligible for the Historic District Grant Program. Should the structure not be included, then the property will be eligible for demolition.

Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and determine whether to designate the house at 1406 Park Avenue as a Significant Site on the Park City Historic Sites Inventory (HSI) in accordance with the attached findings of fact and conclusions of law.

Supporting adding 1406 Park Avenue to the Historic Sites Inventory:

Finding of Fact:

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 414 sites of which 192 sites meet the criteria for designation as Landmark Sites and 222 sites meet the criteria for designation as Significant Sites. The house at 1406 Park Avenue is within the Historic Residential-Medium (HRM) zoning district.
2. The residential structure at 1406 Park Avenue was included in the 2009 HSI; however, it was removed in March 2010 due to the modifications made to the original roof form outside of the historic period based upon the older criteria.
3. In December 2015, City Council amended the Land Management Code to expand the criteria for what structures qualify to be significant sites.
4. There is wood-frame cross-wing cottage at 1406 Park Avenue.
5. The house was built c. 1912 during the Mature Mining Era (1894-1930). The structure appears in the 1929 and 1941 Sanborn Fire Insurance maps. A c.1938 tax photo of Park City also demonstrates that the overall form of the structure has not been altered.
6. In 1943, an addition was constructed to the northeast corner of the original cross-wing according to the 1949 tax card. The roof of the east-west stem wing was modified to create a low-pitched side-facing saltbox form, seen today, in order to extend the roof form from the original ridge over the c.1943 in-line addition.
7. By 1958, the house had been clad in aluminum siding. The form of the house was modified further to create a new porch on the northwest side of the house, consuming the original cross-wing form. It is unknown if the historic wood siding has been retained beneath the aluminum siding.
8. By 1968, the front porch was relocated from the northwest side of the house to the southwest side, which is consistent with what exists today.

9. An enclosed sunporch was constructed on the front of the house, replacing the c.1968 porch. The roof form was further modified and built over the sunporch in the 1980s, according to the current owner.
10. The house is currently clad in aluminum and vinyl siding. There are casement windows of various sizes and shapes used throughout the house.
11. The original cross-wing structure is discernable from the exterior and was typical of the types of residential structures built during the Mature Mining Era.
12. Built c.1912, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
13. Though the post-1943 additions to the north side and front of the house have diminished its Historical Form, the original cross-wing is still discernible. Its scale and context have been maintained. The house could be restored to its Historical Form if the post-1943 additions were removed. Its mass and scale remain small and consistent with the historic district, though the composition of its window and door openings, materials, treatment, cornice, and architectural features have been lost.
14. The house is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era.
15. The structure at 1406 Park Avenue while it meets the standards for local "significant" designation, it does not meet the criteria for "landmark" designation. In order for the site to be designated as "landmark," the structure would have to be eligible for the National Register of Historic Places and retain a high level of integrity.

Conclusions of Law:

1. The existing structure located at 1406 Park Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) *It is at least fifty (50) years old or the Site is of exceptional importance to the community; and*
Complies.
(b) It retains its Historical Form as may be demonstrated but not limited by any of the following:
 - (i) *It previously received a historic grant from the City; or*
 - (ii) *It was previously listed on the Historic Sites Inventory; or*
 - (iii) *It was listed as Significant or on any reconnaissance or intensive level survey of historic resources; or***Complies.**
(c) It has one (1) or more of the following:
 - (i) *It retains its historic scale, context, materials in a manner and degree which can be restored to Historical Form even if it has non-historic additions; and*
 - (ii) *It reflects the Historical or Architectural character of the site or district through design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District even if it has non-historic additions; or*

Complies.

Opposing adding 1406 Park Avenue to the Historic Sites Inventory:

Finding of Fact:

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 414 sites of which 192 sites meet the criteria for designation as Landmark Sites and 222 sites meet the criteria for designation as Significant Sites.
2. The house at 1406 Park Avenue is within the Historic Residential-Medium (HRM) zoning district.
3. The residential structure at 1406 Park Avenue was included in the 2009 HSI; however, it was removed in March 2010 due to the modifications made to the original roof form outside of the historic period based upon the older criteria.
4. In December 2015, City Council amended the Land Management Code to expand the criteria for what structures qualify to be significant sites.
5. There is wood-frame cross-wing cottage at 1406 Park Avenue.
6. The house was built c. 1912 during the Mature Mining Era (1894-1930). The structure appears in the 1929 and 1941 Sanborn Fire Insurance maps. A c. 1938 tax photo of Park City also demonstrates that the overall form of the structure has not been altered.
7. In 1943, an addition was constructed to the northeast corner of the original cross-wing according to the 1949 tax card. The roof of the east-west stem wing was modified to create a low-pitched side-facing saltbox form, seen today, in order to extend the roof form from the original ridge over the c.1943 in-line addition.
8. By 1958, the house had been clad in aluminum siding. The form of the house was modified further to create a new porch on the northwest side of the house, consuming the original cross-wing form. It is unknown if the historic wood siding has been retained beneath the aluminum siding.
9. By 1968, the front porch was relocated from the northwest side of the house to the southwest side, which is consistent with what exists today.
10. An enclosed sunporch was constructed on the front of the house, replacing the c.1968 porch. The roof form was further modified and built over the sunporch in the 1980s, according to the current owner.
11. The house is currently clad in aluminum and vinyl siding. There are casement windows of various sizes and shapes used throughout the house.
12. The original cross-wing structure is not discernable from the exterior and the original cross-wing, which was typical of the types of residential structures built during the Mature Mining Era, has been lost.
13. Built c.1912, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
14. The post-1943 additions to the north side and front of the house have diminished its Historical Form, and the original cross-wing has been lost. Its scale and context has not been maintained.
15. The house is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era.
16. The structure at 1406 Park Avenue does not meet the standards for local "significant" designation, it does not meet the criteria for "landmark" designation.

In order for the site to be designated as “landmark,” the structure would have to be eligible for the National Register of Historic Places and retain a high level of integrity.

Conclusions of Law:

1. The existing structure located at 1406 Park Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:

(a) It is at least fifty (50) years old or the Site is of exceptional importance to the community; and

Complies.

(b) It retains its Historical Form as may be demonstrated but not limited by any of the following:

(i) It previously received a historic grant from the City; or

(ii) It was previously listed on the Historic Sites Inventory; or

(iii) It was listed as Significant or on any reconnaissance or intensive level survey of historic resources; or

Does not comply.

(c) It has one (1) or more of the following:

(i) It retains its historic scale, context, materials in a manner and degree which can be restored to Historical Form even if it has non-historic additions; and

(ii) It reflects the Historical or Architectural character of the site or district through design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District even if it has non-historic additions; or

Does not comply.

2. The existing structure located at 1406 Park Avenue does not meet all of the criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site including:

*a. It is at least fifty (50) years old or has achieved Significance or if the Site is of exceptional importance to the community; and **Complies.***

*b. It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and **Does Not Comply.***

c. It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

i. An era that has made a significant contribution to the broad patterns of our history;

ii. The lives of Persons significant in the history of the community, state, region, or nation; or

*iii. The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. **Complies.***

Exhibits:

Exhibit A – Historic Sites Inventory Form, 2014

Exhibit B – 4.7.10 HPB Report + Minutes

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1406 Park Avenue

AKA:

City, County: Park City, Summit; County, Utah

Tax Number: SA-236

Current Owner Name: Lisa Laporta

Parent Parcel(s):

Current Owner Address: PO Box 2651, Park City, Utah 84060

Legal Description (include acreage): BEG 1800 FT E ALG SEC LN FR SW COR SEC 9 T2SR4E SLBM RUN TH E ALG SED LN 13.90 FT; TH N 36*56 W 13 FT; N 53*28 E 58 FT S 35*59 E 52.08 FT; TH S 54*01 W 69.03 FT; TH N 35*59 W 46.69 FT TO BEG; cont 0.08 acres.

2 STATUS/USE

Property Category

- building(s), main
 building(s), attached
 building(s), detached
 building(s), public
 building(s), accessory
 structure(s)

Evaluation*

- Landmark Site
 Significant Site
 Not Historic

Reconstruction

- Date:
 Permit #:
 Full Partial

Use

- Original Use: Residential
 Current Use: Residential

- *National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
 prints:
 historic: c.

Drawings and Plans

- measured floor plans
 site sketch map
 Historic American Bldg. Survey
 original plans:
 other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
 tax card
 original building permit
 sewer permit
 Sanborn Maps
 obituary index
 city directories/gazetteers
 census records
 biographical encyclopedias
 newspapers
 city/county histories
 personal interviews
 Utah Hist. Research Center
 USHS Preservation Files
 USHS Architects File
 LDS Family History Library
 Park City Hist. Soc/Museum
 university library(ies):
 other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. Final Report. Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. Final Report. Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. Residences of Mining Boom Era, Park City - Thematic Nomination. National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: T/L cottage type

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # ; structure(s), # .

General Condition of Exterior Materials:

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.¹

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: West elevation. Camera facing east, 2006.

¹ From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.



Photo No. 1: West elevation. Camera facing east, 2006.



Photo courtesy of Park City Museum

SERIAL NO. X458

NEW APPRAISAL BASE

RE-APPRAISAL CARD

Owner's Name _____

Owner's Address _____

Location Sec. 9 - 25 - 4 E

Kind of Building Res. Street No. 1406 Park Ave.

Schedule 1 Class 3 Base Factor _____

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Actual Factor	Totals
1	x x		972	\$	\$ 1849
	x x			\$	\$
	x x			\$	\$

No. of Rooms 5 + Bath Condition Good

Description of Building	Add	Deduct
Foundation—Stone Conc. None <input checked="" type="checkbox"/>		163
Ext. Walls <u>Siding</u>		
Insulated—Floors—Walls—Clgs.—		
Roof—Type <u>Gable</u> Mat. <u>Shingle</u>		
Dormers—Small—Med. Lg.		
Bays—Small—Med. Lg.		
Porches—Front <u>75' @ .70</u>	49	
Rear <u>@</u>		
Basmt—Cellar <u>1/4 1/2 1/4 full-floor Conc.</u>	35	
Basement Apts.—Rooms Fin.		
Attie—Rooms Fin.—Unfin.—		
Plumbing—(Class Tub / Trays Basin / Sink / Toilet / Urns / Ftns. / Shr. Dishwasher / Garbage Disp.)	350	
Heat—Stove <u>H. A. Steam S. Blr.</u> Oil Gas Steam Coal Air Conditioned Incinerators		
Finish—(Hd. Wd. Floors—(Hd. Wd. Fir. Conc.))		
Cabinets <u>1</u> Mantels <u>—</u>	40	
Tile—(Walls Floors)		
Lighting—Lamp Drops <input checked="" type="checkbox"/> Fix.		
<u>4 Rooms Lumber-lined No Studs.</u>		140 Fld
Total Additions and Deductions	474	303
Net Additions or Deductions	-303	

REPRODUCTION VALUE \$ 2020
 Depreciation 50/50 %
 Reproduction Val. Minus Dep. \$ 1010

Remodeled _____ Est. Cost _____ Remodeling Inc. _____ %
 Garage—S 8—C 1
 Cars 1 Walls Siding
 Roof Comp Size 2x20 Age 28
 Floor Dr. Cost 132 Depreciated Value Garage \$ 33
 Remarks old part 37% Total \$ 1043
old in 1941 Obsolescence _____ %
Additions 1945 Total Building Value \$ _____

Appraised 9/30/49 194 By etw.

Tax Card courtesy of Park City Museum

Serial No. 54236

Location Sec 9-23-4E RES 1406 Park Ave.

Kind of Bldg. (3) Type 1 2 3 4. Cost \$ X 100%

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		776		\$ 1607
	x x				
	x x				

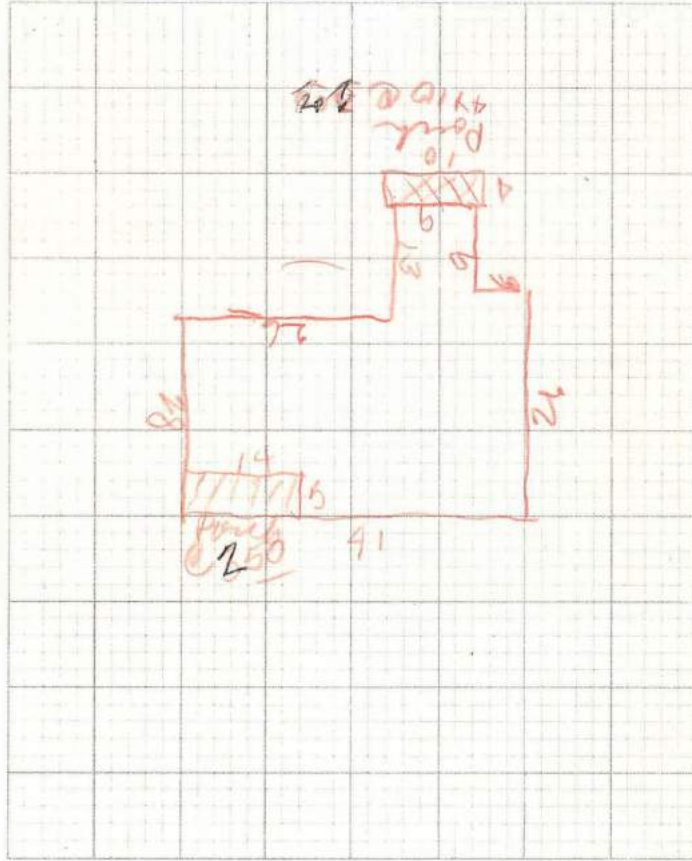
Gar.—Carport x Fr. Walls Cl. Cl.

Description of Buildings	Additions
Foundation—Stone <u>Conc.</u> None <input checked="" type="checkbox"/>	
Ext. Walls <u>Single</u>	
Insulation—Floors <u>Walls</u> Clgs. <u>—</u>	
Roof Type <u>Gable</u> Mtl. <u>Pat</u>	
Dormers—Small <u>—</u> Med. <u>—</u> Large <u>—</u>	
Bays—Small <u>—</u> Med. <u>—</u> Large <u>—</u>	
Porches—Front <u>78</u> @ <u>100</u> <u>78</u>	
Rear <u>409</u> <u>36</u> @ <u>1.80</u> <u>29</u>	
Porch <u>—</u> @ <u>—</u>	
Metal Awnings <u>—</u> Mtl. Rail <u>—</u>	
Basement Entr. <u>—</u> @ <u>—</u>	
Planters <u>—</u> @ <u>—</u>	
Cellar-Bsmt. — ¼ ½ ¾ % Full <u>—</u> Floor <u>—</u>	
Bsmt. Apt. <u>—</u> Rooms Fin. <u>—</u> Unfin. <u>—</u>	
Attic Rooms Fin. <u>—</u> Unfin. <u>—</u>	
Plumbing { Class <u>—</u> Tub <u>—</u> Trays <u>—</u> Basin <u>—</u> Sink <u>—</u> Toilet <u>—</u> Wtr. Sfrtr. <u>—</u> Shr. St. <u>—</u> O.T. <u>—</u> Dishwasher <u>—</u> Garbage Disp. <u>—</u>	<u>1350</u>
Built-in-Appliances <u>—</u>	
Heat—Stove <u>H.A.</u> <u>—</u> Steam <u>—</u> Stkr. <u>—</u> Blr. <u>—</u> Oil <u>—</u> Gas <u>—</u> Coal <u>—</u> Pipeless <u>—</u> Radiant <u>—</u>	
Air Cond. <u>—</u>	
Finish—Fir <u>—</u> Hd. Wd. <u>—</u>	
Floor—Fir <u>—</u> Hd. Wd. <u>—</u> Other <u>—</u>	
Cabinets <u>—</u> Mantels <u>—</u>	
Tile—Walls <u>—</u> Wainseot <u>—</u> Floors <u>—</u>	
Storm Sash—Wood D. <u>—</u> S. <u>—</u> ; Metal D. <u>—</u> S. <u>—</u>	

Total Additions			<u>449</u>
Year Built <u>—</u>	Avg. <u>45</u>	Current Value	\$ <u>2056</u>
Age <u>—</u>	Commission Adj. <u>—</u>	%	
Inf. by { Owner - Tenant - Neighbor - Record - Est.	Bldg. Value		
Remodel Year <u>—</u> Est. Cost <u>—</u>	Depr. Col. <u>1 2 3 4 5 6</u> <u>42%</u>		
Garage—Class <u>—</u> Depr. <u>2% 3%</u> Carport <u>—</u> Factor <u>—</u>	Current Value Minus Depr.		\$ <u>864</u>
Cars <u>—</u> Floor <u>—</u> Walls <u>—</u> Roof <u>—</u> Doors <u>—</u>			
Size— <u>12</u> x <u>30</u> Age <u>1912</u> Cost <u>156</u> x <u>30</u> %			<u>47</u>
Other <u>Trim Finish</u>			
Total Building Value			\$

Appraised 4-29- 1958 By 1302 1332

Tax Card courtesy of Park City Museum



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Depr. Value
<i>Out. Bldgs N.P.V.</i>		x				
		x				
		x				
		x				
		x				
TOTAL						

Remarks: _____

TC-74 Rev. 57 25M
 STATE OF UTAH — STATE TAX COMMISSION

Tax Card courtesy of Park City Museum

SA 236
Serial Number

1 OF 1
Card Number

Owners Name Marion C. Lewis

Location _____
Kind of Bldg: Res St. No. 1406 Park Ave

Class. 3 Type 1 2 3 4 Cost \$ 4637 X 104.5 %

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	1137		\$ 4846	\$
	x x				
	x x				

Att. Gar. - C.P. Fir. Walls Cl.

Description of Buildings	Additions	Additions
Foundation - Stone _____ Conc. _____ Sills _____		
Ext. Walls <u>Siding Alum</u>		
Roof Type <u>Gib</u> Mtl. <u>Comp.</u>		
Dormers - Small _____ Med. _____ Large _____		
Bays - Small _____ Med. _____ Large _____		
Porches - Front <u>5x14 70'</u> @ <u>2.50</u>	175	
Rear <u>4x10 40</u> @ <u>2.00</u>	80	
Porch _____ @ _____		
Planters _____ @ _____		
Ext. Base, Entry _____ @ _____		
Cellar-Bsmt. - 1/4 1/8 1/2 3/4 Full _____ Floor _____		
Bsmt. Gar. _____		
Basement-Apt. _____ Rms. _____ Fin. Rms. _____		
Attic Rooms Fin. _____ Unfin. _____		
Plumbing { Class <u>1</u> Tub <u>1</u> Trays _____ Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u> Wtr. Sfr. _____ Shr. St. _____ O.T. _____ Dishwasher _____ Garbage Disp. _____	550	
Heat - Stove _____ H.A. _____ FA <u>1</u> HW _____ Stkr _____ Elec. _____ Oil _____ Gas <u>1</u> Coal _____ Pipeless _____ Radiant _____	444	
Air Cond. - Full _____ Zone _____		
Finish - Fir. <u>1</u> Hd. Wd. _____ Panel _____		
Floor - Fir. <u>1</u> Hd. Wd. _____ Other _____		
Cabinets <u>1</u> Mantels _____		
Tile - Walls _____ Wainscot _____ Floors _____		
Storm Sash - Wood D. _____ S. _____; Metal D. _____ S. _____		
Awnings - Metal _____ Fiberglass _____		

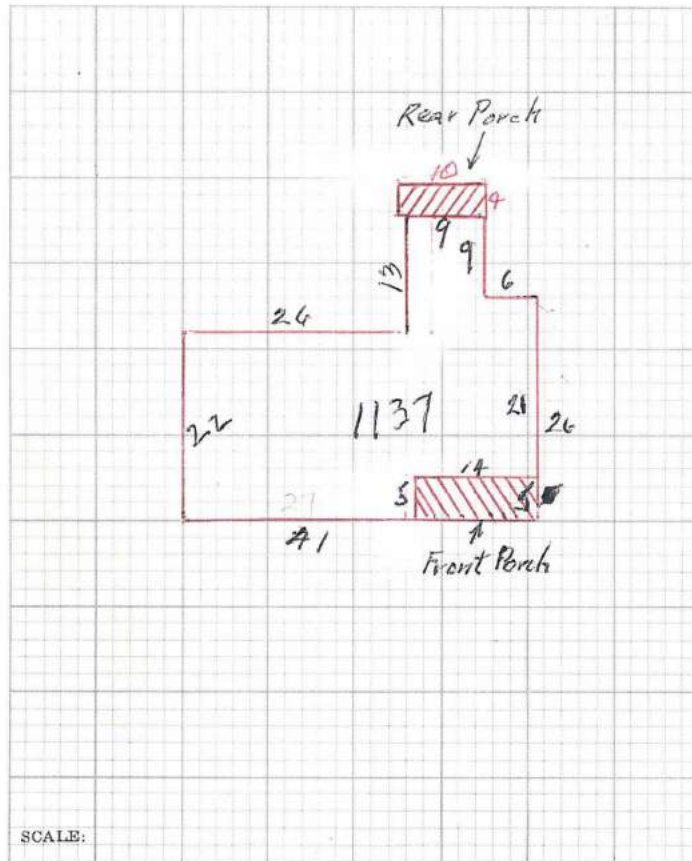
Alum siding 1820
Total Additions 121.9

Year Built <u>1912</u>	Avg. <u>1914</u>	Replacement Cost <u>6065</u>
<u>ADN ?</u>	Age <u>2.124</u>	Obsolescence
Inf. by <u>Owner</u> - Tenant -		Adj. Bld. Value
<u>Neighbor - Record - Est.</u>		Conv. Factor x.47

Replacement Cost - 1940 Base
 Depreciation Column 1 2 3 4 5 6
 1940 Base Cost, Less Depreciation
 Total Value from reverse side 1950
 Total Building Value \$ 9838

Appraised @ 10/77 19 68 By 6917 JAN 7 1969
Appraised @ _____ 19 _____ By _____

Tax Card courtesy of Park City Museum



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Valu
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class Depr. 2% ~~3%~~

Cars Floor Walls Roof Doors

Size x Age Cost x 47%

1940 Base Cost x % Depr.

REMARKS *2 Car Block garage* Total *1950*

Tax Card courtesy of Park City Museum

Historic Preservation Board Staff Report



PLANNING DEPARTMENT

Author: Thomas E. Eddington, Jr., AICP
Dina Blaes, Preservation Consultant

Subject: Historic Sites Inventory

Application #: PL-09-00843

Date: March 17, 2010

Type of Item: Administrative

Summary Recommendation

Staff recommends the Historic Preservation Board conduct a public hearing and remove the site located at 1406 Park Avenue from the Historic Sites Inventory.

Topic

Applicant: Planning Department

Location: 1406 Park Avenue

Proposal: Remove 1406 Park Avenue from the Historic Sites Inventory

zoning: Historic Residential - Medium Density (HRM) District

Background

The Park City Historic Sites Inventory, adopted February 4, 2009, includes four hundred five (405) sites of which one hundred ninety-two (192) sites meet the criteria for designation as Landmark Sites and two hundred thirteen (213) sites meet the criteria for designation as Significant Sites. The house at 1406 Park Avenue was considered a Significant Site.

Staff's evaluation of the two hundred thirteen (213) sites for compliance with the criteria set forth in 15-11-10(A)(2) and the subsequent recommendation to the HPB to include them on the Historic Site Inventory as Significant Sites was based on information gathered during field visits and from secondary sources, including:

- Reports and photographs from Reconnaissance Level Surveys (RLS) conducted in 1983 and 1995.
- Sanborn Fire Insurance maps from 1889, 1900, 1907, and/or 1929.
- Files on individual buildings held at the State Historic Preservation Office.
- Books on architectural styles, building types, architectural history, and mining history.
- Building cards and photos from the Summit County Tax Assessor that are held at the Park City Historical Society & Museum (PCHS&M) research library and archive.

The building card for the property at 1406 Park Avenue was not found at the PCHS&M research library and therefore was not considered when the property was evaluated for designation to the Historic Sites Inventory in February 2009. Instead, staff relied upon the following:

- Field visit and examination of existing conditions.

- A photograph and the final report from the 1995 RLS.
- Sanborn Insurance maps from 1900, 1907, and 1929.
- Sections of "Utah's Historic Architecture," by Peter Goss and "A Field Guide to American Houses," by Virginia & Lee McAlester.

The PCHS&M keeps the original building cards in Hollinger archival document cases grouped alphabetically and numerically by parcel number. Building cards for properties with parcel numbers SA-226 (1455 Woodside Avenue) and SA-240 (1450 Park Avenue) were located in the archive, but the building cards for SA-227, SA-228, SA-229, SA-230, SA-231, SA-232, SA-233, SA-234, SA-235, SA-236, SA-237, SA-238, and SA-239 were not. The building card for 1406 Park Avenue (SA-236) was not known to exist until staff returned to the PCHS&M to review building cards for another project which is when the building card for 1406 Park Avenue was found in a group of building cards that had been misfiled. Prior to finding this card, staff did not have any evidence of the type, extent, and time frame of changes made to the roof form and pitch.

The Planning Department is seeking to remove 1406 Park Avenue from the Historic Sites Inventory because information provided after the designation indicates that the site does not comply with the criteria set forth in 15-11-10(A)(2) of the LMC for designation as a Significant Site. Specifically, the site was found not to retain its Essential Historical Form and therefore does not comply with criterion (b) of Title 15-11-10(A)(2).

Analysis

The Historic Preservation Board is authorized by Title 15-11-5(I) to review and take action on the designation of Sites to the Historic Sites Inventory. In addition, Title 15-11-10(C) authorizes the Planning Department to remove a Site from the Historic Sites Inventory if:

15-11-10(C)(1) CRITERIA FOR REMOVAL

(c) Additional information indicates that the Building, Accessory Building, and/or Structure on the Site do not comply with the criteria set forth in 15-11-10(A)(1) or 15-11-10(A)(2).

If the Historic Preservation Board finds, based on the analysis below, that the site does not comply with the criteria set forth in Title 15-11-10(A)(2), it will be removed from the Historic Sites Inventory.

15-11-10. PARK CITY HISTORIC SITES INVENTORY.

(A) CRITERIA FOR DESIGNATING SITES TO THE PARK CITY HISTORIC SITES INVENTORY.

(2) SIGNIFICANT SITE. Any Buildings (main, attached, detached or public), Accessory Buildings, and/or Structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and

Analysis: The site meets this criterion. It is at least 50 years old. The Summit County Assessor tax file indicates a construction date of approximately 1914 and the house appears on the 1929 Sanborn Insurance map.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form.

Analysis: The site does not meet this criterion. The site does not retain its Essential Historical Form as defined in the Land Management Code because it has undergone major alterations that have destroyed the physical characteristics that make it identifiable as existing in or relating to an important era in the past.

Major alterations that destroy the essential historical form include:

(i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or

Analysis: The pitch in the main roof of the primary façade was changed after the Period of Historic Significance (1869-1929). Records in the tax file indicate extensive alteration to the building between 1941 and 1968. Changes to the pitch of the roof above the gable wing occurred between 1949 and 1958. In that time period, the north side of the gable roof was modified to cover an addition to the north side of the house. Rather than retaining the principal roof and extending a shed roof over the addition, the principal roof now appears as a low-pitched, side-facing saltbox.

The stem wing, according to what is visible in the tax photo, originally had a dropped shed roof above the inset partial-width porch. The porch roof has been raised and springs from the principal roof to reflect a stylized gambrel roof form with the steeper slope above the shallower slope and lacking the typical curbs.

(ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or

(iii) Moving it from its original location to a Dissimilar Location, or

(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.

(c) It is important in local or regional history, architecture, engineering or culture associated with at least one (1) of the following:

(i) An era of Historic importance to the community, or

Analysis: The site meets this criterion. It is associated with the mining-era in Park City primarily because of its original date of construction.

(ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

Summary

In summary, staff recommends the HPB find that additional information indicates the site does not comply with the criteria set forth in Title 15-11-10(A)(2) for designation as a Significant Site and that the site be removed from the Historic Sites Inventory.

Notice

Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces.

Public Input

A public hearing, conducted by the Historic Preservation Board, is required prior to removing sites from the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code.

Alternatives

- Conduct a public hearing on the Site described herein and remove the Site from the Historic Sites Inventory based on the findings of fact and conclusions of law set forth in the staff report.
- Conduct a public hearing and reject removal of the Site from the Historic Sites Inventory, providing specific findings of fact and conclusions of law for the action.
- Continue the action to a date certain.

Significant Impacts

There are no significant fiscal impacts on the City as a result of removing the Site described in this report from the Historic Sites Inventory.

Consequences of *not* taking the Recommended Action

Not taking the recommended action will result in a Site remaining on the Historic Site Inventory that does not meet the criteria for designation.

Recommendation

Staff recommends the Historic Preservation Board conduct a public hearing and vote to remove the Site described in this staff report from the Historic Sites Inventory based on the following findings of fact and conclusions of law:

Findings of Fact

1. The property at 1406 Park Avenue is located in the Historic Residential-Medium Density (HRM) District.
2. The site was designated as a Significant Site by the HPB in February 2009 following analysis and a recommendation made by staff based on information from field visits and several secondary sources.
3. Additional information pertaining to the site's compliance with the criteria for designation as a Significant Site was found after February 2009.
4. The additional information consists of the original building cards dated 1949 through 1968, which indicate a change to the pitch of the main roof of the primary façade was made after the Period of Historic Significance (1869-1929). The roof was originally built as a simple cross wing form with front gable bay and cross-gable stem wing, but was altered between 1949 and 1958 to the modified saltbox and stylized gambrel that is extant today.
5. Because of the change to the pitch of the main roof of the primary façade, the site does not retain the physical characteristics that make it identifiable as existing in or relating to an important era in the past (the active mining era).
6. All findings from the Analysis section are incorporated herein.

Conclusions of Law

1. Information not previously known or considered in the designation of 1406 Park Avenue as a Significant Site was found after February 2009 when the HPB took formal action to designate the property to the Historic Sites Inventory.
2. The site at 1406 Park Avenue does not retain the physical characteristics that identify it as existing in or relating to the mining era in Park City.
3. The site at 1406 Park Avenue does not comply with the criteria set forth in Title 15-11-10(A)(2) and therefore the Site is not a Significant Site pursuant to Title 15-11-10.

Exhibits

Exhibit A - 1406 Park Avenue Historic Site Form 2008

Exhibit B - 1406 Park Avenue Historic Site Form 2010

Exhibit C - Photograph

HISTORIC SITE FORM -- HISTORIC SITE INVENTORY

PARK CITY MUNICIPAL CORPORATION (06-09)

1 IDENTIFICATION

Name of Property:

Address: 1406 Park Avenue

AKA:

City, County: Park City, Summit; County, Utah

Tax Number: SA-236

Current Owner Name: Lisa Laporta

Parent Parcel(s):

Current Owner Address: PO Box 2651, Park City, Utah 84060

Legal Description (include acreage): BEG 1800 FT E ALG SEC LN FR SW COR SEC 9 T2SR4E SLBM RUN TH E ALG SED LN 13.90 FT; TH N 36*56 W 13 FT; N 53*28 E 58 FT S 35*59 E 52.08 FT; TH S 54*01 W 69.03 FT; TH N 35*59 W 46.69 FT TO BEG; cont 0.08 acres.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full
 - Partial

Use

- Original Use: Residential
- Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo: c.1937
- prints: 1995 and 2006
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

- Ancestry.com. *1930 United States Federal Census* [database on-line]. Provo, UT, USA: Ancestry.com Operations Inc, 2002. Original data: United States of America, Bureau of the Census. *Fifteenth Census of the United States, 1930*. Washington, D.C.: National Archives and Records Administration, 1930. Microfilm Publications T626, 2,677 rolls.
- . *1920 United States Federal Census* [database on-line]. Provo, UT, USA: Ancestry.com Operations Inc, 2009. Original data: United States of America, Bureau of the Census. Record Group 29. *Fourteenth Census of the United States, 1920*. Washington, D.C.: National Archives and Records Administration, 1930. Microfilm Publication T625, 2,076 rolls.
- Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
- McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
- Roberts, Allen. *1406 Park Avenue*. 1995. *Park City Reconnaissance Level Survey*. Historic Preservation Research Office. Utah State Historical Society. 26 Dec. 2008.
- Sanborn, D.A. [Sheet 2, Park City, Utah, 1907.] Map. *Sanborn Fire Insurance Maps*. J. Willard Marriott Library. 27 Oct. 2009. <http://www.lib.utah.edu/digital/sanborn/>
- . [Sheet 2, Park City, Utah, 1907 (corrected to 1929).] Map. *Sanborn Fire Insurance Maps*. Hal Compton Research Library. Park City Historical Society & Museum. 13 Oct. 2009. Electronic.

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: February 2010

---. (Sheet 2, Park City, Utah, 1907 (corrected to 1940). □ Map. Sanborn Fire Insurance Maps. *The Research Center of Utah State Archives and Utah State History*. Utah Department of Community and Culture. 22 Sept. 2009. Microfilm. Reel 2. Summit County. Tax Assessor. Tax File: SA-236. Coalville, 1937-1968. Park City Tax File Archives. *Hal Compton Research Library*. Park City Historical Society & Museum.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Cross-wing / Vernacular No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # ; structure(s), # .

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Flat lot with large tree in front yard. South portion of front yard is paved for parking area and open wooden picket fence spans the front yard at the sidewalk edge. Heavy vegetation around the house and a solid wood fence obstructs visibility to the rear yard.

Foundation: Appears to be concrete, in part. Tax file indicates no foundation through 1968.

Walls: Aluminum/vinyl siding.

Roof: Multiple roof forms--modified gambrel, saltbox, gable--sheathed in asphalt shingle.

Windows/Doors: Casement of various sizes and shapes.

Essential Historical Form: Retains Does Not Retain, due to: Changes in the pitch of main roof of primary façade made after the Period of Historic Significance.

Location: Original Location Moved (date) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The one-story frame cottage has been significantly altered over time. In 1943, a small addition was constructed on the northwest corner of the house, which was then incorporated into a larger addition projecting from the north façade sometime before 1958. Window openings and the porch--seen in the c.1937 tax photo--have been replaced with horizontally oriented casement windows and a front addition. The roof forms have been significantly altered. Changes to the pitch of the roof above the gable wing occurred between 1949 and 1958. In that time period, the north side of the gable roof was modified to cover an addition to the north side of the house. Rather than retaining the principal roof and extending a shed roof over the addition, the principal roof now appears as a low-pitched, side-facing saltbox. The stem wing originally had a dropped shed roof above the inset, partial-width porch (see tax photo). In the 1995 photograph, the porch roof has been raised and springs from the principal roof of the stem wing. In more recent photographs, the roof of the stem wing has been altered to reflect a stylized gambrel roof form with the steeper slope above the shallower slope and missing the typical curbs.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The side yard and a portion of the front yard has been paved to accommodate a parking area. The vegetation and fence are typical of modest homes in Park City. The fence was added after 1995.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Most of the physical evidence from the period that defines the typical Park City mining era home has been altered and, therefore, lost.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The T or L cottage (also known as a cross-wing) is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1912¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

Title abstract was not completed for this report. Further, US Census records from 1920 and 1930 do not reflect house numbers in this area so it is not possible to determine who lived in the house during those years.

WD in 10-1988 from Kimberlie J. Collester & Kimberlie C. Meehan to Golden Horizon Investment, Ltd.

QCD in 3-1990 from Golden Horizon Investments to Daniel Hammond.

WD in 11-1990 from Daniel Hammond to Keith R. Damon.

WD in 11-1990 from Keith R. Damon to Clark & Mary Vanderhoof

WD 11-1998 from Clark & Mary Vanderhoof to current owner, Lisa A. LaPorta.

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: West elevation. Camera facing east, 2006.

Photo No. 2: West elevation. Camera facing east, 2006.

Photo No. 3: Southwest oblique. Camera facing northeast, 1995.

Photo No. 4: West elevation. Camera facing east, c.1937.

¹ Summit County Tax Assessor.

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1406 Park Avenue

AKA:

City, County: Park City, Summit; County, Utah

Tax Number: SA-236

Current Owner Name: Lisa Laporta

Parent Parcel(s):

Current Owner Address: PO Box 2651, Park City, Utah 84060

Legal Description (include acreage): BEG 1800 FT E ALG SEC LN FR SW COR SEC 9 T2SR4E SLBM RUN TH E ALG SED LN 13.90 FT; TH N 36*56 W 13 FT; N 53*28 E 58 FT S 35*59 E 52.08 FT; TH S 54*01 W 69.03 FT; TH N 35*59 W 46.69 FT TO BEG; cont 0.08 acres.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. Final Report. Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. Final Report. Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. Residences of Mining Boom Era, Park City - Thematic Nomination. National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: T/L cottage type

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # structure(s), #

General Condition of Exterior Materials:

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Appears to be at least partial concrete, but not verified.

Walls: Aluminum/vinyl siding.

Roof: Cross-wing roof form sheathed in asphalt shingle.

Windows/Doors: Casement of various sizes and shapes.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The one-story frame T/L cottage appears to have been significantly modified over time, before 1995. The inset partial-width front porch was enclosed and glazed. The gable front bay roof has been extended to the north and the window openings have been altered. The changes are significant and diminish the site's original design integrity.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): A portion of the front and side yards has been paved to accommodate a parking area and a wooden fence, typical of Park City mining era homes, was added to the front yard after 1995.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Much of the physical evidence from the period that defines the typical Park City mining era home has been altered and, therefore, lost.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The T or L cottage (also known as a cross-wing) is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places. The site, however, retains its essential historical form and meets the criteria set forth in LMC Chapter 15-11 for designation as a Significant Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:) Date of Construction: c. 1905

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.¹

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: West elevation. Camera facing east, 2006.

Photo No. 2: West elevation. Camera facing east, 2006.

Photo No. 3: Southwest oblique. Camera facing northeast, 1995.

¹ From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

13. The Heating Plant was constructed prior to 1929 as evidenced by the appearance of the structure on the 1929 Sanborn Insurance map.
14. The Heating Plant structure reflects the typical construction method used in the early twentieth century for this type of industrial structure. The structure contributes to the importance of the site.
15. The Water Tank was constructed prior to 1929 as evidenced by the appearance of the structure on the 1929 Sanborn Insurance map.
16. The Water Tank reflects the typical construction method used in the early twentieth century for this type of industrial structure. Mining and engineering handbooks from the mining era include illustrations of similar structures and water tanks of this type are extant at other mining-related historic sites in Park City. The Structure contributes to the importance of the site.
17. All findings from the Analysis section are incorporated herein.

Conclusions of Law – 1825 Three Kings Drive – Spiro Tunnel Site

1. The remaining three buildings and four structures that make up the Silver King Consolidated Mine Spiro Tunnel Site are at least fifty (50) years old.
2. The remaining three buildings and four structures that make up the Silver King Consolidated Mine Spiro Tunnel Site retain the physical characteristics that identify them as existing in or relating to the mining era.
3. The remaining three buildings and four structures that make up the Silver King Consolidated Mine Spiro Tunnel Site are important in local or regional history, architecture, engineering or culture associated with an era of Historic importance to the community (the active mining era) and the lives of Persons who were of Historic importance to the community.
4. The remaining three buildings and four structures that make up the Silver King Consolidated Mine Spiro Tunnel Site meet the criteria set forth in Title 15-11-10(A)(2) and therefore the site is a significant site pursuant to Title 15-11-10.

1406 Park Avenue – Determination of Insignificance (Application #PL-09-00843)

Ms. Blaes noted that the Staff recommendation was to remove this from the historic sites inventory based on additional information that was not available when the site was originally designated. The Staff report contained background information highlighting that additional information.

Ms. Blaes stated that the site has undergone extensive changes and modifications and does not meet the LMC definition of a central historical form or the criteria. Based on the Staff analysis and the findings of fact and conclusions

of law, the Staff recommended that the HPB remove this site from the Historic Sites Inventory.

Chair Durst opened the public hearing.

There was no comment.

Chair Durst closed the public hearing.

MOTION: Board Member White made a motion to remove the building at 1406 Park Avenue from the Historic Site Inventory in accordance with the Findings of Fact and Conclusions of Law outlined in the Staff report. Board Member McFawn seconded the motion.

VOTE: The motion passed unanimously.

Findings of Fact -1406 Park Avenue

1. The property at 1406 Park Avenue is located in the Historic Residential-Medium Density (HRM) district.
2. The site was designated as a Significant Site by the HPB in February 2009 following analysis and a recommendation made by Staff based on information from field visits and several secondary sources.
3. Additional information pertaining to the site's compliance with the criteria for designation as a Significant Site was found after February 2009.
4. The additional information consists of the original building cards dated 1949 through 1968, which indicate a change to the pitch of the main roof of the primary façade was made after the Period of Historic Significance (1869-1929). The roof was originally built as a simple cross wing form with front gable bay and cross-gable stem wing, but was altered between 1949 and 1958 to the modified saltbox and stylized gambrel that is extant today.
5. Because of the change to the pitch of the main roof of the primary façade, the site does not retain the physical characteristics that make it identifiable as existing in or relating to an important era in the past (the active mining era).
6. All findings from the Analysis section are incorporated herein.

Conclusions of Law – 1406 Park Avenue

1. Information not previously know or considered in the designation of 1406 Park Avenue as a Significant Site was found after February 2009 when the HPB took formal action to designate the property to the Historic Sites Inventory.
2. The site at 1406 Park Avenue does not retain the physical characteristics that identify it as existing in or relating to the mining era in Park City.

3. The site at 1406 park Avenue does not comply with the criteria set forth in Title 15-11-10(A)(2) and therefore the Site is not a Significant Site pursuant to Title 15-11-10.

569 Park Avenue – Determination of Insignificance
(Application #PL-09-00846)

Dina Blaes noted that the Staff recommendation was to remove 569 Park Avenue from the Historic Sites Inventory. Background information was contained in the Staff report. Ms. Blaes clarified that this request was prompted by a comment from Sandra Morrison at the Park City Historical Society and Museum. Ms. Morrison raised the concern that the site did not meet the criteria because of extensive changes to the roof that had taken place outside of the historic period. Ms. Blaes remarked that Ms. Morrison was correct and clarified that it was an oversight on the part of the Staff. The site was not appropriately assessed based on the available information and should not have been adopted on the original HSI.

Ms. Blaes noted that the Staff had not appropriately take into consideration the tax card information, as well as earlier photographs and the progression of photographs. That information was provided in the Staff report and was used in the Staff Analysis, as well as the findings of fact and conclusions of law.

The Staff recommended that the HPB remove 569 Park Avenue from the Historic Sites Inventory based on the findings of fact and conclusions of law.

Ms. Blaes stated that although the site does not meet the framework and criteria in the Land Management Code, it was still a successful rehabilitation. Many of the bungalow elements were returned and it was unfortunate that the hip roof was not brought back.

Chair Durst opened the public hearing.

There was no comment.

Chair Durst closed the public hearing.

MOTION: Board Member McFawn made a motion to remove the structure at 569 Park Avenue from the Historic Inventory Site, in accordance with the Findings of Fact and Conclusions of Law outlined in the Staff report. Board Member Opalek seconded the motion.

VOTE: The motion passed unanimously.

Findings of Fact – 569 Park Avenue



Planning Department

Historic Preservation Board Staff Report

Author: Hannah Turpen, Planner
Subject: Historic Sites Inventory
Address: 1259 Norfolk Avenue
Project Number: PL-15-02645
Date: April 6, 2016
Type of Item: Administrative – Determination of Significance

The body of this staff report contains the same information as the March 2, 2016 Historic Preservation staff report; however, additional information has been added to pages 9-11 and the Findings of Fact have been updated with the additional information.

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing and consider finding 1259 Norfolk Avenue as a Significant Site on the Park City Historic Sites Inventory (HSI) in accordance with the attached findings of fact and conclusions of law.

Topic:

Project Name: 1259 Norfolk Avenue
Applicant: Park City Municipal Corporation
Owners: Maureen Barbara Moriarty (Trustee)
Proposal: Determination of Significance

Background:

City Council adopted amendments to the Land Management Code (LMC) on December 17, 2015, to modify and expand the criteria regarding the designation of "Significant" structures which would expand the Historic Sites Inventory criteria to include or consider the following terms:

- Any structure that has received a historic grant from the City;
- Has previously been on the Historic Site Inventory or listed as significant or contributory on any reconnaissance or other historic survey;
- Or despite non-historic additions retain its historic scale, context, materials in a manner and degree, which can reasonably be restored to historic form.

One of the goals of the CRSA intensive level survey is to ensure that the Planning Department has a comprehensive list of all historic properties in Park City, and this DOS is for a property that had, for reasons unknown, not been included in the Historic Sites Inventory (HSI) adopted in 2009. The Planning Department identified and submitted applications for determination of significance for several properties, including 1259 Norfolk Avenue, which may qualify for local designation on the inventory under the new LMC changes.

The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 414 sites of which 192 sites meet the criteria for designation as Landmark Sites and 222 sites meet the criteria for designation as Significant Sites. Since 2009, staff has reviewed Determination of Significance (DOS) applications with the HPB on a case-by-case basis in order to keep the Historic Sites Inventory (HSI) current. Now with the amended, broader criteria, there may be structures which qualify for the inventory which didn't before.

The purpose of this DOS is for the HPB to consider designating the house at 1259 Norfolk Avenue as "Significant" on the HSI. The Determination of Significance for 1259 Norfolk Avenue was continued at the HPB meeting on April 1, 2015 to a date uncertain. The item was continued because additional information was discovered regarding this site. On March 2, 2016, the Historic Preservation Board continued this item again because clarification was requested regarding the 2002 Historic District Design Review application scope of work and the date of the historic tax photograph.

Table 1: *Past applications for 1259 Norfolk Avenue (there are no other applications currently active for this property):*

Permit Year	Description of Work
1996	The roof was repaired.
2001	A grant was awarded by the Historic District Commission in the amount of \$16,500.
2002	There was a plat amendment application, which divided the existing three (3) parcels into two (2) legal lots of record. The Historic District Commission approved a renovation, relocation, and lower level garage and foundation addition to the structure.

History of the Structure:

The house at 1259 Norfolk Avenue was initially constructed circa 1900. 1259 Norfolk Avenue was located outside of the Sanborn Fire Insurance Map (Sanborn Map) boundary prior to the 1907 Sanborn Map. According to the Sanborn Maps, sometime between 1907 and 1929, a porch was added on the east and south facades of the house. The house remains unchanged in the 1941 Sanborn Map. See Figure 1.

The house is a hall-parlor that has been modified. The 1904-05 photograph of Park City facing northwest shows the structure and only a handful of others across from the historic baseball grounds (Figure 2a and 2b). The front porch was added between 1907 and 1929 (after the 1904-5 photograph was taken). Originally, the house had two rectangular volumes, the front (east) living space and the back (west) bedroom wing. The front porch was added before the 1929 Sanborn Map of Park City and remains an important historical element of the house. The house is documented in a circa 1940's tax photograph (Figure 3). The circa 1950-1962 photograph shows the increased development in Old Town and near 1259 Norfolk Avenue (Figure 4a and 4b). The baseball grounds no longer featured the spectator stands and backstop. In addition, the house appears very similar to the circa 1940 tax photograph (Figure 3). Additional

1940's, 1950's, and 1960's photographs can be seen in Figure 8a, 8b, and 8c. with commentary on the validation of the circa 1940 historic tax photograph.

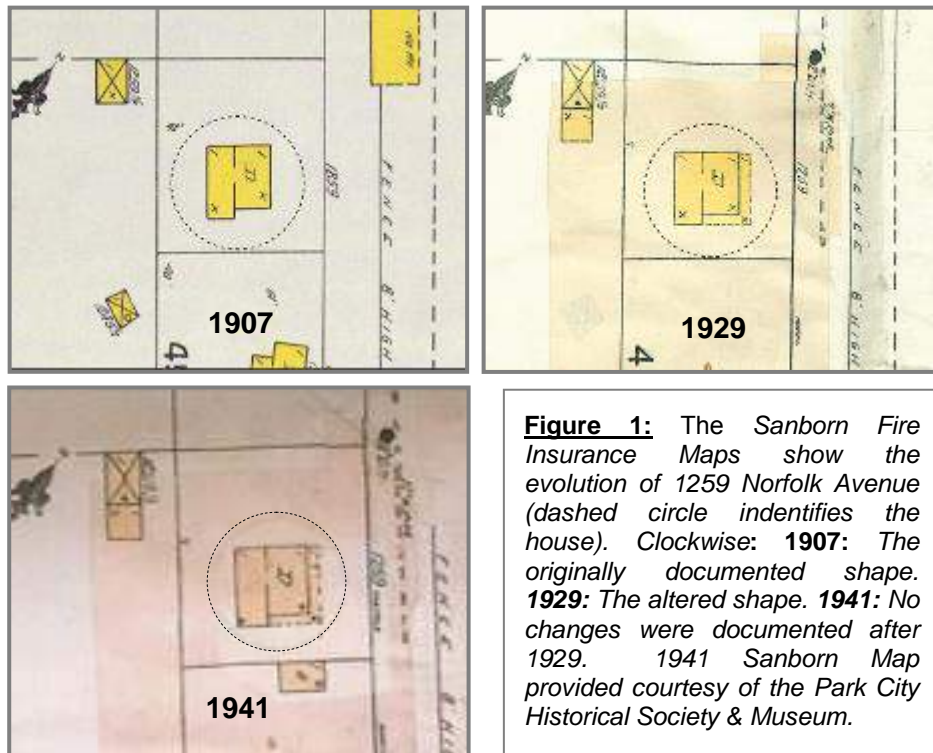


Figure 2a: Overall view of Park City. Camera facing northwest. 1904-05. (Park City Historical Society & Museum)



Figure 2b: Close-up of Figure 2a (Overall view of Park City. Camera facing northwest. 1904-05). (Park City Historical Society & Museum). The white circle identifies the house prior to the addition of the front porch.

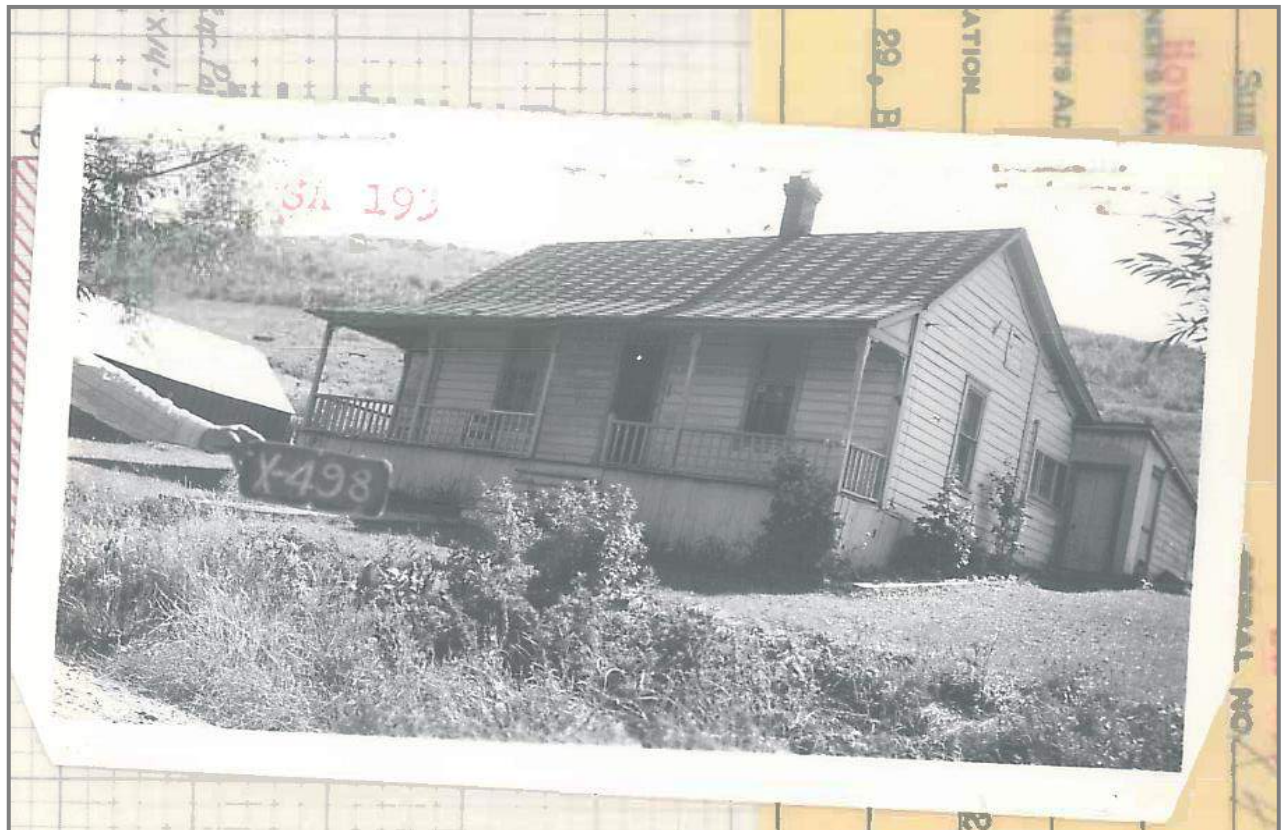


Figure 3: Circa 1940's tax photograph. (Park City Historical Society & Museum).

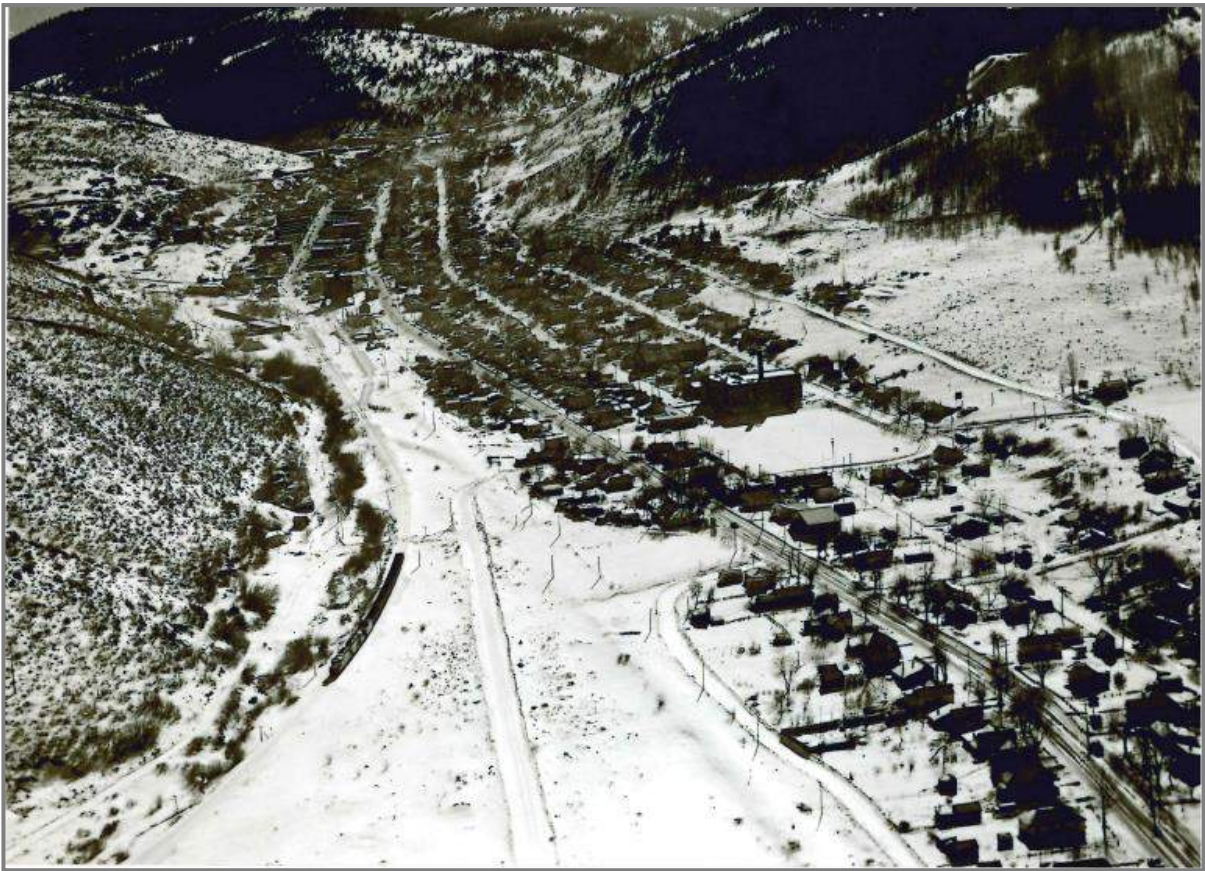


Figure 4a: Park City facing south circa 1950-1962. Development had increased in Old Town and near 1259 Norfolk Avenue. The baseball grounds no longer featured the spectator stands and backstop. (Park City Historical Society and Museum)



Figure 4b: Close up of Figure 4a. Park City facing south circa 1950-1962. The house (circled in white) still retains the same form as that of the circa 1940's tax photograph. (Park City Historical Society and Museum)

In 2001, a grant was awarded by the Historic District Commission in the amount of \$16,500 for work related to the 2002 renovation. The grant was a dollar-for-dollar match for the following projects related to the 2002 renovation:

- New Foundation
- Structural, electrical, plumbing and mechanical improvements.
- Replacement door and windows and re-roofing
- Exterior siding and trim repairs, prep, and repainting

The house was moved to the southeast as a part of the 2002 renovation to accommodate the subdivision of the existing three (3) parcels into two (2) legal lots of record (See Figure 5). Staff finds that the relocation of the structure, while not a preferred method of historic preservation, does not detract from the historic integrity or context of the site or house. Figure 5 shows the location of the house today in relation to its historic location. The house is surrounded by both historic and non-historic sites. The site still retains its context and spatial relationship with the historic baseball field located directly across the street.

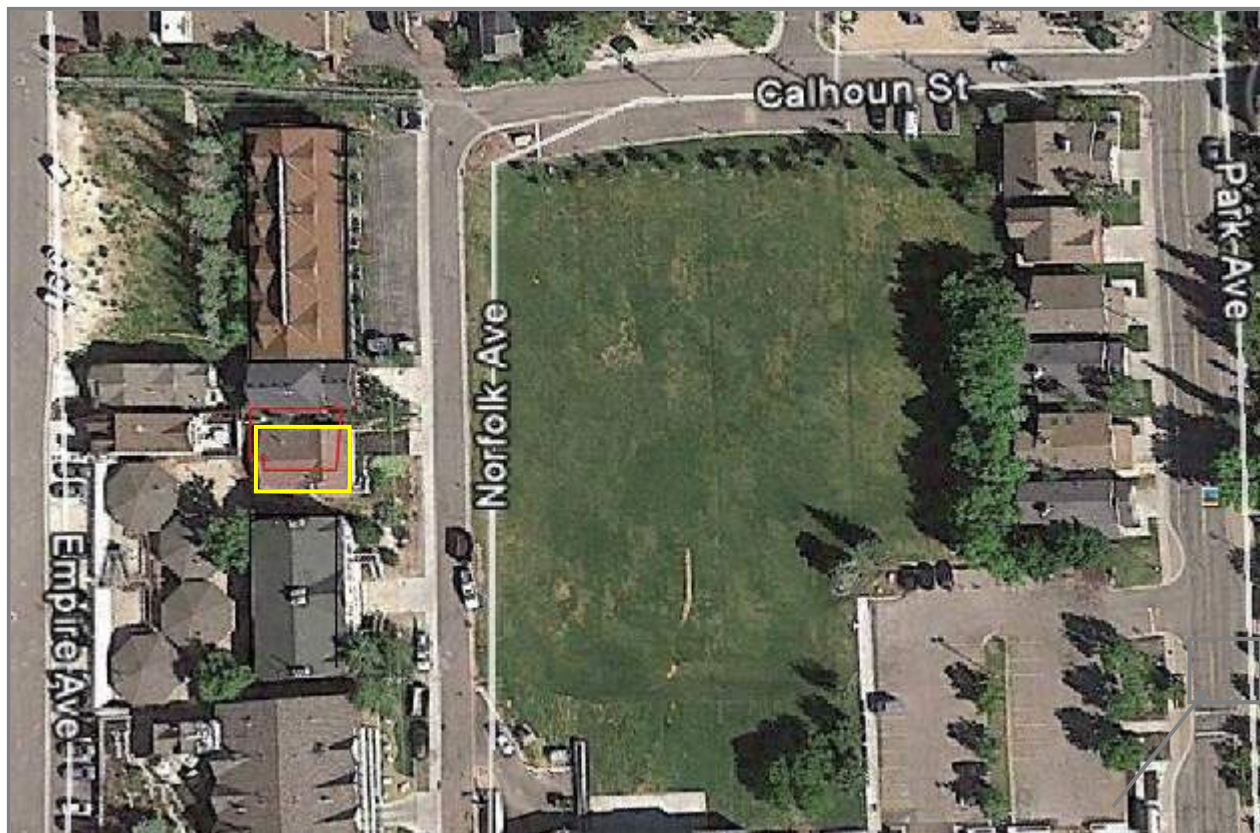


Figure 5: *The red outline represents the historic location of the house prior to the 2002 renovation. The yellow outline represents the current location on the house.*

The 2002 scope of work included removal of a historic addition, restoration of historic house, and the construction of a lower level garage, foundation, and rear addition (See Figure 6 and Figure 7 for photographs of the house before and after the 2002 renovation).

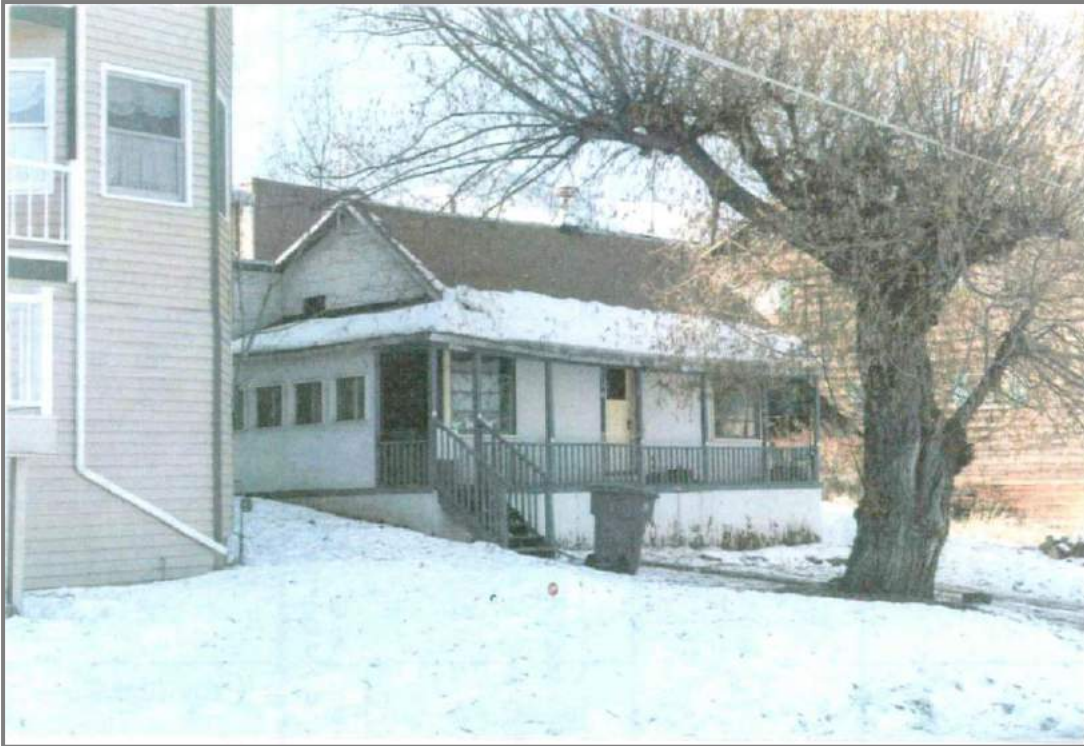


Figure 6: Southeast oblique. Camera facing northwest. 2001. Before the 2002 renovation.



Figure 7: Southeast oblique. Camera facing northwest. November 2014. After the 2002 renovation.

The lower level garage and concrete foundation were added in 2002, but they do not detract significantly from its Historic Form when viewed from the primary public Right-of-Way. Staff finds that the change in material to board and batten on the lower level garage portion of the house creates a clear delineation between the historic portion of the house and the new lower level garage addition. The board and batten is also a nod at the vertical boards that were used historically as the porch skirt (visible in the circa 1940 tax photograph, see Figure 3). In 2002, the Historic District Commission determined that the garage shall be recessed under the front porch in order not to create a visual and architectural distraction. The new rear addition is located behind the historic dwelling and is subordinate to the historic portion of the house in terms of mass, height, and scale.

In 2002, the applicant demolished the historic rear shed addition located at the northwest corner of the dwelling in order for the structure to fit onto its newly created lot. The historic rear shed addition is visible in the circa 1940 tax photograph (Figure 3), but not on the 1941 Sanborn Map (Figure 1). The Historic District Commission determined that the historic northwest rear shed addition was not integral to the overall building's historic integrity and that the historic south addition was more important to the historic integrity of the building because it was incorporated into the historic porch. As a result, the porch was restored in its entirety, which staff finds restored the Historic Form and reflects the Historical character of the site more than if the house had retained the historic northwest rear addition.

The roof was repaired in 1996, but the repair did not alter the historic roof form. In 2002, the new rear addition incorporated a cross gable roof design with the intent to minimize the massing of the new rear addition. The historic portion of the house retains the historic roof form.

In 2002, the porch was restored according to historic documentation available. The Historic District Commission referenced the circa 1940 tax photograph, which showed architectural detailing involving the construction of the porch. The 2002 renovation restored much of the porch detailing visible in the circa 1940 tax photograph. Staff finds that the porch is an important architectural feature that contributes to the Historic Form of the house.

The current location of the entrance stairs is not consistent with that found in the circa 1940 tax photograph. At the time of the 2002 renovation, the steps were in their current location. The historic location of the entrance steps was centered on the front of the house, directly in front of the front door. In 2002, the Historic District Commission determined that the repositioning of the steps into their historic location would result in an encroachment into the front yard setback. Staff finds that the current location of the stairs does not detract from the historic integrity of the structure because their design is consistent with that of the historic steps and the other important architectural features of the front porch are still present.

As a part of the 2002 renovation, the historic one-over-one double hung windows (visible in the circa 1940's tax photograph) were brought back on the north, south, and east elevations of the house. In addition, the transom above the front door was incorporated into the design after being lost in an out of period alteration.

In 2002, the historic horizontal lap-siding was exposed beneath non-historic siding. The historic siding was repaired and painted. The architectural detailing including fascia boards, cornices, and brackets were reintroduced or restored as a part of the 2002 renovation.

Clarification Requested at the March 2, 2016 Historic Preservation Board Meeting:

On March 2, 2016, the Historic Preservation Board continued the Determination of Significance application again because clarification was requested regarding the date of the historic tax photograph and the 2002 Historic District Design Review application scope of work.

The circa 1940 tax photograph was questioned by the property owner's representative in the Historic Preservation Board meeting on March 2, 2016. The property owner's representative questioned the accuracy of the photograph's date (circa 1940). Staff conducted additional research to address these concerns, including:

- The collection of historic tax cards at the Park City Museum and Historical Society includes most, if not all, of the tax cards and/or documentation conducted for any given historic property. This is why the historic tax photograph taken in circa 1940 is attached to the tax card from a differing year. It is not uncommon for specific tax cards or photographs to be missing from years known to have had assessments conducted.
- Staff conducted additional photographic research at the Park City Museum and Historical Society Research Library. Staff found photograph evidence validating that the historic tax photograph is pre-1960's, contrary to the beliefs of the property owner's representative. As is detailed in the photographic evidence in Figure 8a, 8b, and 8c, the front façade of the structure was altered sometime after 1947. The circa 1940 tax photograph and the 1947 photograph show the unaltered historic front façade, whereas the 1950 and 1961 photographs show alterations to the front windows. This proves that the circa 1940 tax photograph attached to the tax card of a differing year is not from the 1960's as alterations to the façade occurred sometime after 1947.
- Staff has also determined that the 2002 Historic District Design Review application cited the same circa 1940 tax photograph being used today.

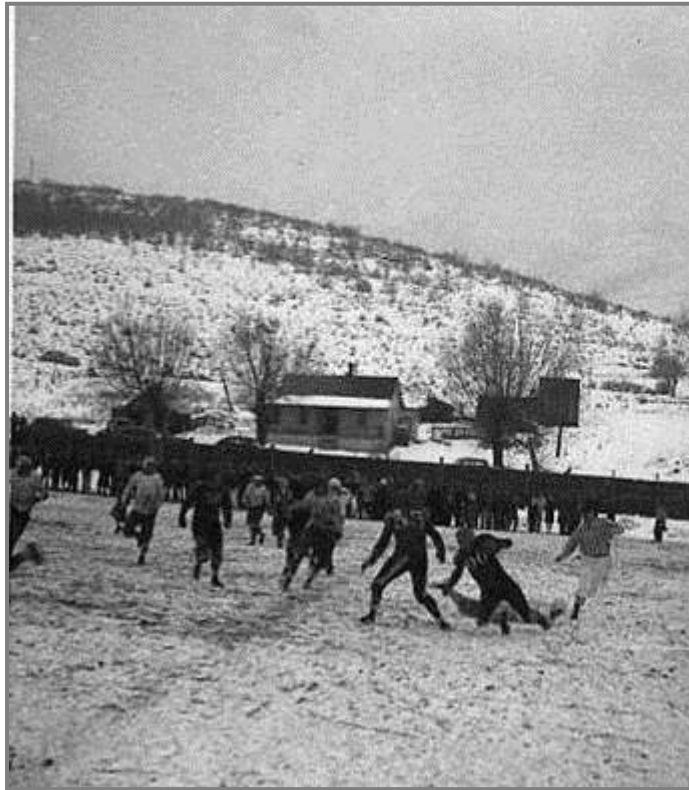


Figure 8a: A 1947 photograph facing west taken from the then football field of Park City High School (Carl Winters School). 1259 Norfolk Avenue is visible in the background. The front façade of 1259 Norfolk Avenue matches that of the circa 1940 tax photograph. (Park City Historical Society and Museum)



Figure 8b: A 1950 photograph facing southwest taken from the then football field of the Park City High School (Carl Winters School). 1259 Norfolk Avenue is visible in the upper left corner of the photograph. The front façade of the house does not match that of the circa 1940 tax photograph or the 1947 photograph meaning that the alterations to the front façade would have had to occur sometime after 1947. (Park City Historical Society and Museum)



Figure 8c: An October 27, 1961 photograph facing southwest taken from the then football field of the Park City High School (Carl Winters School). 1259 Norfolk Avenue is visible in the upper right corner of the photograph. This photograph is in better focus and provides a more detailed view of the alterations to the front façade that do not match that of the circa 1940 tax photograph. (Park City Historical Society and Museum)

In the March 2, 2016 Historic Preservation Board meeting, the property owner’s representative explained that the previous owner “deconstructed” the house. Staff has found no such evidence of this statement. The 2002 Historic District Design Review Action Letter goes into meticulous detail about the entire renovation project; however, nowhere in the Action Letter does it discuss the deconstruction of the house in whole. Staff has attached the 2002 Historic District Design Review Action Letter as Exhibit J, the 2001 and 2002 Historic District Commission Staff Reports as Exhibit D and Exhibit H, and the Historic District Commission meeting minutes related to the 2002 renovation as Exhibit E, Exhibit F, Exhibit G, and Exhibit I.

Analysis and Discussion:

The Historic Preservation Board is authorized by Title 15-11-5(I) to review and take action on the designation of sites within the Historic Sites Inventory (HSI). The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). Land Management Code Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory (HSI). The site is currently not listed on the HSI.

Staff finds that the site would not meet the criteria for Landmark designation, based on the following:

LANDMARK SITE. Any Buildings (main, attached, detached, or public), Accessory Buildings, and/or Structures may be designated to the Historic Sites Inventory as a Landmark Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance or if the Site is of exceptional importance to the community; and **Complies.**

The structure was originally constructed in c.1900, which makes the structure approximately 116 years old.

(b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and **Does Not Comply.**

The site does not meet these criteria. Staff finds that much of the historic architectural features were brought back as a part of the 2002 renovation; however, the house is not eligible for the National Register of Historic Places due to the cumulative changes to its design, out of period additions, materials, and workmanship that have diminished its historic integrity.

(c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

(i) An era that has made a significant contribution to the broad patterns of our history;

(ii) The lives of Persons significant in the history of the community, state, region, or nation; or

(iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. **Complies.**

The structure contributes to our understanding of Park City's Mature Mining Era (1894- 1930). Hall-parlors were the first popular housing type in Park City after log cabins and one-room shacks of the initial silver discover era of the 1870s. This property was not included in the Sanborn Maps until the 1907 addition because of its location in the outskirts of town around 1900. The 1904-05 photograph of Park City facing northeast shows the structure and only a handful of others across from the historic baseball grounds. The structure utilizes typical materials and assemblies of a Park City residence built during the early twentieth century. Such materials and assemblies include drop wood siding, subtle window and door trim, patio posts and bracket details that convey a sense of Victorianism, and board and batten siding.

In order to be included on the HSI, the Historic Preservation Board will need to determine that the building meets the criteria for Significant, as outlined below:

SIGNIFICANT SITE. Any Buildings (main, attached, detached or public), Accessory Buildings and/or Structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or the Site is of exceptional importance to the community; and **Complies.**

The structure was originally constructed in c.1900, which makes the structure approximately 116 years old.

(b) It retains its Historical Form as may be demonstrated but not limited by any of the following:

(i) It previously received a historic grant from the City; or

(ii) It was previously listed on the Historic Sites Inventory; or

(iii) It was listed as Significant or on any reconnaissance or intensive level survey of historic resources; or **Complies.**

In 2001, a grant was awarded by the Historic District Commission in the amount of \$16,500. The grant was a dollar-for-dollar match for the following projects related to the 2002 renovation:

- New Foundation
- Structural, electrical, plumbing and mechanical improvements.
- Replacement door and windows and re-roofing
- Exterior siding and trim repairs, prep, and repainting

This site has not previously been listed on the Historic Sites Inventory for reasons unknown.

(c) It has one (1) or more of the following:

(i) It retains its historic scale, context, materials in a manner and degree which can be restored to Historical Form even if it has non-historic additions; and

(ii) It reflects the Historical or Architectural character of the site or district through design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District even if it has non-historic additions; or

Complies.

Staff finds that much of the historic architectural features were brought back as a part of the 2002 renovation. The introduction of a lower level basement, foundation, and rear addition does not detract from the Historic Form because of the careful architectural details that were added to create a clear delineation between the historic house and the new addition. Such architectural details include the change of materials to board-and-batten on the lower level garage addition, compared to historic lap siding seen on the historic portion of the house. Staff finds that the house retains its Historic Form, reflects the Historical Character, and still maintains

its historic site context despite the presence of a non-historic addition and surrounding non-historic infill development.

(d) It is important in local or regional history architecture, engineering, or culture associated with at least one (1) of the following:

(i) An era of Historic Importance to the community, or

(ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.**

The structure contributes to our understanding of Park City's Mature Mining Era (1894- 1930). Hall-parlors were one of the first popular housing types in Park City after log cabins and one-room shacks of the initial silver discover era of the 1870s. This property was not included in the Sanborn Maps until the 1907 addition because of its location in the outskirts of town around 1900. The 1904-05 photograph of Park City facing northeast shows the structure and only a handful of others across from the historic baseball grounds. The structure utilizes typical materials and assemblies of a Park City residence built during the early twentieth century. Such materials and assemblies include drop wood siding, subtle window and door trim, patio posts and bracket details that convey a sense of Victorianism, and board and batten siding.

Process:

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the "Criteria for Designating Historic Sites to the Park City Historic Sites Inventory." The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice:

On March 19, 2016, Legal Notice of this public hearing was published in the Park Record, according to the requirements of the Land Management Code. Staff also sent a mailing notice to the property owner and property owners within 100 feet on February 17, 2016 and posted the property on February 17, 2016.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code as noted above. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for **1259 Norfolk Avenue** described herein and find the structure at **1259 Norfolk Avenue** meets the criteria for the designation of “Significant” to the Historic Sites Inventory according the draft findings of fact and conclusions of law, in whole or in part.
- Conduct a public hearing and find the structure at **1259 Norfolk Avenue** does not meet the criteria for the designation of “Significant” to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Significant Impacts:

The house at 1259 Norfolk Avenue is not listed on the Historic Sites Inventory. If designated as “Significant” on the HSI, any alterations must comply with the Design Guidelines for Historic Sites and the site will be eligible for the Historic District Grant Program. Should the structure not be included, then the property will be eligible for demolition.

Consequences of *not* taking the Recommended Action:

If no action is taken, no change will occur to the designation of 1259 Norfolk Avenue because the house is not currently on the Historic Sites Inventory. The structure will be eligible for demolition.

If the Historic Preservation Board chooses to include this site on the HSI, the structure will be designated a Significant Historic site and not eligible for demolition. It will be eligible for the Historic District Grant Program.

Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and consider designating the house at 1259 Norfolk Avenue as a Significant Site on the Park City Historic Sites Inventory.

Finding of Fact:

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 414 sites of which 192 sites meet the criteria for designation as Landmark Sites and 222 sites meet the criteria for designation as Significant Sites. This site was not included on the 2009 HSI based upon the older criteria.
2. In December 2015, City Council amended the Land Management Code to expand the criteria for what structures qualify to be significant sites.
3. The house at 1259 Norfolk Avenue is within the Recreation Commercial (RC) zoning district.
4. The structure is not currently designated as a Significant or Landmark site on the 2009 Historic Sites Inventory.
5. The structure was originally constructed at 1259 Norfolk Avenue in c.1900, which makes the structure approximately 116 years old.

6. The structure appears in the 1907, 1929, and 1941 Sanborn Fire Insurance maps.
7. The structure can be found in a 1940's tax photograph.
8. The structure is not currently designated as a Significant or Landmark site on the Historic Sites Inventory.
9. The original hall-parlor was constructed within the Mature Mining Era (1894-1930) and is historic.
10. In 2001, a grant was awarded by the Historic District Commission in the amount of \$16,500 for a new foundation; structural, electrical, plumbing and mechanical improvements; replacement doors and windows; re-roof; and exterior siding and trim repairs, prep, and repainting.
11. The lower level garage addition and new foundation were added in 2002 and are non-historic.
12. The house was moved to the southeast as a part of the 2002 renovation to accommodate the subdivision of the existing three (3) parcels into two (2) legal lots of record.
13. The house is surrounded by both historic and non-historic sites. The site still retains its context and spatial relationship with the historic baseball field located directly across the street.
14. The lower level garage and concrete foundation were added in 2002, but they do not detract significantly from its Historic Form when viewed from the primary public Right-of-Way.
15. The change in material to board and batten on the lower level garage portion of the house creates a clear delineation between the historic portion of the house and the new lower level garage addition.
16. In 2002, the Historic District Commission determined that the garage shall be recessed under the front porch in order not to create a visual and architectural distraction.
17. The new rear addition is located behind the historic dwelling and is subordinate to the historic portion of the house in terms of mass, height, and scale.
18. In 2002, the applicant demolished the historic northwest rear shed addition located at the northwest corner of the dwelling in order for the structure to fit onto its newly created lot.
19. The historic northwest rear shed addition is visible in the circa 1940's tax photograph (Figure 3), but not on the 1941 Sanborn Map (Figure 1).
20. The Historic District Commission determined that the historic northwest rear shed addition was not integral to the overall building's historic integrity and that the historic south addition was more important to the historic integrity of the building because it was incorporated into the historic porch.
21. The roof was repaired in 1996, but the repair did not alter the historic roof form. The historic portion of the house retains the historic roof form.
22. In 2002, the new rear addition incorporated a cross gable roof design with the intent to minimize the massing of the new rear addition.
23. In 2002, the porch was restored according to historic documentation available, including the 1940's tax photograph.

24. The current location of the entrance stairs is not consistent with that found in the circa 1940's tax photograph.
25. At the time of the 2002 renovation, the steps were in their current location.
26. The historic location of the entrance steps was centered on the front of the house, directly in front of the front door.
27. In 2002, the Historic District Commission determined that the repositioning of the steps into their historic location would result in an encroachment into the front yard setback.
28. In 2002 renovation, the historic one-over-one double hung windows (visible in the circa 1940's tax photograph) were brought back on the north, south, and east elevations of the house.
29. In 2002, the transom above the front door was incorporated into the design after being lost in an out of period alteration.
30. In 2002, the historic horizontal lap-siding was exposed beneath non-historic siding. The historic siding was repaired and painted.
31. The architectural detailing including fascia boards, cornices, and brackets were reintroduced or restored as a part of the 2002 renovation.
32. The structure is a hall-parlor typical of the Mature Mining Era (1894-1930).
33. The site meets the criteria as Significant on the City's Historic Sites Inventory.
34. Built circa 1900, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
35. Though the structure's historic integrity has been diminished due to the out-of-period addition and alterations to its historic materials, it has retained its Historical Form in that the hall-parlor form is still clearly identifiable from the public right-of-way. The lower level out-of-period addition to the east elevation and rear addition on the west of the structure do not detract from its historic significance as these are clearly delineated from the historic hall-parlor form. Further, the 2002 renovation restored many of the historic details that had been lost previously including porch details, historic window openings, and the original siding.
36. The introduction of a lower level basement and foundation and rear addition does not detract from the Historic Form.
37. The house retains its Historic Form, reflects the Historical Character, and still maintains its historic site context despite the presence of a non-historic addition and surrounding non-historic infill development.
38. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era (1894-1930) and its noteworthy method of construction, materials, and craftsmanship of the Mature Mining Era.
39. The front façade of the structure was altered sometime after 1947. The circa 1940 tax photograph and a 1947 photograph show the unaltered historic front façade, whereas the 1950 and 1961 photographs show alterations to the front windows.
40. The site does not meet the criteria as Landmark on the City's Historic Sites Inventory in that the house is not eligible for the National Register of Historic

Places due to the cumulative changes to its design, out of period additions, materials, and workmanship that have diminished its historic integrity.

Conclusions of Law

1. The existing structure located at 1259 Norfolk Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:

(a) It is at least fifty (50) years old or the Site is of exceptional importance to the community; and

Complies.

(b) It retains its Historical Form as may be demonstrated but not limited by any of the following:

(i) It previously received a historic grant from the City; or

(ii) It was previously listed on the Historic Sites Inventory; or

(iii) It was listed as Significant or on any reconnaissance or intensive level survey of historic resources; or

Complies.

(c) It has one (1) or more of the following:

(i) It retains its historic scale, context, materials in a manner and degree which can be restored to Historical Form even if it has non-historic additions; and

(ii) It reflects the Historical or Architectural character of the site or district through design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District even if it has non-historic additions; or

Complies.

Exhibits:

Exhibit A – Historic Sites Inventory Form, 2014

Exhibit B – Historic Tax Card

Exhibit C – 2001 Grant Award Letter

Exhibit D – July 2, 2001 Historic District Commission Staff Report

Exhibit E – July 2, 2001 Historic District Commission Meeting Minutes

Exhibit F – July 16, 2001 Historic District Commission Meeting Minutes

Exhibit G – August 6, 2001 Historic District Commission Meeting Minutes

Exhibit H– March 18, 2002 Historic District Commission Staff Report

Exhibit I– March 18, 2002 Historic District Commission Meeting Minutes

Exhibit J – 2002 Historic District Design Review Action Letter

Exhibit K – 2002 Historic District Design Review Photographs

Exhibit L – Historic Preservation Board Meeting Minutes April 1, 2015

HISTORIC SITE FORM – HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **House at 1259 Norfolk Avenue**

Address: 1259 Norfolk Avenue

A.K.A.:

City, County: Park City, Summit County, Utah

Tax Number: 1259-NOR-1

Current Owner Name: Maureen Barbara Moriarty (trustee)

Parent Parcel(s): SA-193

Current Owner Address: PO Box 242, Park City, UT 84060-0242

Legal Description (include acreage): LOT 1, 1259 NORFOLK AVENUE SUBDIVISION; ACCORDING TO THE OFFICIAL PLAT ON FILE IN THE SUMMIT COUNTY RECORDERS OFFICE CONT 3300 SQ FT OR 0.08 AC [...] (see record for complete legal description)

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

- Original Use: single dwelling
- Current Use: single dwelling

- *National Register of Historic Places: eligible ineligible
- listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: Nov. 2014 (2)
- historic: c. 1905

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn maps
- obituary index
- city directory/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS preservation files
- USHS architects file
- LDS Family History Library
- Park City Hist. Soc./Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other: lot survey (7/28/2003)

Bibliographical References (books, articles, interviews, etc.). Attach copies of all research notes and materials

Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.

Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.

National Register of Historic Places. *Park City Main Street Historic District*. Park City, Utah, National Register #79002511.

Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.

Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.

Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

Researcher/Organization: John Ewanowski

Date: Nov. 2014

4 ARCHITECTURAL DESCRIPTION AND INTEGRITY*Building Type and/or Style:* rectangular cabin type, Victorian Eclectic style*No. Stories:* 1*Additions:* none minor major (describe below) *Alterations:* none minor major (describe below)*Number of associated outbuilding and/or structures:* accessory building(s), # 0; structure(s), # 0.*General Condition of Exterior Materials:* Good: Well-maintained with no serious problems apparent Fair: Some problems are apparent. *Describe the problems:* Poor: Major problems are apparent and constitute an imminent threat. *Describe the problems:* Uninhabitable/Ruin*Materials:*

Foundation: concrete

Walls: drop wood siding, board and batten wood siding on lower level garage

Roof: asphalt shingles

Windows/Doors: double-hung windows (typical) and paneled wood doors with wooden trim

Essential Historical Form: retains does not retain*Location:* original location moved (date: , original location:)

Design: This is a rectangular cabin type that has been modified and updated to include a concrete foundation and a garage in the lower level. Originally, the house was two rectangular volumes, the front (east) living space and the back (west) bedroom wing. The front patio was added before the 1929 Sanborn Map of Park City and remains an important historical element of the house. The garage and concrete foundation were recent alterations to the house, but they do not detract significantly from its historic feel and appearance.

Setting: Set in the north end of Old Town Park City, facing a greensward that was once the historic baseball field for the town. It is on a 44'x75' lot, about one-and-a-half of the original Snyder's Addition parcels. The setting has changed somewhat with surrounding growth from typical miner's cabins to larger condominiums and hotels. Located close to the base of Park City Mountain Resort, the setting is more developed than it was historically but maintains a degree of historic integrity, especially in its relationship to the historic ball field across the street.

Workmanship: This house utilizes typical materials and assemblies of a Park City residence built during the early twentieth century. Namely, drop wood siding was the preferred wall material of this era and most houses are topped with asphalt shingle roofs. The subtle window and door trim, as well as the patio post and bracket details convey a sense of Victorianism, which was popular at the time of construction. The lower addition is clad in board-and-batten siding, which was employed in the historic period, although it was used to a lesser degree than drop wood siding.

Feeling: Retains its historic integrity despite the addition of a lower level garage and new concrete foundation. The basic historic massing of the original house is readily apparent from the exterior, and the pre-1929 front patio is historic despite not being original. Despite surrounding development, the site retains its historic feel, as well.

Association: Rectangular cabins were the first popular housing type in Park City after the log cabins and one-room shacks of the initial silver discovery era of the 1870s. Over 80% of the rectangular cabins in Park City were built before the 1889 Sanborn Map.¹ This house was not included in the Sanborns until the 1907 addition, as it was near the outskirts of the original town. A 1904-05 photograph shows this house with only a handful of others across from the historic baseball grounds. It is unknown who built the house and the exact date of construction, but it was definitely before 1905 and probably around the turn of the century.

5 SIGNIFICANCE

Architect: not known known: (source:)

Date of Construction: c. 1900

Builder: not known known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement and Mining Boom Era (1868-1893)
 Mature Mining Era (1894-1930)
 Mining Decline and Emergence of Recreation Industry (1931-1962)

Description of historic era: By the 1890s, Park City was a *bona fide* mining town, with a railroad station, post office, fire department, and growing school system. While individuals lost and gained jobs based on fluctuating silver prices, the mining industry was relatively stable in Park City through the 1920s. The Great Fire of 1898 proved the strength of the town: while Main Street was almost completely levelled and sustained over \$1,000,000 in damages, most of the buildings were rebuilt by 1900. Unlike other fire ravaged western mining towns, which often went permanently bust over similar blazes, the demand for Park City silver caused a rapid rebuilding of the business district. Park City survived the Spanish Flu Epidemic, World War I, and Prohibition mostly unscathed, boasting over 4,000 residents in the 1930 United States Census.

2. Persons: N/A

3. Architecture: N/A

6 PHOTOS

Photographs on the following pages (taken by the researcher, unless noted otherwise):

Photo No. 1: Northeast oblique. Camera facing southwest. November 2014.

Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.

Photo No. 3: Overall view of Park City. Camera facing northwest. 1904-05. (Park City Historical Society & Museum)

Photo No. 4: Close-up of Photo No. 3 (Overall view of Park City. Camera facing northwest. 1904-05). (Park City Historical Society & Museum)

¹ Randall, 67.

Photo No. 1: Northeast oblique. Camera facing southwest. November 2014.



Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.



Photo No. 3: Overall view of Park City. Camera facing northwest. 1904-05. (Park City Historical Society & Museum)



Photo No. 4: Close-up of Photo No. 3 (Overall view of Park City. Camera facing northwest. 1904-05). (Park City Historical Society & Museum)



Exhibit B: Historic Tax Card
 Park City Museum and Historical Society

SA 193
 SERIAL NO 498

SUB
 OWNER'S NA
 OWNER'S AD
 LOCATION 22-28 &
 29, B



SA 193

32

Rat Pa
 4x14

SCALE:

IDENTICAL OUT BUILDINGS	Age	Size	Area	Fac- tor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
Shed 12x13 Siding	25+	x		9.0210		.47	25%	50
Dirt Floor		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Age - Class 1F Depr. 2% 63
 1 Floor Dirt Walls Slitg Roof CI Doors 1
12 x 13 Area 14x14 Cost 239 x 47%
 1940 Base Cost x 25 % Depr.
 Total 60

MARKS
110

Owners Name Howard Sweatfield
 Location Park Circle, Utah
 Kind of Bldg. Res St. No. 1239 Norfolk
 Class. 3 Type 1 2 10 Cost \$ 4067 x 104.5%

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	908		\$ 4250	\$
	x x				
	x x				

Att. Gar. --- C.P. --- x --- Flr. --- Walls --- Cl. ---

Description of Buildings Additions Additions

Foundation—Stone Conc None Syle

Ext. Walls Ask. Shake-over siding

Roof Type Asb Mtl. R.R.

Formers—Small --- Med. --- Large ---

Stairs—Small --- Med --- Large ---

Porchs—Front 4x32 128 @ 1.00 128
 Side 4x14 Enc. 52 @ 2.00 112

Porch --- @ ---

Planters --- @ ---

Ext. Base Entry --- @ ---

Cellar-Bsmt. --- 1/4 1/2 3/4 Full 8x11 Floor Coin FH 20

Bsmt. Gar. ---

Basement-Apt. --- Rms. --- Fin. Rms. ---

Little Rooms Fin. --- Unfn. ---

Plumbing { Class 1 Tub. 1 Trays ---
 Basin 1 Sink 1 Toilet 1 550
 Wtr. Sfr. --- Shr. St. --- O.T. ---
 Dishwasher --- Garbage Disp. ---

Heat—Stove --- H.A. --- FA ✓ HW --- Stkr --- Elec. ---

Oil --- Gas ✓ Coal --- Pipeless --- Radiant --- 364

Air Cond. --- Full --- Zone ---

Finish—Fir. ✓ Hd. Wd. --- Panel ---

Floor—Fir. ✓ Hd. Wd. --- Other ---

Cabinets 1 Mantels ---

Tile—Walls --- Wainscot --- Floors ---

Storm Sash—Wood D. --- S. ---; Metal D. --- S. ---

Windowings --- Metal --- Fiberglass ---

Total Additions 1174

Year Built 1945 Avg. 1945 Replacement Cost 5474

Age 1 Age 2. --- Obsolescence ---

Valued by Owner - Tenant - Adj. Bid. Value ---
Neighbor - Record - Est. Conv. Factor x.47

Replacement Cost---1940 Base ---

Depreciation Column 1 2 3 4 5 6 ---

1940 Base Cost, Less Depreciation ---

Total Value from reverse side 10

Total Building Value \$ 5474

Appraised @ 17/3/68 19 68 By CPM

Appraised @ 19 68 By ---



Department of Community Development
Engineering • Building Inspection • Planning

April 9, 2001

Richard Kerr
c/o Peter Barnes



COPY

RE: 2001 Historic District Grant Program - 1259 Norfolk Avenue

Dear Mr. Kerr:

On behalf of the Historic District Commission, I am pleased to inform you that you have received a 2001 Grant in the amount of \$16,500.00. The Commission is very happy that you will be working on your building this summer. This award, in conjunction with your match, will yield significant results for the preservation of your historic building toward any of the following projects:

- New foundation
- Structural, electrical, plumbing and mechanical improvements
- Replacement door and windows & re-roofing
- Exterior siding & trim repairs, prep and re-painting

Prior to beginning work, please contact Derek Satchell, Preservation Planner at 615-5070, to schedule an appointment to review your proposed scope of work and to sign your grant agreements before **July 1, 2001**. Should you fail to sign your agreements and to begin your work before this deadline, your grant award will be forfeited.

Being a historic property owner in Park City, you possess a rich heritage--preserve it well. Again, I offer you the warmest of congratulations.

Sincerely,

A handwritten signature in cursive script that reads "Dick Peek".

Dick Peek, Chairperson
Historic District Commission

CC: File

:Exhibit K - 2001 Grant Award Letter

Park City Municipal Corporation • 445 Marsac Avenue
Community Development (435) 615-5055 • Engineering
Planning (435) 615-5060 • Fax

PARK CITY

1884

FILE COPY

HISTORIC DISTRICT COMMISSION REPORT

DATE: July 2, 2001
DEPARTMENT: Planning Department
AUTHOR: Derek Satchell
TITLE: 1259 Norfolk Avenue - Design Review of Modifications to an Existing Historic Residence
TYPE OF ITEM: Regular Agenda

*Continued to next meeting.
w/ docs to show ideas to staff*

SUMMARY RECOMMENDATIONS: Staff requests that the Historic District Commission review the project within the context of the Historic District Guidelines and approve with the following Findings of Fact, Conclusions of Law and Conditions of Approval.

A. PROJECT STATISTICS

Applicant: Richard & Janice Kerr/Peter Barnes (Designer)
Location: 1259 Norfolk Avenue
Proposal: Design review of Modifications to an Existing Historic Residence
Zoning: Historic Residential (HR-1) District
Adjacent Land Uses: Residential
Date of Application: May 18, 2001

up to applicant.

B. BACKGROUND

The applicant is proposing to construct a 688 square foot garage/workshop under the existing 813 square foot, one-story, single-family residence on the uphill Lots 15, 16 and 17 in Block 18 of the Snyder's Addition to Park City Survey. Additionally, the applicant proposes increase the existing living area of the house from 813 square feet, to 1,903 square feet as well as to make other necessary repairs to the historic dwelling. The applicant is a 2001 HDC Grant recipient in the amount of \$16,500. The surrounding area consists of both contemporary and historic buildings.

The approval and recordation of a subdivision application is required prior to the issuance of any building permits. The applicant intends to subdivide the existing three (3) 25'x75' Old Town lots into two (2) separate lots. This action will not only create a lot which accommodates the existing historic dwelling, but will also permit the applicants to develop the remaining lot. A subdivision application

has been submitted and is scheduled for Planning Commission review and possible action on July 25, 2001.

C. ANALYSIS

The applicant proposes to construct a 688 square foot garage/workshop under the existing 813 square foot, single-story, single-family residence located within the Historic Residential District (HR-1). The Maximum Building Footprint for the proposed 3,300 square foot lot is 1,367 square feet. The proposed Maximum Building Footprint for the dwelling will be approximately 1,285 square feet after the installation of the garage/workshop and addition to the rear of the dwelling. The height limit in the HR-1 zone is twenty-seven feet (27'). The proposed height of the dwelling will be approximately 26 feet above final grade to the highest ridge line. Additionally, the applicant is proposing to replace the existing non-historic aluminum windows, re-roof and re-paint the entire house.

The applicant intends to demolish the existing historic shed addition located at the northeast corner of the dwelling in order for the structure to fit on its newly created lot. The addition is considered to be historic because it appears in the circa 1940's tax photo. The demolition of existing historic additions is not encouraged by the Historic District Design Guidelines, Staff, or the HDC. However, Staff recognizes two important reasons for the support of its removal.

First, the rear shed addition is not integral to the overall building's historic integrity. Secondary shed additions of this type were commonly added to the side elevations of Hall-and-Parlor dwellings such as this one. They were constructed in order accommodate secondary entrances, or side doors, in a manner that continued the existing roof line of the structure while mitigating the potential for snowshed at that entrance. Historically, it was not uncommon for more than one of these kind of additions to be added to a dwelling over time. The existing dwelling at 1259 Norfolk Avenue has two (2) shed additions (one on the north and south elevations). Of these two additions, the one found on the dwelling's south elevation is of primary significance because of its incorporation into the design of the front porch, and due to its location towards the front of the building.

Second, the removal of the northern-most shed addition will permit the applicants to subdivide the three (3) existing lots in a manner that will encourage future development that is sensitive to the historic scale and vernacular of the area. The proposed subdivision will create a 44' wide lot that is wide enough to accommodate the relocated house, as well as its required side yard setbacks. The resulting vacant 31' wide lot will be wider than the standard 25'x75' Old Town lot. Hence, the probability of constructing a new dwelling that is architecturally compatible with the adjacent historic house is much greater.

Outlined below are specific Historic District Design Guidelines which relate to the rehabilitated single-family residence at 1259 Norfolk Avenue.

Historic District Guidelines for Residential Renovations

Guideline #45: Maintain the Line of Stone Retaining Walls Along the Street.

FINDING: Not applicable. No stone retaining walls exist, nor are any being proposed.

Guideline #46: Use Fences to Define Yard Edges.

- Avoid using solid "wood" fences. Chain link is not an appropriate material in the district.

FINDING: Not applicable. No fences are proposed, nor are any being proposed.

Guideline #47: Preserve existing exterior stairs.

- Wood steps are typical features on both residential sites and in public areas.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo shows the location of the front exterior stairs centered on the front of the dwelling, directly in front of the front door. Over time, these stairs were eventually relocated to the southernmost end of the front porch. In an effort to restore the original appearance of the house based on the image found in the tax photo, Staff recommends that the front stairs be returned to their original location. In doing so, one of the garage doors would have to be eliminated. Hence, the amount of hard-surfacing in the front yard setback can be reduced and the extensive front stair design can be simplified. The modified plan would then call for a two-car tandem driveway adjacent to the repositioned front stair. Staff has added a specific finding of Fact and Condition of Approval to this effect.

Guideline #48: Maintain the visual unity of building clusters on individual sites.

- Retain the similarity of materials on a lot where clusters of existing buildings occur by retaining the matching siding.

FINDING: Not applicable. There are no other structures located on this site.

Guideline #49: Locate additions to original houses so they do not alter the front facade.

- Do not obscure the size and shape of the original house.

FINDING: The proposed design complies with this policy as conditioned. In terms of scale, height and mass (as perceived from Woodside Avenue), the proposed addition will be located behind the historic dwelling. However, Staff recommends that the applicant maintain some physical semblance of the original roof line as seen in elevation from the north and south. In doing so, the original portion of the house will be more discernable from the proposed additions and/or modifications. This solution represents the design precedence established previously by the HDC involving house having a similar configuration, as evidenced by the rehabilitation of 263 Park Avenue (See Exhibit G). Staff has added a specific Condition of Approval to this effect.

Guideline #50: Maintain front porches as an important facade element.

FINDING: The proposed design complies with this policy as conditioned. The existing front porch will be restored per historic documentation which exists in Staff's files for the dwelling. Should any porch element need to be replaced or reconstructed, Staff requests the HDC to require construction details to be submitted by the applicant to ensure their proper replication. Staff has added a specific Condition of Approval to this effect.

Guideline #51: Preserve the original shape of the roof.

FINDING: The proposed design complies with this policy as conditioned. The existing historic house is a front side-gabled dwelling having an extended single-sloping shed roof addition at the rear of the house. The new addition will incorporate a similar shed roof design. Unfortunately, Staff is concerned that the reconfigured and enlarged addition to the rear of the dwelling may be misinterpreted as being part of the original construction of the house. Staff recognizes and commends the designer's effort to minimize the massing of the new rear addition. However, Staff recommends that the roof line of the original roof be maintained (as done similarly at 263 Park Avenue), and that the roof of the new addition be modified to accommodate this action. Staff has added a specific Condition of Approval to this effect.

Guideline #52: Avoid changing the location of the windows.

FINDING: The proposed design complies with this policy. Existing windows will maintain their current locations.

Guideline #53: Maintain original window proportions.

- Do not close down the original openings. Use trim borders to frame window openings.

FINDING: The proposed design complies with this policy as conditioned. All of the new windows proposed appear to have a 2:1 proportional ratio, similar to those found on the historic portion of the house. Staff has added a specific Condition of Approval to this effect upon HDC taking action.

Guideline #54: Maintain the original position of main entrances.

FINDING: The proposed design complies with this policy. The existing main entrance will maintain its current location and function.

Guideline #55: Maintain original proportions of doors.

- Avoid "modernizing" by adding sliding doors.

FINDING: The proposed design complies with this policy as conditioned. Existing doors will maintain their current proportions. The circa 1940's tax photo shows a transom window located above the front door. This door detail shall be returned. Although there is a pair of sliding full-light doors are proposed, they are located on the rear of the dwelling. The HDC has approved these kind of doors for installation on the rear of new and historic dwellings in the past. The garage door shall be the minimum size as required by the Uniform Building Code for a passenger car in order to minimize the height of the house. Staff has added a specific Condition of Approval to this effect upon HDC taking action.

Guideline #56: Preserve specific details when repairing stone retaining walls.

- Preserve the color, texture, and shape of the stone.

FINDING: Not applicable. There are no existing stone retaining walls on this property.

Guideline #57: Maintain the original number of window panes.

- Retain and repair the original parts. Do not replace sliding sash or use small pane windows.

FINDING: The proposed design complies with this policy as conditioned. The one-over-one, double-hung window light configuration is similar to that found on the historic portion of the dwelling. Staff has added a specific Condition of Approval to this effect upon HDC taking action.

Guideline #58: Sash Dimensions.

FINDING: The proposed design complies with this policy as conditioned. The trim shall reflect the commonly found proportions and dimension of historic trim in Old Town. Staff has added a specific Condition of Approval to this effect upon HDC taking action.

Guideline #59: Maintain original siding.

- Original building materials may not be covered with synthetic sidings.

FINDING: The proposed design complies with this policy as conditioned. The applicant intends to expose the original horizontal lap-siding which may exist beneath portions of the existing artificial shingle siding. Staff has added a specific Condition of Approval to this effect.

Guideline #60: Preserve original porch materials.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo shows greater architectural detail involving the construction of the porch. The original porch had chamfered porch posts, decorative brackets, a sloping bead-board porch ceiling, and painted flush vertical wood siding skirting the perimeter of the porch. Although the current drawings do not show the same level of architectural detail, the applicant's intent is to restore the original appearance of the historic portion of the house. Staff recommends that the applicants revise the proposed elevations to reflect the image of the circa 1940's tax photo prior to the issuance of any building permits. Staff has added a specific Condition of Approval to this effect.

Guideline #61: Use roof materials that were typical.

- Wood shingles or standing seam metal roofs are appropriate.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo of the property shows an asphalt shingle roofing material on the dwelling. The applicant is proposing to use a high definition/profile architectural-grade composite shingle roof over the entire dwelling. Staff has added a specific Condition of Approval to this effect.

Guideline #62: Preserve the essential character of the roof lines.

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to policy #51.

Guideline #63: Locate solar panels so they are not visible from the street.

FINDING: Not applicable. There are no solar panels proposed.

Guideline #64: When replacing doors, use designs similar to those that were found in Park City

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to policy #55.

Guideline #65: Preserve original architectural detailing.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo shows greater architectural detail on the house (e.g. fascia boards, cornices, brackets, decorative exterior window trim, etc.). The current drawings do not show the same level of detail. Staff recommends that the applicant revise the proposed set and resubmit for Staff review and approval prior to the issuance of any building permits. Staff has added a specific Condition of Approval to this effect.

Guideline #66: Replace decoration where it is known to have once existed.

- Use remaining portions of details as models.

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to Guideline #65.

Guideline #67: Simplified modifications may be appropriate where historic elements have already been lost.

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to Guideline #65.

D. REQUESTED COMMISSION ACTION

Staff request that the Historic District Commission approve the project proposed for 1259 Norfolk Avenue according to the Findings of Fact, Conclusions of Law and Conditions of Approval below.

Findings of Fact

1. The findings discussed in the Background and Analysis Sections of this report are incorporated herein.
2. The proposed dwelling is located within the HR-1 zone.
3. The three existing lots (#15, 16 and 17 of Block 18 of the Snyder's Addition to the Park City Survey) contain approximately 5,625 square feet.
4. The existing lots will be subdivided into two (2) separate lots. The newly created lot to accommodate the relocated existing historic house will be 44'x75' in size.
5. The maximum building footprint for a 44'x75' lot is approximately 1,367 square feet.
6. The proposed maximum building footprint will be approximately 1,285 square feet.
7. The maximum height allowed for the HR-1 Zone is 27 feet. The proposed height will be approximately 26 feet above final grade to the highest ridge line.
8. The relocated existing historic dwelling shall maintain the legal required setbacks (as determined by the Land Management Code) for a 44'x75' lot in the HR-1 zone.
9. There is significant vegetation on the site that is composed primarily of a large cottonwood tree near the southwest corner of the property. The tree will not be disturbed by this application.
10. The applicant has received a 2001 HDC Grant in the amount of \$16,500 to be used towards this project.

Conclusions of Law

1. The proposed work complies with the Park City Historic District Design Guidelines as conditioned.
2. The proposed work complies with the Land Management Code requirements pursuant to the HR-1 zone.

Conditions of Approval

1. The review, approval and recordation of the subdivision plat shall be required prior to the issuance of any building permits for this project.
2. Receipt and approval of a Construction Mitigation Plan (CMP) by the Community Development Department is a condition precedent to the issuance of any building permit.
- ③ 3. The final building plans and construction details shall reflect the conceptual drawings dated May 18, 2001 (as submitted and reviewed by the HDC on July 2, 2001), but reflect substantial compliance with the design direction outlined in this report and the specific Conditions of Approval adopted by the HDC upon taking action to approve. The plan shall be modified to show a single car-width driveway leading to a two-car tandem garage under the front porch. The front elevation shall be modified to show a single garage door and a centrally located front stair. The lower portion of the facade having the garage door shall be flush with the edge of the deck and sided in painted vertical siding to match the existing siding in that area. The north elevation shall be modified to show a pent eave that is emblematical of the original roof line of the dwelling and the existing overall shape and form of the historic building. A revised set of building plans shall be resubmitted to the Preservation Planner for review and approval based on the design direction outlined in this report and the architectural detail shown in the circa 1940's tax photo of this property prior to the issuance of any building permits. Any changes, modifications, or deviations from this approved design shall be reviewed and approved by the Historic District Commission or the Preservation Planner prior to their construction. Any formal request for design modifications submitted during construction may result in a stop-work order by the Chief Building Official until the modifications are approved.
4. The General Contractor shall apply for an Exploratory Demolition Permit to remove any non-historic material in order for the Preservation Planner to evaluate and assess the amount of salvageable existing historic material to be reused in this project. No material shall be removed from the building (or the site) without the consent of the Preservation Planner. Any removal of existing historic building material or features not identified as part of this review shall be reviewed and approved by the Preservation Planner prior to their removal.
5. The General Contractor shall be responsible for submitting a Preservation Financial Guarantee to the City (in an amount to be determined by the Community Development Department) prior to the issuance of any building permits. This guarantee is for the protection and re-installation of any salvageable historic material that is temporarily dismantled or disassembled as part of this rehabilitation/reconstruction project. The purpose is to ensure the re-installation of the historic material in a manner that preserves the most original material as possible. Failure to do so, will result in the City retaining this financial guarantee for use in its various preservation programs and incentive initiatives.

6. The General Contractor shall be responsible for submitting a Vegetation Financial Guarantee to the City (in an amount to be determined by the Community Development Department) prior to the issuance of any building permits. This guarantee is for the protection of any existing significant vegetation on the property as identified by the City. The purpose is to ensure the livelihood of the said vegetation upon completion of the project. Failure to do so, will result in the City retaining this financial guarantee for the in-kind replacement of any loss of significant vegetation.
7. The General Contractor shall field verify all existing conditions prior to executing any work and match replacement materials/features accordingly. All discrepancies found between the final approved plans and the existing conditions must be reported to the Preservation Planner for direction prior to construction.
8. The architect, designer and/or applicant shall be responsible for coordinating the approved architectural drawings/documents with the approved construction drawings/documents. The overall aesthetics of the final approved architectural drawings/documents shall take precedence. Any discrepancies found among these documents that would cause a change in appearance to the approved architectural drawings/documents shall be reviewed and approved by the Preservation Planner prior to construction. Failure to do so, or any request for changes during construction may require the issuance of a stop-work order for the entire project by the Chief Building Official until such time that the matter has been resolved.
9. The existing dwelling (including substructure, decks, etc.) may not be raised to a height greater than the minimum clearance required by the Uniform Building Code to accommodate a standard garage for a passenger car beneath the house. The Preservation Planner shall confirm this situation with the Chief Building Official and the final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
10. The front stairs shall be centered on the front of the dwelling and consist of a straight flight leading directly to the front door. The stairs and associated hand railings shall be wood and painted. Construction details of hand railings shall be submitted for approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
11. The front porch shall consist of wood 4"x4" decking laid perpendicular to the front wall of the house, chamfered 4"x4" wood porch posts, decorative wood porch brackets, wood bead-board porch ceiling, and incorporate the re-installation of a wood hand railing as shown in the circa 1940's tax photo. Construction details of the reconstructed porch shall be submitted for approval by the Preservation Planner, according to the Historic District Design Guidelines prior to the issuance of full building permit. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
12. Repair and retain all existing historic wood siding and missing trim elements (ex: corner boards, fascia boards, etc.) in kind. All ghost outlines and general wear exhibited by the existing original wood siding shall remain. Replacement of any original wood siding or trim elements shall be made only in cases of structural failure or major deterioration. All replacement or missing elements (ex: corner boards, fascia boards, etc.) shall match existing historic material in profile, dimension, configuration, texture and finish as determined by the

- Preservation Planner, according to the HDC's Illustrated Building Materials Handbook. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
13. All new exterior siding on the rear addition shall be wood and match the existing painted horizontal wood siding in configuration, profile, dimension, texture and finish as determined by the Preservation Planner, according to HDC' Illustrated Building Materials Handbook. All new exterior siding along the lower areas of the house shall match the existing painted, vertical wood siding in configuration, profile, dimension, texture and finish as determined by the Preservation Planner, according to HDC' Illustrated Building Materials Handbook. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
 14. All replacement exterior doors on the front and side elevations shall be a 3'x7' wood (paint grade) half-light, paneled door. The door panel/light configuration and door trim details shall be approved by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permit. The front door shall incorporate a transom window above, as shown in the circa 1940's tax photo. The garage door shall be a wood, "carriage-style" overhead garage door, similar to that shown in the drawings dated May 18, 2001. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
 15. Any new or replacement windows shall be wood (or wood aluminum-clad), double-hung one-over-one or casement windows having an internal spacer bar width no greater than 5/8", and an overall proportional ratio of 2:1 as shown in the final approved architectural drawings. The existing size and proportion of the windows and other original opening as identified by ghosting, uncovered blocked-up openings, etc. shall be retained. Any modifications to existing windows, location changes or addition of windows shall be reviewed and approved by the Preservation Planner to assure compliance with the Historic District Design Guidelines. Construction details of windows shall be submitted for review and approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits.
 16. All exterior window trim shall be installed over the exterior siding, and constructed in a manner similar to that shown in the circa 1940's tax photo (note the difference in treatment between the front windows and all others). All new and replacement exterior window trim shall be at least 3 ½ inches in width, smooth-sawn, paint-grade wood trim. Construction details of window trim shall be submitted for approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
 17. The replacement roof material shall be an architectural-grade composition roof shingle, having high definition or profile. The roof color and material shall be reviewed and approved by the Preservation Planner in accordance to the Historic District Design Guidelines. All proposed roof penetrations shall be shown on the construction drawings submitted to the Building Department for plan check and painted-out to match the roof color.

18. Any new exterior building paint scheme shall include body, trim and accent colors. All existing and new building ornamentation and trim shall be painted to coordinate with the entire paint scheme of the overall dwelling. All colors shall be complementary of each other, but provide sufficient visual contrast. A Paint Application must be submitted and approved by the Preservation Planner prior the issuance of full building permit.
19. All existing exterior lighting shall be brought into compliance with the Park City Light Code. All replacement exterior light fixtures and their location shall be reviewed and approved by the Preservation Planner for compliance with the Park City Light Code prior to issuance of the full building permit. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits. All new lighting shall be architecturally and historically compatible with the style of the dwelling. Additionally, all lighting shall be aesthetically and visually discrete—excessive exterior lighting fixtures on the front stair, front porch and front facade of the dwelling shall **not** be permitted.
20. All existing utility services (e.g. electric meters, gas meters, etc.) shall be relocated away from the front of the dwelling. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
21. A final Landscape Plan shall be submitted and reviewed by the Staff prior to the issuance of any final building permits. The plan includes, but is not limited to the identification of all existing trees; proposed and existing plantings; planters; driveways; walkways and their materials. Non-historic landscape elements or elements which are not compatible with typical historic landscapes in the area (such as large boulders, etc.) are **not** permitted. The amount of existing hard-surface area in the front yard shall be softened by the incorporation of landscaping. The final grade surrounding the relocated house shall be raised using backfill from the excavated garage/workshop construction in order to visually mitigate the appearance of raising the house, and to maintain some semblance of the ratio of exposed lower wall area of the house as shown in the circa 1940's tax photo. The relocated existing dwelling shall maintain all required setbacks on the newly created lot after its relocation. The identified existing significant vegetation on the property shall remain and be protected during construction at all times. Any changes, modifications, or deviations from the approved design shall be reviewed and approved by the Historic District Commission or the Preservation Planner prior to their construction. Any formal request for design modifications submitted during construction may result in a stop-work order by the Chief Building Official until the modifications are approved.
22. Any proposed retaining walls shall be reviewed and approved by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits. There shall be no encroachments into the Woodside Avenue right-of-way (other than what may have already been permitted by the City Engineer).
23. No modifications to the existing single-family dwelling shall be made as part of this approval to permit the use of an accessory apartment unit on the property without the review and approval of the Park City Planning Commission prior to the commencement of this project.
24. All standard conditions of approval shall apply.
25. This approval shall expire on July 2, 2002, if a building permit has not been issued within a year of this approval.

Exhibits

Exhibit A - Location Map

Exhibit B - Existing Site Plan

Exhibit C - Existing Floor Plans

Exhibit D - Existing Building Elevations

Exhibit E - Photographs of Existing Conditions

Exhibit F - Proposed Site Plan

Exhibit G - Proposed Floor Plans

Exhibit H - Proposed Building Elevations

Exhibit I - Circa 1940's tax photo

Exhibit J - Photograph of 263 Park Avenue

Exhibit K - 2001 Grant Award Letter

M:\CDD\DS\HDC\2001\HDCreportcopy\1259norf.wpd

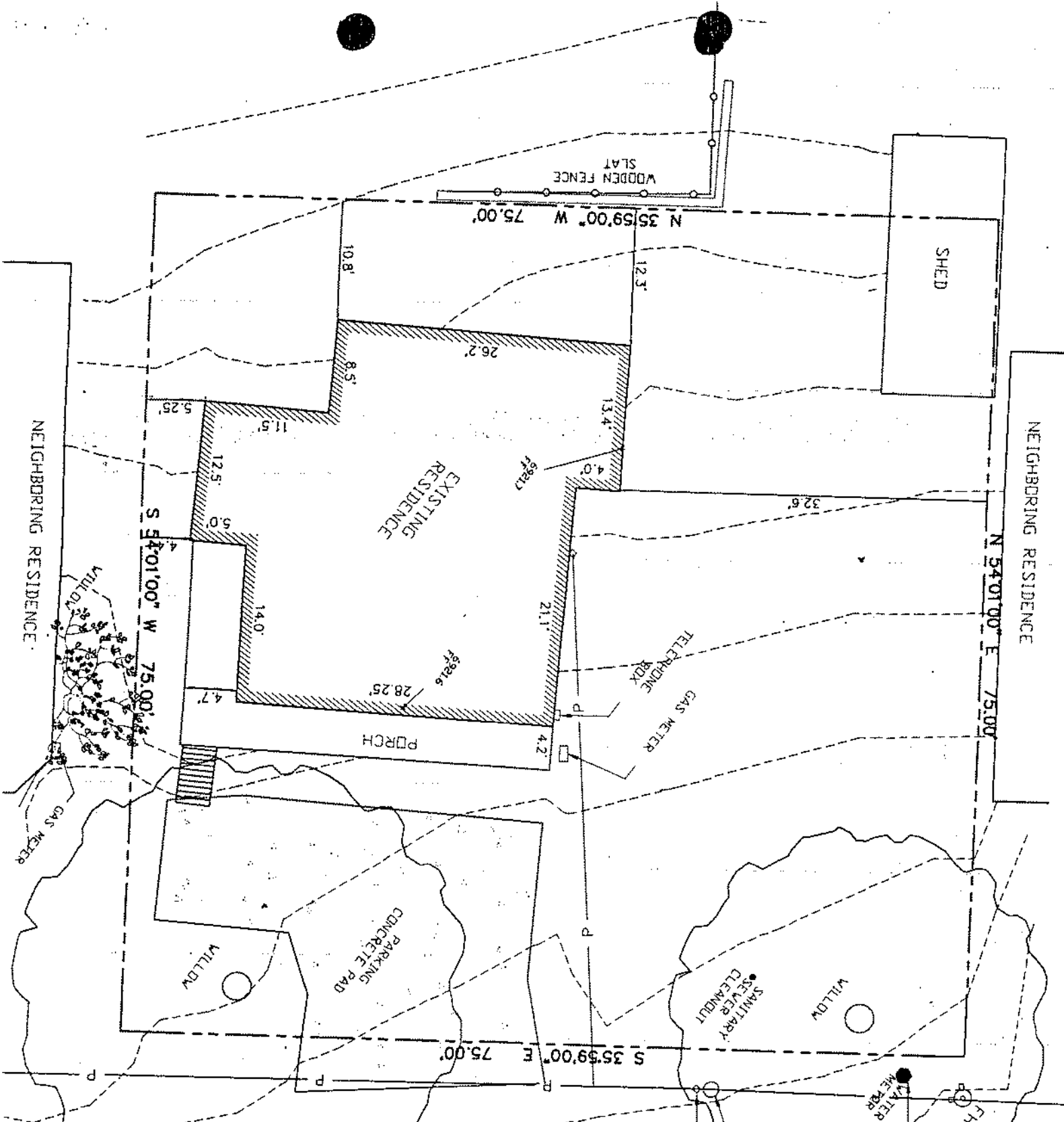


Exhibit B - Existing Site Plan

NORFOLK AVE

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PLAN EXISTING

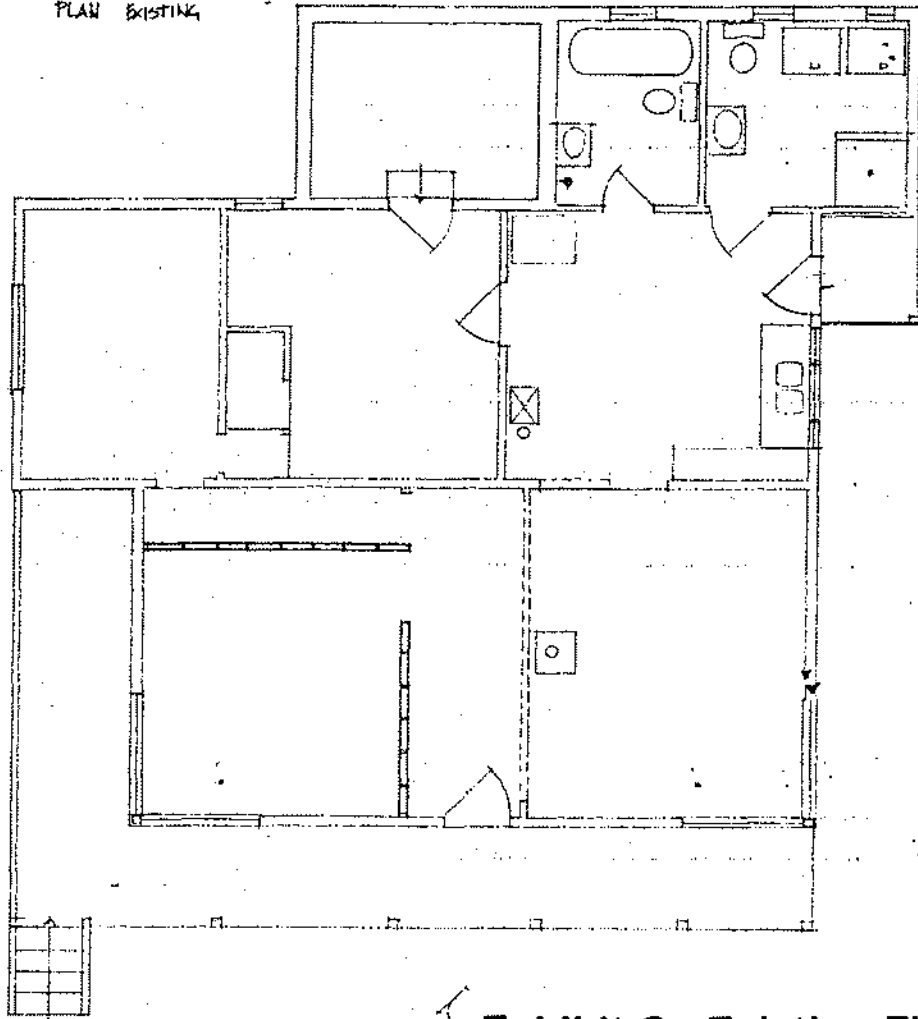
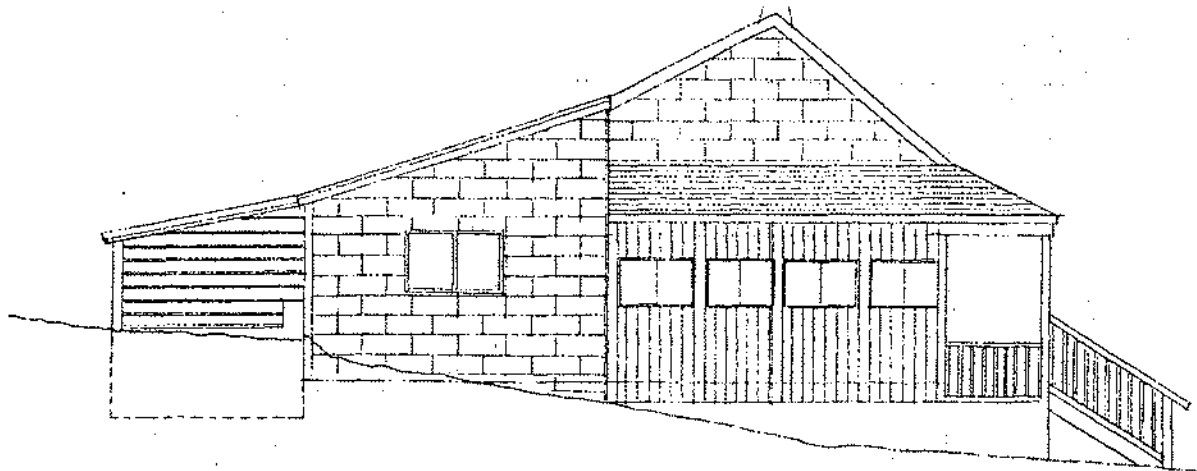


Exhibit C - Existing Floor Plan



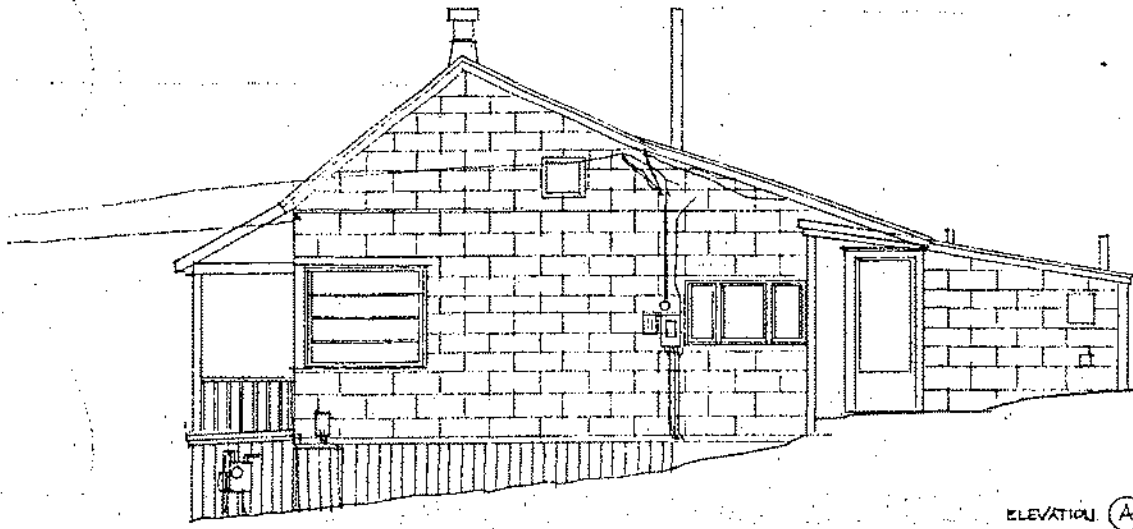
ELEVATION (B)

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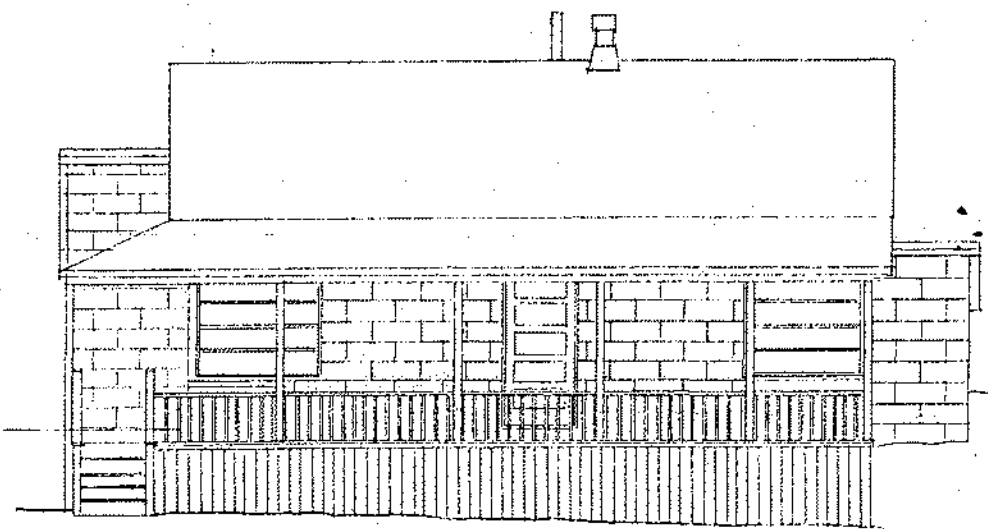
EXISTING

1/8" = 1'-0"

Revised From 1/4" = 1/4"



ELEVATION (A)



ELEVATION (C)

Exhibit D - Existing Elevations

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EXISTING
1/8" = 1'-0"
(REDUCED FROM 1/4")
Page 131 of 544

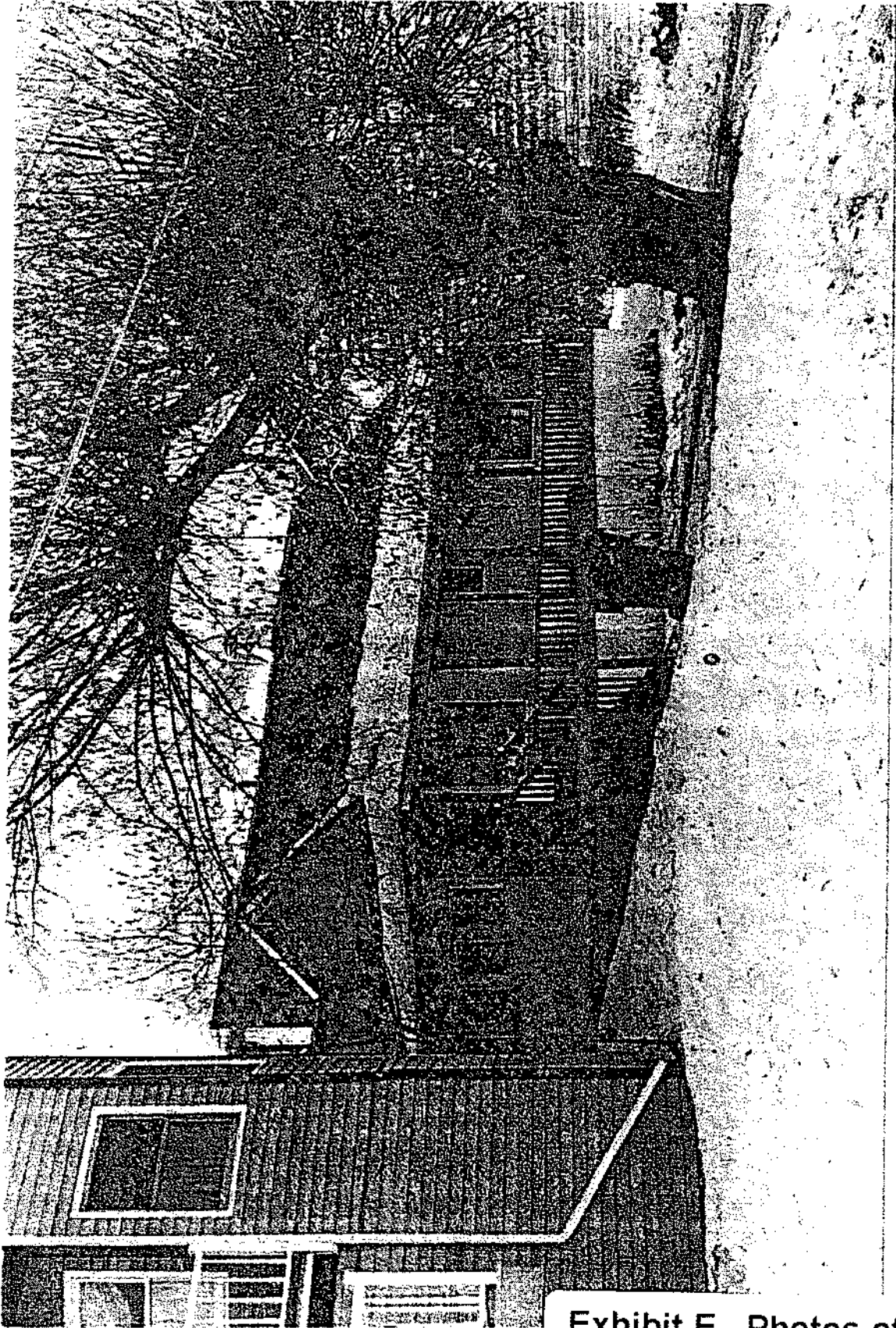
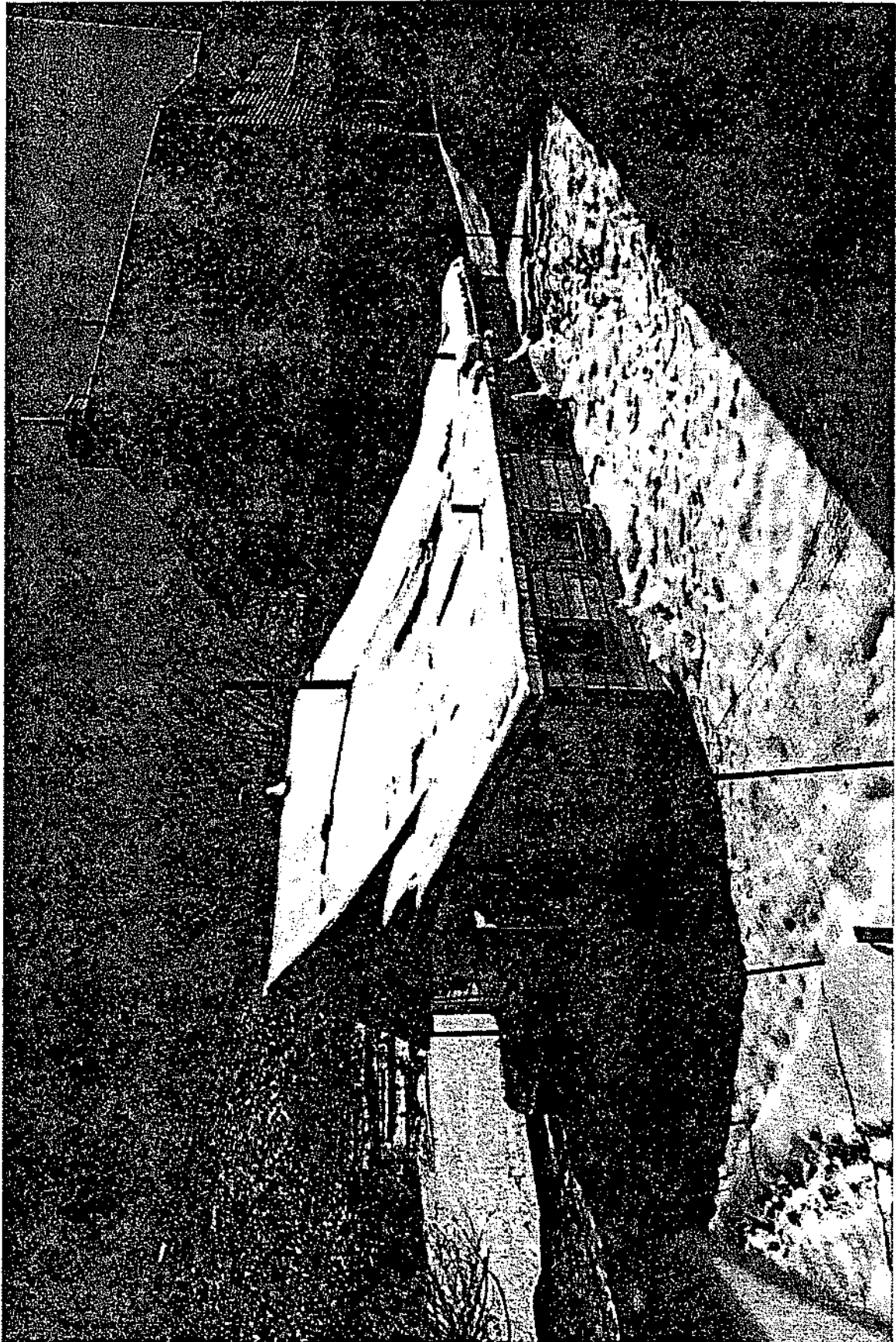
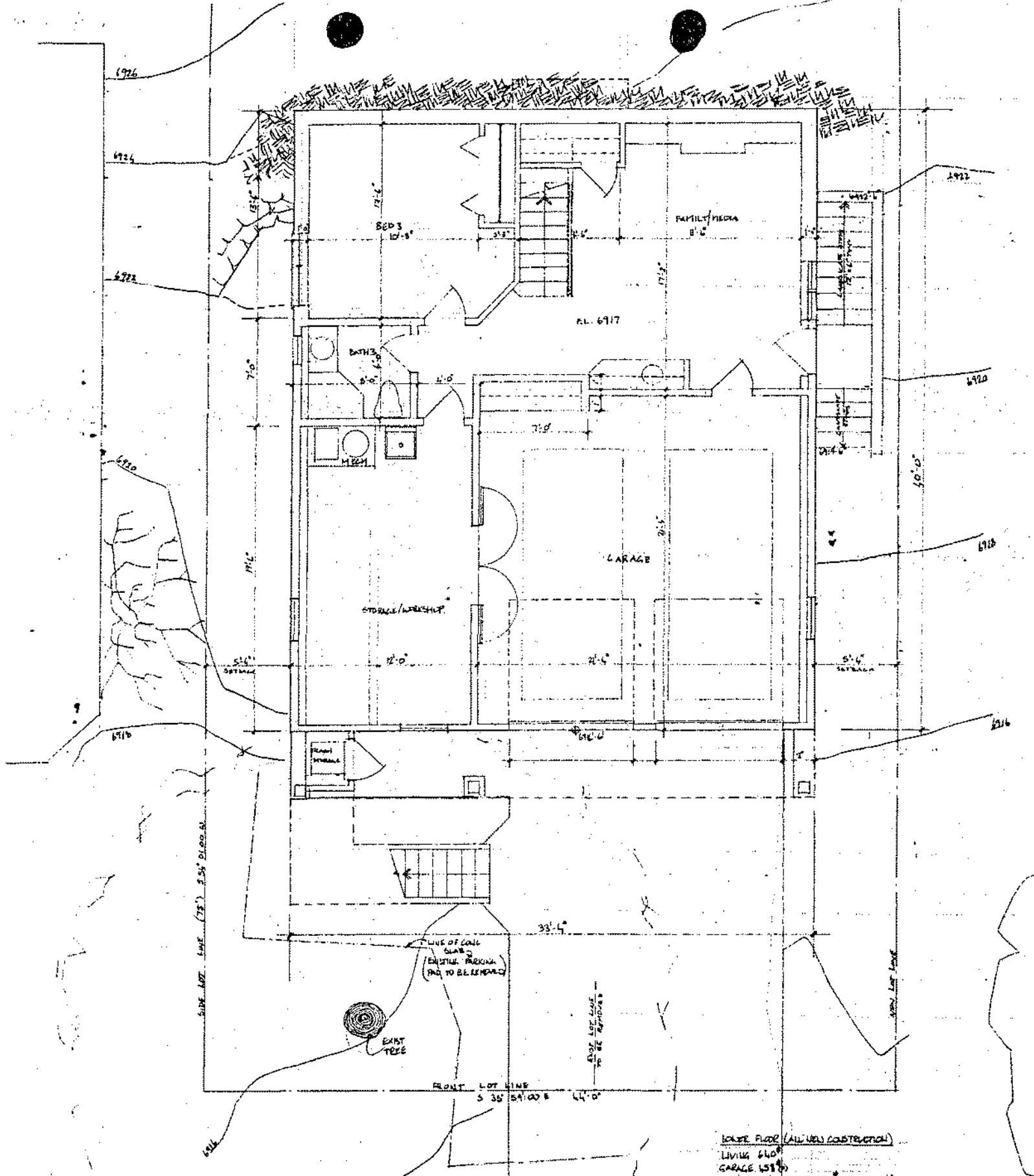


Exhibit E - Photos of Existing Conditions





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Exhibit F - Proposed Site Plan

HOUSE FLOOR (ALL NEW CONSTRUCTION)
 LIVING 610'
 GARAGE 458'
 MEDIA/WORKSHOP 230'
 TOTAL 1300'

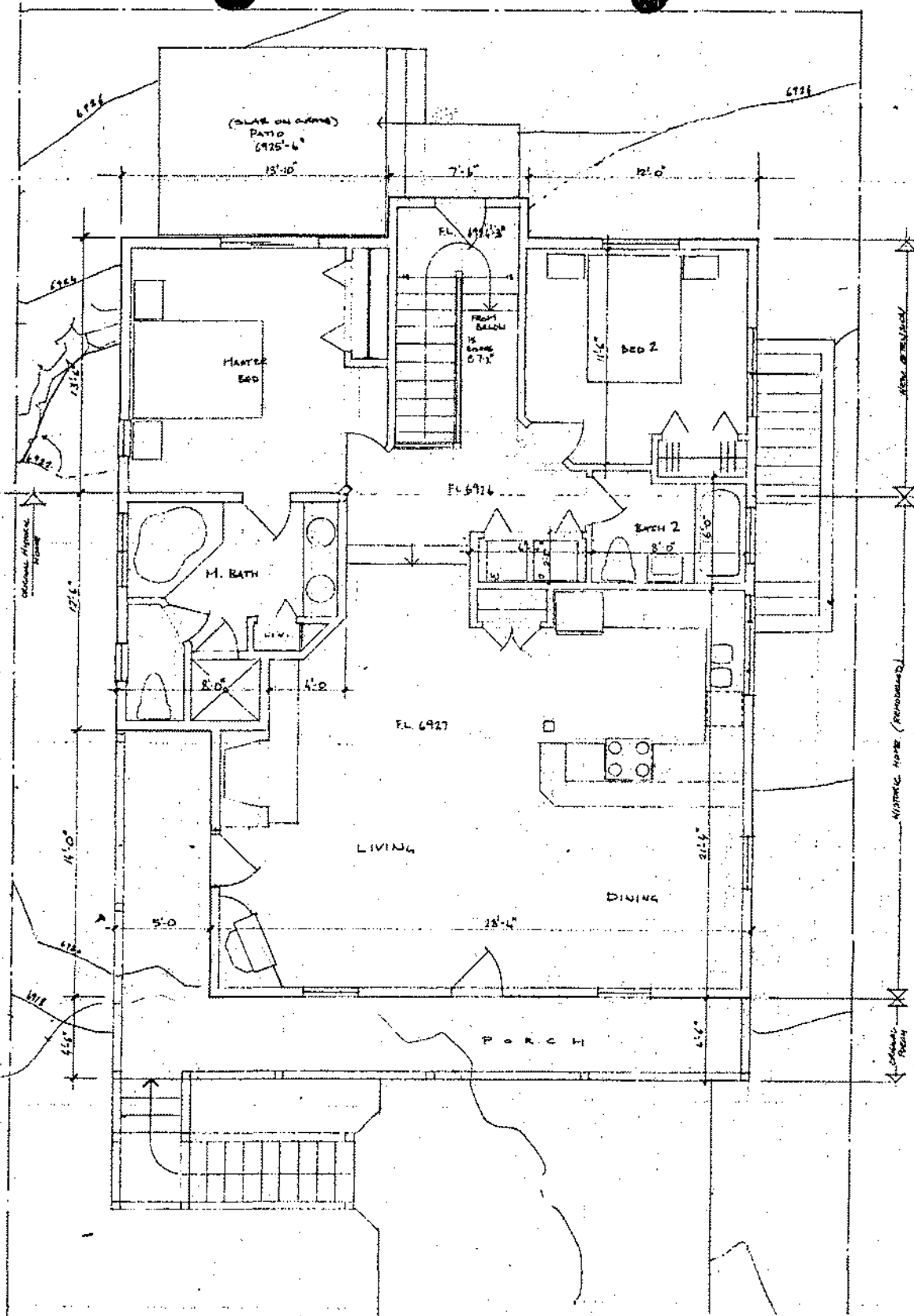


Exhibit G - Proposed Floor Plans

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RE SUBSIDE DISTING.
 PROPERTY TO PROVIDE
 HISTORIC PRESERVATION BOARD PACKET APRIL 6, 2016
 MAX F.P. = 1371'

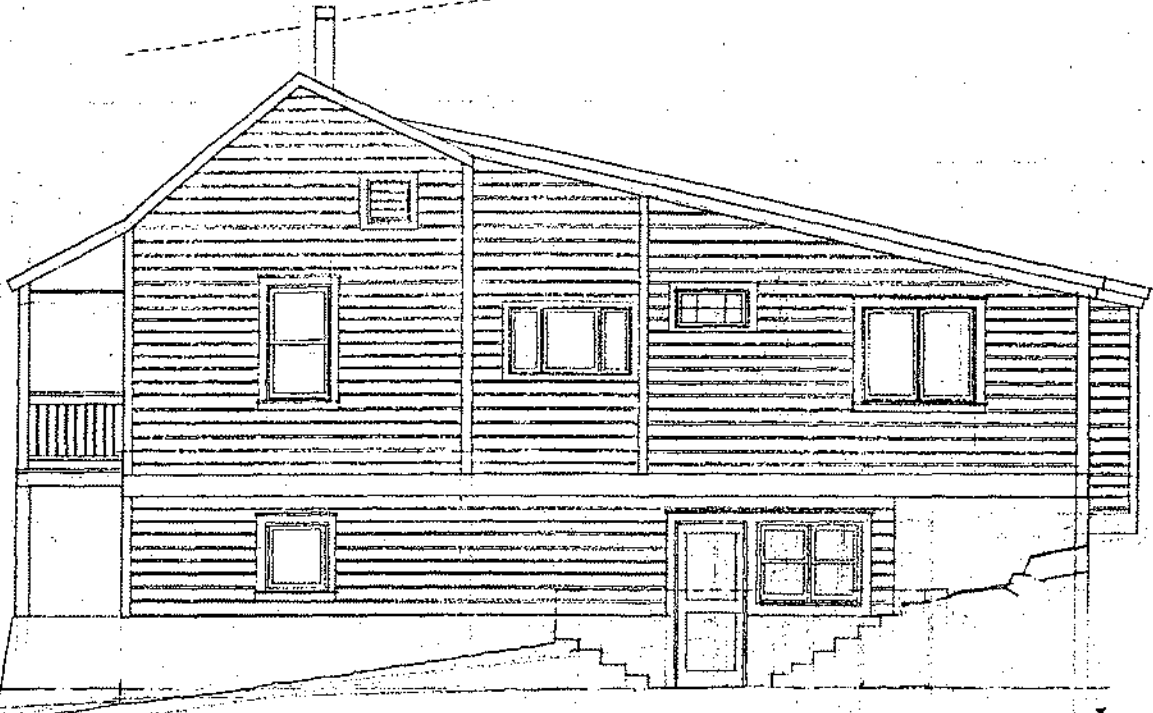
UPPER FLOOR LEVEL
 E. 10' x 14.50'
 C. HOME (REMODEL) 816
 SUBTOTAL LIVING AREA 1263
 PORCH (ORIGINAL) 220

PRESERVE
 KLEAR RESIDENCE

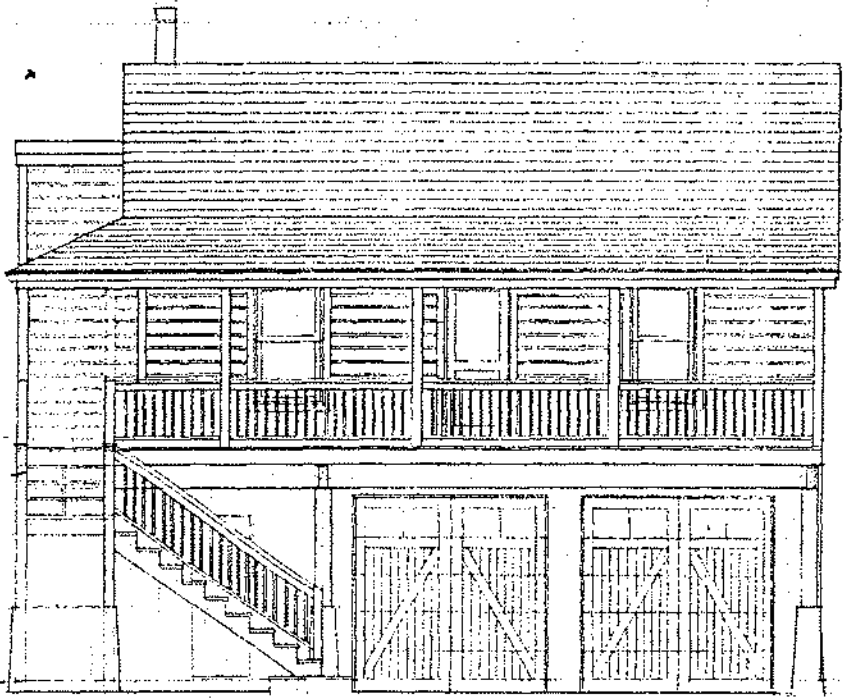
PRESERVE

SCALE 1/8" = 1'-0"
 DRAWN BY [Signature]

EST. AD. FINISHED GRADE



Side (North) Elevation



132'-0"

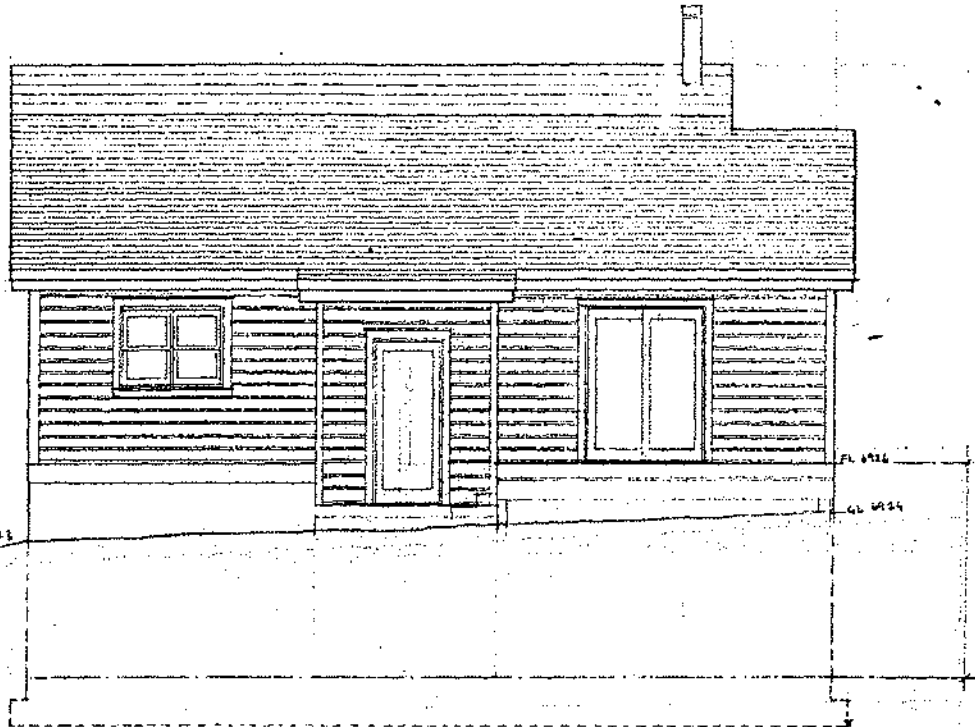
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KERR RESIDENCE

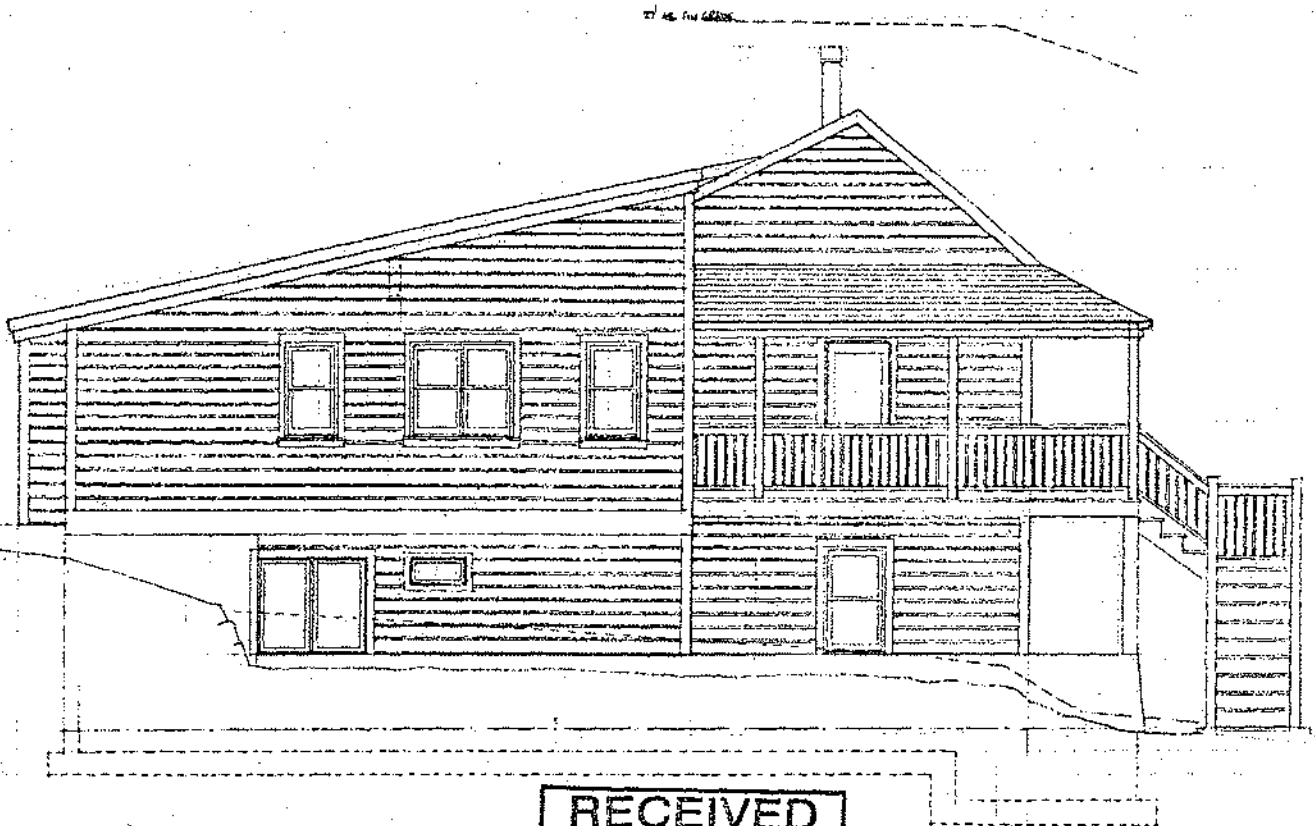
Proposed
Elevations

Exhibit H - Proposed Elevations

Rev. 201
1/2" = 1'-0"
H.B.



REAR ELEVATION (WEST)



SIDE (SOUTH) ELEVATION

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PROPOSED

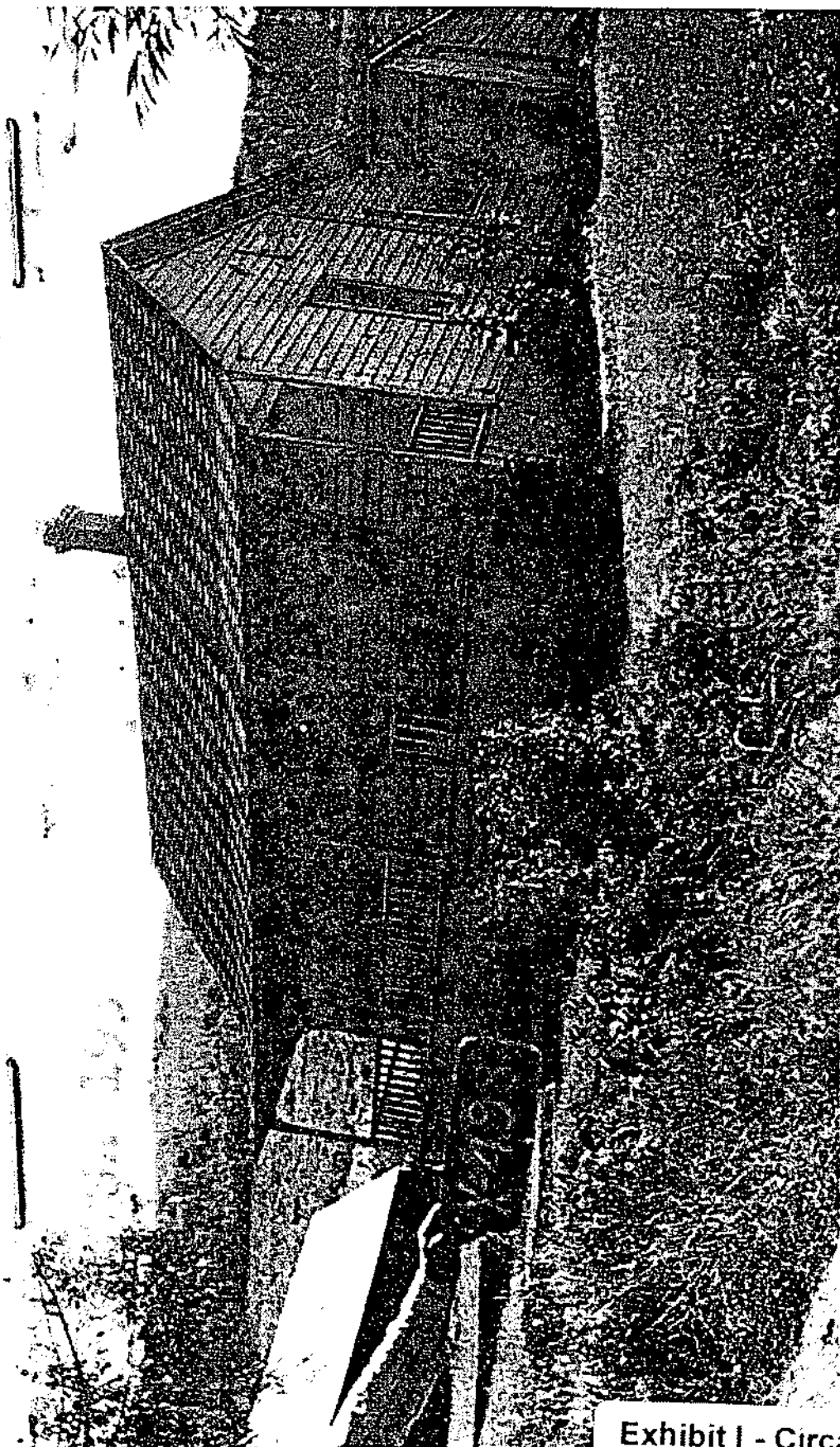


Exhibit I - Circa 1940's Tax Photo

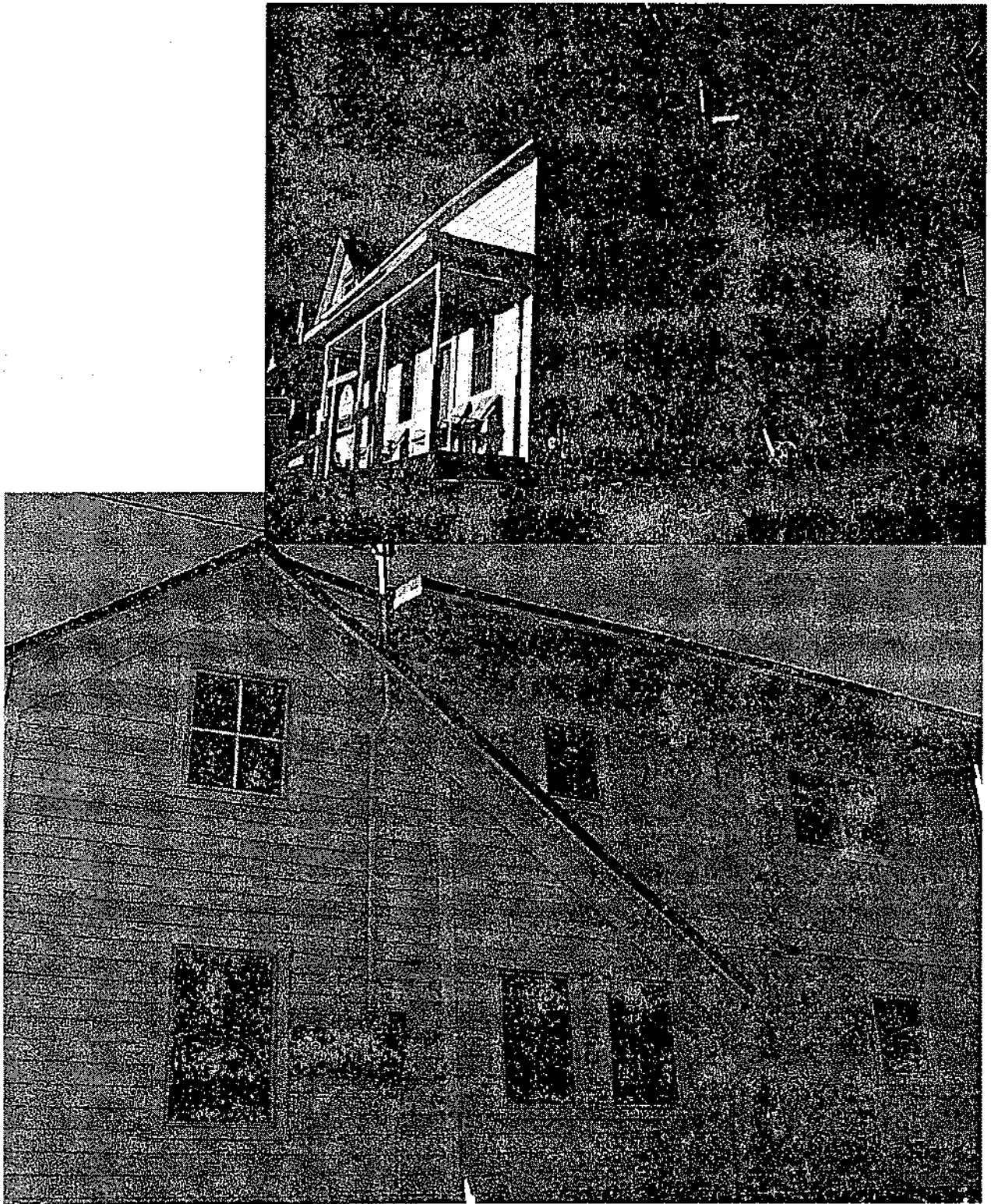


Exhibit J - Photo of 263 Park Ave

HISTORIC DISTRICT COMMISSION
MINUTES OF JULY 2, 2001
PAGE 6

19. No modifications to the existing single-family dwelling shall be made as part of this approval to permit the use of an accessory apartment unit on the property without the review and approval of the Park City Planning Commission prior to construction.
20. The City Engineer may require an encroachment easement prior to the issuance of any building permits.
21. All standard conditions of approval shall apply.
22. This approval shall expire on July 2, 2002, if a building permit has not been issued within a year of this approval.

1259 Norfolk Avenue-Design review of modifications to existing historic house

Planner Satchell reviewed the application for modifications to an existing historic residence in the HR-1 District that is surrounded by larger, contemporary structures. The applicants, Richard and Janice Kerr, were represented by Peter Barnes, their designer. The proposal included increasing the existing living area from 813 square feet to 1,903 square feet and constructing a 688 square foot garage/workshop under the structure, as well as replacing the non-historic aluminum windows, re-roofing, and repainting the entire house. The applicant is a 2001 grant recipient in the amount of \$16,500. The applicant has applied to subdivide the existing three Old Town lots into two separate lots to accommodate the existing dwelling and allow development to occur on the remaining lot. Approval and recordation of the subdivision application is required prior to the issuance of any building permits.

Mr. Barnes stated that the conditions of approval as written would prevent construction of the structure as designed. He met with Planner Satchell on February 21, who, at that time, recognized the two important reasons for the support of the removal of the existing historic shed: 1) The rear shed addition is not integral to the overall building's historic integrity; and, 2) The removal of the northern-most shed addition will permit the applicants to subdivide the lots. Mr. Barnes met with Administrator Putt on March 2 to review sketch elevations, sections, and plans. No substantial changes have been made to the design since that time.

Staff recommended the double car garage be changed to a two-car tandem garage under the front porch. Mr. Barnes indicated this would significantly alter the lower level design. Staff recommended the front exterior stairs be moved back to the center of the structure as shown in the 1940's tax photo. Mr. Barnes said this would necessitate eliminating one of the garage doors and would also allow snow to shed directly onto the stairs. He disagreed with Staff's suggestion to backfill around the basement addition

HISTORIC DISTRICT COMMISSION
MINUTES OF JULY 2, 2001
PAGE 7

stating doing so would prevent the inclusion of a door for egress or windows that would allow light into the lower level. It was Mr. Barnes' opinion that incorporating Staff's recommendations would force the interior floor plan to change drastically and the cost of the modification to increase substantially.

Planner Satchell reflected that there had been a lack of communication between Staff and the applicants. He continued that at the time of the initial discussion, a tax photo was not found. Since that time, a tax photo was found and it was determined that including a double wide garage would reinforce the non-historic location of the stairs. When tax photos are available, the intent is to try to return the structure to some semblance of its original appearance.

Commissioner Swanson stated he was confident the snow shed issues could be resolved. He asked why the project was before the HDC when it appeared it was not yet ready for their review. Commissioner Hurd felt that the conditions of approval dealt with issues that would be better resolved at a staff level prior to HDC review. He continued he doesn't understand why the tax photo is a criteria for relocation of the front exterior stairs. Planner Satchell commented the conditions of approval are an attempt to mitigate the changes to the front of the house. He continued that raising the grade on the sides of the house does not mean the windows as shown on the drawings would be eliminated. It was his feeling the design could be manipulated to accommodate the majority of the design without changing the interior floor plan. He reminded the Commissioners that historic houses are exempt from two car on-site parking in the Land Management Code.

Commissioner Wright felt that the HDC utilizing 1940's tax photos to review design modifications of historic homes was appropriate and extremely important. She said the staircase location as shown on the side was not unacceptable in general, but the tax photo shows the stairs in the center of the dwelling. She supported having the plans re-worked to change the double wide car garage to a two car tandem garage.

Commissioner Swanson re-stated his concern about reviewing a project that did not appear to be ready for review.

Planner Satchell and Mr. Barnes debated the pros and cons of the proposed design. Planner Satchell said the two things governing structure design in the Historic District were the Historic District Design Guidelines and the tax photos showing the original appearance of the house. He continued that if the photos were not to be used, there was

HISTORIC DISTRICT COMMISSION
MINUTES OF JULY 2, 2001
PAGE 8

no reason to have a Historic District. Commissioner Hurd vigorously disagreed. He stated there was no official policy that specified the restoration of existing structures *had* to match tax photos.

Chair Peek said there were several options available: 1) Approve the project as conditioned; 2) Disapprove the project as conditioned; 3) Continue discussion to a future meeting for action; or, 4) Continue discussion to the next work session. The Commission consensus was to continue discussing the project as a work session item. Chair Peek outlined the issues for discussion as: the amount of garage door square footage, the location of the exterior stairs, and the ingress/egress on the lower level. There was general discussion about design issues that had been talked over earlier in the meeting. Mr. Barnes expressed his belief that the design had been considered at the time of grant review. Commissioner Wright explained that that was not the case.

Commissioner Swanson felt the central stair was not an overwhelming concern in the overall design. He said there were tradeoffs in keeping part of the structure on the lower level in order to maintain the volume of the original house. He said the tandem garage could be built under the front porch. What did concern him was that this was a grant recipient and funds were allocated to restore the historic portion of the house. Practically speaking, there was great value in having the garage configured as shown on the drawings. He suggested Mr. Barnes talk to the owner to re-state that they had received grant money and the design needed to more closely match the historic tax photo. Locating the stairs in the middle of the structure would accomplish this. Planner Satchell said staff would continue to work with the applicant to create a design that is more sympathetic architecturally with the historic house. He asked the HDC if they wanted to review the project again. Commissioner Swanson said yes and continued that the project should be re-scheduled in a timely manner.

Commissioner Hurd said he would like to see drawings and conditions of approval reflecting the HDC recommendations. Mr. Barnes assumed the conditions of approval in the staff report would apply to any design he produced. Commissioner Wright explained that conditions of approval and findings of fact were written specifically to apply to each project individually. Mr. Barnes expressed distress over his perceived lack of communication between staff members who had met with him over the past six months to discuss the project design.

Motion: Commissioner Wright moved that the design review for 1259 Norfolk Avenue be continued to the next available meeting. There was discussion on the motion. The

HISTORIC DISTRICT COMMISSION
MINUTES OF JULY 2, 2001
PAGE 9

discussion centered around whether to include the review as a work session item or action portion of the agenda. It was decided the item would be included as a work session item. If the Commission provided specific direction at that time, approval of the design would be contingent upon how long it takes Mr. Barnes to modify the drawings to reflect those recommendations. The design could be approved at a staff level with an update to be provided to the Commission. Commissioner Wright amended her motion as follows: She moved the design review of modifications to 1259 Norfolk Avenue be continued to the July 16 work session. Commissioner Swanson seconded the motion.

Vote: The motion carried, 4-0 in favor.

316 Woodside Avenue-Design review of changes to existing single family residence

Commissioner Swanson recused himself and left the room since he was the architect on the project. Planner Satchell described the project which was located in the HR-1 District. The proposal included lifting the existing house 30" to construct a new foundation and expand the lower basement area by 95 square feet at the rear of the north elevation by enclosing a recessed, covered porch. The proposed expansion will bring the total square footage of the dwelling to approximately 2,026 square feet. A covered exterior stairway to a new side door entrance accessing the lower living area on the east elevation is proposed, as well as several minor window modifications. The proposal included replacing the existing double hung window on the west elevation with a double french door, and replacing the glass block window and the box bay window on the east elevation. The applicant was a 2001 HDC grant recipient in the amount of \$13,400. The applicant is Marlene Thibault, who was represented by her daughter, Monique. Planner Satchell stated the design met the Historic District Design Guidelines and recommended approval according to the findings of fact, conclusions of law, and conditions of approval in the staff report.

Commissioner Wright was not in support of the double french door on the west elevation and favored a half light door, as recommended by staff. The applicant explained the french doors had been proposed to allow light into the space and provided a larger opening to the space. She added the door would not be visible from Woodside Avenue. Planner Satchell encouraged use of a 3' wide door and a skylight to let light enter the area. Commissioner Wright supported use of a door and a window. The applicant expressed her desire to maintain the original appearance of the structure as much as possible. Commissioner Hurd stated the HDC does not advocate the use of double doors. Chair Peek added the Commission specifically disallowed a double door at 364 Woodside Avenue. Commissioner Hurd asked if a door with sidelights on both

HISTORIC DISTRICT COMMISSION
WORK SESSION NOTES OF JULY 16, 2001
PAGE 2

1259 Norfolk Avenue-Open discussion/design review of modifications to existing historic house

Planner Satchell noted there was not a staff report for this project and that it was included for discussion as a work session item. Staff met with the applicant's representative, Peter Barnes, to discuss the modifications to the historic house in the HR-1 zone. The HDC reviewed this application to increase the living area and construct a garage at their last meeting. Planner Satchell asked the Commissioners to focus their discussion on the proposed modifications and how they relate to the 1940's tax photo. Planner Satchell asked if Administrator Putt wanted to address the group. Administrator Putt clarified the action requested was clear design direction. Specifically, the discussion was requested to center around the design represented on the drawings; specifically, the location of the exterior staircase and lower level double-wide garage doors. He reviewed staff's recommendations as moving the stairway back to the center of the structure as shown on the tax photo, modifying the garage to be a single-wide, *tandem* two-car design, and moving the foundation wall forward to be on the same plane as the front of the deck. Those design revisions made the structure design Land Management Code compliant.

The designer, Peter Barnes, addressed the Commission. He stated the building's height had been reduced twelve inches by increasing grading and sinking it into the ground by a foot. He expressed his desire to resolve the visual implications with resolution to technical details later. He said they were running out of time to complete the project in this building season. Mr. Barnes commented moving the garage door forward had been done at staff's request in order to more closely resemble the original structure. Commissioner Swanson asked if there was a way to reduce the structure's height by raising the stair landing rather than lowering the building. There was discussion on the suggestion with the outcome being that raising the landing was not an option due to an attempt to preserve a mature tree in the vicinity.

Commissioner Hurd again stated his opposition to using tax photos as a basis for design review. In response to a question from Commissioner Fey, Mr. Barnes explained there was also an issue regarding snow shedding from the roof onto the front stairs. He added that bringing the garage forward increases the snow shed problem.

There was general discussion as the Commissioners tried to develop acceptable modifications. The possibility of a variance to the front setback was discussed. Planner Satchell explained that that would require a Board of Adjustment application and additional fee. Commissioner Swanson commented he could see the ramifications to

HISTORIC DISTRICT COMMISSION
WORK SESSION NOTES OF JULY 16, 2001
PAGE 3

the design due to the recommendations made at the last meeting. He could also see the possibility that construction might not be able to take place this season. Administrator Putt encouraged the Commission to provide direction that complies with the Land Management Code. Commissioner Hurd asked if he could be shown where the Land Management Code specified that buildings have to be designed to match tax photos. Administrator Putt said the tax photos were a tool and a guideline to help evaluate the historic character of structures at a certain point in time and build the most sensitive rehabilitation possible. Planner Satchell added the finished rehabilitation does not have to be identical to the tax photo, but wherever possible the proposed modifications should match the tax photo. He asked the Commission if their recommendation was for the applicant to pursue one of the two designs they had reviewed, or if they want other alternatives to be provided.

The discussion again digressed while various individual suggestions were given by the Commissioners. A straw poll was taken regarding the location of the front exterior stairs. Commissioners Fey, Hurd, and Swanson supported the stairs being located towards the south end of the porch. Chair Peek and Commissioner Wright wanted the stairs to be located at the center.

Planner Satchell said that the Guidelines specify that changes to the front elevation of historic structures should be as unobtrusive as possible. After discussion about the building footprint, square footage of the structure, garage door size, and location of the front garage wall, another straw poll was taken regarding whether the structure should have a double-wide garage or a single-wide garage with room for an additional to be parked tandem style. The result was Chair Peek and Commissioners Fey and Wright supporting a single-wide (one door) garage. Commissioners Hurd and Swanson supported a double wide (two door) garage. There was consensus to recess the garage door, and add landscaping to help conceal some of the exposed lower area.

Planner Satchell clarified that the final design would be brought back for design review since the applicant was a grant recipient.

PARK CITY MUNICIPAL CORPORATION
HISTORIC DISTRICT COMMISSION
MINUTES OF AUGUST 6, 2001

COMMISSIONERS IN ATTENDANCE: Dick Peek, Steve Swanson, Tom Hurd, Lynn Fey, Kristin Wright
EX OFFICIO: Derek Satchell, Preservation Planner; ReNae Rezac, Administrative Secretary; Tim Twardowski, Assistant City Attorney
EXCUSED: Lynn Fey

REGULAR MEETING

ROLL CALL

Chair Peek called the meeting to order at 6:00 p.m. and noted that all Commissioners were present.

ADOPTION OF MINUTES OF JULY 2, 2001

Motion: Commissioner Swanson moved approval of the minutes as written.
Commissioner Hurd seconded the motion.

Vote: The motion carried, 4-0 in favor.

PUBLIC COMMUNICATIONS

Chair Peek called for public comments on items not included in the regular meeting agenda. There were none.

STAFF/COMMISSIONER'S COMMUNICATIONS

Planner Satchell made the following announcements:

- The Historic Preservation Element of the General is scheduled for public hearing and discussion during the August 20th meeting.
- The re-write of Chapter 4, Park City Land Management Code, is scheduled for public hearing and possible action by the City Council on August 23rd. Planner Satchell requested the Commissioners to attend.
- City Council received a letter from Scott Vultaggio complaining about the HDC approval of Hardyplank siding at 1048 Lowell Avenue, the house next to his.
- 1259 Norfolk Avenue-Design review of modifications and addition to an existing historic dwelling has been temporarily tabled to a date uncertain at the request of the applicant's representative, Peter Barnes.
- The unpainted panels on the front of 306 Main Street, Ciscero's, are currently being re-painted per the HDC's recommendation.

HISTORIC DISTRICT COMMISSION
MINUTES OF AUGUST 6, 2001
PAGE 5

- submitted during construction may result in a stop-work order by the Chief Building Official until the modifications are approved.
16. No modifications to the existing single-family dwelling shall be made as part of this approval to permit the use of an accessory apartment unit on the property without the review and approval of the Park City Planning Commission prior to construction.
 17. All standard conditions of approval shall apply.
 18. This approval shall expire on August 6, 2002, if a building permit has not been issued within a year of this approval.

325 Park Avenue-Design review for repairs to an existing historic dwelling

Motion: Commissioner Swanson moved this project be moved to the regular agenda so discussion could occur. Commission Wright seconded the motion.

Vote: The motion carried, 4-0 in favor.

ACTION ITEMS

1259 Norfolk Avenue-Design review of modifications to existing historic structure

Motion: Commission Hurd moved to continue discussion on the project to a date uncertain. Commissioner Swanson seconded the motion.

Vote: The motion carried, 4-0 in favor.

503½ Woodside Avenue-Design review of disassembly of existing historical house

Planner Satchell explained the project for dismantling and temporary storage of the historic portion of the existing dwelling in the HR-1 District. The applicants, John Anderson and Floyd Hatch, along with their designer, Kevin King, were present. To accommodate the construction of the tunnel, the existing historic dwelling at 503½ Woodside Avenue has to be relocated. It has been determined through a site visit that the structure is a nuisance and hazard in its present condition. It is vacant and inaccessible by fire trucks. Chief Building Official Ivie has required that the structure be moved as soon as possible. The applicant is requesting to dismantle and temporarily store the historic portions in Salt Lake City pending reconstruction.

Planner Satchell explained that the new structure to be built at 515 Woodside would incorporate the historic, salvaged portions. Conditions of approval relating to the access tunnel specify the plat shall be approved and recorded prior to the relocation of the historic walls. Further, it was suggested that direction be given regarding the

HISTORIC DISTRICT COMMISSION REPORT

FILE COPY

DATE: March 18, 2002
DEPARTMENT: Planning Department
AUTHOR: Derek Satchell
TITLE: 1259 Norfolk Avenue - Design Review of Modifications to an Existing Historic Residence
TYPE OF ITEM: Work Session

SUMMARY RECOMMENDATIONS: Staff to approve with the following Findings of Fact, Conclusions of Law and Conditions of Approval.

A. PROJECT STATISTICS

Applicant: Richard & Janice Kerr/Peter Barnes (Designer)
Location: 1259 Norfolk Avenue
Proposal: Design review of Modifications to an Existing Historic Residence
Zoning: Historic Residential (HR-1) District
Adjacent Land Uses: Residential
Date of Application: May 18, 2001

B. BACKGROUND

The applicant is proposing to construct a 807 square foot garage/workshop under the existing 1,015 square foot, one-story, single-family residence on the uphill Lots 15, 16 and 17 in Block 18 of the Snyder's Addition to Park City Survey. The applicant also proposes to remove an existing historic shed addition to the rear, and increase the existing living area of the house from 1,015 square feet, to 1,256 square feet. Additionally, the proposed scope of work will include other necessary repairs to the historic dwelling. The applicant is a 2001 HDC Grant recipient in the amount of \$16,500. The surrounding area consists of both contemporary and historic buildings.

C. ANALYSIS

The applicant proposes to construct a 807 square foot garage/workshop under the existing 1,015 square foot, one-story, single-family residence located within the Historic Residential District (HR-1). The Maximum Building Footprint for the proposed 3,300 square foot lot is 1,367 square feet. The proposed Maximum Building Footprint for the dwelling will be approximately 1,256 square feet after the installation of the garage/workshop and addition to the rear of the dwelling. The height limit in the HR-1 zone is twenty-seven feet (27'). The proposed height of the dwelling will be approximately 25 feet above final grade to the highest ridge line. Additionally, the applicant is proposing to replace the existing non-historic aluminum windows, re-roof and re-paint the entire house. The present design proposal is the result of specific design direction given by the HDC during the July 2, 2001, meeting.

The applicant intends to demolish the existing historic shed addition located at the northeast corner of the dwelling in order for the structure to fit on its newly created lot. The addition is considered to be historic because it appears in the circa 1940's tax photo. Although the demolition of existing historic additions is not encouraged by the Historic District Design Guidelines, the HDC determined at the July, 2001 meeting that:

- the existing rear shed addition is not integral to the overall building's historic integrity;
- the addition found on the dwelling's south elevation is more important to retain because it is incorporated as part of the design of the front porch; and
- the removal of the rear shed addition will permit the applicants to subdivide the three (3) existing lots in a manner that will encourage future development that is sensitive to the historic scale and vernacular of the area.

Outlined below are specific Historic District Design Guidelines which relate to the rehabilitated single-family residence at 1259 Norfolk Avenue.

Historic District Guidelines for Residential Renovations

Guideline #45: Maintain the Line of Stone Retaining Walls Along the Street.

FINDING: Not applicable. No stone retaining walls exist, nor are any being proposed.

Guideline #46: Use Fences to Define Yard Edges.

- Avoid using solid "wood" fences. Chain link is not an appropriate material in the district.

FINDING: Not applicable. No fences are proposed, nor are any being proposed.

Guideline #47: Preserve existing exterior stairs.

- Wood steps are typical features on both residential sites and in public areas.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo shows the location of the front exterior stairs centered on the front of the dwelling, directly in front of the front door. However, the HDC determined that the repositioning of the step in their original location would result in an encroachment into the required front yard setback, given that fact that the house will be raised to accommodate the proposed garage. To mitigate the appearance of an extensive front stair design on the dwelling's front facade, the stairs shall maintain their current location (see finding of fact #10).

Guideline #48: Maintain the visual unity of building clusters on individual sites.

- Retain the similarity of materials on a lot where clusters of existing buildings occur by retaining the matching siding.

FINDING: Not applicable. There are no other structures located on this site.

Guideline #49: Locate additions to original houses so they do not alter the front facade.

- Do not obscure the size and shape of the original house.

FINDING: The proposed design complies with this policy as conditioned. In terms of scale, height and mass (as perceived from Woodside Avenue), the proposed addition will be located behind the historic dwelling. Additionally, the HDC determined that the garage be recessed under the front porch in order not to create a visual and architectural distraction (see findings of fact #5-8).

Guideline #50: Maintain front porches as an important facade element.

FINDING: The proposed design complies with this policy as conditioned. The existing front porch will be restored per historic documentation which exists in Staff's files for the dwelling. Should any porch element need to be replaced or reconstructed, Staff requests the HDC to require construction details to be submitted by the applicant to ensure their proper replication (see condition #11).

Guideline #51: Preserve the original shape of the roof.

FINDING: The proposed design complies with this policy as conditioned. The existing historic house is a front side-gabled dwelling having an extended single-sloping shed roof addition at the rear of

the house. The new addition will incorporate a cross gable roof design. The intent of the design is to minimize the massing of the new rear addition (see condition #17).

Guideline #52: Avoid changing the location of the windows.

FINDING: The proposed design complies with this policy. Existing windows will maintain their current locations.

Guideline #53: Maintain original window proportions.

- Do not close down the original openings. Use trim borders to frame window openings.

FINDING: The proposed design complies with this policy as conditioned. All of the new windows proposed appear to have a 2:1 proportional ratio, similar to those found on the historic portion of the house (see condition #15).

Guideline #54: Maintain the original position of main entrances.

FINDING: The proposed design complies with this policy. The existing main entrance will maintain its current location and function.

Guideline #55: Maintain original proportions of doors.

- Avoid "modernizing" by adding sliding doors.

FINDING: The proposed design complies with this policy as conditioned. Existing doors will maintain their current proportions. The circa 1940's tax photo shows a transom window located above the front door. This door detail shall be returned. Although there are two (2) pair of sliding full-light doors proposed, they are located on the rear of the dwelling. The HDC has approved these kind of doors for installation on the rear of new and historic dwellings in the past. The scale of the garage door shall not be enlarged or "oversized" in order to minimize the height of the house (see condition #14).

Guideline #56: Preserve specific details when repairing stone retaining walls.

- Preserve the color, texture, and shape of the stone.

FINDING: Not applicable. There are no existing stone retaining walls on this property.

Guideline #57: Maintain the original number of window panes.

- Retain and repair the original parts. Do not replace sliding sash or use small pane windows.

FINDING: The proposed design complies with this policy as conditioned. The one-over-one, double-hung window light configuration is similar to that found on the historic portion of the dwelling (see condition #15).

Guideline #58: Sash Dimensions.

FINDING: The proposed design complies with this policy as conditioned. The trim shall reflect the commonly found proportions and dimension of historic trim in Old Town (see condition #16).

Guideline #59: Maintain original siding.

- Original building materials may not be covered with synthetic sidings.

FINDING: The proposed design complies with this policy as conditioned. The applicant intends to expose and repair the original horizontal lap-siding which exists beneath portions of the existing artificial shingle siding (see condition #12).

Guideline #60: Preserve original porch materials.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo shows greater architectural detail involving the construction of the porch. The original porch had chamfered porch posts, decorative brackets, a sloping bead-board porch ceiling, and painted flush vertical wood siding skirting the perimeter of the porch. Although the current drawings do not show the same level of architectural detail, the applicant's intent is to restore the original appearance of the historic portion of the house. At the July 2001 meeting, the HDC determined that the applicant was not obligated to incorporate vertical wood siding skirting at the base of the house as shown in the circa 1940's tax photo, but could maintain a simple concrete finish on the dwelling's lower level (see condition #11).

Guideline #61: Use roof materials that were typical.

- Wood shingles or standing seam metal roofs are appropriate.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo of the property shows an asphalt shingle roofing material on the dwelling. The applicant is proposing to use a high definition/profile architectural-grade composite shingle roof over the entire dwelling (see condition #17).

Guideline #62: Preserve the essential character of the roof lines.

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to policy #51.

Guideline #63: Locate solar panels so they are not visible from the street.

FINDING: Not applicable. There are no solar panels proposed.

Guideline #64: When replacing doors, use designs similar to those that were found in Park City.

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to policy #55.

Guideline #65: Preserve original architectural detailing.

FINDING: The proposed design complies with this policy as conditioned. The circa 1940's tax photo shows greater architectural detail on the house (e.g. fascia boards, cornices, brackets, decorative exterior window trim, etc.). The current drawings do not show the same level of detail. At the July 2001 meeting, the HDC concurred with Staff's recommendation that the applicant utilize greater architectural detail on the house and submit the required detailing for Staff review and approval prior to the issuance of any building permits (see condition #16).

Guideline #66: Replace decoration where it is known to have once existed.

- Use remaining portions of details as models.

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to Guideline #65.

Guideline #67: Simplified modifications may be appropriate where historic elements have already been lost.

FINDING: The proposed design complies with this policy as conditioned. Refer to Staff's response to Guideline #65.

D. REQUESTED COMMISSION ACTION

Staff to approve the project proposed for 1259 Norfolk Avenue according to the Findings of Fact, Conclusions of Law and Conditions of Approval below.

Findings of Fact

1. The findings discussed in the Background and Analysis Sections of this report are incorporated herein.
2. The proposed dwelling is located within the HR-1 zone.
3. The three existing lots (#15, 16 and 17 of Block 18 of the Snyder's Addition to the Park City Survey) contain approximately 5,625 square feet.
4. The existing lots will be subdivided into two (2) separate lots. The newly created lot to accommodate the relocated existing historic house will be 44'x75' in size.
5. The maximum building footprint for a 44'x75' lot is approximately 1,367 square feet.
6. The proposed maximum building footprint will be approximately 1,256 square feet.
7. The maximum height allowed for the HR-1 Zone is 27 feet. The proposed height will be approximately 25 feet above final grade to the highest ridge line.
8. The relocated existing historic dwelling shall maintain the legal required setbacks (as determined by the Land Management Code) for a 44'x75' lot in the HR-1 zone.
9. There is significant vegetation on the site that is composed primarily of a large cottonwood tree near the southwest corner of the property. The tree will not be disturbed by this application.
10. The repositioning of the front stairs to their original location would create an encroachment into the required front yard setback for the property.
11. At the July 2, 2001, HDC meeting the HDC determined that the existing historic rear shed addition could be demolished as part of this application because: it is not integral to the overall building's historic integrity; it is not as important to retain as the addition found on the dwelling's south elevation that is incorporated as part of the design of the front porch; and the removal of the rear shed addition will permit the applicants to subdivide the three (3) existing lots in a manner that will encourage future development that is sensitive to the historic scale and vernacular of the area.
12. The applicant has received a 2001 HDC Grant in the amount of \$16,500 to be used towards this project.
13. The proposed dwelling modifications shall include a single car garage, having a garage door dimension not to exceed seven feet (7') in height, and nine feet (9') in width.
14. All new exterior siding shall be wood and match the existing painted horizontal wood siding in configuration, profile, dimension, texture and finish as determined by the Preservation Planner.

Conclusions of Law

1. The proposed work complies with the Park City Historic District Design Guidelines as conditioned.

Conditions of Approval

1. The review, approval and recordation of the subdivision plat shall be required prior to the issuance of the final Certificate of Occupancy for this project.
2. Receipt and approval of a Construction Mitigation Plan (CMP) by the Community Development Department is a condition precedent to the issuance of **any** building permit.
3. The final building plans shall show substantial compliance with the drawings dated November 28, 2001, with the design direction outlined in this report, and the specific Conditions of Approval adopted by the HDC upon taking action to approve. Any changes, modifications, or deviations from this approved design may require review and approval by the Historic District Commission or the Preservation Planner prior to their construction. Any formal request for design modifications submitted during construction may result in a stop-work order by the Chief Building Official until the modifications are approved.

4. The applicant shall apply for an Exploratory Demolition Permit to remove any non-historic material in order for the Preservation Planner to evaluate and assess the amount of salvageable existing historic material to be reused in this project. No material shall be removed from the building (or the site) without the consent of the Preservation Planner. Any removal of existing historic building material or features not identified as part of this review shall be reviewed and approved by the Preservation Planner prior to their removal.
5. The General Contractor shall be responsible for posting a Preservation Financial Guarantee to the City (in an amount to be determined by the Community Development Department) prior to the issuance of any building permits. This guarantee is for the protection and re-installation of any salvageable historic material that may be temporarily dismantled or disassembled as part of this rehabilitation/reconstruction project. The purpose is to ensure the re-installation of the historic material in a manner that preserves the most original material as possible. Failure to do so, will result in the City retaining this financial guarantee for use in its various preservation programs and incentive initiatives.
6. The General Contractor shall be responsible for submitting a Vegetation Financial Guarantee to the City (in an amount to be determined by the Community Development Department) prior to the issuance of any building permits. This guarantee is for the protection of the existing significant vegetation on the property as identified by the City. The purpose is to ensure the livelihood of said vegetation upon completion of the project. Failure to do so, will result in the City retaining this financial guarantee for the in-kind replacement of any loss of significant vegetation.
7. The General Contractor shall field verify all existing conditions prior to executing any work and match replacement materials/features accordingly. All discrepancies found between the final approved plans and the existing conditions must be reported to the Preservation Planner for direction prior to construction.
8. The architect, designer, general contractor and/or applicant shall be responsible for coordinating the approved architectural drawings/documents with the approved construction drawings/documents. The overall aesthetics of the final approved architectural drawings/documents shall take precedence. Any discrepancies found among these documents that would cause a change in appearance to the approved architectural drawings/documents shall be reviewed and approved by the Preservation Planner prior to construction. Failure to do so, or any request for changes during construction may require the issuance of a stop-work order for the entire project by the Chief Building Official until such time that the matter has been resolved.
9. The front stairs shall maintain their present location, in the manner illustrated in the approved drawings. The stairs and associated hand railings shall consist of a painted, wood, square balusters similar to that shown in the circa 1940's tax photo. Construction details of hand railings shall be submitted for approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
10. Construction details of the reconstructed front porch shall be submitted for approval by the Preservation Planner, according to the Historic District Design Guidelines prior to the issuance of full building permit. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
11. Repair and retain all existing historic wood siding and missing trim elements (ex: corner boards, fascia boards, exterior bead-board ceilings, etc.) in kind. All ghost outlines and general wear exhibited by the existing original wood siding shall remain. Replacement of any original wood siding or trim elements shall be made only in cases of structural failure or major deterioration. All replacement or missing elements (ex: corner boards, fascia

boards, etc.) shall match existing historic material in profile, dimension, configuration, texture and finish as determined by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook.

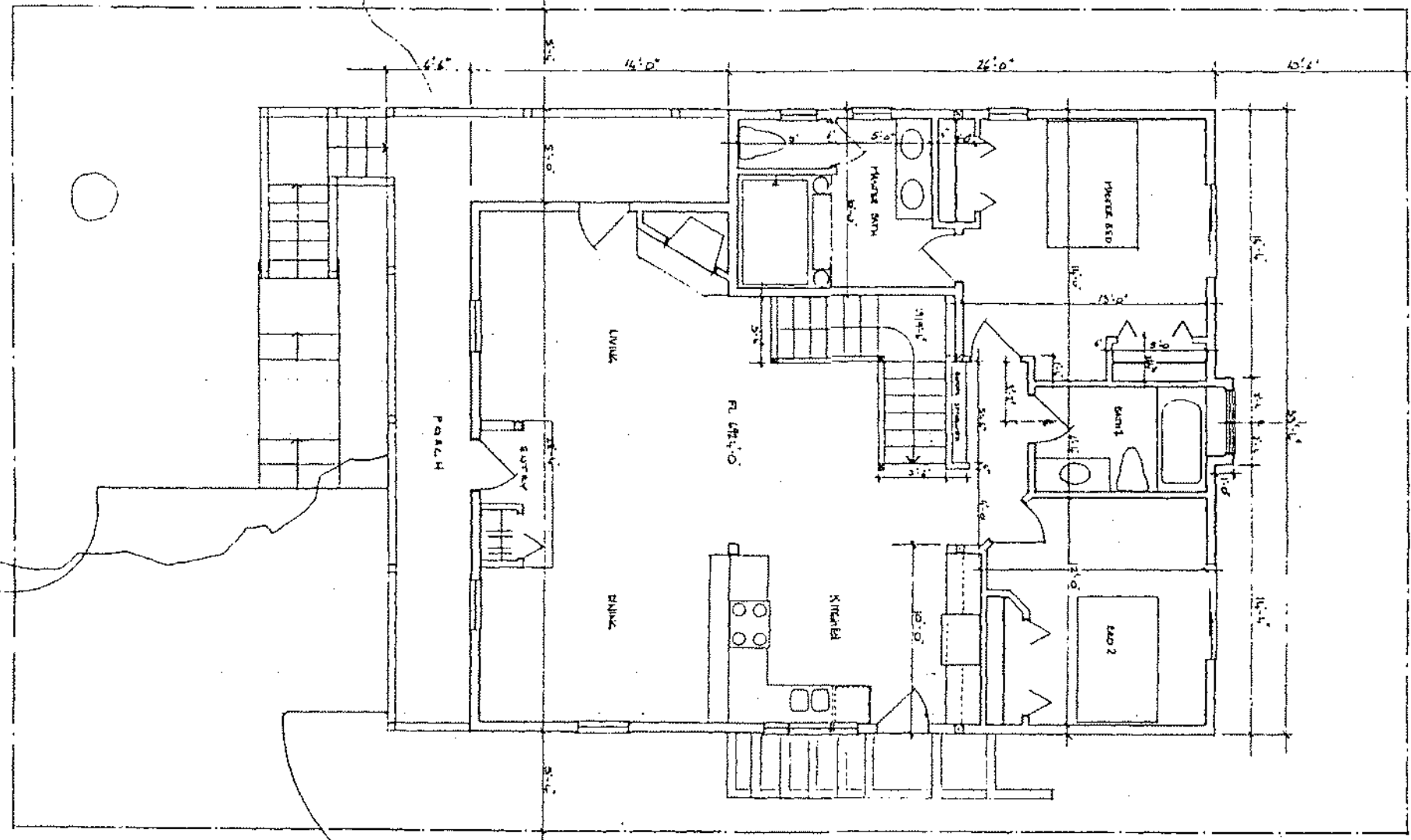
12. All replacement exterior doors on the front and side elevations (as shown in the approved drawings) shall be a wood (paint grade) half-light, paneled door. The door panel/light configuration and door trim details shall be approved by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permit. The front door shall incorporate a transom window above, as shown in the circa 1940's tax photo. The garage door shall be a wood, "carriage-style" overhead garage door, similar to that shown in the approved drawings.
13. Any new or replacement windows shall be wood (or wood aluminum-clad), double-hung one-over-one or casement windows. The width of the internal spacer bar shall be no greater than 5/8" or otherwise approved by the Preservation Planner based on specific window manufacturer's specifications. The width of the spacer bar shall be reviewed and approved by the Preservation Planner prior to the issuance of full building permit. The overall window proportional ratio of 2:1 as shown in the final approved architectural drawings, shall be maintained. The existing size and proportion of the windows and other original opening as identified by ghosting, uncovered blocked-up openings, etc. shall be retained. Any modifications to existing windows, location changes or addition of windows shall be reviewed and approved by the Preservation Planner to assure compliance with the Historic District Design Guidelines. Construction details of windows shall be submitted for review and approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits.
14. All exterior window trim shall be installed over the exterior siding, and constructed in a manner similar to that shown in the circa 1940's tax photo (note the difference in treatment between the front windows and all others). All new and replacement exterior window trim shall be at least 3 ½ inches in width, smooth-sawn, paint-grade wood trim. Construction details of window trim shall be submitted for approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
15. The replacement roof material shall be an architectural-grade composition roof shingle, having high definition or profile. The roof color and material shall be reviewed and approved by the Preservation Planner in accordance to the Historic District Design Guidelines. All proposed roof penetrations shall be shown on the construction drawings submitted to the Building Department for plan check and painted-out to match the roof color.
16. Any new exterior building paint scheme shall include body, trim and accent colors. All existing and new building ornamentation and trim shall be painted to coordinate with the entire paint scheme of the overall dwelling. All colors shall be complementary of each other, but provide sufficient visual contrast. A Paint Application must be submitted and approved by the Preservation Planner prior the issuance of full building permit.
17. All existing exterior lighting shall be brought into compliance with the Park City Light Code. All replacement exterior light fixtures and their location shall be reviewed and approved by the Preservation Planner for compliance with the Park City Light Code prior to issuance of the full building permit. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits. All new lighting shall be architecturally and historically compatible with the style of the dwelling. Additionally, all lighting shall be aesthetically and visually discrete—excessive exterior lighting fixtures on the

- front stair, front porch, underside of front porch, and the front facade of the dwelling overall shall **not** be permitted.
18. All existing utility services (e.g. electric meters, gas meters, etc.) shall be relocated away from the front of the dwelling, to the side building facades. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
 19. A final Landscape Plan shall be submitted and reviewed by the Staff prior to the issuance of any final building permits. The plan includes, but is not limited to the identification of all existing trees; proposed and existing plantings; planters; driveways; walkways and their materials. Non-historic landscape elements or elements which are not compatible with typical historic landscapes in the area (such as large boulders, etc.) are **not** permitted. The amount of existing hard-surface area in the front yard shall be softened by the incorporation of landscaping. The relocated existing dwelling shall maintain all required setbacks on the newly created lot after its relocation. The identified existing significant vegetation on the property shall remain and be protected during construction at all times. Any changes, modifications, or deviations from the approved design shall be reviewed and approved by the Historic District Commission or the Preservation Planner prior to their construction. Any formal request for design modifications submitted during construction may result in a stop-work order by the Chief Building Official until the modifications are approved.
 20. All standard conditions of approval shall apply.
 21. This approval shall expire on March 18, 2003, if a building permit has not been issued.

Exhibits

- Exhibit A - Location Map
- Exhibit B - Proposed Site Plan
- Exhibit C - Proposed Floor Plans
- Exhibit D - Proposed Building Elevations
- Exhibit E - Proposed Streetscape
- Exhibit F - Circa 1940's tax photo
- Exhibit G - Photographs of Existing Conditions

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KERR RESIDENCE

1259 N. MODERN AVE

Plans
 Proposed
 LEVADA ARCHITECTURE

Rev 3

06/20/16

6929'-8" ▽

6924'-8" ▽

6915'-8" ▽

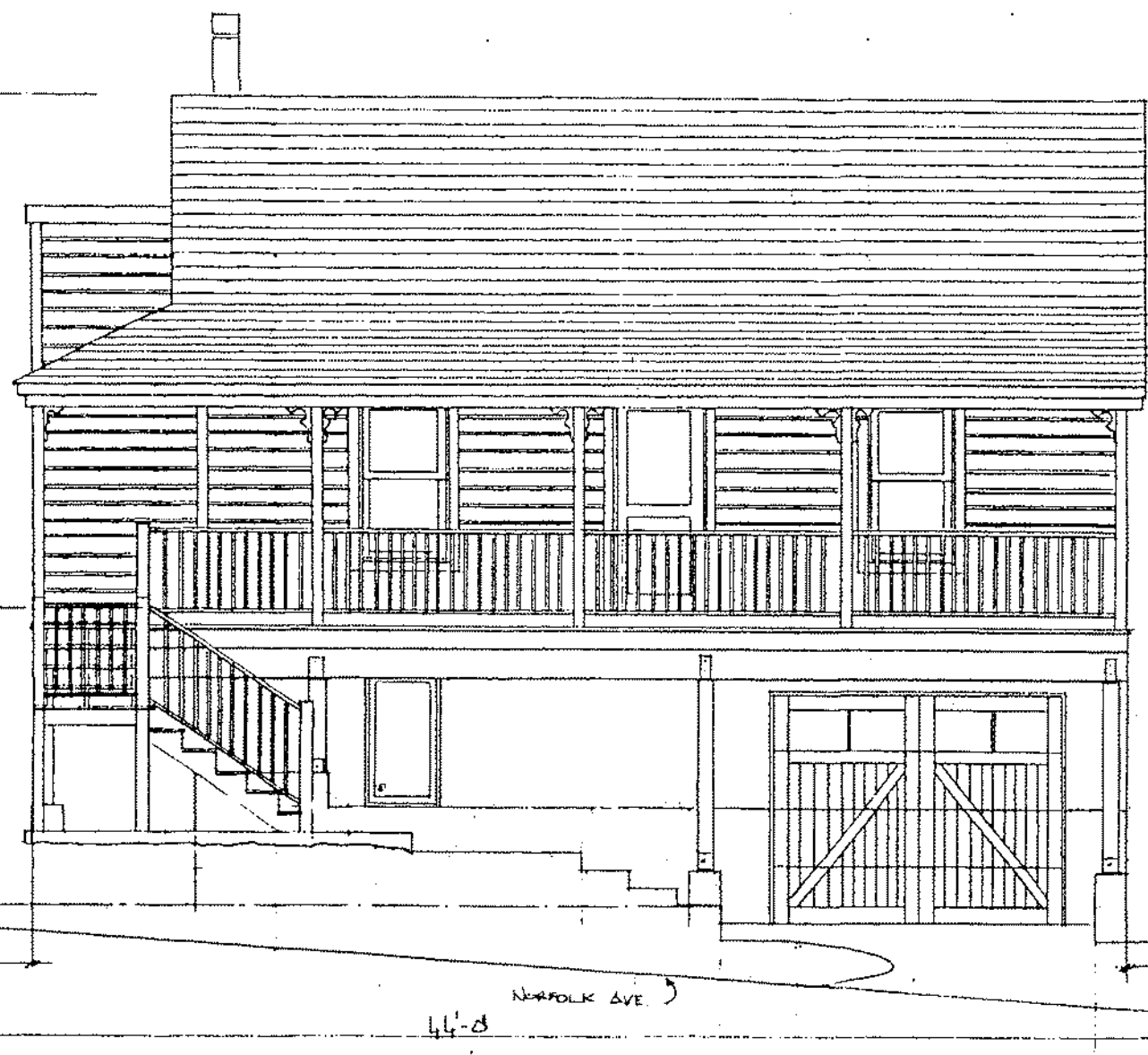
5'-4"
SIDEYARD

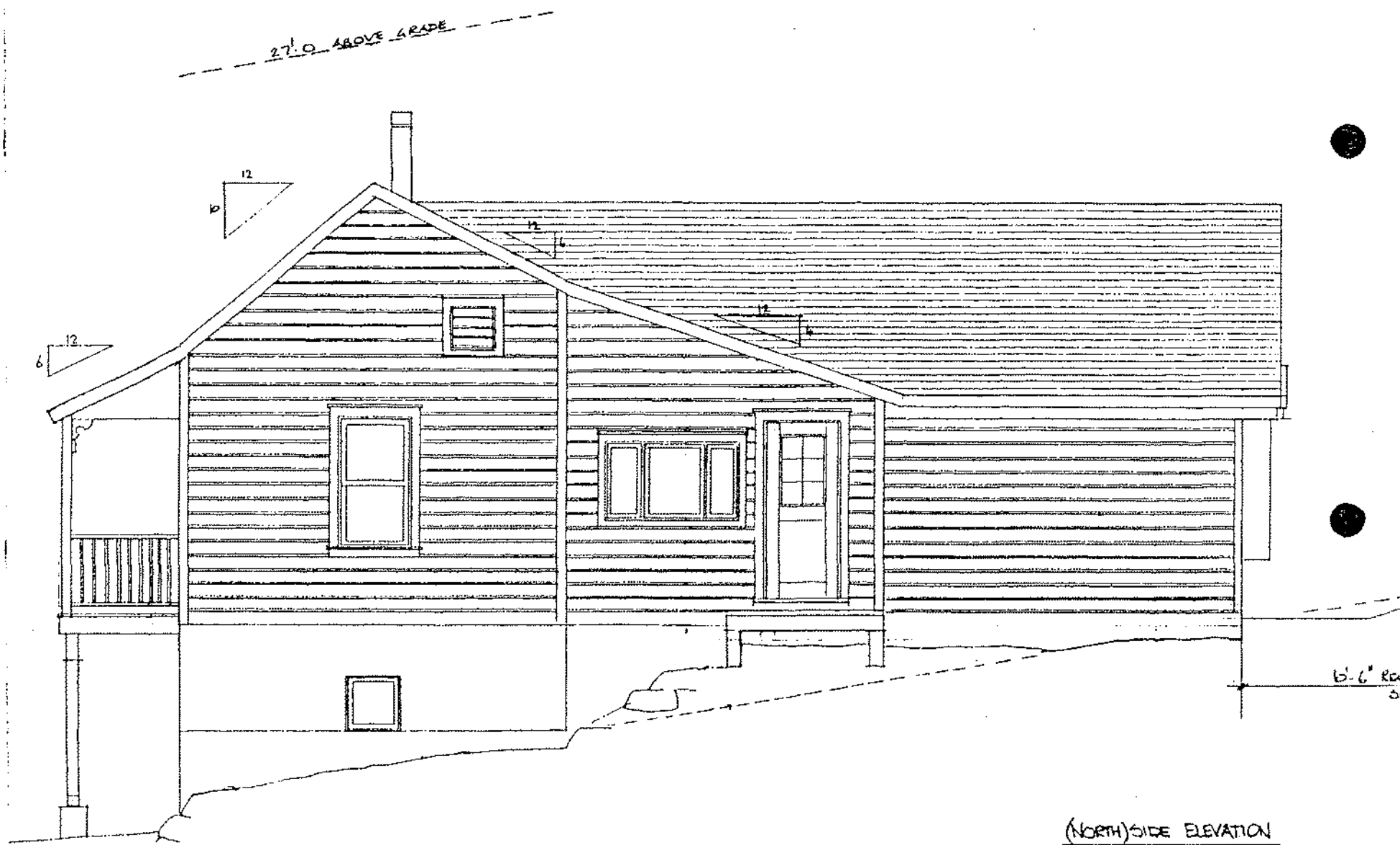
5'-4"
SIDEYARD

44'-8"

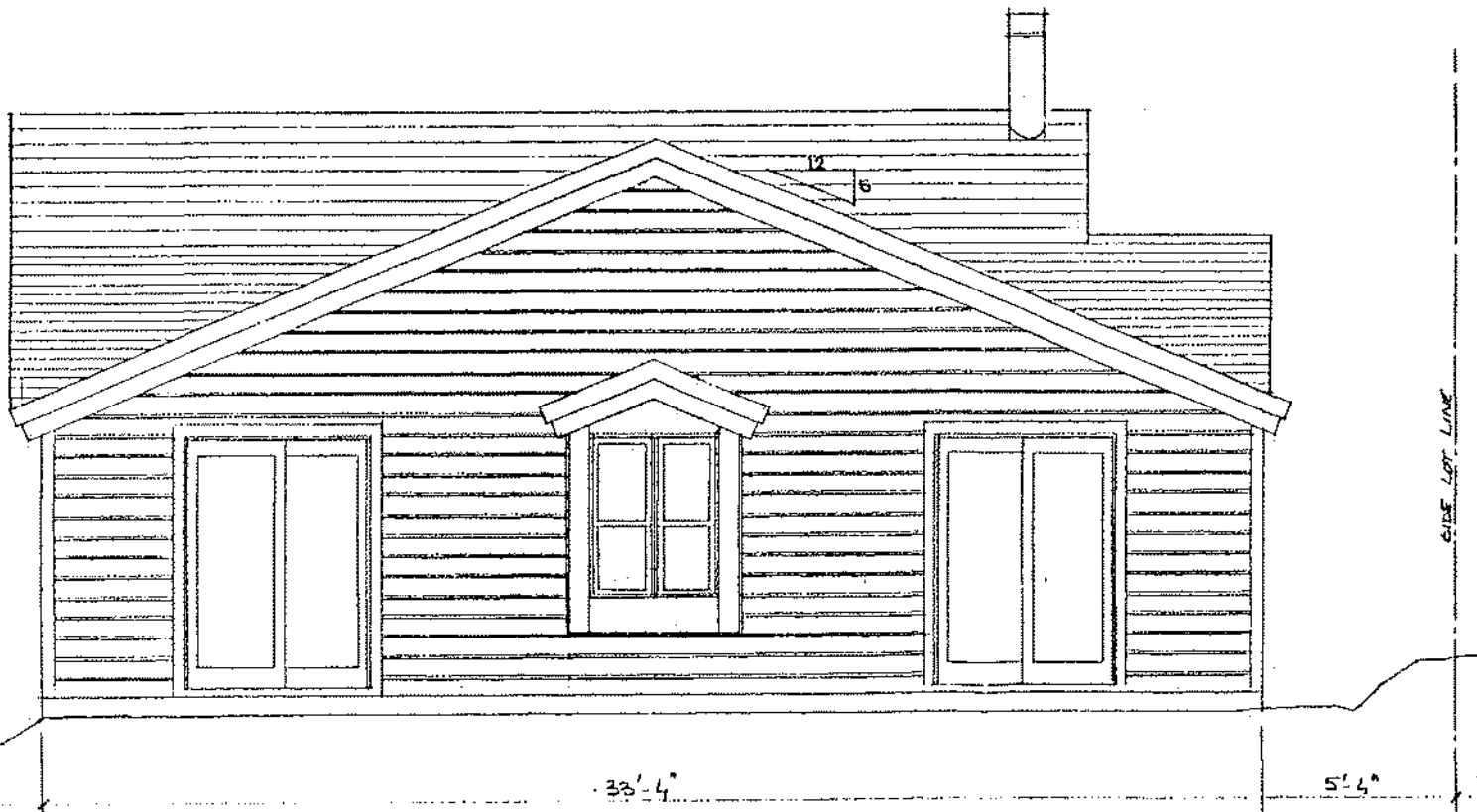
NORFOLK AVE. ↘

FRONT ELEVATION

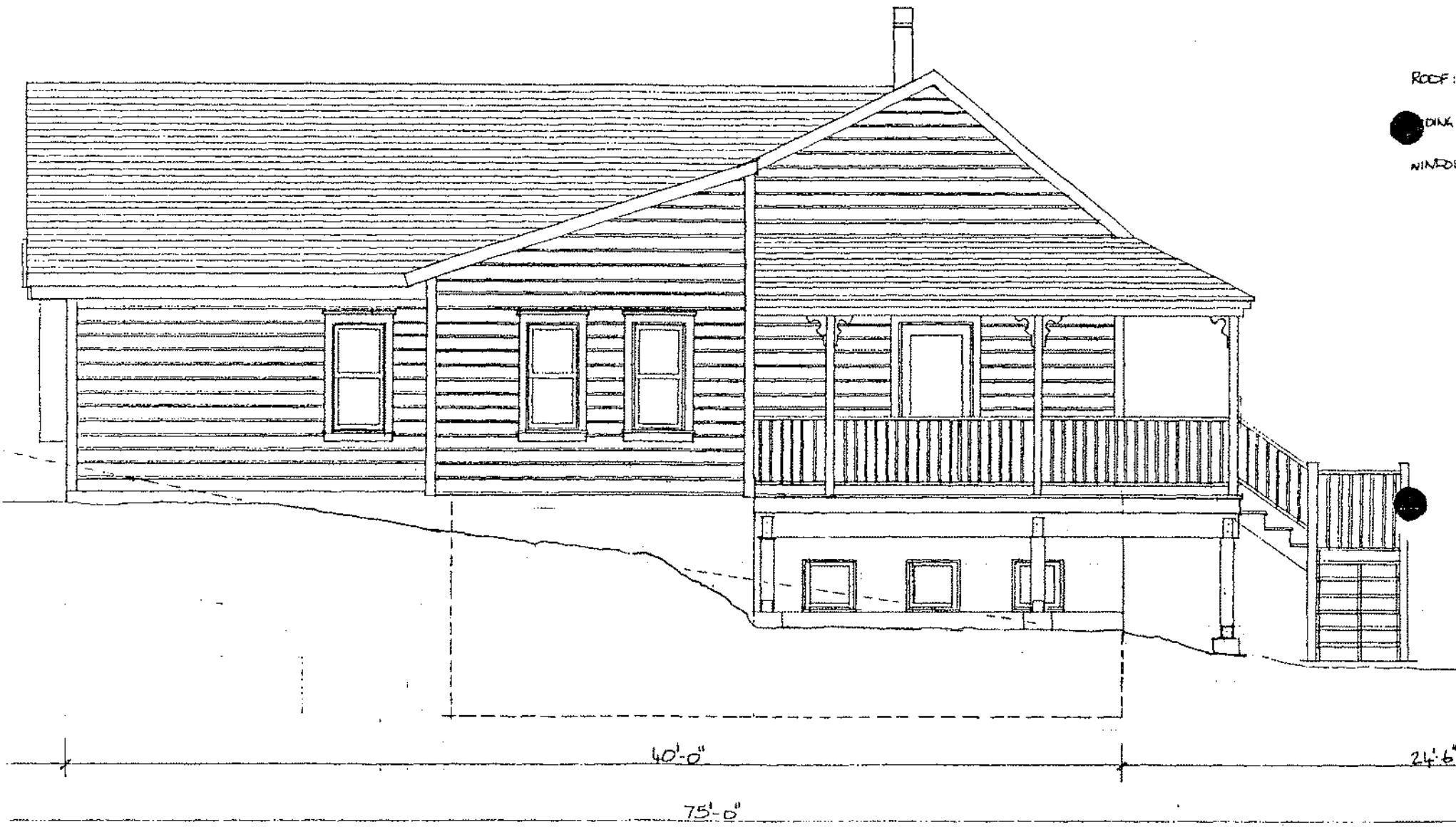




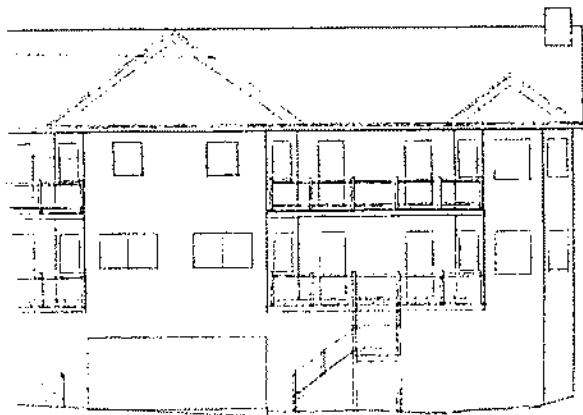
(NORTH)SIDE ELEVATION



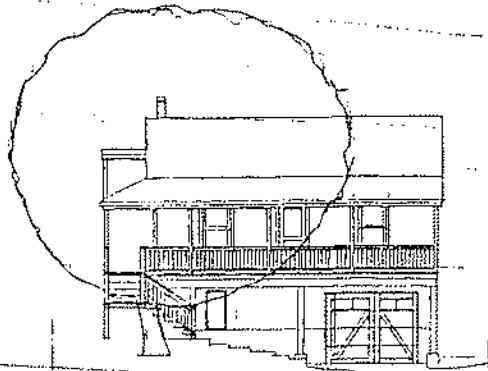
27'-0" ABOVE GRADE



ROOF:
DINK:
WINDOW:

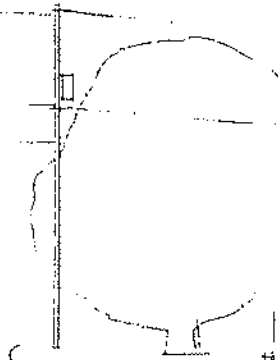


*1227 (Rear View)



*1227

44 (Rear View)



310

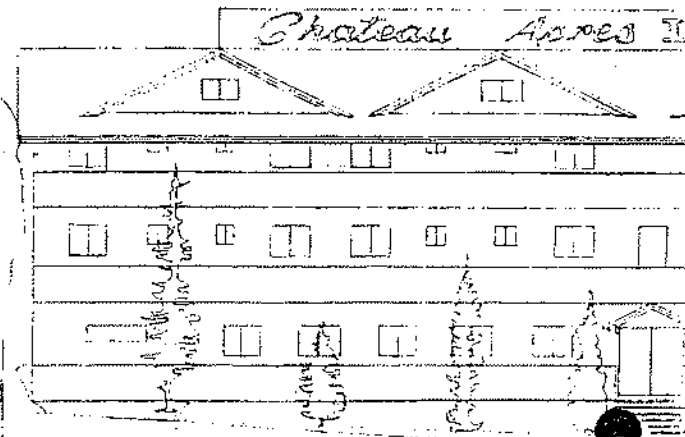




Exhibit I - Circa 1940's Tax Photo

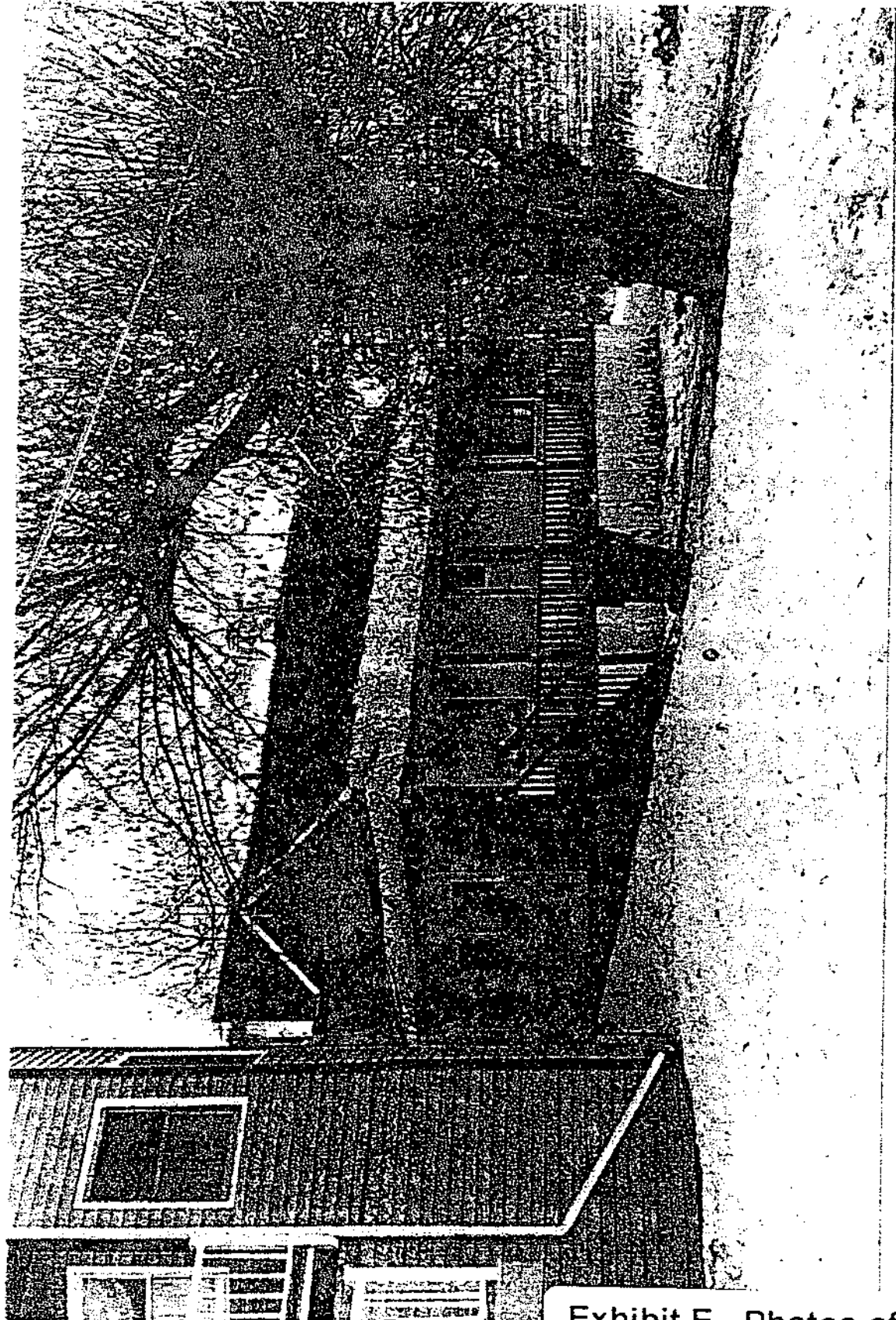
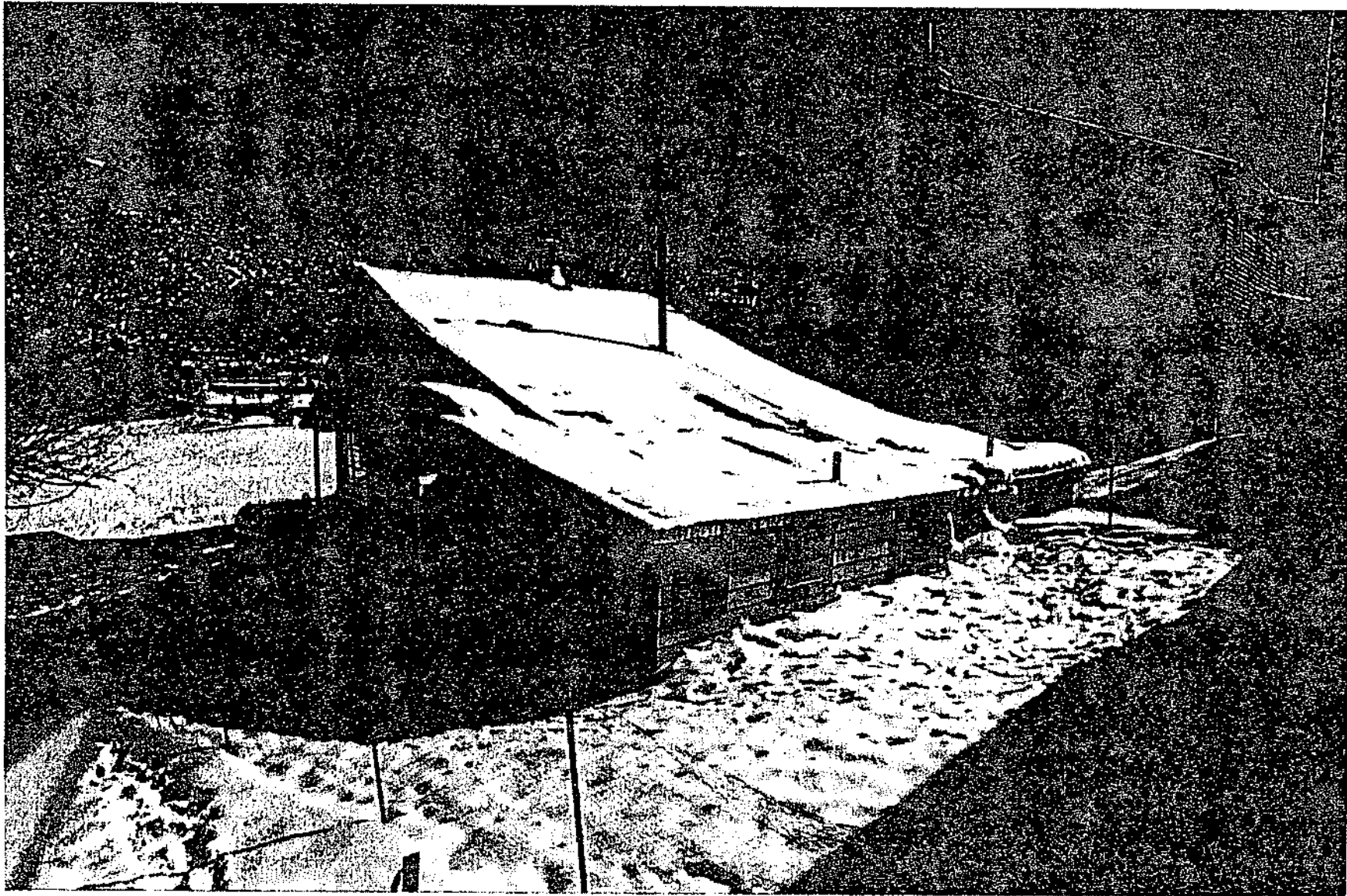


Exhibit E - Photos of Existing Conditions



HISTORIC DISTRICT COMMISSION
WORK SESSION NOTES
MARCH 18, 2002

Present: Dick Peek, Tom Hurd, Kristin Wright, Derek Satchell, Patrick Putt, Rick Lewis, Tim Twardowski, Peter Barnes

Excused: Lynn Fey, Steve Swanson

WORK SESSION

1259 Norfolk Avenue-Design review of modifications to existing historic house

Planner Satchell provided a background of the project for the Commissioners. The property is owned by Richard and Janice Kerr. Their designer is Peter Barnes, who was in attendance at the meeting. The proposal is for an 807 square foot garage/workshop under the existing residence. The applicant is a 2001 HDC Grant recipient in the amount of \$16,500. The applicant intends to demolish the existing historic shed addition located at the northeast corner of the structure so the addition will fit on its newly created lot. The HDC approved this action at their July, 2001, meeting.

There were no comments from the Commissioners. Planner Satchell thanked them and said he would move ahead with a staff administrative approval of the project.



Department of Community Development
Engineering • Building Inspection • Planning

March 19, 2002

FILE COPY

Peter Barnes
PO Box 682292
Park City, Utah 84068

NOTICE OF PLANNING STAFF ADMINISTRATIVE ACTION

Project Address: **1259 Norfolk Avenue**

Project Description: **Design Review of Modifications to an Existing
Historic Dwelling**

Date of Action: **March 18, 2002**

Action Taken By Planning Department Staff: Approved in accordance with the Findings of Fact, Conclusions of Law, and Conditions of Approval as written below:

Findings of Fact

1. The findings discussed in the Background and Analysis Sections of the report are incorporated herein.
2. The proposed dwelling is located within the HR-1 zone.
3. The three existing lots (#15, 16 and 17 of Block 18 of the Snyder's Addition to the Park City Survey) contain approximately 5,625 square feet.
4. The existing lots will be subdivided into two (2) separate lots. The newly created lot to accommodate the relocated existing historic house will be 44'x75' in size.
5. The maximum building footprint for a 44'x75' lot is approximately 1,367 square feet.
6. The proposed maximum building footprint will be approximately 1,256 square feet.
7. The maximum height allowed for the HR-1 Zone is 27 feet. The proposed height will be approximately 25 feet above final grade to the highest ridge line.
8. The relocated existing historic dwelling shall maintain the legal required setbacks (as determined by the Land Management Code) for a 44'x75' lot in the HR-1 zone.
9. There is significant vegetation on the site that is composed primarily of a large cottonwood tree near the southwest corner of the property. The tree will not be disturbed by this application.
10. The repositioning of the front stairs to their original location would create an encroachment into the required front yard setback for the property.

ACTION LETTER - 1259 Norfolk Avenue

March 19, 2002

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11. At the July 2, 2001, HDC meeting the HDC determined that the existing historic rear shed addition could be demolished as part of this application because: it is not integral to the overall building's historic integrity; it is not as important to retain as the addition found on the dwelling's south elevation that is incorporated as part of the design of the front porch; and the removal of the rear shed addition will permit the applicants to subdivide the three (3) existing lots in a manner that will encourage future development that is sensitive to the historic scale and vernacular of the area.
12. The applicant has received a 2001 HDC Grant in the amount of \$16,500 to be used towards this project.
13. The proposed dwelling modifications shall include a single car garage, having a garage door dimension not to exceed seven feet (7') in height, and nine feet (9') in width.
14. All new exterior siding shall be wood and match the existing painted horizontal wood siding in configuration, profile, dimension, texture and finish as determined by the Preservation Planner.
15. At the March 18, 2002, HDC meeting the HDC remanded this application to Staff for administrative approval.

Conclusions of Law

1. The proposed work complies with the Park City Historic District Design Guidelines as conditioned.

Conditions of Approval

1. The review, approval and recordation of the subdivision plat shall be required prior to the issuance of the final Certificate of Occupancy for this project.
2. Receipt and approval of a Construction Mitigation Plan (CMP) by the Community Development Department is a condition precedent to the issuance of **any** building permit.
3. The final building plans shall substantial compliance with the drawings dated November 28, 2001, with the design direction outlined in this report, and the specific Conditions of Approval adopted by the HDC upon taking action to approve. Any changes, modifications, or deviations from this approved design may require review and approval by the Historic District Commission or the Preservation Planner prior to their construction. Any formal request for design modifications submitted during construction may result in a stop-work order by the Chief Building Official until the modifications are approved.
4. The applicant shall apply for an Exploratory Demolition Permit to remove any non-historic material in order for the Preservation Planner to evaluate and assess the amount of salvageable existing historic material to be reused in this project. No material shall be removed from the building (or the site) without the consent of the Preservation Planner. Any removal of existing historic building material or features not identified as part of this review shall be reviewed and approved by the Preservation Planner prior to their removal.

ACTION LETTER - 1259 Norfolk Avenue

March 19, 2002

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5. The General Contractor shall be responsible for posting a Preservation Financial Guarantee to the City (in an amount to be determined by the Community Development Department) prior to the issuance of any building permits. This guarantee is for the protection and re-installation of any salvageable historic material that may be temporarily dismantled or disassembled as part of this rehabilitation/reconstruction project. The purpose is to ensure the re-installation of the historic material in a manner that preserves the most original material as possible. Failure to do so, will result in the City retaining this financial guarantee for use in its various preservation programs and incentive initiatives.
6. The General Contractor shall be responsible for submitting a Vegetation Financial Guarantee to the City (in an amount to be determined by the Community Development Department) prior to the issuance of any building permits. This guarantee is for the protection of the existing significant vegetation on the property as identified by the City. The purpose is to ensure the livelihood of said vegetation upon completion of the project. Failure to do so, will result in the City retaining this financial guarantee for the in-kind replacement of any loss of significant vegetation.
7. The General Contractor shall field verify all existing conditions prior to executing any work and match replacement materials/features accordingly. All discrepancies found between the final approved plans and the existing conditions must be reported to the Preservation Planner for direction prior to construction.
8. The architect, designer, general contractor and/or applicant shall be responsible for coordinating the approved architectural drawings/documents with the approved construction drawings/documents. The overall aesthetics of the final approved architectural drawings/documents shall take precedence. Any discrepancies found among these documents that would cause a change in appearance to the approved architectural drawings/documents shall be reviewed and approved by the Preservation Planner prior to construction. Failure to do so, or any request for changes during construction may require the issuance of a stop-work order for the entire project by the Chief Building Official until such time that the matter has been resolved.
9. The front stairs shall maintain their present location, in the manner illustrated in the approved drawings. The stairs and associated hand railings shall consist of a painted, wood, square balusters similar to that shown in the circa 1940's tax photo. Construction details of hand railings shall be submitted for approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
10. Construction details of the reconstructed front porch shall be submitted for approval by the Preservation Planner, according to the Historic District Design Guidelines prior to the issuance of full building permit. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.

ACTION LETTER - 1259 Norfolk Avenue

March 19, 2002

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11. Repair and retain all existing historic wood siding and missing trim elements (ex: corner boards, fascia boards, exterior bead-board ceilings, etc.) in kind. All ghost outlines and general wear exhibited by the existing original wood siding shall remain. Replacement of any original wood siding or trim elements shall be made only in cases of structural failure or major deterioration. All replacement or missing elements (ex: corner boards, fascia boards, etc.) shall match existing historic material in profile, dimension, configuration, texture and finish as determined by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook.
12. All replacement exterior doors on the front and side elevations (as shown in the approved drawings) shall be a wood (paint grade) half-light, paneled door. The door panel/light configuration and door trim details shall be approved by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permit. The front door shall incorporate a transom window above, as shown in the circa 1940's tax photo. The garage door shall be a wood, "carriage-style" overhead garage door, similar to that shown in the approved drawings.
13. Any new or replacement windows shall be wood (or wood aluminum-clad), double-hung one-over-one or casement windows. The width of the internal spacer bar shall be no greater than 5/8" or otherwise approved by the Preservation Planner based on specific window manufacturer's specifications. The width of the spacer bar shall be reviewed and approved by the Preservation Planner prior to the issuance of full building permit. The overall window proportional ratio of 2:1 as shown in the final approved architectural drawings, shall be maintained. The existing size and proportion of the windows and other original opening as identified by ghosting, uncovered blocked-up openings, etc. shall be retained. Any modifications to existing windows, location changes or addition of windows shall be reviewed and approved by the Preservation Planner to assure compliance with the Historic District Design Guidelines. Construction details of windows shall be submitted for review and approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits.
14. All exterior window trim shall be installed over the exterior siding, and constructed in a manner similar to that shown in the circa 1940's tax photo (note the difference in treatment between the front windows and all others). All new and replacement exterior window trim shall be at least 3 1/2 inches in width, smooth-sawn, paint-grade wood trim. Construction details of window trim shall be submitted for approval by the Preservation Planner, according to the HDC's Illustrated Building Materials Handbook, prior to the issuance of full building permits. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
15. The replacement roof material shall be an architectural-grade composition roof shingle, having high definition or profile. The roof color and material shall be reviewed and approved by the Preservation Planner in accordance to the Historic District Design

ACTION LETTER - 1259 Norfolk Avenue

March 19, 2002

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Guidelines. All proposed roof penetrations shall be shown on the construction drawings submitted to the Building Department for plan check and painted-out to match the roof color.

16. Any new exterior building paint scheme shall include body, trim and accent colors. All existing and new building ornamentation and trim shall be painted to coordinate with the entire paint scheme of the overall dwelling. All colors shall be complementary of each other, but provide sufficient visual contrast. A Paint Application must be submitted and approved by the Preservation Planner prior the issuance of full building permit.
17. All existing exterior lighting shall be brought into compliance with the Park City Light Code. All replacement exterior light fixtures and their location shall be reviewed and approved by the Preservation Planner for compliance with the Park City Light Code prior to issuance of the full building permit. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits. All new lighting shall be architecturally and historically compatible with the style of the dwelling. Additionally, all lighting shall be aesthetically and visually discrete—excessive exterior lighting fixtures on the front stair, front porch, underside of front porch, and the front facade of the dwelling overall shall **not** be permitted.
18. All existing utility services (e.g. electric meters, gas meters, etc.) shall be relocated away from the front of the dwelling, to the side building facades. The final approved drawings shall be modified to reflect this condition of approval prior to the issuance of any building permits.
19. A final Landscape Plan shall be submitted and reviewed by the Staff prior to the issuance of any final building permits. The plan includes, but is not limited to the identification of all existing trees; proposed and existing plantings; planters; driveways; walkways and their materials. Non-historic landscape elements or elements which are not compatible with typical historic landscapes in the area (such as large boulders, etc.) are **not** permitted. The amount of existing hard-surface area in the front yard shall be softened by the incorporation of landscaping. The relocated existing dwelling shall maintain all required setbacks on the newly created lot after its relocation. The identified existing significant vegetation on the property shall remain and be protected during construction at all times. Any changes, modifications, or deviations from the approved design shall be reviewed and approved by the Historic District Commission or the Preservation Planner prior to their construction. Any formal request for design modifications submitted during construction may result in a stop-work order by the Chief Building Official until the modifications are approved.
20. All standard conditions of approval shall apply.
21. This approval shall expire on March 18, 2003, if a building permit has not been issued.

ACTION LETTER - 1259 Norfolk Avenue

March 19, 2002

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Any person who submitted written comment on a proposal, the owner of any property within three hundred (300) feet of the boundary of the subject site, or the owner of the subject property may appeal to the Historic District Commission any action pertaining to the approval or denial. The petition must be filed in writing with the Community Development Department within ten (10) calendar days of a Planning Staff decision.

Respectfully,



Derek Satchell
Preservation Planner

cc: Richard & Janice Kerr



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PARK CITY
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Historic Preservation Board Meeting
April 1, 2015

(i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or

(ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or

(iii) Moving it from its original location to a Dissimilar Location, or

(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following: Complies.

(i) An era of Historic importance to the community, or

(ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

2. The existing structure located at 332 Woodside Avenue does not meet all of the criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site including:

a. It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and Complies.

b. It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and Does Not Comply.

c. It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

i. An era that has made a significant contribution to the broad patterns of our history;

ii. The lives of Persons significant in the history of the community, state, region, or nation; or

iii. The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. Complies.

1259 Norfolk Avenue – Determination of Significance of Historic House
(Application PL-15-02645)

Planner Turpen reported that new information regarding the structure was discovered this afternoon. Since the new information was not included in the Staff report the applicant would be requesting a continuance.

Maureen Moriarty, the property owner of 1259 Norfolk, stated that when she arrived this evening she was told that some information was not presented prior

Historic Preservation Board Meeting
April 1, 2015

to this meeting. For that reason, she requested a continuance to the next meeting.

MOTION: Board Member Holmgren move to CONTINUE the discussion on 1259 Norfolk Avenue until the next meeting. Board Member Crosby seconded the motion.

VOTE: The motion passed unanimously.

The meeting adjourned at 5:39 p.m.

Approved by _____
John Kenworthy, Chair
Historic Preservation Board

Historic Preservation Board Staff Report



PLANNING DEPARTMENT

Subject: 1055 Norfolk Avenue
Project #: PL-15-02827
Author: Francisco J Astorga, AICP, Senior Planner
Date: 06 April 2016
Type of Item: Administrative – Material Deconstruction

Summary Recommendations

Staff recommends that the Historic Preservation Board (HPB) review and discuss the Material Deconstruction Application, conduct a public hearing, and approve the Material Deconstruction of non-historic materials at 1055 Norfolk Avenue based on the Findings of Fact, Conclusions of Law, and Conditions of Approval for the Board's consideration.

Description

Applicant/Owner: Carabiner Capital, LLC, represented by David Baglino
Architect: Kevin Horn, Horn Partners Architecture
Location: 1055 Norfolk Avenue
Historic Designation: Significant
 zoning: Historic Residential-1 (HR-1) District
Adjacent Land Uses: Residential
Reason for Review: Material Deconstruction of Historic Sites requires HPB Review

Proposal

Request for HPB Review of a Material Deconstruction application for removal of non-historic material associated with a current Historic District Design Review (HDDR) application for the restoration/rehabilitation of the structure located at 1055 Norfolk Avenue to the year 1900 footprint. The HDDR application includes, adding a basement addition with a garage, and adding four (4) floors behind the historic structure, in the form of a basement, main floor, upper floor, and attic levels.

Background

On December 10, 2015, the Planning Department received an HDDR application for the property at 1055 Norfolk Avenue. On January 15, 2016, the applicant submitted the noticing requirements as well as title report. The application was deemed complete on January 15, 2016. The HDDR application has not yet been approved, as it is dependent on HPB's review for Material Deconstruction approval.

The current HDDR application is for the restoration/rehabilitation of the existing single-family dwelling and an addition. The site is listed on Park City's Historic Sites Inventory (HSI) noted as *Significant* as it was built during the **Mature Mining Historic Era** consisting of **1894 through 1930** as currently shown on the HSI Form. The adopted HSI Form indicates that the physical evidence from the period that defines the typical Park City mining era home has been altered. Furthermore, the physical element of the site, in combination, does not effectively convey a sense of life in western mining town

of the late nineteenth and early twentieth centuries. It indicates that the extent of the alterations to the building diminishes its association with the past, and the degree and cumulative effect of these alterations renders it ineligible for listing in the National Register of Historic Places.

According to the Design Guidelines for Historic Districts and Historic Sites, rehabilitation and restoration are two of the four (2 of 4) treatments for historic sites:

- **Preservation.** *If you want to stabilize a building or structure, retain most or all of its historic fabric, and keep it looking the way it does now, you will be preserving it. Preservation is the first treatment to consider and it emphasizes conservation, maintenance and repair.*
- **Rehabilitation.** *If you want to update a building for its current or a new use, you will be rehabilitating it. Rehabilitation, the second treatment, also emphasizes retention and repair of historic materials, though replacement is allowed because it is assumed that the condition of existing materials is poor.*
- **Restoration.** *If you want to take a building back to an earlier time by removing later features, you will be restoring it. Restoration, the third treatment, centers on retaining materials from the most significant period in the property's history. Because changes in a site convey important information about the development history of that site and its structures, restoration is less common than the previous treatments.*
- **Reconstruction.** *If you want to bring back a building that no longer exists or cannot be repaired, you will be reconstructing it. Reconstruction, the fourth treatment, is used to recreate a non-surviving building or one that exists now, but is extremely deteriorated and unsalvageable. Reconstruction is rarely recommended.*

The Historic Preservation Plan, See Exhibit E, is to outline the proposed preservation treatment, rehabilitation/restoration for each element, feature, and/or space documented in the Physical Conditions Report, See Exhibit F.

The existing building is 1,580 square feet in total floor area. The proposed building is approximately 3,615 square feet in total floor area. The submitted Survey, sheet H1.01 as part of Exhibit C – Material Deconstruction Plan (Historic Drawings), indicates that the existing Building Footprint is approximately 964 square feet. The applicant requests to utilize the historic Building Footprint of year 1900 consisting of 488 square feet as shown in the analysis section of this staff report. The proposed addition consists of the following:

1. Basement addition with garage (Design Guideline Addition Scenario 2). The lower floor consists of 1,220 square feet total, including the new 265 square foot garage.
2. Main floor rehabilitation/remodel and rear addition. The main floor consists of 1,106 square feet. The applicant requests to restore the 488 square foot building footprint of the main floor.

3. Upper floor remodel and rear addition. The upper floor consists of 929 square feet, including the 250 square foot attic above the main floor of the historic portion of the house.
4. Attic level addition above the rear addition consisting of 360 square feet.

HPB Review for Demolitions

Land Management Code (LMC) § 5-11-12.5 indicates that the HPB is to review and approve, approve with conditions, or deny all applications for Material Deconstruction involving any building and/or structures designated on the HSI as Landmark or Significant. The site is designated as Significant. See Exhibit B – Historic Sites Inventory Form - Historic Sites Inventory. Prior to issuance of a Building Permit for any Material Deconstruction work, the HPB is to review the proposed plans for compliance with the LMC. The HDDR application has not yet been approved, as it is dependent on HPB's review for Material Deconstruction approval.

Material Deconstruction or Dismantling, in particular, is relatively a new term that the City developed in order to address the HPB's new role as of December 2015. The currently adopted term is defined in LMC § 15-15-1.163 as:

The disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair.

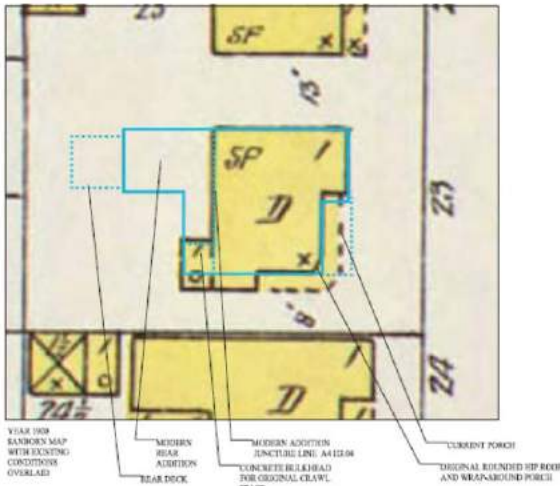
Staff worked with the HPB, Planning Commission, and City Council to set demolition review criteria for the HPB to ensure consistency and clarity. The HPB's demolition review is based upon the checklist reviewed and accepted by City Council, See Exhibit A – HPB Checklist for Material Deconstruction.

Analysis

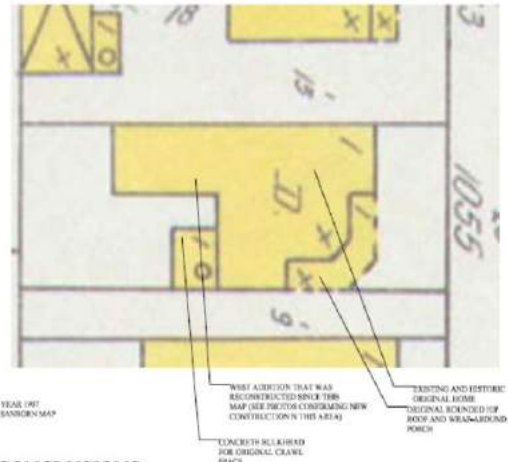
The applicant's entire graphic analysis of this site is found in Exhibit C – Material Reconstruction Plan (Historic Drawings). Staff recommends that the HPB spends ample amount of time reviewing the following exhibits:

- **Exhibit C – Material Deconstruction Plan (Historic Drawings);**
- **Exhibit E – HDDR Historic Preservation Plan; and**
- **Exhibit F – HDDR Physical Conditions Report.**

According to Summit County records the house was built in 1906, however, the house is clearly shown on the year 1900 and 1907 Sanborn Fire Insurance Maps (Sanborn Maps). See Sheet H1.02 of Exhibit C or exhibit portions below:



Year 1900 Sanborn Map



Year 1907 Sanborn Map

The surviving original portion of the home is a T-shape structure with one (1) ridge running East-West and one (1) ridge running North-South, parallel to the street, terminating in a half (□) octagon roof structure and wrapped by a porch on the southeast corner. See photograph below:



The photograph above, taken from inside of the attic cannot be seen from the exterior. The 1907 Sanborn Map, shown on see Sheet H1.02 of Exhibit C - Material Deconstruction, shows that the original home still existed with the wrap-around porch. Half (□) of the wrap-around porch is shown in the year 1900 and 1907 Sanborn Maps. At this time the plaster/stucco finish had not yet been applied since the later porch enclosure included it. The year 1907 Sanborn Map shows a west wing, rear, addition of some sort. Photographs of the basement framing and exterior finish confirm that this

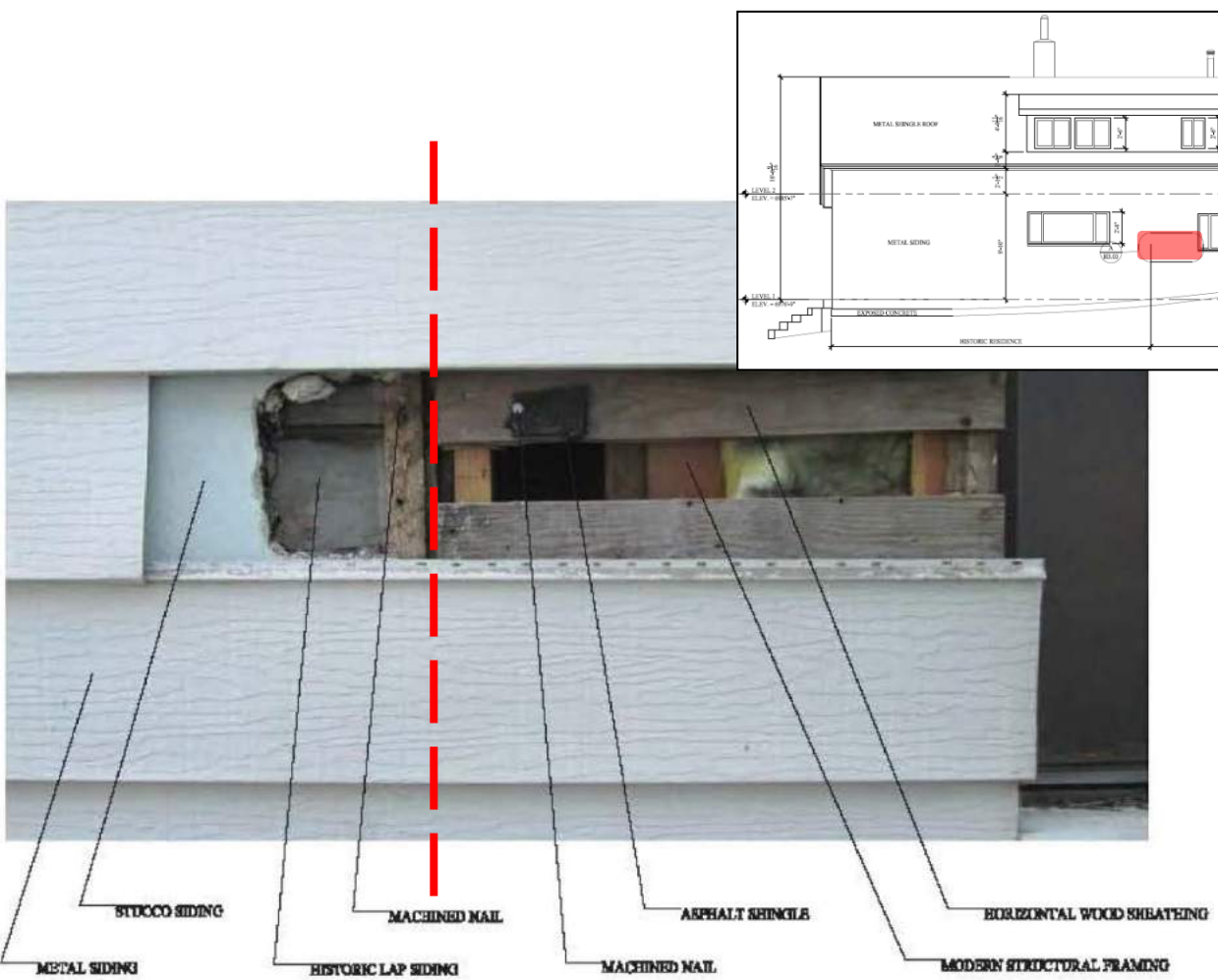
was later replaced with the modern two (2) story addition likely when the aluminum siding was placed.



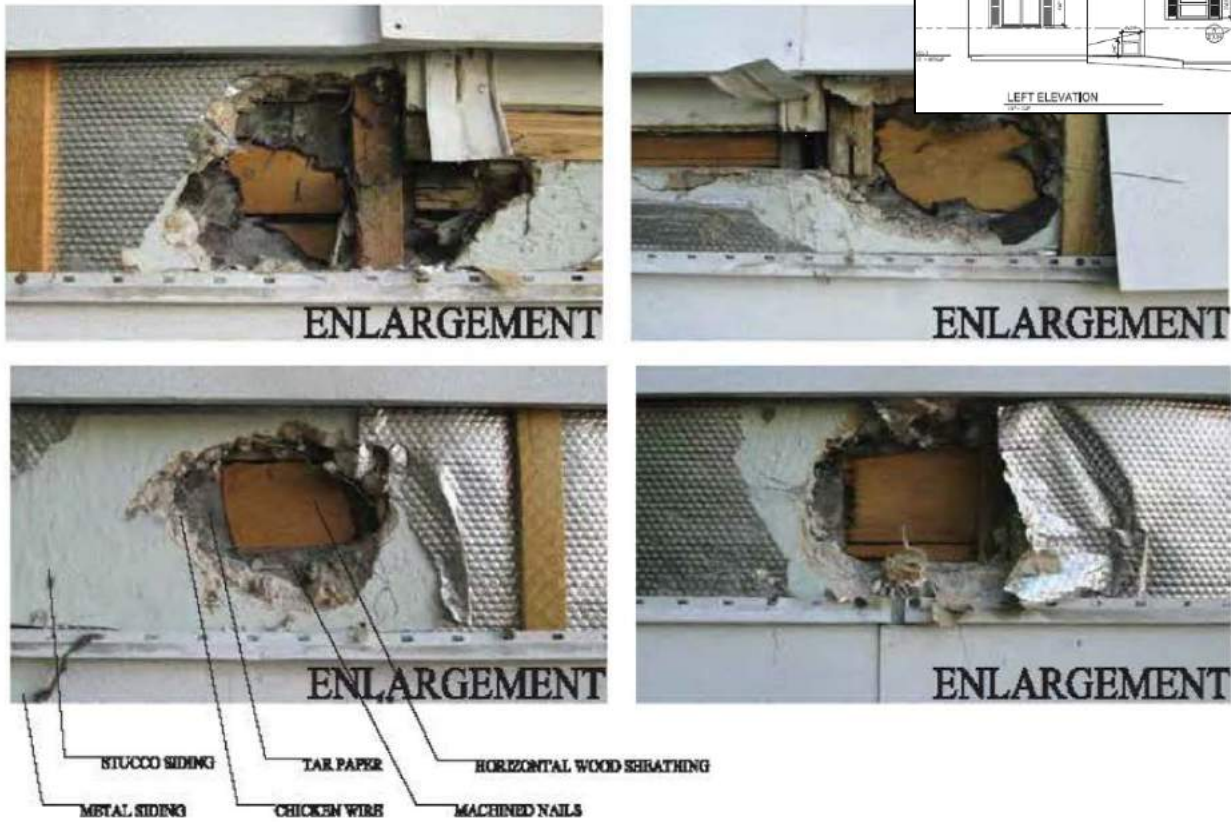
This photograph above confirms that the home was originally covered with overlapping drop-novelty siding. At some point the home was covered with plaster stucco, likely at the same time the wrap-around porch was enclosed.



This photograph, above, is located underneath the two (2) story west wing addition. It shows that this addition is modern and postdates the 1907 Sanborn Map showing some other addition in this same area. This photographs shows the concrete foundation, modern steel foundation jack, and concrete masonry unit (CMU) foundation.



This photograph above located on the north side elevation, right side, confirms that the current rear addition is not the same addition shown on the 1907 Sanborn Map. The exploratory demolition shows a distinction as the right side (west) shows the presence of modern framing studs, machined nails and galvanized roofing nails. The addition was done at the time the aluminum siding was installed since there are no signs of other siding materials being covered by the aluminum siding. This is not the addition shown in the year 1900 and 1907 Sanborn Maps. That addition was removed as there is no physical evidence of it.



These photographs, above, located on the south side elevation, left side, indicate that the porch enclosure that shows up in the 1907 Sanborn Maps was done at the same time that the home was finished with plaster/stucco. These photographs reveal that the metal siding was installed on the stucco siding. They do not reveal the historical drop-novelty siding.

The architect submitted five (5) photographs from the existing attic that shows evidence of the half (□) octagonal roof form, flat roof form above the porch, and porch enclosure. The following diagram below shows the location of these photographs:





A1 HISTORIC HIP ROOF STRUCTURE OCCURS INSIDE OF CURRENT HIP AND SHOWS THE ROOF WAS ORIGINALLY HALF OF AN OCTAGON



A2 FLAT ROOF RENOVATION STRUCTURE SHOWS THAT THE ROOF OVER THE CURRENT KITCHEN AREA IS NEW CONSTRUCTION. IT APPEARS ON THE SANBORN MAPS BUT IT WAS CLEARLY REMOVED AND RECONSTRUCTED AT SOME RECENT POINT IN TIME. ORIGINAL BRICK CHIMNEY MODERN STRUCTURAL MEMBERS



A3 ENCLOSED WITHIN THE ATTIC IS THE ORIGINAL FRIEZE AND FASCIA THAT FOLLOWS THE ORIGINAL HALF-OCTAGON ROOF

HISTORIC DECORATIVE MOLDING HISTORIC WOOD FASCIA



A4 A REMNANT SHOWING 2 SECTIONS OF THE HALF-OCTAGON ROOF IS NOW ENCLOSED IN THE ATTIC WHERE THE HIP ROOF WAS EXTENDED WAS HISTORIC LAP SIDING



A5 HISTORIC FRIEZE AND FASCIA IS SHOWN AS IT ROUNDED THE FRONT CORNER OF THE HOUSE

These photographs above confirm that the existing new flat roof is not original and changed the original character of the home significantly. They also show that the wrap-around porch had a lower flat roof below the original frieze and fascia of the half octagonal roof.

The applicant submitted these five (5) photographs taken by the Architect containing the following labels:

- A1 – Historic hip roof structure occurs inside of current hip and shows the roof was originally half of an octagon.
- A2 – Flat roof renovation structure shows that the roof over the current kitchen area is new construction. It appears on the Sanborn Maps but it was clearly removed and reconstructed at some recent point in time. Arrows point to the original brick chimney and modern structural members.
- A3 – Enclosed within the attic is the original frieze and fascia that follows the original half octagon roof. Arrows point to the historic decorative molding, historic wood fascia, and historic lap siding.
- A4 – A remnant showing 2 section of the half octagon roof is not enclosed in the attic where the hip roof was extended.
- A5 – Historic frieze and fascia is shown as it rounded the front corner of the house.

The historic structure, revealed by exploratory demolition/investigation, matches the building footprint of the year 1900 Sanborn Map. The basic form, structure, and roof

lines of historic era year 1900 building conditions are identifiable through the applicant's additional research from within the structure. When a reconnaissance or intensive level survey is conducted, the City is not allowed to go inside each structure unless the City owns the property. The historic lap siding (drop-novelty) is present on portions of historic year 1900 structure, except on the rear façade, the rear wing, and where the front porch was enclosed. The following diagram below shows the historic year 1900 elevation per the evidence shown. The year 1900 roof form and porch is inside the existing structure.



EXISTING STRUCTURE
1/8" = 1'-0"

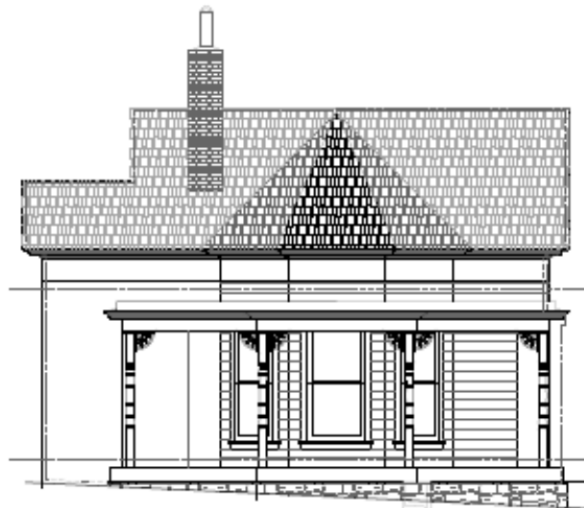


RESTORATION TO ORIGINAL
1/8" = 1'-0"



EXISTING STRUCTURE

1/4" = 1'-0"



RESTORATION TO ORIGINAL

1/4" = 1'-0"

The applicant proposes to restore/rehabilitate the structure based on what has been found with the exploratory/investigation evidence through the minor removal of materials and evidence shown in the existing attic, while at the same time piecing the evidence

together with the historic Sanborn Maps. While the applicant's internal analysis further confirms statements written on the HSI Form such as *that the physical evidence from the historic period has been altered, the physical elements of the site do not effectively convey a sense of life in western mining town, AND that the extent of the alterations diminishes its association with the past*, it also provides evidence of what is underneath the existing roof, the shape of the original roof, and the year 1900 building footprint confirmed by the materials used. Staff finds that it is appropriate to remove the non-historic material and additions which do not contribute to the historical significance of the original structure and restore/rehabilitate the building's original porch, roof form, and footprint. The extensive number of remodels to the house and the change to its setting to date has made this site ineligible for listing on the National Register of Historic Places.

The following analysis below contains a description of the physical condition of each item with an account of how it is to be preserved/maintained/repaired/altered, etc., if applicable:

1. Site Design. The site is uphill west of Norfolk Avenue. It slopes gently at 8% for about six feet (6') overall. There is an existing block retaining wall that reflects the period and should remain. There are stairs to the front porch. The south yard area has non-historic brick pavers.

Applicant proposes the site grading to be modified where a new basement garage is to be constructed and the sloping driveway to be installed. Existing block retaining walls are to remain and similar product used for the garage walls. The non-historic brick pavers to be replaced with simple lawn and shrub landscaping. The front stairs will be rebuilt to accommodate the twenty four inch (24") raised foundation to match the existing.

2. Structure. The original structure is a cross tee design with a unique octagonal shape living room and wrap-around front porch. The porch was enclosed and the roof extended. The original octagonal cross tee remains the only historic section. As noted by the architect on the PCR, the addition to enclose the porch added a new 1940 California bungalow porch that is out of character for Park City and the house. Kitchen and bedroom additions to the west are constructed with current building materials including fresh fir framing and galvanized nails.

The structure will be reduced to its original cross tee shape with the octagonal hip roof and flat wrap-around porch roof restored per the found evidence. Additions that have been added, removed and added over its history will be removed to restore the original structure since the various additions changed the original home significantly.

3. Roof. Original cross tee roof with an octagonal shaped gable and flat wrap-around porch roof. This was later modified when the porch was enclosed and the wing squared off. The rear kitchen roof has been reconstructed and the upper shed dormers were cut into the rear roof bedroom addition, all of which is non-historic. The original roof, shingles, trim and frieze are still currently present in the

attic within the porch enclosure. Additions have covered the historic roof form and added to the shape so it does not reflect the original form.

The historic roof will be uncovered from the additions and restored to its original shape with trim and frieze restoration as well. Shingles will be replaced with similar continuous shingles over the entire roof. The form will be brought back to its original cross tee with octagonal hip and flat wrap-around porch roof.

4. Chimney. The only existing chimney appears to be a flue and not a fireplace. It still exists in what is now the center of the home but has been covered with building paper. The original masonry chimney flue has been wrapped with building paper.

It will be exposed and masonry repointed if possible.

5. Exterior East Walls. The front/East facade walls were originally drop-novelty wood siding and have since been covered with plaster/stucco and then aluminum siding. The walls that enclosed the original porch and the new porch changed the shape from its original form to the curved roof. The last two remodels covered the original siding finish and detailing.

The existing east exterior walls will be uncovered down to the original drop-novelty siding, the siding will be restored where it has been damage by two (2) new layers of finish.

6. Exterior North, South, & West Walls. The north and south walls west of the original structure have been constructed with newer wood and galvanized nails. Finishes are aluminum siding. The rear/west walls are the same as north and south side walls.

The existing north and south walls will be uncovered down to the original drop-novelty siding, the siding will be restored where it has been damage by two (2) new layers of finish, i.e., plaster/stucco and aluminum siding.

The existing west exterior walls where not abutting the addition will be uncovered down to the original drop novelty siding, the siding will be restored where it has been damage by two (2) new layers of finish.

7. Foundation. The original foundation consists of rubble stone with a crawl space. One addition was done with unreinforced CMU. The varied foundations are structurally unsound and need to be replaced with continuous concrete foundation walls.

Existing rubble and unreinforced CMU foundations will be replaced with continuous concrete foundations. The proposal will also accommodate a lower level and garage and raise the house 24" as allowed by the Design Guidelines basement addition scenario 2 and the Land Management Code. The raised

foundation will be finished with stone veneer to look to match existing original stone.

8. Front Porch. The historic front porch roof is visible from the new attic. The porch had a flat roof and wrapped around half (□) of an octagonal shape main room and hip roof. Frieze boards are still visible. The porch was subsequently enclosed to enlarge the living room and a new porch constructed on the front of the home with a sweeping curved roof that is out of place. Original porch and roof was covered up. The new porch is out of character for Park City.

The original wrap-around front porch that is evident from the attic and foundation will be restored. The flat roof, frieze treatment and roof above are still in tack in the attic and will be restored.

9. HVAC. The original home was heated with a coal fire furnace in the basement with a coal chute constructed later. It has been replaced with a gas furnace. The furnace is inadequate for the size and is at the end of its useful life.

A new HVAC system, including a gas furnace, will be installed. New hot water systems and heated driveways and walks are proposed.

10. Period Doors. The structure has three (3) non-historic doors, two (2) of which are in poor condition while one (1) is in fair condition.

Since no historic doors exist, the modern doors will be replaced with a period front door with lite and transom. The rear door will be similarly restored. A 2nd floor door exists but is part of a later addition. It will be removed where the addition abuts the home.

11. Wood Windows. The structure has ten (10) non-historic metal windows in fair condition.

Since each window has been replaced with metal windows, they will all be removed and replaced with double hung windows to match historic windows. The applicant proposes windows to be of a historic shape prefinished aluminum with wood interiors. Staff recommends to add a condition of approval which indicates that all windows on the historic portion of the structure as identified in the Historic Preservation Plan and Exhibit C – Material Deconstruction Plan (Historic Drawings), shall be wood windows. All windows in the addition may be aluminum clad windows.

12. Picture Window. The front picture window does not reflect the original nor the period of the home.

The window will be replaced with a period window and transom.

13. Finishes. Interior walls have been refinished with wood paneling and painted plaster. Existing finishes and trim have been replaced.

14. Addition. A new addition will be added to the original residence. The addition draws on some of the forms of the original home but has finishes that differentiate it from the original. The addition is separated from the restored structure by stair way wall that sets back from the facade. The addition has a similar slope roof and period shed dormers that are similar to the existing but scaled better for the period.

As noted in the Design Guidelines, changes may or may not contribute to the historic character of the site and should be evaluated as the project is being planned (page 5). Staff finds that these post-1930 alterations to the site are non-contributory. The multitude of additions made to the rear of the structure and the front porch detracted from the original octagonal roof-wrap-around porch. After researching County tax cards the following was discovered under the exterior wall line of each card: 1949 tax card indicates frame stucco. 1958 tax card indicates frame stucco, and aluminum siding in 1962. 1968 tax card indicates aluminum siding. The site is listed on Park City's Historic Sites Inventory (HSI) noted as *Significant* as it was built during the **Mature Mining Historic Era** consisting of **1894 through 1930** as currently shown on the HSI Form. These additions/changes largely obscure the original historic form and make the developmental history of the site nearly indiscernible. Staff finds that the removal of these additions/changes to accommodate an addition is appropriate. Furthermore, the entire historic portion sided with one layer of metal siding over another layer of stucco/plaster detracts from the original material drop-novelty siding.

Staff finds that the removal of the non-historic material is required for the rehabilitation/restoration of the historic structure. These proposed exterior changes do not destroy the exterior architectural features, but bring back items that have been lost and that are hidden. The removal of these non-contributory additions and material will not impact the historical significance of the structure or impact the architectural integrity.

Staff finds that the HPB Checklist for Material Deconstruction, Exhibit A, is met. The applicant plans to remove the non-period material in order to restore the original structure based on historic evidence gathered. The original drop-novelty siding will be returned to the structure as the metal siding and stucco is to be removed. The proposed remodel returns the original roof form and wrap-around porch which will significantly resemble what was originally built.

Recommendation:

Staff recommends that the HPB review and discuss the application, conduct a public hearing, and approve the material deconstruction of non-historic materials at 1055 Norfolk Avenue based on the Findings of Fact, Conclusions of Law, and Conditions of Approval for the Board's consideration.

Finding of Fact:

1. The property is located at 1055 Norfolk Avenue.

2. The current HDDR application is for the rehabilitation/restoration of the existing single-family dwelling.
3. The site is listed on Park City's Historic Sites Inventory (HSI) noted as *Significant* as it was built during the Mature Mining Historic Era (1894-1930).
4. The current physical evidence from the period that defines the typical Park City mining era home has been altered.
5. The current physical elements of the site, in combination, do not effectively convey a sense of life in western mining town of the late nineteenth and early twentieth centuries.
6. The current extent of the alterations to the main building diminishes its association with the past.
7. The current degree and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.
8. The applicant requests to utilize the historic Building Footprint of year 1900 consisting of 488 square feet.
9. The applicant proposes a basement addition with garage, a main floor remodel and rear addition an upper floor remodel and rear addition, and an attic level addition above the rear addition.
10. According to Summit County records the house was built in 1906, however, the house is clearly shown on the year 1900 and 1907 Sanborn Fire Insurance Maps (Sanborn Maps).
11. The applicant proposes to restore and rehabilitate the structure based on what has been found with the exploratory evidence via small removal of materials and evidence shown in the existing attic, while at the same time piecing the evidence together with the Sanborn Maps.
12. The structure will be reduced to its original cross tee shape with the octagonal hip roof and flat wrap-around porch roof restored.
13. The original roof, shingles, trim and frieze are still present in the attic over the porch enclosure.
14. The historic roof will be uncovered from the additions and restored to its original shape with trim and frieze restoration as well.
15. The form will be brought back to its original cross tee with octagonal hip and flat wrap-around porch roof.
16. The front/east facade walls were originally drop-novelty wood siding and have since been covered with plaster stucco and then aluminum siding.
17. The walls that enclose the original porch and the new porch changed the shape from its original form to the curved roof.
18. The existing east exterior walls will be uncovered down to the original drop novelty siding, the siding will be restored where it has been damage by 2 new layers of finish.
19. The north and south walls west of the original structure have been constructed with newer wood and galvanized nails. Finishes are aluminum siding. Non-historic aluminum siding, historic porch enclosure and covered up details.
20. The existing north and south walls will be uncovered down to the original drop novelty siding, the siding will be restored where it has been damage by 2 new layers of finish.

21. The existing west exterior walls where not abutting the addition will be uncovered down to the original drop novelty siding, the siding will be restored where it has been damage by 2 new layers of finish.
22. The original foundation and some addition foundations are rubble stone with a crawl space.
23. One addition was done with unreinforced CMU.
24. The varied foundations are structurally unsound and need to be replaced with continuous concrete foundation walls and raise the historic structure as allowed in this zone.
25. Existing rubble and unreinforced CMU foundations will be replaced with continuous concrete foundations that accommodate a lower level and garage and raise the house 24" as allowed in the zone per the Land Management Code and the Design Guidelines.
26. The historic front porch is visible from the new attic.
27. The porch had a flat roof and wrapped around an octagonal shape main room and hip roof.
28. The frieze and fascia boards are still visible from the attic.
29. The porch was subsequently enclosed to enlarge the living room and a new porch constructed on the front of the home with a sweeping curved roof that is out of place.
30. The original porch and roof was covered up.
31. The current porch is out of character for Park City.
32. The original wrap-around front porch that is evident from the attic and foundation will be restored.
33. The flat roof, frieze treatment and roof above are still intact in the attic and will be restored.
34. The structure has three non-historic doors.
35. The structure has ten (10) non-historic metal windows in fair condition.
36. All windows in the addition may be aluminum clad window.
37. The front picture window does not reflect the original or the period of the home.
38. The front picture window will be replaced with a period window and transom.
39. The post-1930 alterations to the site are non-contributory.
40. The multitude of additions made to the rear of the structure and the front porch detracted from the original octagonal roof-wrap-around porch.
41. These non-historic additions largely obscure the original historic form and make the developmental history of the site nearly indiscernible.
42. The removal of these non-historic additions to accommodate an addition is appropriate.
43. The proposed exterior changes do not destroy the exterior architectural features but bring back items that have been lost and that are hidden.
44. The removal of these non-contributory additions and material will not impact the historical significance of the structures nor impact their architectural integrity.
45. The applicant plans to remove material in order to rehabilitation and restore the original structure based on historic evidence gathered.
46. The proposed exterior brings back the historic material found on site based on the gathered evidence.
47. The original drop-novelty siding will be returned to the site as the metal siding and stucco will be removed.

48. The proposed remodel returns the original roof form and wrap-around porch which will significantly ass to the character of the historic site.

Conclusions of Law

1. The proposal complies with the Land Management Code requirements pursuant to the HR-1 District and regarding historic structure Material Deconstruction.

Conditions of Approval

1. Final Historic District Design Review plans shall reflect substantial compliance with the HPB Review of the Material Deconstruction. Any changes, modifications, or deviations from the approved HPB Review of the Material Deconstruction that have not been approved by the HPB may result in a stop work order. Where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish. Prior to replacement, the applicant shall demonstrate to the Planning Department that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.

Exhibits

- Exhibit A – HPB Checklist for Material Deconstruction
- Exhibit B – Historic Sites Inventory Form - Historic Sites Inventory
- Exhibit C – Material Reconstruction Plan (Historic Drawings)
- Exhibit D – HDDR Schematic
- Exhibit E – HDDR Historic Preservation Plan
- Exhibit F – HDDR Physical Conditions Report
- Exhibit G – Current Streetscape

Exhibit A

Historic Preservation Board Material Deconstruction Review Checklist:

1. Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
2. The material deconstruction is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
3. Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
4. The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where material deconstruction is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
5. The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
6. Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1055 NORFOLK AVE

AKA:

City, County: Park City, Summit County, Utah

Tax Number: SA-170

Current Owner Name: ORR DONALD F TRUSTEE

Parent Parcel(s):

Current Owner Address: 23751 BURBANK BLVD, WOODLAND HILLS, CA 91367

Legal Description (include acreage): SUBD: SNYDERS ADDITION BLK 16 BLOCK: 16 LOT: 14 PLAT: 0S 16 T 2S R 4E ALL LOT 14 & S1/2 LOT 15 BLK 16 SNYDERS ADDITION TO PARK CITY TWI-265 M7-415 M223-7 M257-536 452-802 946-798 DONALD F ORR & ESTHER A ORR TRUSTEES OF ORR FAMILY TRUST, 0.06 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1995 & 2006
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. [Final Report.] Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. [Final Report.] Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. [Residences of Mining Boom Era, Park City - Thematic Nomination.] National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Other residential type / Period Revival: Other style No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: Dec. 2008

Number of associated outbuildings and/or structures: accessory building(s), # ; structure(s), #

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Low stacked stone retaining wall.

Foundation: The foundation appears from the 2006 photographs to be concrete.

Walls: The exterior walls are clad in aluminum siding.

Roof: The roof appears to be sheathed in metal shingles.

Windows/Doors: The façade windows have a central fixed pane flanked by vertical panes, presumably casements. The sash material cannot be determined from the available photographs.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The house had its essential shape at the time of the c. 1940 tax photo and was clad in stucco. The visible changes made to the house include the addition of shutters to both gable end wall windows, aluminum siding to the exterior walls, the beaded spindle triangular ornament on the gable end and the turned porch support.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The building lot slopes slightly up from the finished road grade to the house. A low stone retaining wall of regular coursed ashlar runs parallel to the street. The landscaping is informal with lawn and shrubbery. Like most of the historic neighborhoods in Park City, the overall setting is a compact streetscape with narrow side yards and other homes of similar scale within close proximity.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines the typical Park City mining era home--simple methods of construction, simple roof form, informal landscaping, restrained ornamentation, and plain finishes--have been altered and, therefore, lost.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The other residential type was a house type built in Park City during the mining era. however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1906¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Southeast oblique. Camera facing northwest, 2006.

Photo No. 2: East elevation (primary façade). Camera facing west, 1995.

Photo No. 3: Southeast oblique. Camera facing northwest, tax photo.

¹ Summit County Recorder.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.



SA 170





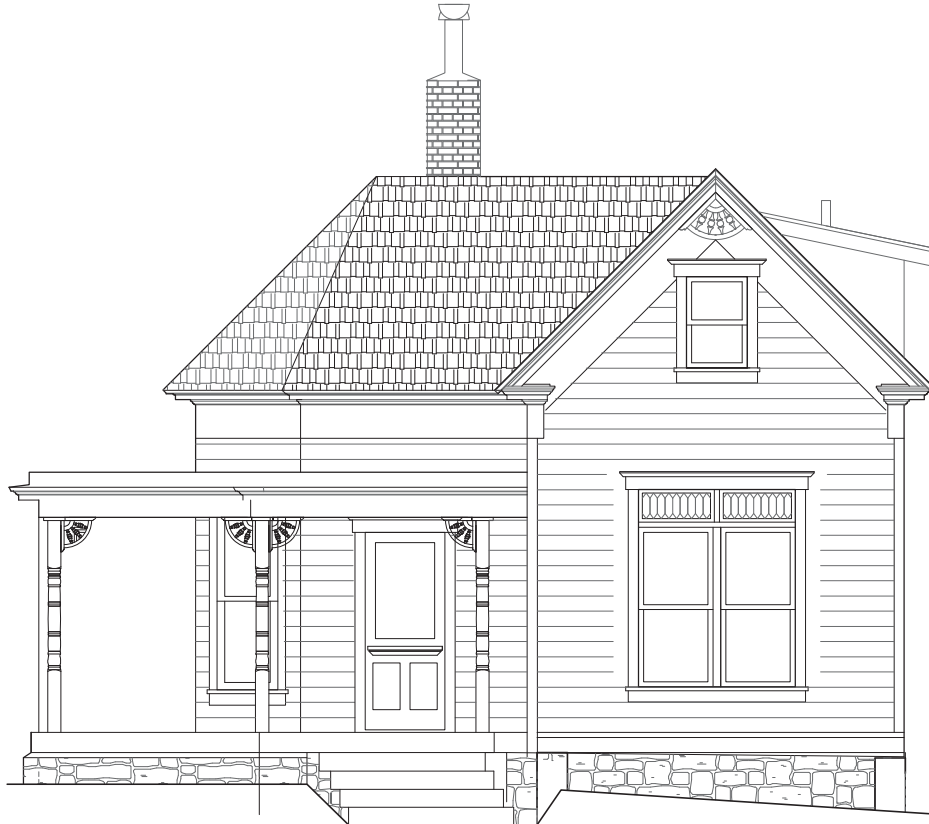
HISTORIC DRAWINGS

10/30/2015

1055 NORFOLK

SHEET INDEX

- H0.01 COVER SHEET
- H1.01 SURVEY
- H1.02 SANDBORN MAPS
- H2.01 MAIN LEVEL
- H2.02 UPPER LEVEL
- H3.01 ELEVATION/PHOTOS
- H3.02 ELEVATION/PHOTOS
- H3.03 ELEVATION/PHOTOS
- H3.04 ELEVATION/PHOTOS
- H3.05 ELEVATION/PHOTOS
- H3.06 HIST. DETAILS
- H3.07 RESTORATION
- H3.08 RESTORATION



1055 NORFOLK AVE. PARK CITY, UTAH



VICINITY MAP

SCALE: NONE



NORTH

DAVE BAGLINO
ADDRESS
CITY, STATE

OWNER

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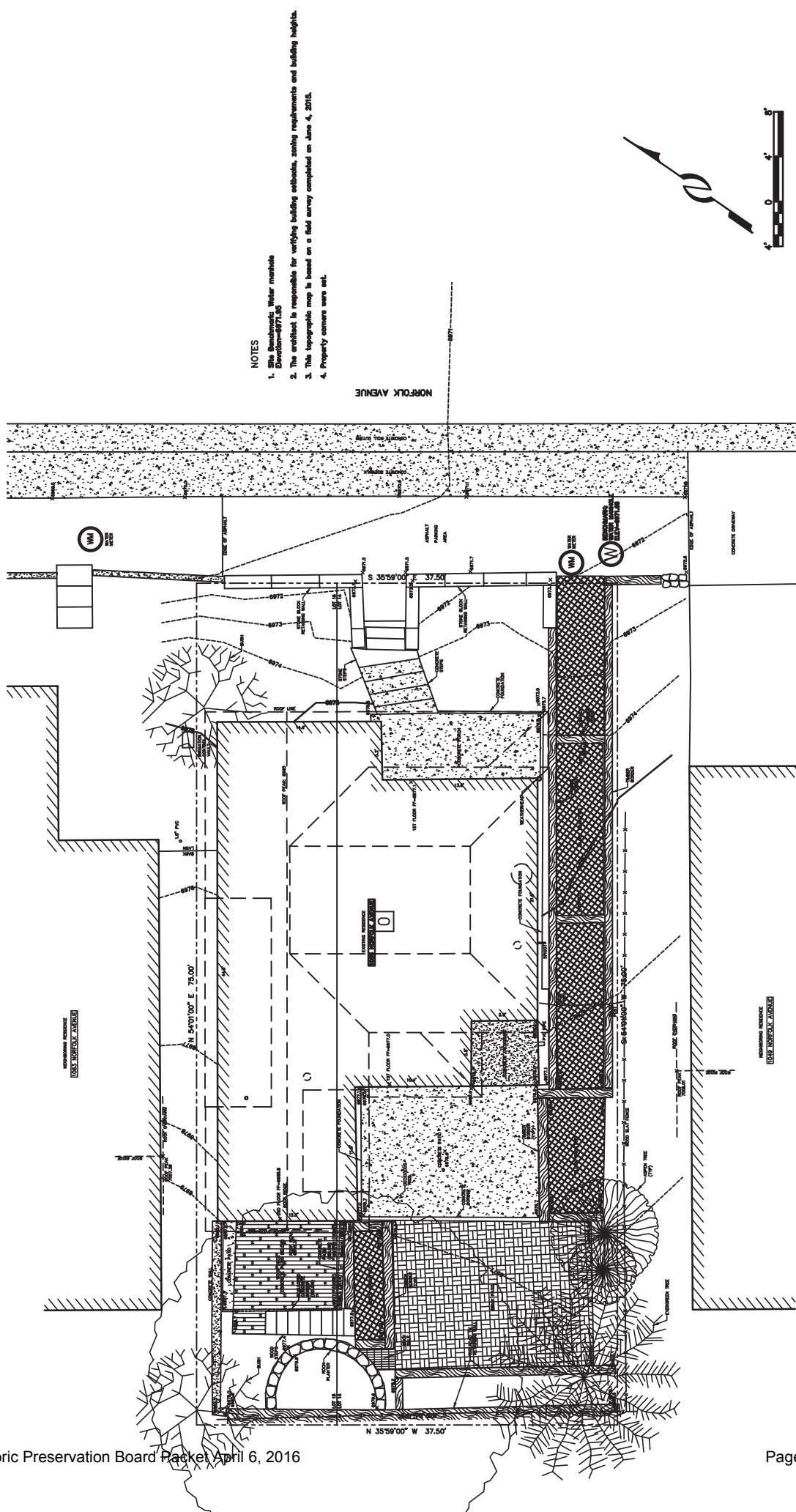
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COVER SHEET

H0.01



NOTES

1. Site Background: Water mainline Elevation=8771.33
2. The architect is responsible for verifying building setbacks, zoning requirements and building heights.
3. This topographic map is based on a field survey completed on June 4, 2015.
4. Property corners were set.

SHEET
1
OF
1

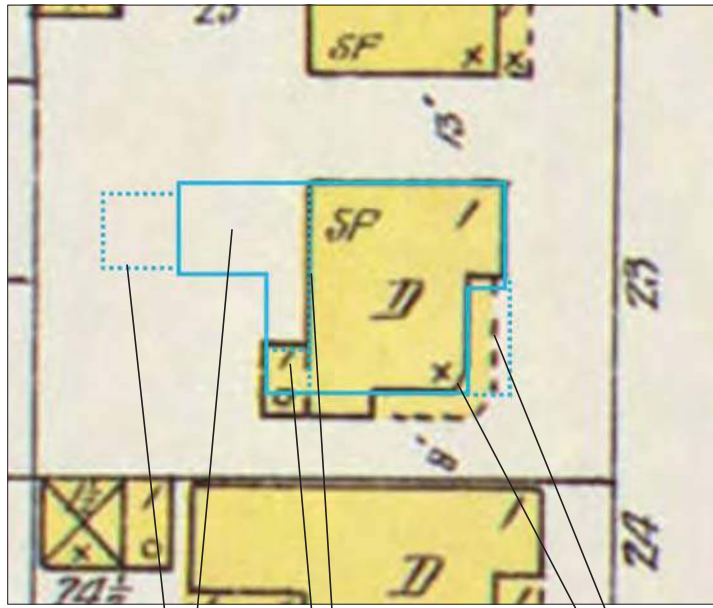
EXISTING CONDITIONS & TOPOGRAPHIC MAP
1055 NORFOLK AVENUE
LOT 14 & SOUTH 1/2 LOT 15, BLOCK 16

FOR: WASATCH MOUNTAIN CONTRACTORS
 JOB NO.: E-3-18
 FILE: 2015\Map\1055Norfolk\1055Norfolk.dwg

DATE: 6/11/15

STAFF:
 MARSHALL KING
 SURVEY ENGINEER
 SEPT. 2008

(435) 467-2427
Alance
 CONSULTING ENGINEERS & LAND PLANNERS
 422 Main Street, P.O. Box 2047, Park City, Utah 84060-2047



YEAR 1900
SANBORN MAP
WITH EXISTING
CONDITIONS
OVERLAID

REAR DECK
MODERN REAR
ADDITION

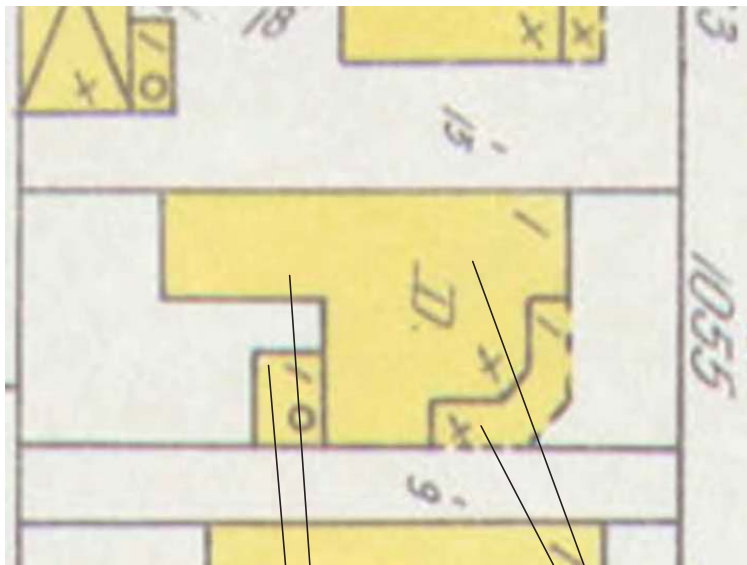
MODERN ADDITION
JUNCTURE LINE A4 H3.04
CONCRETE BULKHEAD
FOR ORIGINAL CRAWL
SPACE

CURRENT PORCH
ORIGINAL ROUNDED HIP ROOF
AND WRAP-AROUND PORCH

CONCLUSIONS:

THE SURVIVING ORIGINAL PORTION OF THE HOME IS A T-SHAPE STRUCTURE WITH ONE RIDGE RUNNING E-W AND ONE RIDGE RUNNING N-S (PARALLEL WITH THE STREET) TERMINATING IN A HALF OCTAGON ROOF STRUCTURE AND WRAPPED BY A PORCH ON THE SOUTHEAST CORNER THAT WILL BE SHOWN IN DETAIL PHOTOS

A 1900 SANBORN / EXISTING CONDITIONS EXHIBIT



YEAR 1907
SANBORN MAP

WEST ADDITION THAT WAS
RECONSTRUCTED SINCE THIS
MAP (SEE PHOTOS CONFIRMING NEW
CONSTRUCTION N THIS AREA)

CONCRETE BULKHEAD
FOR ORIGINAL CRAWL
SPACE

EXISTING AND HISTORIC
ORIGINAL HOME
ORIGINAL ROUNDED HIP
ROOF AND WRAP-AROUND
PORCH

CONCLUSIONS:

THIS MAP SHOWS THAT THE ORIGINAL HOME STILL EXISTED WITH THE WRAP-AROUND PORCH IN 1907. THIS MEANS THE PLASTER STUCCO FINISH HAD NOT YET BEEN APPLIED SINCE THE LATER PORCH ENCLOSURE INCLUDED THE PLASTER STUCCO.

THIS MAP SHOWS A WEST WING ADDITION OF SOME SORT, BUT PHOTOS OF THE BASEMENT FRAMING, AND EXTERIOR FINISH CONFIRM THAT THIS WAS LATER REPLACED WITH A MODERN 2-STORY ADDITION WHEN ALUMINUM SIDING WAS ADDED.

B 1907 SANBORN / EXISTING CONDITIONS EXHIBIT A8

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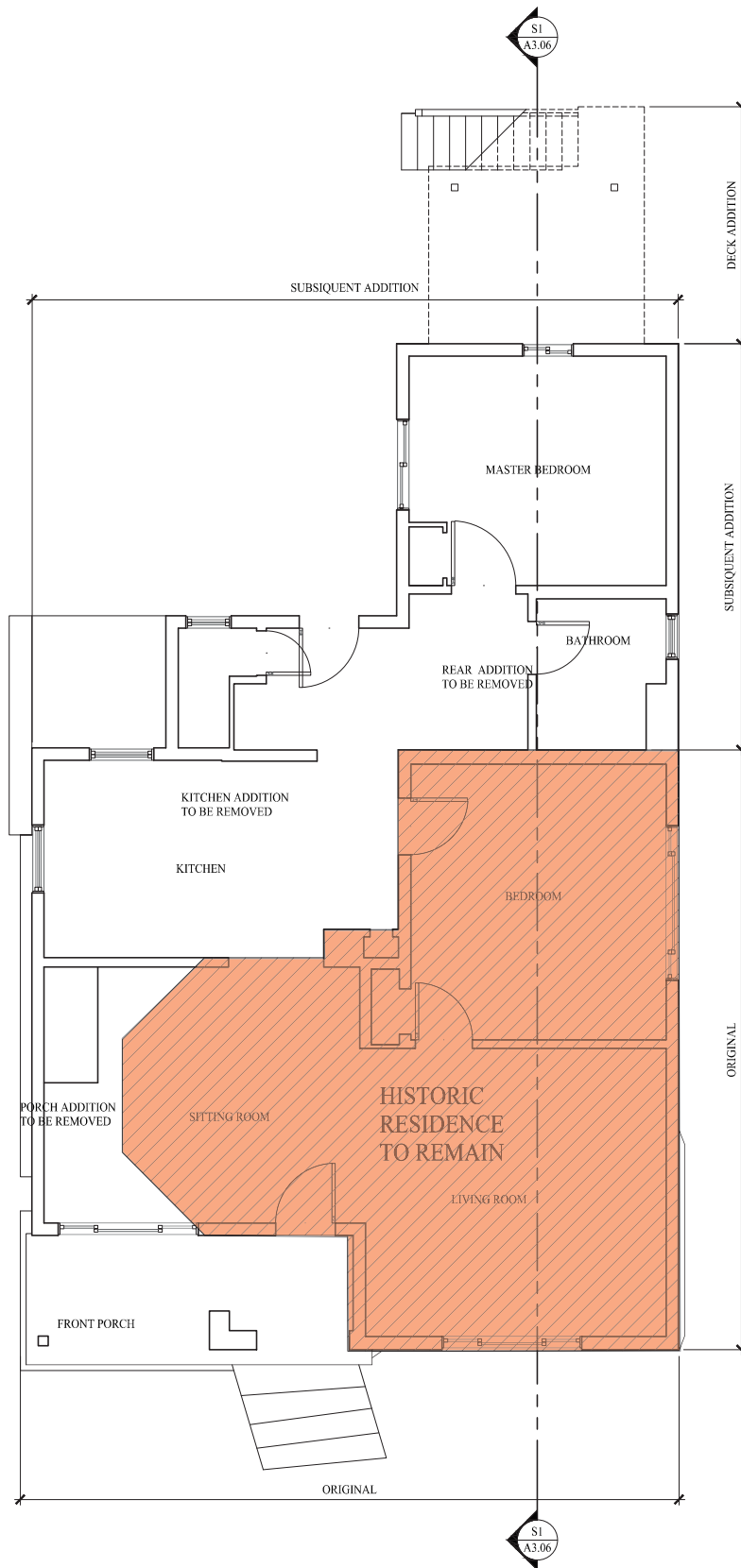
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HISTORIC RENOVATION ANALYSIS

H1.02



LEVEL 1 PLAN

1/4" = 1'-0"

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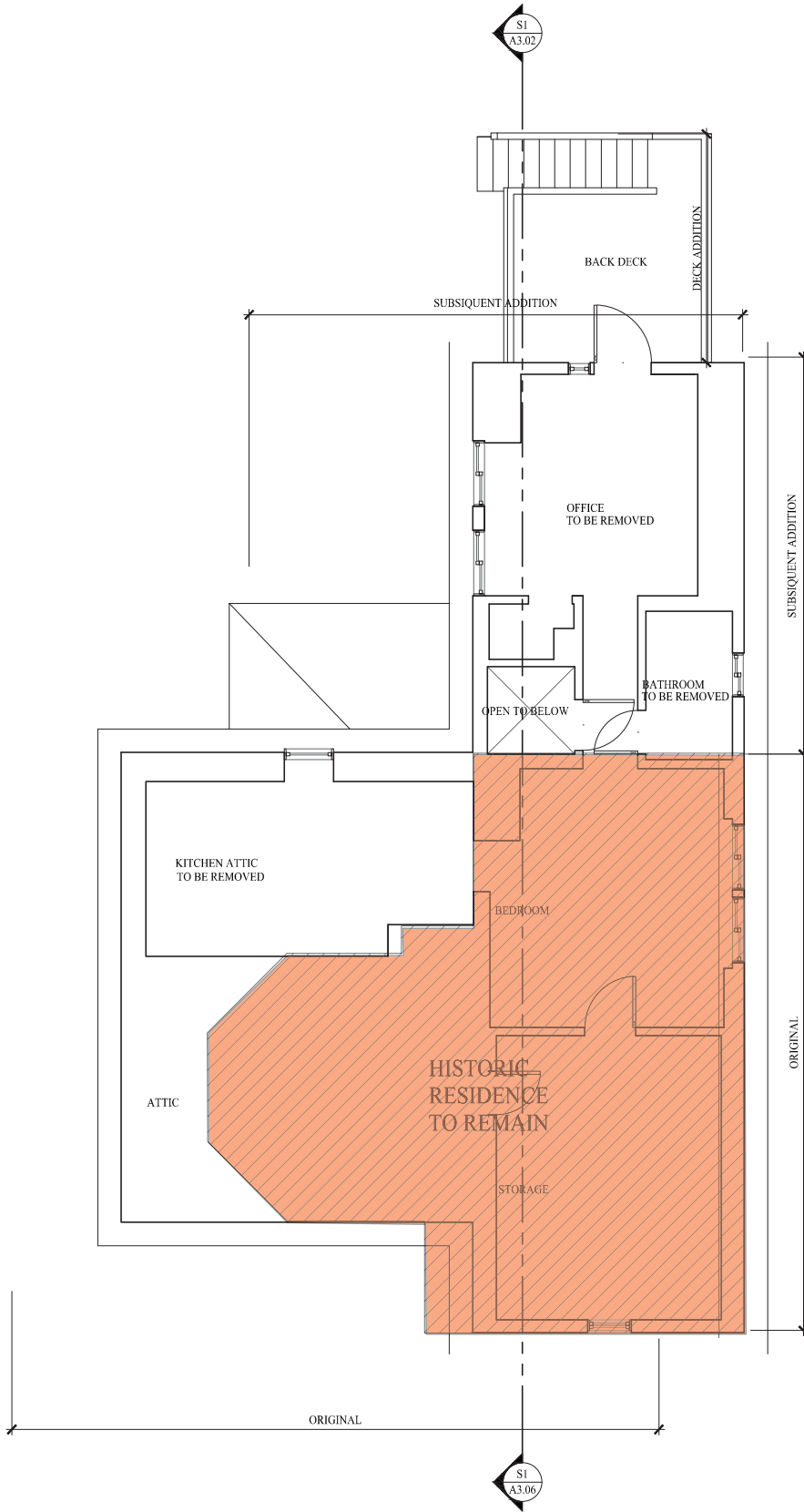
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HISTORIC FLOOR PLANS

A2.01



LEVEL 2 FLOOR PLAN

1/4" = 1'-0"

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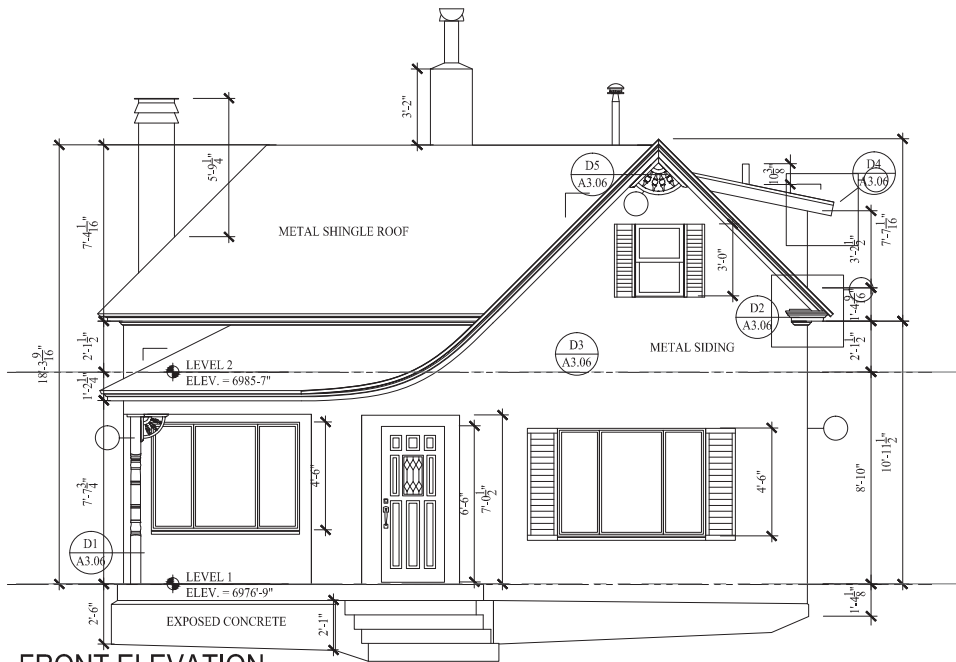
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HISTORIC FLOOR PLANS



FRONT ELEVATION

1/4" = 1'-0"

CONCLUSIONS

HISTORIC STRUCTURE REVEALED BY EXPLORATORY DEMOLITION AND INVESTIGATION MATCHES THE BUILDING FOOTPRINT ON THE YEAR 1900 SANBORN MAP
 BASIC FORM, STRUCTURE, AND ROOF LINES OF HISTORIC YEAR 1900 BUILDING CONDITIONS ARE CLEARLY IDENTIFIABLE

HORIZONTAL LAP SIDING IS PRESENT ON ALL PORTIONS HISTORIC YEAR 1900 STRUCTURE



CONCLUSIONS:

THESE PHOTOS CONFIRM THAT THE HOME WAS ORIGINALLY COVERED WITH OVERLAPPING DROP WOOD SIDING.
 AT SOME POINT THE HOME WAS COVERED WITH PLASTER STUCCO, LIKELY AT THE SAME TIME THE WRAP-AROUND PORCH WAS ENCLOSED

A
 H3.01 FRONT PORCH AND FRON ELEVATION FINISHES

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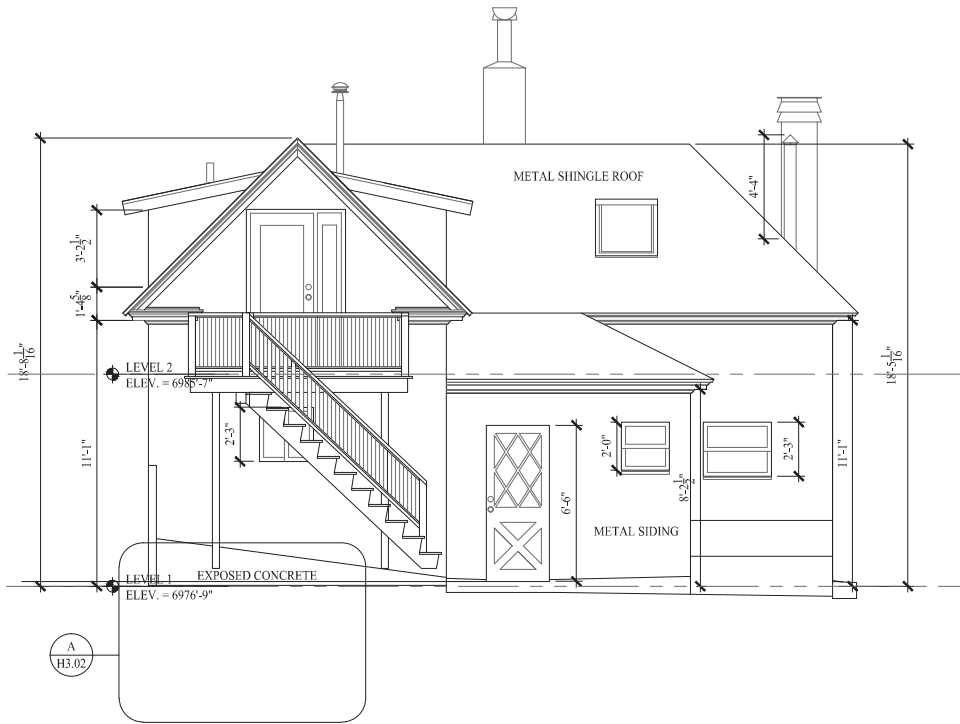
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HISTORIC ELEVATIONS



BACK ELEVATION

1/4" = 1'-0"



MODERN STEEL FOUNDATION JACK
 MODERN CMU FOUNDATION
 CONCRETE FOUNDATION
 CONCRETE FOUNDATION
 DUCTWORK
 FURNACE
 WATER HEATER

CONCLUSIONS:

THESE PHOTOS UNDERNEATH THE 2-STORY WEST WING ADDITION SHOW THAT THIS ADDITION IS MODERN AND POST DATES THE 1907 SANBORN MAP SHOWING SOME OTHER ADDITION IN THIS AREA.

BASEMENT EXHIBIT A5

A
H3.02

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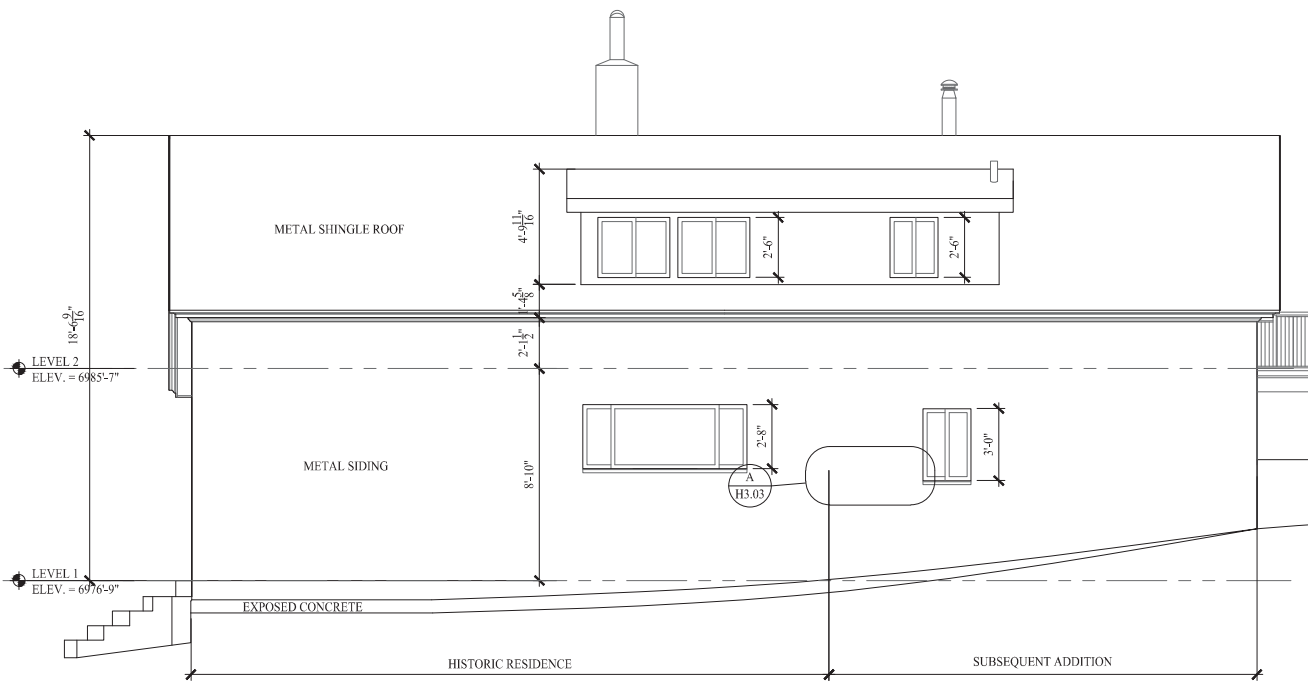
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HISTORIC ELEVATIONS



RIGHT ELEVATION

1/4" = 1'-0"



- METAL SIDING
- STUCCO SIDING
- HISTORIC LAP SIDING
- MACHINED NAIL
- MACHINED NAIL
- ASPHALT SHINGLE
- MODERN STRUCTURAL FRAMING
- HORIZONTAL WOOD SHEATHING

CONCLUSIONS:

THESE PHOTOS CONFIRM THE REAR ADDITION IS A MODERN ADDITION BECAUSE OF THE PRESENCE OF MODERN FRAMING STUDS, MACHINED NAILS AND GALVANIZED ROOFING NAILS. ALSO, THE ADDITION WAS DONE AT THE TIME THE ALUMINUM SIDING WAS INSTALLED SINCE THERE ARE NO SIGNS OF OTHER SIDING MATERIALS BEING COVERED BY THE ALUMINUM SIDING.

THIS IS NOT THE ADDITION SHOWN IN FROM THE 1900 SANDBORN MAP TO THE 1907 SANBORN MAP. THAT ADDITION WAS REMOVED AND RECONSTRUCTED WITH THIS 2-STORY ADDITION AT SOME TIME SINCE THEN.



RIGHT ELEVATION RENOVATION JUNCTURE EXHIBIT A4

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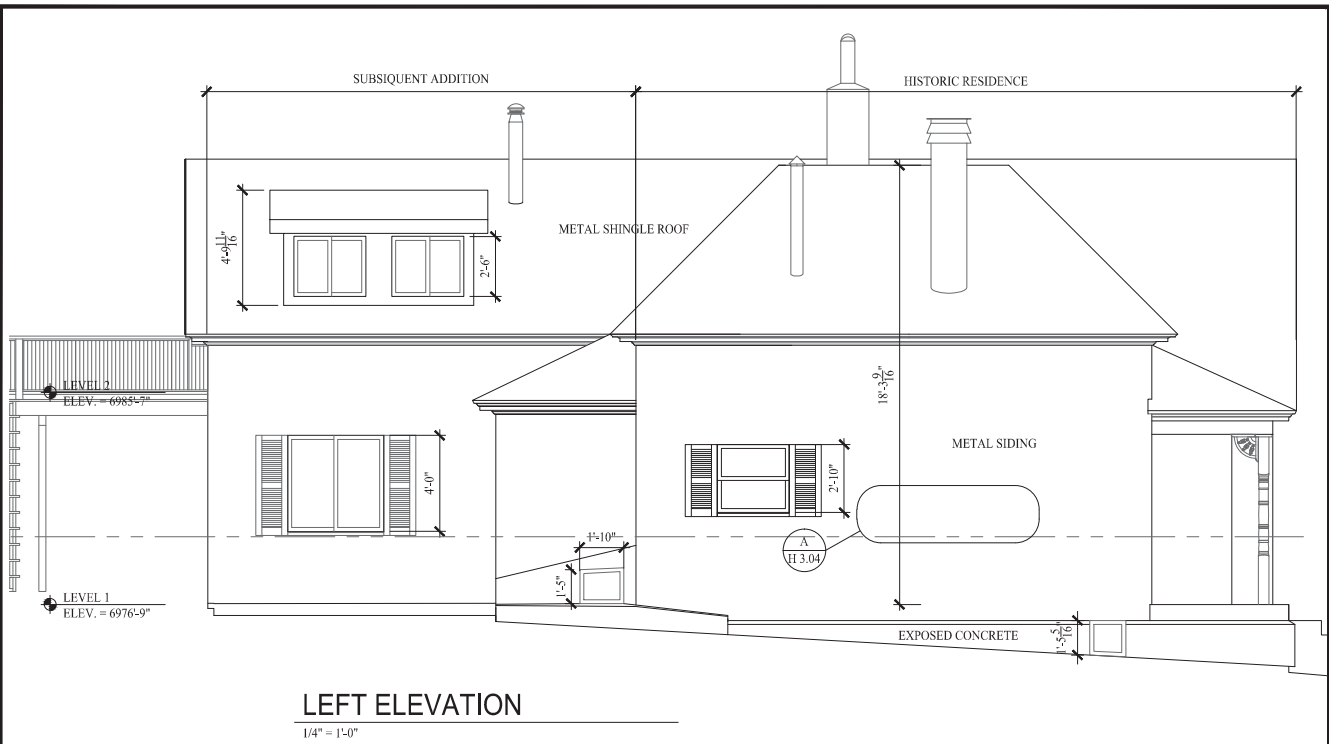
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HISTORIC ELEVATIONS



LEFT ELEVATION

1/4" = 1'-0"

CONCLUSION

THESE PHOTOS INDICATE THAT THE "PORCH ENCLOSURE" THAT SHOWS UP IN THE 1907 SANDBORN MAPS WAS DONE AT THE SAME TIME THAT THE HOME WAS FINISHED WITH PLASTER STUCCO. THERE WAS A WINDOW ON THIS SOUTH ELEVATION AT THAT TIME.

SUBSEQUENTLY, WHEN THE HOME WAS COVERED IN ALUMINUM SIDING, THE STUCCO WAS COVERED AND THE WINDOW CLOSED IN



- STUCCO SIDING
- TAR PAPER
- HORIZONTAL WOOD SHEATHING
- METAL SIDING
- CHICKEN WIRE
- MACHINED NAILS

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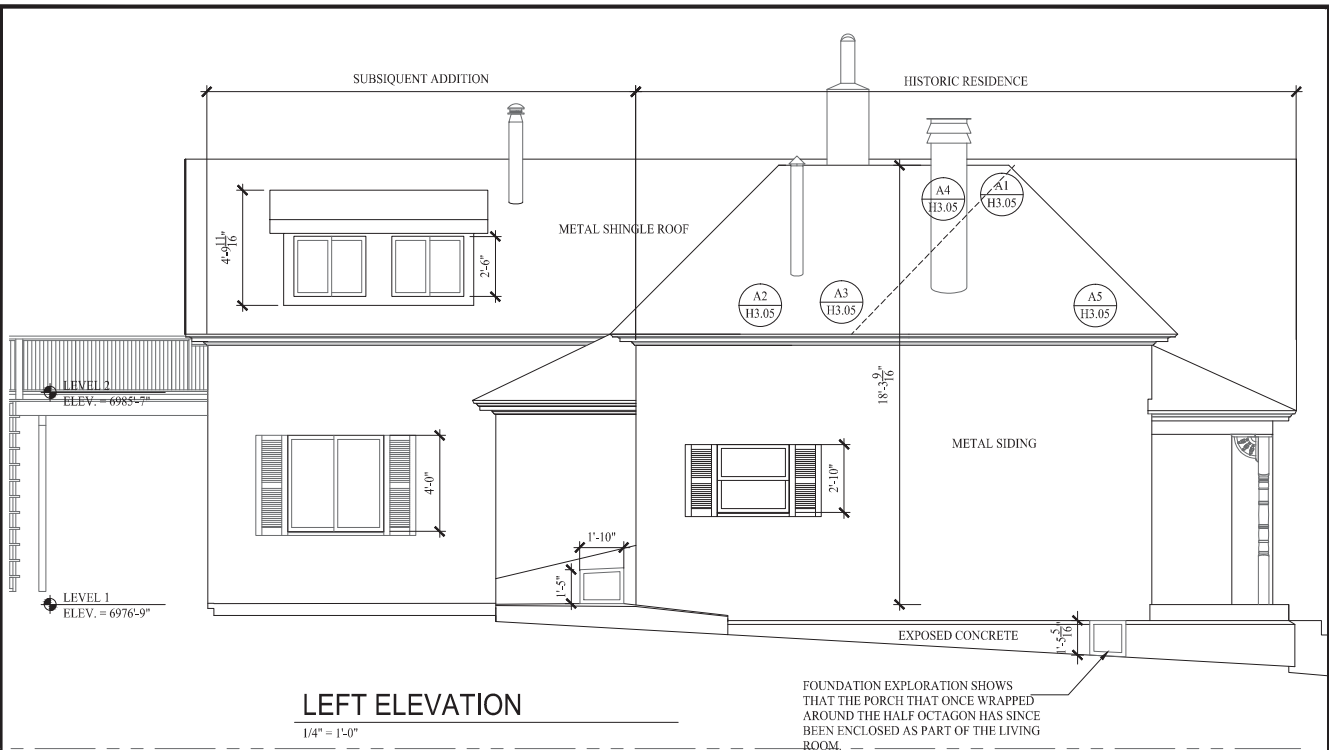
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DRAWN BY: COLE KNIGHT	FILE NO.
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HISTORIC ELEVATIONS

H3.04



FOUNDATION EXPLORATION SHOWS THAT THE PORCH THAT ONCE WRAPPED AROUND THE HALF OCTAGON HAS SINCE BEEN ENCLOSED AS PART OF THE LIVING ROOM.

CONCLUSION

THESE PHOTOS CONFIRM THAT THE HOME WAS ORIGINALLY A T-SHAPE WITH ONE RIDGE RUNNING E-W AND ANOTHER RIDGE RUNNING N-S (PARALLEL TO STREET) TERMINATING IN A HIP ON THE SOUTH

THESE PHOTOS AND THE NEW WOOD CONSTRUCTION ALSO CONFIRM THAT THE NEW FLAT ROOF IS SOMEWHAT MODERN AND CHANGED THE ORIGINAL CHARACTER OF THE HOME SIGNIFICANTLY

THESE PHOTOS ALSO SHOW THAT THE WRAP-AROUND PORCH HAD A LOWER FLAT ROOF BELOW THE ORIGINAL FRIEZE AND FASCIA OF THE HALF OCTAGON ROOF.

EXPLORATION OF THE CRAWL SPACE UNDER THE CURRENT LIVING ROOM SHOWS THAT THE HOUSE STRUCTURE ONCE STOPPED IN ABOUT 4' FROM THE CURRENT FOUNDATION CONFIRMING THE EXTENDED FOUNDATION OF THE WRAP-AROUND PORCH



A1 HISTORIC HIP ROOF STRUCTURE OCCURS INSIDE OF CURRENT HIP AND SHOWS THE ROOF WAS ORIGINALLY HALF OF AN OCTAGON



A2 FLAT ROOF RENOVATION STRUCTURE SHOWS THAT THE ROOF OVER THE CURRENT KITCHEN AREA IS NEW CONSTRUCTION. IT APPEARS ON THE SANBORN MAPS BUT IT WAS CLEARLY REMOVED AND RECONSTRUCTED AT SOME RECENT POINT IN TIME.

ORIGINAL BRICK CHIMNEY
MODERN STRUCTURAL MEMBERS



A3 ENCLOSED WITHIN THE ATTIC IS THE ORIGINAL FRIEZE AND FASCIA THAT FOLLOWS THE ORIGINAL HALF OCTAGON ROOF

HISTORIC WOOD FASCIA
HISTORIC DECORATIVE MOLDING



A4 A REMNANT SHOWING 2 SECTIONS OF THE HALF OCTAGON ROOF IS NOW ENCLOSED IN THE ATTIC WHERE THE HIP ROOF WAS EXTENDED

HISTORIC LAP SIDING



A5 HISTORIC FRIEZE AND FASCIA IS SHOWN AS IT ROUNDED THE FRONT CORNER OF THE HOUSE

DAVE BAGLINO
ADDRESS
CITY, STATE

OWNER

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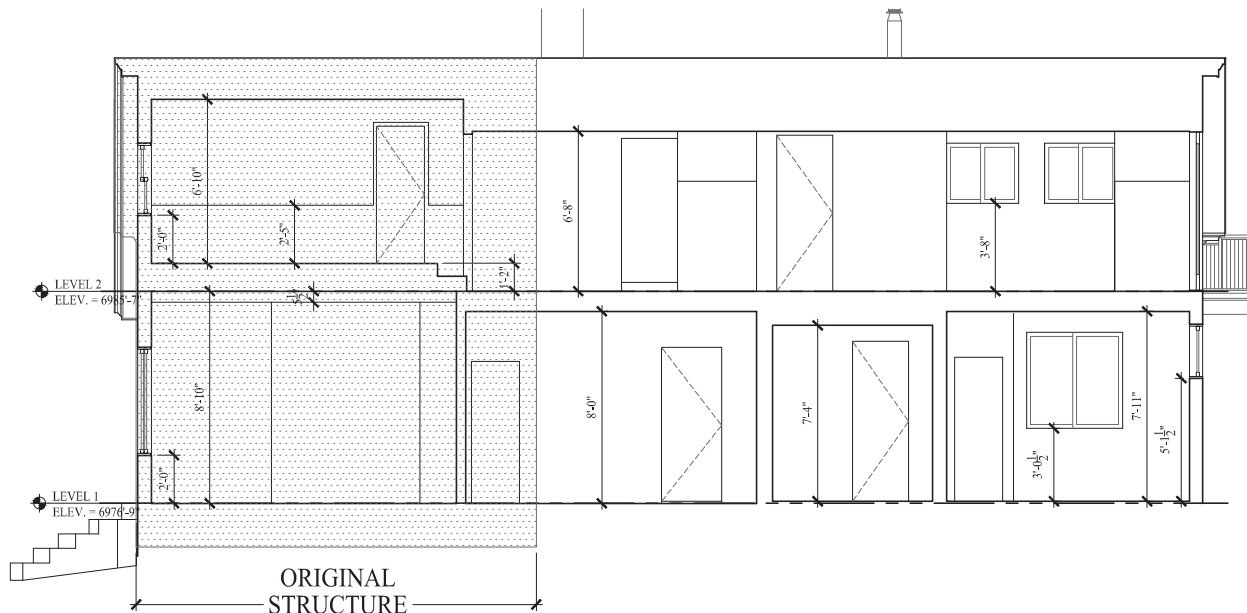
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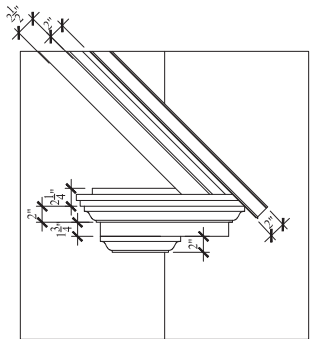
HISTORIC ELEVATIONS

H3.05

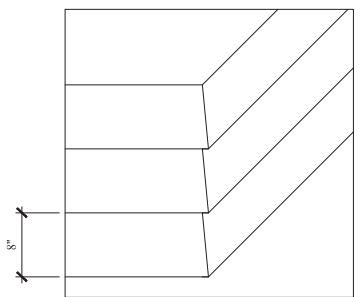


ORIGINAL
STRUCTURE
TO REMAIN

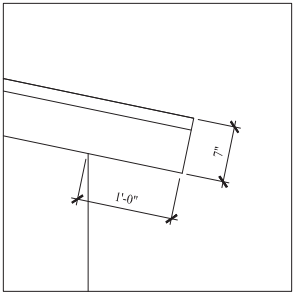
S1 SECTION
A3.06 1/4" = 1'-0"



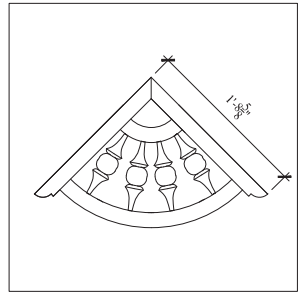
D2 ROOF MOLDING
A3.06 1" = 1'-0"



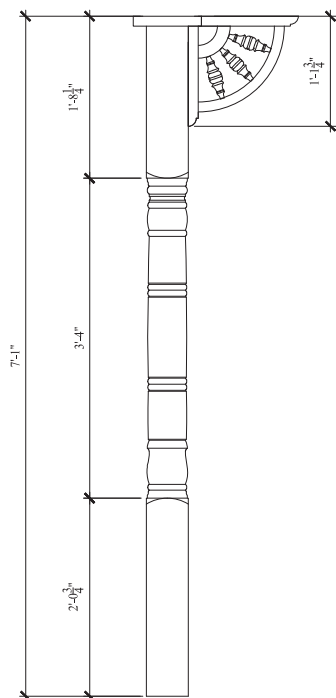
D3 METAL SIDING
A3.06 1" = 1'-0"



D4 DORMER ROOF
A3.06 1" = 1'-0"



D5 GABLE DECORATION
A3.06 1" = 1'-0"



D1 PORCH COLUMN
A3.06 1" = 1'-0"

NO. 1000

DAVE BAGLINO
ADDRESS
CITY, STATE

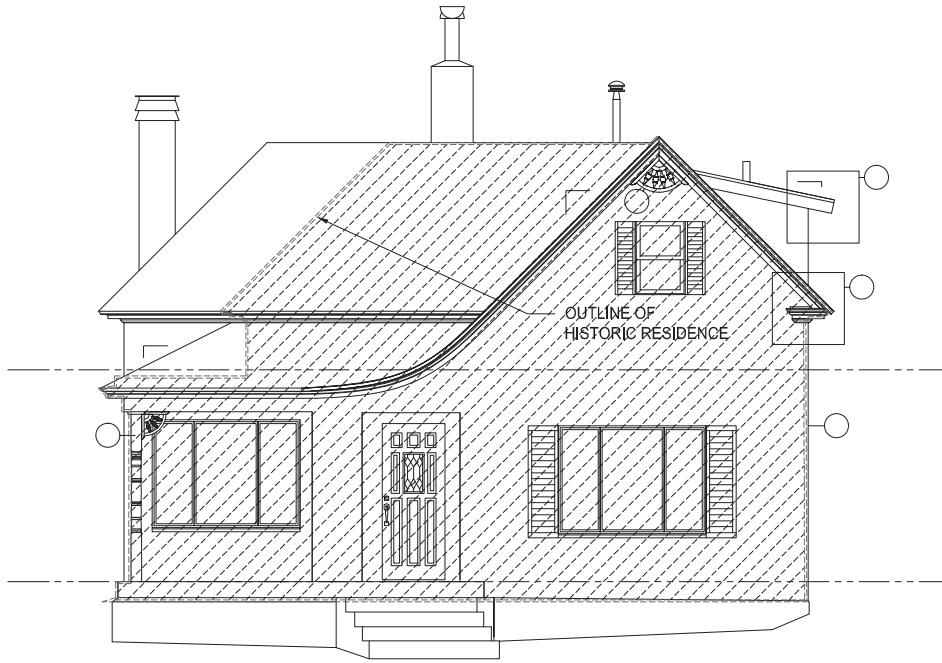
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P NORFOLK RENOVATION PROJECT
R 1055 NORFOLK AVE.
O PARK CITY, UT
J

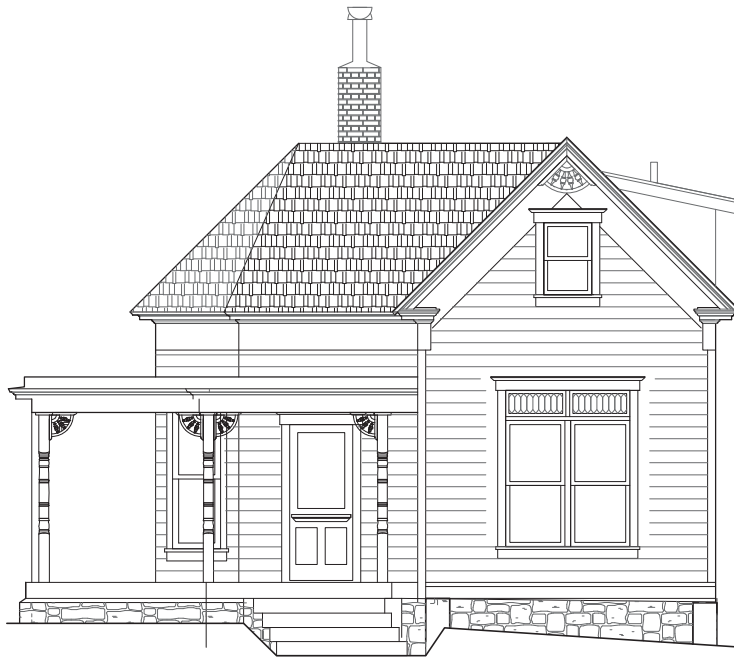
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DATE	
DRAWN BY: COLE KNIGHT	FILE NO.
CHECKED BY:	1055_A302

HISTORIC
SECTIONS
& DETAILS
H3.06



EXISTING STRUCTURE

1/4" = 1'-0"



RESTORATION TO ORIGINAL

1/4" = 1'-0"

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	COLE KNIGHT
	1055 H307

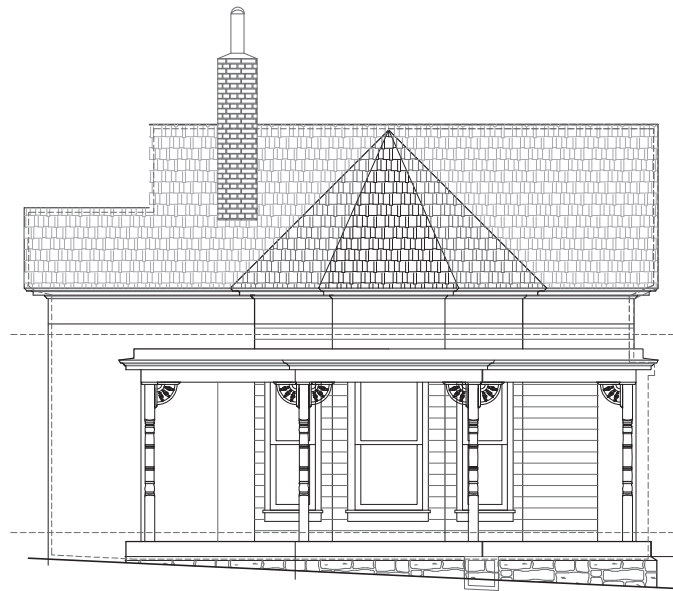
**COMPARISON
HISTORIC
ELEVATIONS**

H3.07



EXISTING STRUCTURE

1/4" = 1'-0"



RESTORATION TO ORIGINAL

1/4" = 1'-0"

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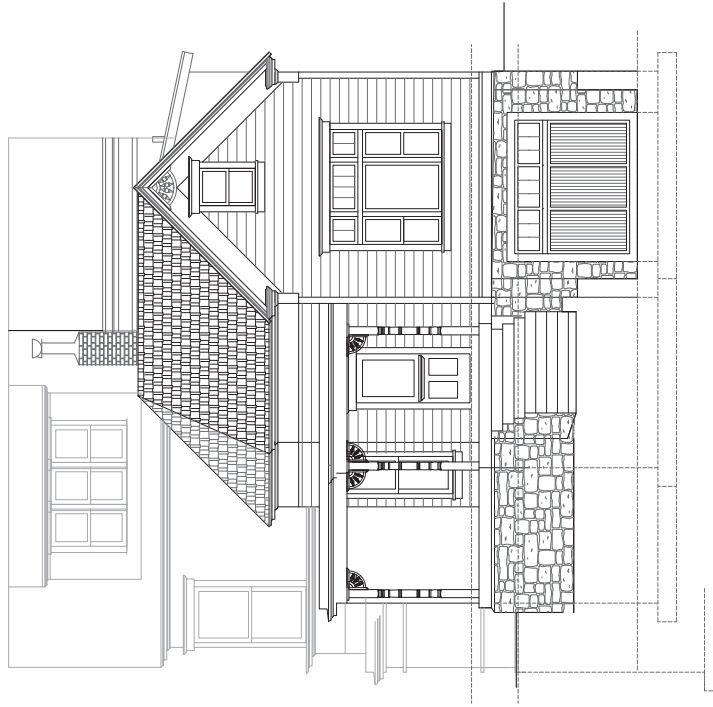
**COMPARISON
HISTORIC
ELEVATIONS**

H3.08

HDDR SCHEMATIC 12/9/2015 1055 NORFOLK

SHEET INDEX

- A0.01 COVER SHEET
- A1.01 SURVEY
- H2.01 FLOOR PLANS
- H3.01 ELEVATION
- H3.02 SECTION



1055 NORFOLK AVE. PARK CITY, UTAH



VICINITY MAP
SCALE: NONE



NORTH

DAVE BAGLINO
ADDRESS
CITY, STATE

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ON BEHALF OF THE ARCHITECT AND ENGINEER FOR THIS PROJECT AND IN WITNESS WHEREOF THE ARCHITECT AND ENGINEER HAVE HEREBY SET THEIR HANDS AND SEALS ON THIS DATE.

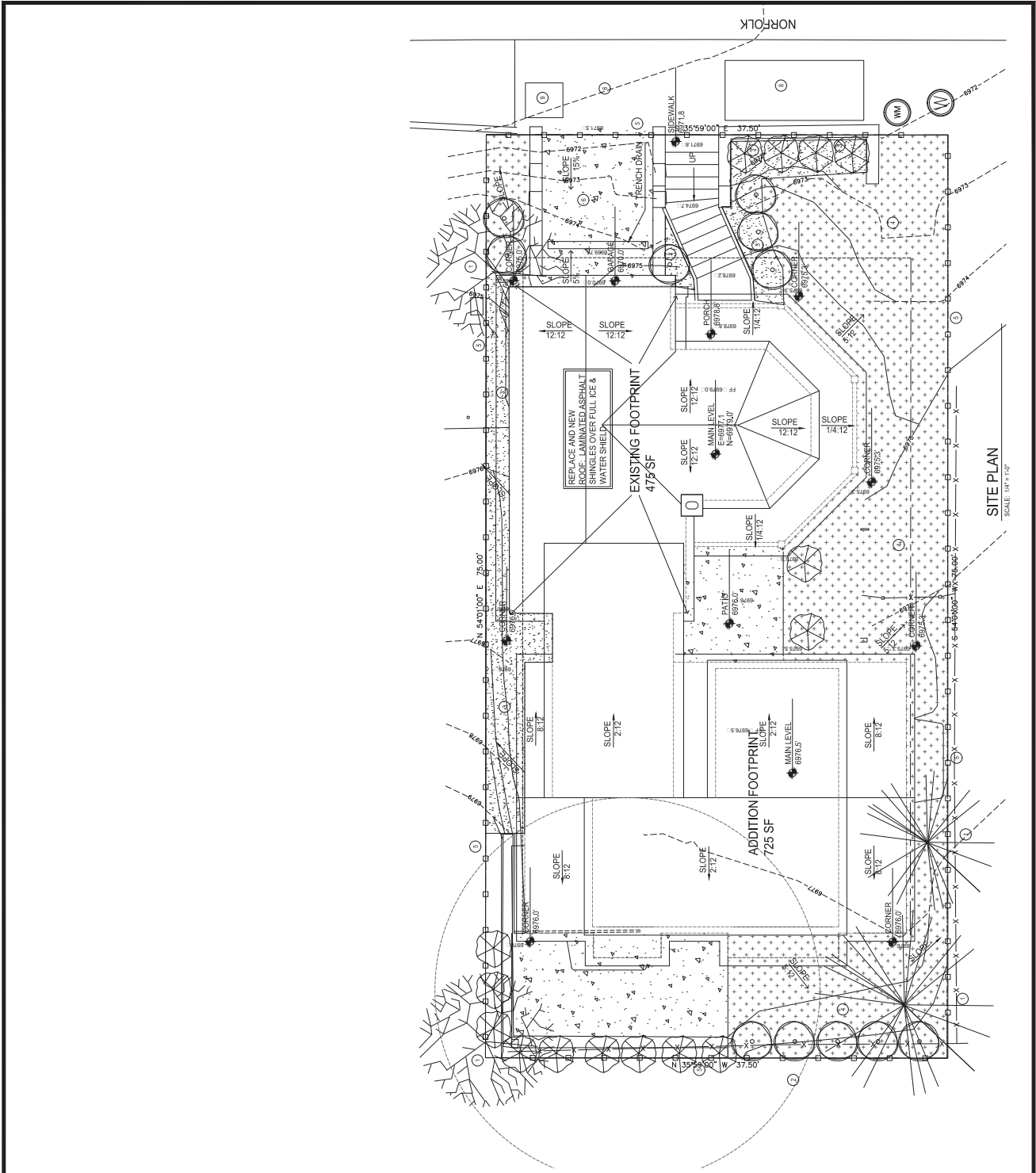
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DATE:	
DRAWING DATE:	

COVER SHEET
A0.01

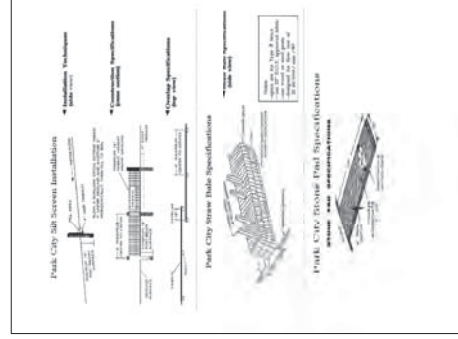


- SITE NOTES:**
- 1 EXISTING TREES TO REMAIN
 - 2 REMOVE EXISTING TREES FOR NEW CONSTR.
 - 3 NEW MULCH AREA
 - 4 REPAIR IRRIGATION AND REPLACE LAWN
 - 5 L.O.D. SEE DETAIL FOR EROSION CONTROL
 - 6 CONSTR. ACCESS & PARKING
 - 7 EXISTING LANDSCAPE TO BE RESTORED
 - 8 DUMPSTER
 - 9 PORTABLE TOILET
 - 10 CONCRETE PAVERS

NOTE:
 GENERAL CONTRACTOR IS TO ARRANGE A MEETING WITH THE PLAN CHECKER, THE GENERAL CONTRACTOR AND EXCAVATOR FOR THIS PROJECT PRIOR TO ANY PERMITS BEING ISSUED

NOTE:
 APPLICATION TO WORK IN A PUBLIC RIGHT-OF-WAY IS REQUIRED PRIOR TO DRIVEWAY CURB CUT AND APRON CONSTRUCTION.

LIMITS OF DISTURBANCE FENCE
 TO BE 9\"/>



PROVIDE NEW 1.1/2\"/>

EROSION CONTROL
 1.1/2\"/>

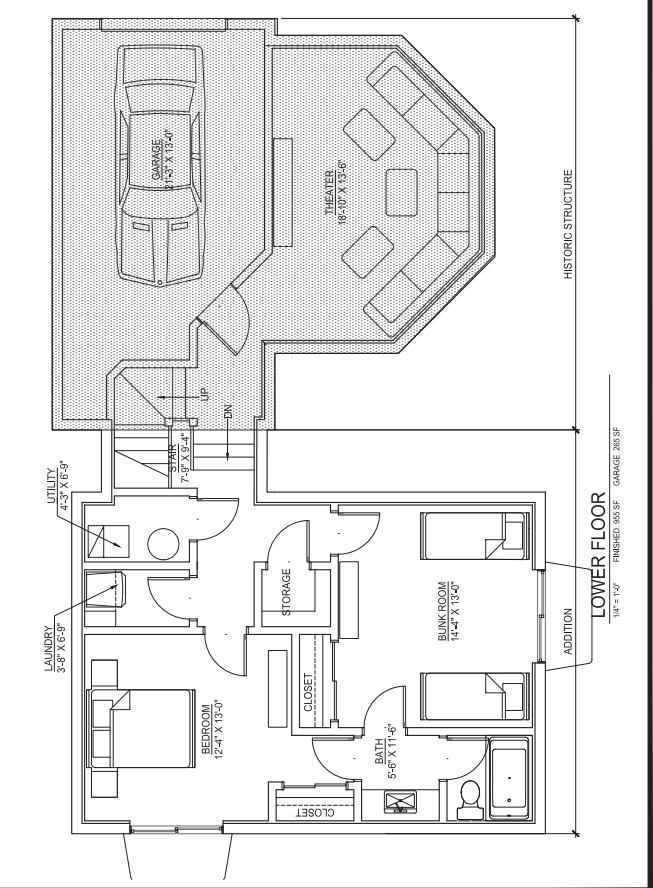
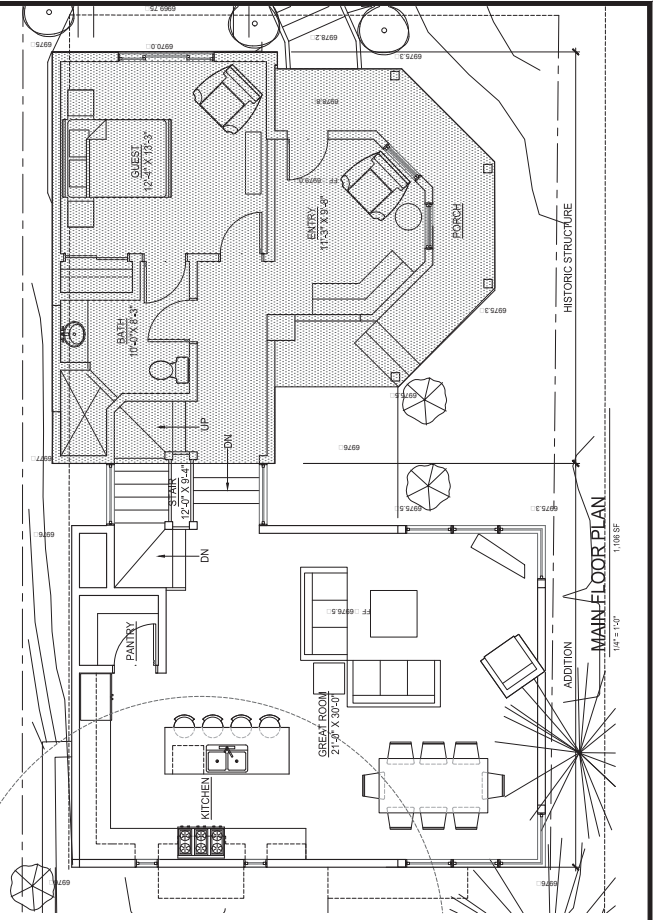
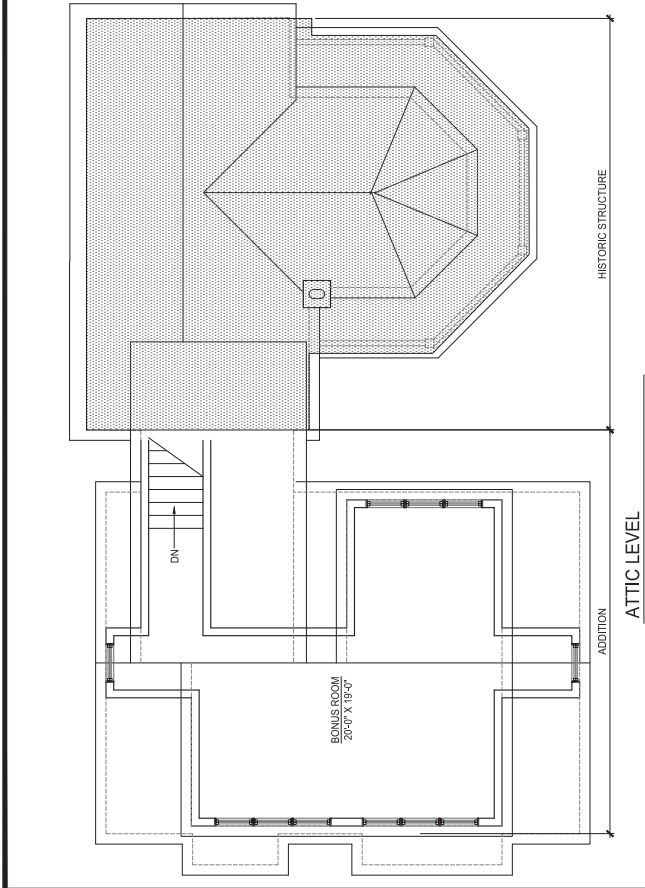
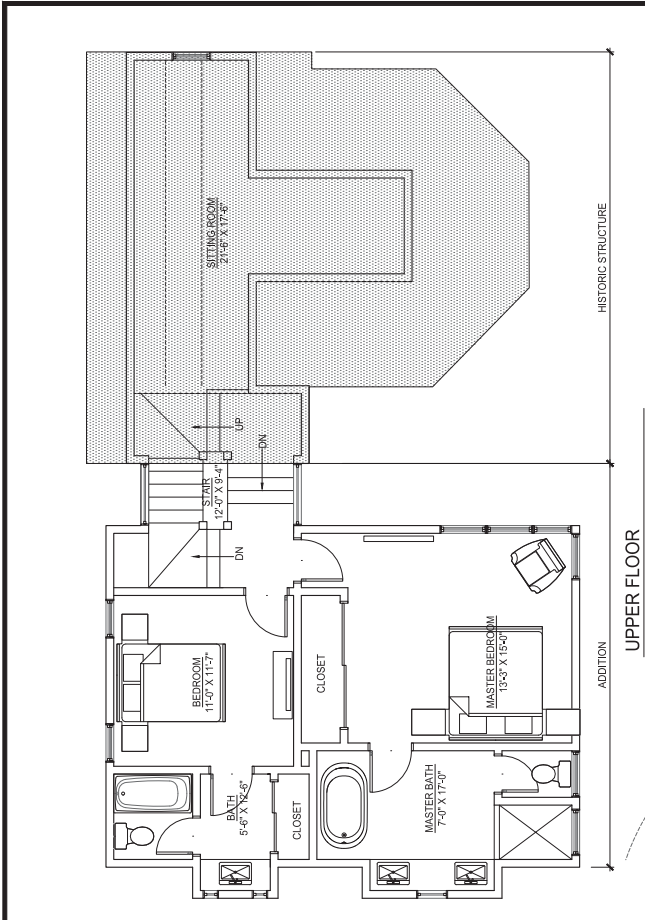
SITE CALCULATIONS:
 SITE AREA 2,816 SF
 DISTURBED AREA 1,450 SF
 PROPOSED COVERAGE 1,200 SF

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 1055 NORFOLK AVE.
 PARK CITY, UT
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 CITY, STATE

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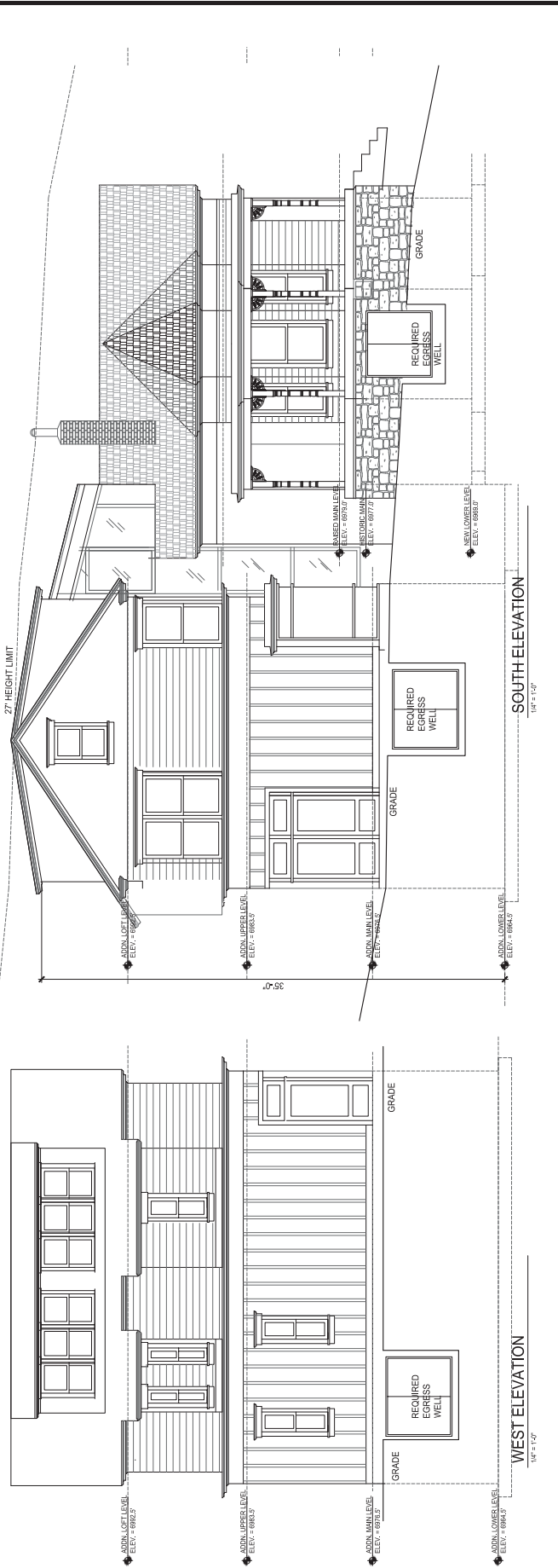
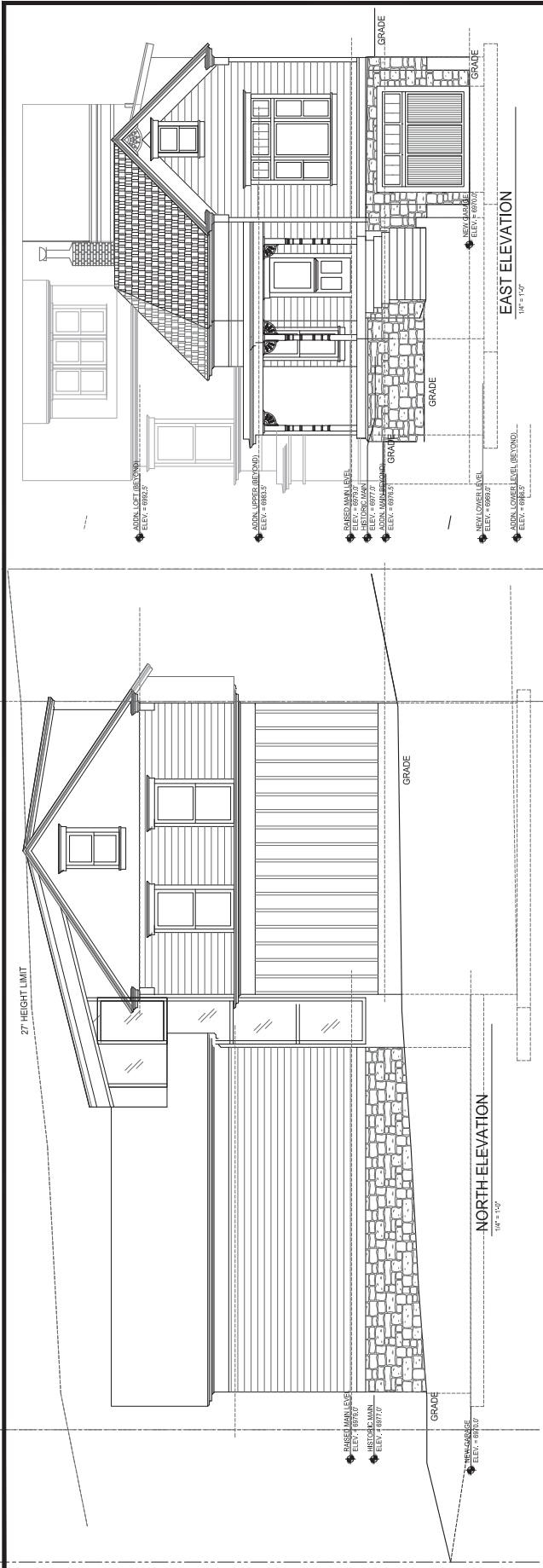
NORFOLK RENOVATION PROJECT
 1055 NORFOLK AVE.
 PARK CITY, UT

CONCEPT PLAN
A2.01



DAVE BAGLINO ADDRESS CITY, STATE	HORN PARTNERS ARCHITECTURE P.O. BOX 386 BOUNTIFUL, UT 84011-386 PH 801.299.4676 or 801.299.4676 FAX 801.299.1111 www.hornpartners.com	NORFOLK RENOVATION PROJECT 1055 NORFOLK AVE. PARK CITY, UT
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ELEVATIONS
A3.01

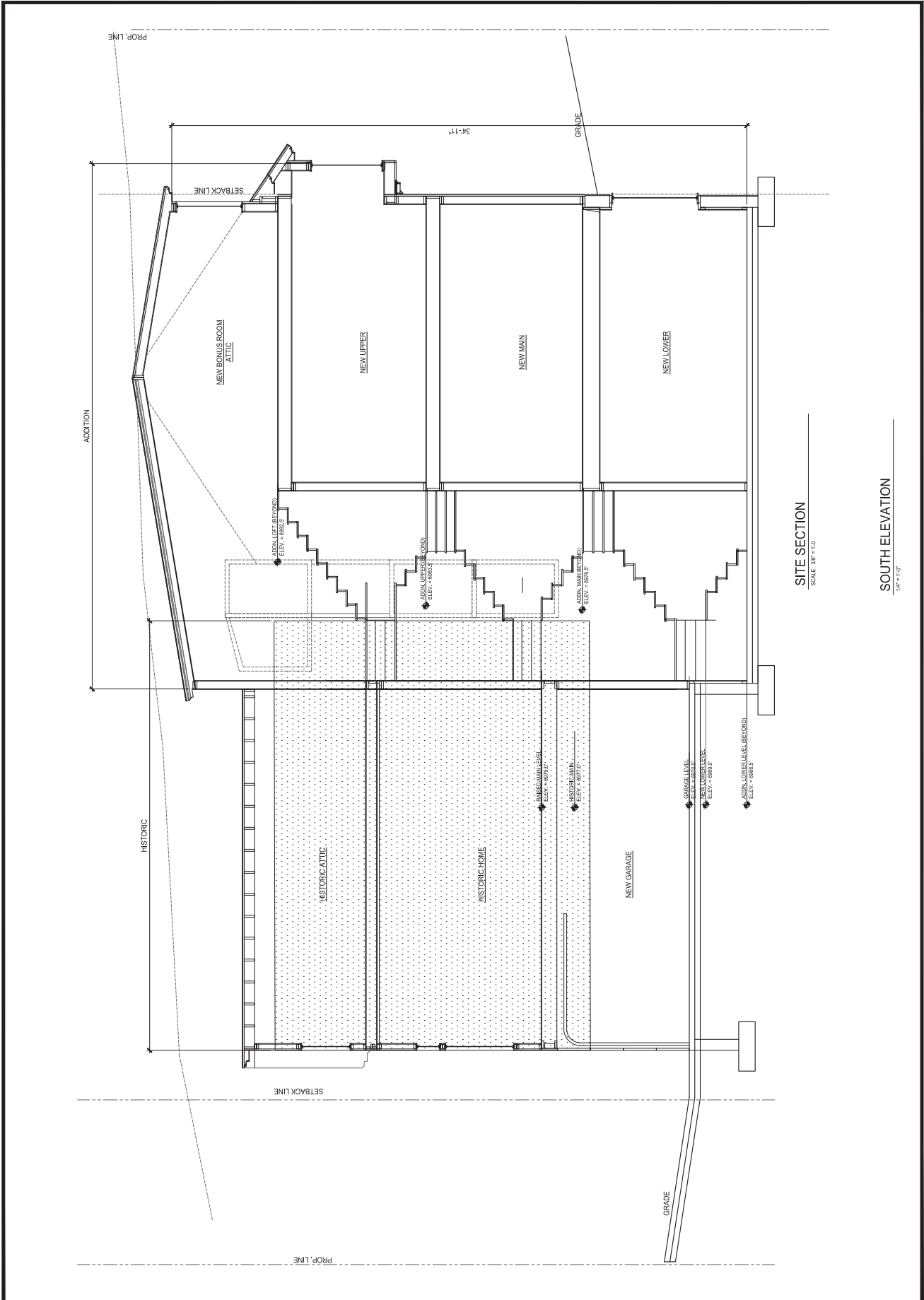


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 PARK CITY, UT
 JOB NO.
 FILE NO. 1055_A302
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 DATE:
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 DRAWING DATE:

BUILDING SECTION
A3.02



SITE SECTION
 SCALE: 3/8" = 1'-0"

SOUTH ELEVATION
 1/4" = 1'-0"

Exhibit E – HDDR Historic Preservation Plan

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE - PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060



HISTORIC PRESERVATION PLAN
For Use with the *Historic District/Site Design Review* Application

For Official Use Only

PLANNER: _____ APPLICATION #: _____
DATE RECEIVED: _____

PLANNING DIRECTOR _____ CHIEF BUILDING OFFICIAL _____
APPROVAL DATE/INITIALS: _____ APPROVAL DATE/INITIALS: _____

PROJECT INFORMATION

LANDMARK SIGNIFICANT DISTRICT: HR-1

NAME: 1055 Norfolk Restoration & Addition
ADDRESS: 1055 Norfolk

TA ID: SA-170 OR
SUBDIVISION: Snyders Addition OR
SURVEY: _____ LOT #: 14 BLOCK #: 16

APPLICANT INFORMATION

NAME: Dave Baglino
PHONE #: (435) 640 - 5806 FA #: () -
EMAIL: davidbaglino@msn.com

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

INSTRUCTIONS FOR HISTORIC PRESERVATION PLAN

The purpose of the HISTORIC PRESERVATION PLAN is to provide a detailed description of the proposed project, including the scope of work, methods/techniques being considered, and the potential impacts and/or benefits to Park City's historic resources. The Planning Department is authorized to require a Historic Preservation Plan as a condition of approving an application for a building project that affects a historic structure, site or object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

It is important to address the condition of each element, feature, or space of a historic site and/or structure as identified by the Physical Conditions Report.

Please note the following:

- 1. Multiple Buildings and/or Structures.** For Historic District Design Reviews (HDDR) that include more than one (1) structure, please complete an individual Physical Conditions Report for each structure on the site.
- 2. Scope of Work.** Summarize the impacts the proposed project will have on each of the elements/features identified by the Physical Conditions Report. If the project proposes a negative impact on any character-defining feature, explain why it is unavoidable and what measures are proposed to mitigate the adverse effects.
- 3. Construction Issues.** Following the format of the Physical Condition Report, summarize the work being proposed for each feature. Provide reference to or excerpts from the Physical Condition Report if needed to supplement the work summaries. Address the treatments being considered and the methods and techniques being proposed.

According to the *Design Guidelines for Historic Districts and Historic Sites* the four treatments for historic sites include:

- **Preservation.** If you want to stabilize a building or structure, retain most or all of its historic fabric, and keep it looking the way it does now, you will be preserving it. Preservation is the first treatment to consider and it emphasizes conservation, maintenance and repair.
 - **Rehabilitation.** If you want to update a building for its current or a new use, you will be rehabilitating it. Rehabilitation, the second treatment, also emphasizes retention and repair of historic materials, though replacement is allowed because it is assumed that the condition of existing materials is poor.
 - **Restoration.** If you want to take a building back to an earlier time by removing later features, you will be restoring it. Restoration, the third treatment, centers on retaining materials from the most significant period in the property's history. Because changes in a site convey important information about the development history of that site and its structures, restoration is less common than the previous treatments.
 - **Reconstruction.** If you want to bring back a building that no longer exists or cannot be repaired, you will be reconstructing it. Reconstruction, the fourth treatment, is used to recreate a non-surviving building or one that exists now, but is extremely deteriorated and unsalvageable. Reconstruction is rarely recommended.
- 4. Conditions Evaluation.** The scope of work for those features/elements identified as fair or poor in the Physical Conditions Report require a more comprehensive approach to its deteriorated condition. Please provide specific details outlining your scope of work.
 - 5. References.** Specific conditions should be addressed using recognized preservation methods. It may be helpful to reference the National Park Service's Preservation Briefs in order to specify

recognized preservation methods for features/elements such as wood windows, porches, and masonry chimneys. These and other features are described in the Preservation Briefs, available online at: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>.

Site Design

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Element/Feature: **Site Plan**

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Site grading to be modified where a new basement garage is constructed and the sloping driveway is installed. Existing block retaining walls to remain and similar product used at garage walls. Non-historic brick pavers to be replaced with simple lawn and shrub landscape. The front stairs will be rebuilt to accommodate the 24" raised foundation but will match the existing.

Structure

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Structure**

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The structure will be reduced to its original cross tee shape with the octagonal hip roof and flat wrap-around porch roof restored. Additions that have been added, removed and added over its history will be removed to restore the original structure since the various additions changed the original home so much.

Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: **Historic Roof**

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The historic roof will be uncovered from the additions and restored to its original shape with trim and freeze restoration as well. Shingles will be replaced with similar 0continuous shingles over the entire roof. The form will be brought back to its original cross tee with octagonal hip and flat wrap-around porch roof.

Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Existing chimney flue**

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The original masonry chimney flue has been wrapped with building paper. it will be exposed and masonry repointed if possible.

Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Feature: **East Walls**

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Existing east exterior walls will be uncovered down to the original drop novelty siding, the siding will be restored where it has been damage by 2 new layers of finish.

Element/Feature: **North and South Walls**

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Existing north and south walls will be uncovered down to the original drop novelty siding, the siding will be restored where it has been damage by 2 new layers of finish.

Element/Feature: West Walls

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Existing west exterior walls where not abutting the addition will be uncovered down to the original drop novelty siding, the siding will be restored where it has been damage by 2 new layers of finish.

Element/Feature: _____

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Empty text box for describing proposed work.

Foundation

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: **Concrete foundation**

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Existing rubble and unreinforced CMU foundations will be replaced with continuous concrete foundations that accommodate a lower level and garage and raise the house 24" as allowed in the zone. Raised foundation will be finished with stone veneer to look like the original stone.

Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature: **Wrap-around porch**

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The original wrap-around front porch that is evident from the attic and foundation will be restored. The flat roof, freeze treatment and roof above are still in tack in the attic and will be restored. Ornamental columns will be uncovered and all porch columns will match.

Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: **Period doors**

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Since no historic doors exist, the modern doors will be replaced with a period front door with lite and transom. The rear door will be similarly restored. A 2nd floor door exists but is part of a later addition. It will be removed where the addition abutts the home.

Element/Feature: _____

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature: **Wood windows**

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Since each window has been replaced with metal windows, they will all be removed and replaced with double hung windows to match the original. Windows will be a historic shaped prefinished aluminum with wood interiors.

Element/Feature: **Picture Window**

This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

The front picture window does not reflect the original nor the period of the home. The window will be replaced with a period window and transom.

Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: **HVAC**

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

A new HVAC system, including a gas furnace, will be installed. New hot water systems and heated driveways and walks will be installed.

Additions

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: **Addition**

- This involves: Preservation Restoration
 Reconstruction Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

A new addition will be added to the original residence. The addition draws on some of the forms of the original home but has finishes that differentiate it from the original. The addition is separated from the restored structure by stair way wall that are set back from the facade. The addition has a similar slope roof and period shed dormers that are similar to the existing but scaled better for the period.

4. PROJECT TEAM

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc.

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

5. SITE HISTORY

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

6. FINANCIAL GUARANTEE

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

7. ACKNOWLEDGMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant: _____ Date: _____

Name of Applicant: David Baglino

Supplemental pages should be used to describe the scope of work and preservation treatment for any additional elements and features not previously described in this packet.

Element/Feature: **See Historic Analysis**

- This involves:
- Preservation
 - Restoration
 - Reconstruction
 - Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

SEE HIST. RESTORATION:
 H0.01, H1.01, H1.02, H2.01, H2.02, H3.01, H3.02, H3.03, H3.04, H3.05, H3.06,
 H3.07, H3.08

Element/Feature: _____

- This involves:
- Preservation
 - Restoration
 - Reconstruction
 - Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:



PHYSICAL CONDITIONS REPORT

For Use with the *Historic District Design Review (HDDR)* Application

For Official Use Only

PLANNER: _____ APPLICATION #: _____
DATE RECEIVED: _____

PROJECT INFORMATION

NAME: 1055 Norfolk Restoration & Addition
ADDRESS: 1055 Norfolk

TA ID: SA-170 OR
SUBDIVISION: Snyders Addition OR
SURVEY: _____ LOT #: 14 BLOCK #: 16
HISTORIC DESIGNATION: LANDMARK SIGNIFICANT NOT HISTORIC

APPLICANT INFORMATION

NAME: Dave Baglino
MAILING ADDRESS: PO Box 684206
Park City UT 84068

PHONE #: (435) 640 - 5806 FAX #: () -
EMAIL: davidbaglino@msn.com

APPLICANT'S REPRESENTATIVE INFORMATION

NAME: Horn and Partners Architecture, Kevin Horn
PHONE #: (801) 232 - 9333
EMAIL: kevin@hornandpartners.com

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: _____
Name of Applicant: Dave Baglino
Mailing Address: PO Box 84068
Park City Ut 84068
Phone #: (435) 640 - 5806 Fax #: () -
Email: davidbaglino@msn.com
Type of Application: HDDR

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: David Baglino
Mailing Address: PO Box 84068
Park City UT 84068
Street Address/ Legal 1055 Norfolk
Description of Subject Property: Residence

Signature: _____ Date: _____

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

PHYSICAL CONDITIONS REPORT

Detailed Description of Existing Conditions. Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.

1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Site Plan**

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

The site is uphill west of Norfolk. it slopes gently at 8% for about 6' overall. There is an existing block retaining wall that reflects the period and should remain. There are stairs to the front porch. The south yard area has non-historic brick pavers.

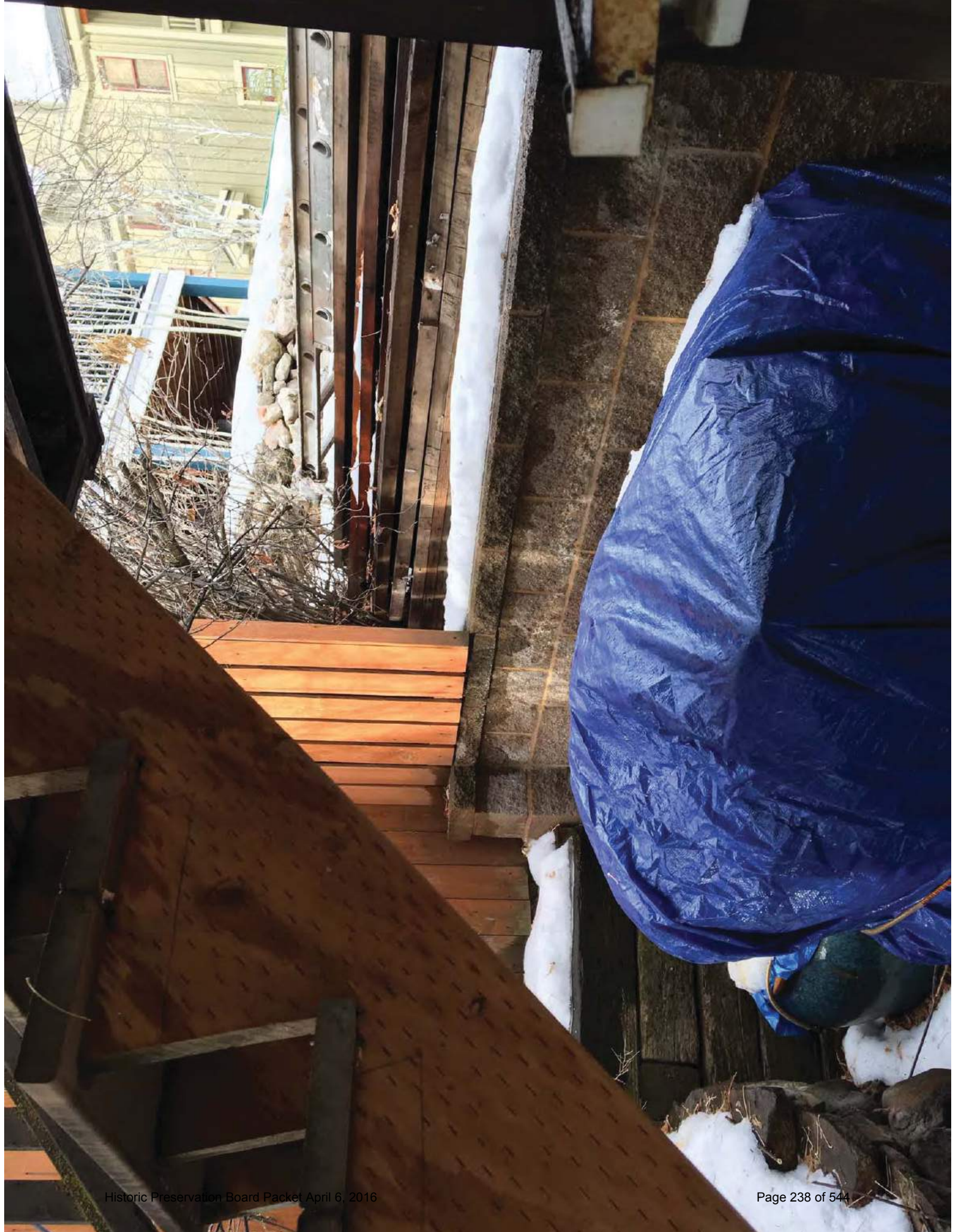
Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Photo Numbers: **Site 1, Site 2**

Illustration Numbers: **Survey**

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.





2. Structure

Use this section to describe the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Historic and non-historic**

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

The original structure is a cross tee design with a unique octagonal shape living room and wrap-around front porch. The porch was enclosed and the roof extended early on. Other additions were constructed then removed and reconstructed of the history. The original octagonal cross tee remains the only historic section.

SEE HIST. RESTORATION FILE

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

The addition to enclose the porch added a new 1940 California bungalow porch that is out of character for Park City and the house. Kitchen and bedroom additions to the west are constructed with current building materials including fresh fir framing and galvanized nails.

Photo Numbers: _____ Illustration Numbers: **HIST RESTORATION**

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

3. Roof

Use this section to describe the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Roof and Addition**

This involves: An original part of the building
 A later addition Estimated date of construction: _____

Describe existing feature:

Original cross tee roof with an octagonal shaped gable and flat wrap-around porch roof. This was later modified when the porch was enclosed and the wing squared off. The rear kitchen roof has been reconstructed and the upper shed dormers were cut into the rear roof bedroom addition, all of which is non-historic. The original roof, hinges, trim and freeze are still present in the attic over the porch enclosure.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Additions have covered the historic roof form and added to the shape so it does not reflect its original.

Photo Numbers: **ROOF 1,2,3,4,5** Illustration Numbers: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.









4. Chimney

Use this section to describe any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Flue**

This involves: An original part of the building
 A later addition Estimated date of construction: _____

Describe existing feature:

The only existing chimney appears to be a flue and not a fireplace. it still exists in what is now the center of the home but has been covered with building paper.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

once building paper is removed we will assess and the masonry may need repointing.

Photo Numbers: **CHIMNEY 1** Illustration Numbers: _____



5. Exterior Walls

Use this section to describe exterior wall construction, finishes, and masonry. Be sure to also document other exterior elements such as porches and porticoes separately. Must include descriptions of decorative elements such as corner boards, fascia board, and trim. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **East Walls**

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

The front/east facade walls were originally drop novelty wood siding and have since been covered with plaster stucco and then aluminum siding. The walls that enclose the original porch and the new porch changed the shape from its original form to the curved roof.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

last 2 remodels covered the original siding finish and detailing.

Photo Numbers: **EAST 1,2,3** Illustration Numbers: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.







Element/Feature: **North and South**

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

The north and south walls west of the original structure have been constructed with newer wood and galvanized nails. Finishes are aluminum siding.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

non historic aluminum siding, historic porch enclosure and covered up details.

Photo Numbers: NORTH 1 & 2, SOUTH 1 & 2 Illustration Numbers: _____









Element/Feature: **West Walls**

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

The rear/west walls are the same as north and side walls. See above.

Describe any deficiencies:

Existing Condition: Excellent Good Fair Poor

See above.

Photo Numbers: **WEST 1,2** Illustration Numbers: _____





6. Foundation

Use this section to describe the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Stone and CMU foundation**

This involves: An original part of the building A later addition Estimated date of construction: _____

Describe existing feature:

Original foundation and some addition foundations are rubble stone with a crawl space. One addition was done with unreinforced CMU.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

the varied foundations are structurally unsound and need to be replaced with continuous concrete foundation walls and raise the historic structure as allowed in this zone.

Photo Numbers: **BASEMENT 1,2** Illustration Numbers: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.





7. Porches

Use this section to describe the porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **Front Porch**

This involves: An original part of the building A later addition Estimated date of construction: _____

Describe existing feature:

The historic front porch is visible from the new attic. The porch had a flat roof and wrapped around an octagonal shape main room and hip roof. Freeze are still visible. The porch was subsequently enclosed to enlarge the living room and a new porch constructed on the front of the home with a sweeping curved roof that is out of place.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Original porch and roof was covered up. The new porch is out of character for Park City and the period with its 1940's California bungalow.

Photo Numbers: **PORCH 1** Illustration Numbers: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.



8. Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features.

Element/Feature: **HVAC**

This involves: An original part of the building
 A later addition Estimated date of construction: _____

Describe existing feature:

the original home was heated with a coal fire furnace in the basement with a coal chute constructed later. it has been replaced with a gas furnace.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

the furnace is inadequate for the size and is at the end of its useful life.

Photo Numbers: **BASEMENT 1** Illustration Numbers: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

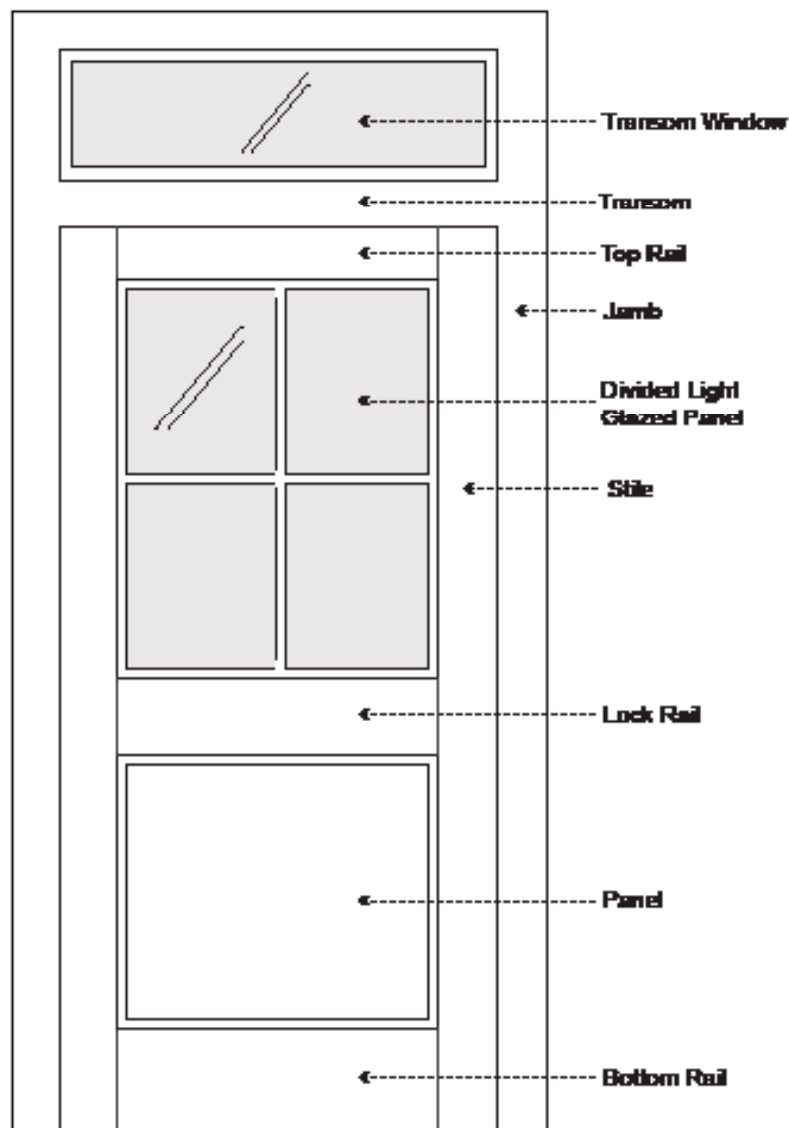


9. Door Survey

Basic Requirements

1. All door openings on the exterior of the structure should be assigned a number and described under the same number in the survey form. Doors in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specifically by the planner.
2. Describe the issues and conditions of each exterior door in detail, referring to specific parts of the door. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the door unit and associated trim. Broken glass and normal wear and tear are not necessarily grounds for approving replacement.
4. The condition of each door should be documented based on the same criteria used to evaluate the condition of specific elements and features of the historic structure or site: Good, Fair, Poor.

Don't forget to address service, utility, and garage doors where applicable.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

Door Survey Form

Total number of door openings on the exterior of the structure: 3
 Number of historic doors on the structure: 0
 Number of existing replacement/non-historic doors: 3
 Number of doors completely missing: 0

Please reference assigned door numbers based on the Physical Conditions Report.

Number of doors to be replaced: 2

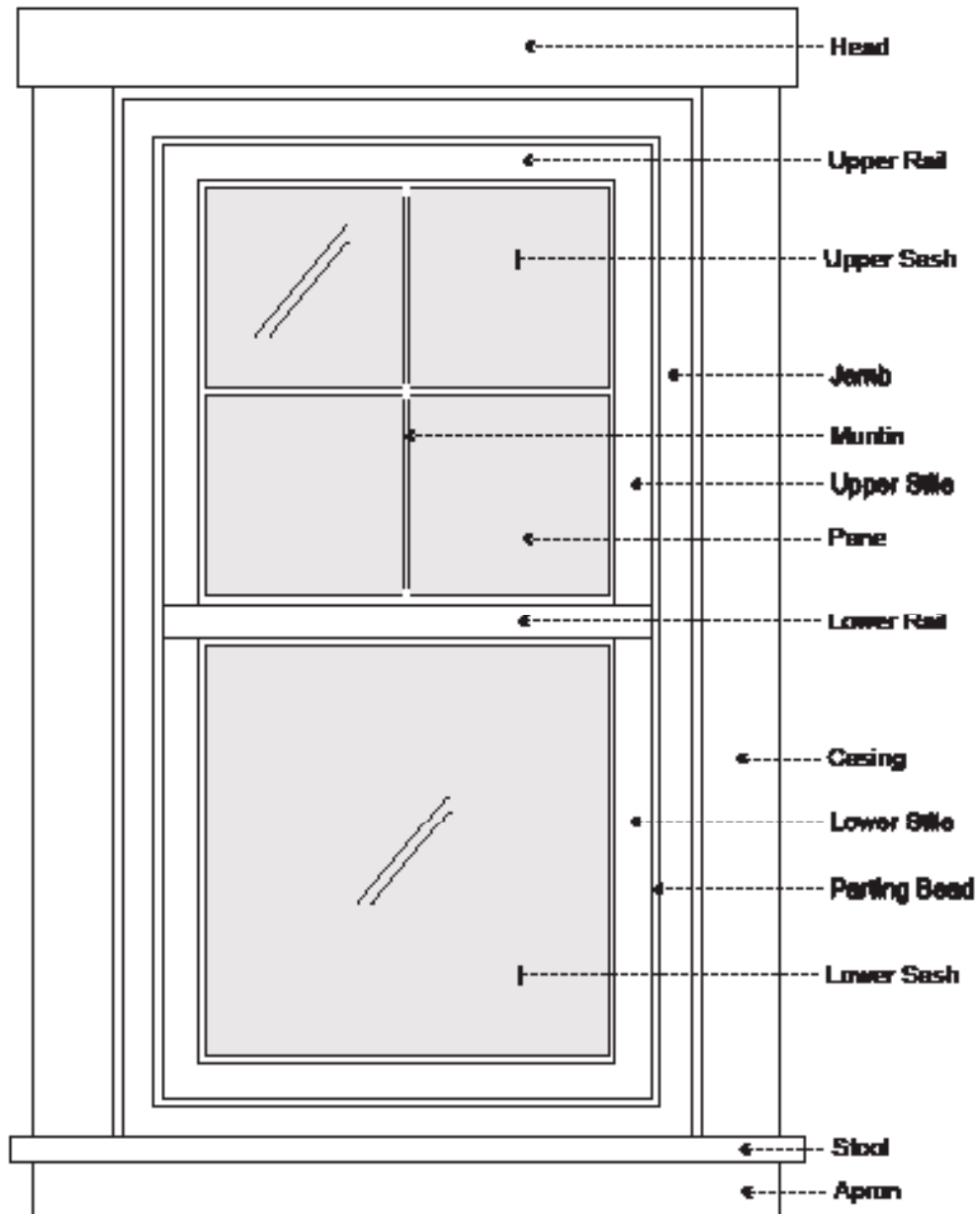
Door #:	<i>Existing Condition (Excellent, Good, Fair, Poor):</i>	<i>Describe any deficiencies:</i>	Photo #:	<i>Historic (50 years or older):</i>
1	Fair	non historic		no
2	Poor	non historic		no
3	Poor	non historic		no
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

10. Window Survey

Basic Requirements

1. All window openings on the structure should be assigned a number and described under the same number in the survey form. Windows in pairs or groupings should be assigned individual numbers. Even those not being replaced should be assigned a number corresponding to a photograph or drawing of the elevation, unless otherwise specified specifically by the planner.
2. Describe the issues and conditions of each window in detail, referring to specific parts of the window. Photographs depicting existing conditions may be from the interior, exterior, or both. Additional close-up photos documenting the conditions should be provided to document specific problem areas.
3. The Planning Department's evaluation and recommendation is based on deterioration/damage to the window unit and associated trim. Broken glass and windows that are painted shut alone are not grounds for approving replacement.



If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

Window Survey Form

Total number of window openings on the exterior of the structure: 10
 Number of historic windows on the structure: 0
 Number of existing replacement/non-historic windows: 10
 Number of windows completely missing: 0

Please reference assigned window numbers based on the Physical Conditions Report.

Number of windows to be replaced: _____

Window #:	Existing Condition (Excellent, Good, Fair, Poor):	Describe any deficiencies:	Photo #:	Historic (50 years or older):
1	Fair	non historic metal		no
3	Fair	non historic metal		no
3	Fair	non historic metal		no
4	Fair	non historic metal		no
5	Fair	non historic metal		no
6	Fair	non historic metal		no
7	Fair	non historic metal		no
8	Fair	non historic metal		no
9	Fair	non historic metal		no
10	Fair	non historic metal		no
	Fair			
	Fair			
	Fair			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

11. Interior Photographs

Use this section to describe interior conditions. Provide photographs of the interior elevations of each room. (This can be done by standing in opposite corners of a square room and capturing two walls in each photo.)

Element/Feature: **Finishes**

This involves: An original part of the building
 A later addition

Estimated date of construction: _____

Describe existing feature:

Interior walls have been refinishes with wood paneling and painted plaster.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

existing finishes and trim have been replaced.

Photo Numbers: **FINISH 1 -7** Illustration Numbers: _____













Exhibit G – Current Streetscape



