



Planning Department

Historic Preservation Board Staff Report

Author: Anya Grahn, Historic Preservation Planner
Subject: Material Deconstruction Review
Address: 1460 Park Avenue
Project Number: PL-15-03030
Date: February 3, 2016
Type of Item: Administrative – Material Deconstruction

Summary Recommendation:

Staff recommends the Historic Preservation Board review and discuss the application, conduct a public hearing, and approve the relocation of the historic house and material deconstruction of non-historic materials at 1460 Park Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval.

Topic:

Address: 1460 Park Avenue
Designation: Significant
Applicant: Park City Municipal Corporation, represented by Rhoda Shaffer
Proposal:
1. Relocation of the house 5'5" to the west.
2. The applicant is requesting to remove: existing landscaping and landscape features such as a chain-link fence and concrete paths; several non-contributory additions on the rear elevation; existing historic and non-historic roofing materials; non-historic siding materials; limited rubble stone and concrete foundation; c.1958 metal porch awning, porch posts, and concrete slab; two (2) doors on the west façade; 1970s-1980s aluminum windows on the west façade and south elevation; and historic siding on the east elevation to accommodate a new door opening.

Background:

Why is the Historic Preservation Board reviewing this application?

On December 17, 2015, City Council approved Ordinance 15-53 to amend Land Management Code (LMC) 15-11. The amendments modified the Purposes of the Historic Preservation Board to include reviewing and taking action on material deconstruction applications for those sites listed on the Historic Sites Inventory (HSI). The changes also gave the Historic Preservation Board the authority to review and approve, approve with conditions, or deny all Applications for Historic Preservation Board Review for Material Reconstruction (LMC 15-11-12.5); Relocation and/or Reorientation of a Historic Building or Historic Structure (LMC 15-11.13); Disassembly and Reassembly of a Historic Building or Historic Structure (LMC 15-11-14); and Reconstruction of an Existing Historic Building or Historic Structure (LMC 15-11-15).

Material Deconstruction, in particular, is a new term that staff developed in order to address the HPB's new role. The term is defined in LMC 15-15-1.163 as:

The disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair.

The intent of these LMC amendments included:

- Increasing transparency in the Planning Department's review of HDDR applications
- Expanding the HPB's role in demolition determinations
- Modifying the criteria for relocation and/or reorientation, disassembly and reassembly (panelization) and reconstruction of Historic Buildings
- Establishing noticing requirements for demolition permits

Finally, staff worked with the HPB, Planning Commission, and City Council to set demolition review criteria for the HPB to ensure consistency and clarity. The HPB's demolition review is based upon the checklist reviewed by Council, and included as Exhibit A:

- Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
- The partial demolition is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
- Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
- The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where demolition is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
- The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
- Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

Application for Historic District Design Review (HDDR) and Historic Preservation Board Review (HPBR) for Material Deconstruction

On December 8, 2015, the Planning Department received a Historic District Design Review (HDDR) application for the property at 1460 Park Avenue. The application was deemed complete on December 17, 2015. The Historic District Design Review (HDDR)

application has not yet been approved, as it is dependent on HPB's Review for Demolition approval and the request for relocation of the house 5'5" to the west.

Park City Municipal Corporation purchased the property and its neighbor at 1450 Park Avenue in 2009. Following the purchase, the City contracted with historic preservation consulting firm Preservation Solutions to complete a Physical Conditions Report on the property. (This Physical Conditions Report is included as part of Exhibit C, with additional addendums to clarify the current site conditions.) In 2012, a building permit was issued to weatherize the building. More notable, the City collaborated with Elliot Work Group and Greenpark Cohousing between 2011 to 2013 in an effort to develop the site as a co-housing development. This partnership dissolved in 2014, and the City is now moving ahead to develop the site for affordable housing.

The current HDDR applications are for the renovation of the two (2) historic structures at 1450 and 1460 Park Avenue. The applicant is proposing an affordable housing development that will include the construction of cottage housing in addition to the renovation of the two (2) existing historic structures. A second HDDR application will be submitted in the future for the new construction of six (6) cottage houses on these two (2) sites. Because the applicant has phased the development of the site, the Planning Department is currently only reviewing the individual HDDR applications for 1450 and 1460 Park Avenue. The HPB will not be involved in the review of the proposed new construction.

The following Material Deconstruction work is proposed at 1460 Park Avenue:

1. Remove all of the landscaping as part of the relocation of the historic house as well as a non-historic retaining wall, chain-link fence, and concrete paths.
2. Removal of several additions on the rear elevation
3. Removing existing roofing materials in order to make structural improvements to the historic roof system.
4. Removal of non-historic siding to restore the original c. 1901 wood siding.
5. Demolish the existing, limited rubble stone and concrete foundation.
6. Removal of the 1940s-1950s metal porch awnings, porch posts, and concrete slab floor.
7. Remove the existing kitchen side door and relocation of the historic front door.
8. Remove the existing non-historic aluminum windows on the front (west) façade and south elevation.
9. Removal of historic siding on the east elevation to accommodate a new door opening.

Analysis 1: Relocation of the Historic House

The applicant proposes to relocate the existing historic house 5'5" to the west as part of this renovation. By relocating the house closer to Park Avenue, the applicant will gain additional space to construct three (3) new affordable-housing cottages behind the historic house (Exhibit E). The relocation will comply with the required fifteen foot (15') front yard setback, as dictated by the Historic Residential-Medium Density (HRM) zoning district, described in Land Management Code (LMC) 15-2.4-4 (C)(1).

The *Design Guidelines for Historic Sites* provide guidance on the Relocation and/or Reorientation of Intact Buildings (pages 36-37). The guidelines recommend that the relocation of historic buildings only be considered after it has been determined by the Design Review Team that the integrity and significance of the historic building will not be diminished by such action. The Design Review Team finds that relocating the historic building on its existing lot will not significantly change the context of the site, nor diminish its historical significance, as described below. Further, the applicant will be making structural upgrades, described below, to ensure that the building will be structural sound in order to survive the move.

Additionally, any relocation of a historic building or historic structure must comply with LMC 15-11-13. This section of the LMC was recently amended and shifted the review authority from the Planning Director and Chief Building Official to the Historic Preservation Board (HPB). The HPB shall review staff's analysis and find that the project complies with the following criteria in order for the relocation to occur:

15-11-13. RELOCATION AND/OR REORIENTATION OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.

(A) CRITERIA FOR THE RELOCATION AND/OR REORIENTATION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE. In approving a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the Historic Preservation Board shall find the project complies with the following criteria:

- (1) The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or

This is not applicable as the structure is not threatened by demolition.

- (2) The Planning Director and Chief Building Official determine that the building is threatened in its present setting because of hazardous conditions and the preservation of the building will be enhanced by relocating it; or

This is not applicable as the structure is not threatened by demolition.

- (3) The Historic Preservation Board, with input from the Planning Director and the Chief Building Official, determines that unique conditions warrant the proposed relocation and/or reorientation on the existing Site, which include but are not limited to:

Staff finds that these criteria are applicable. Staff, including the Chief Building Official and Planning Director, find that there are unique conditions that warrant the proposed relocation of the historic structure on the existing site.

- (i) The historic context of the building has been so radically altered that the present setting does not appropriately convey its history and the proposed relocation may be considered to enhance the ability to interpret the historic character of the building and the district; or

Historically, this structure was part of a larger residential neighborhood characterized by small, single-family houses; over time, many of these historic houses were replaced by larger, multi-family condominiums that now dwarf this historic house and its neighbor at 1450 Park Avenue. The historic context of its present setting has been so altered that these structures, even once restored, would not qualify for the National Register of Historic Places because of their setting.

- (ii) The new site shall convey a character similar to that of the historic site, in terms of scale of neighboring buildings, materials, site relationships, geography, and age; or

The relocation of the structure 5'5" to the front of the existing lot will not alter the character of the site in terms of scale of neighborhood buildings, materials, site relationships, geography, or age.

- (iii) The integrity and significance of the historic building will not be diminished by relocation and/or reorientation; or

Relocating this historic structure to the front of its lot will not diminish its integrity and significance.

(4) All other alternatives to relocation/reorientation have been reasonably considered prior to determining the relocation/reorientation of the building.

These options include but are not limited to:

- (i) Restoring the building at its present site; or
- (ii) Relocating the building within its original site; or
- (iii) Stabilizing the building from deterioration and retaining it at its present site for future use; or
- (iv) Incorporating the building into a new development on the existing site

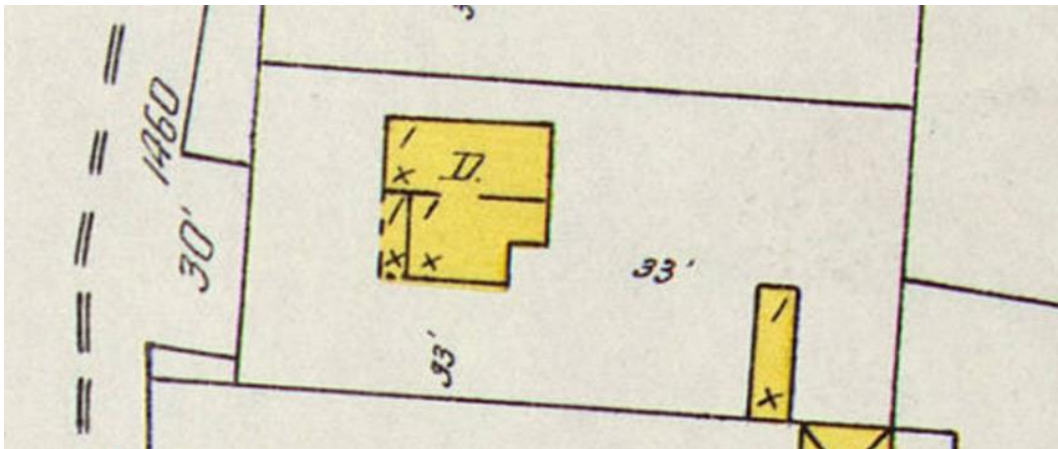
Staff finds that these criteria are applicable.

The applicant has considered restoring the house at its present location; however, doing so would limit the separation from the new construction or would limit the number of new affordable housing units constructed on the site. The applicant is not proposing to relocate the building on a new site, but, rather, relocate it on its present site in the same orientation to the street. The applicant will stabilize the historic building form and retain it at

its present site. Finally, the historic house will be incorporated into a new development on the existing site.

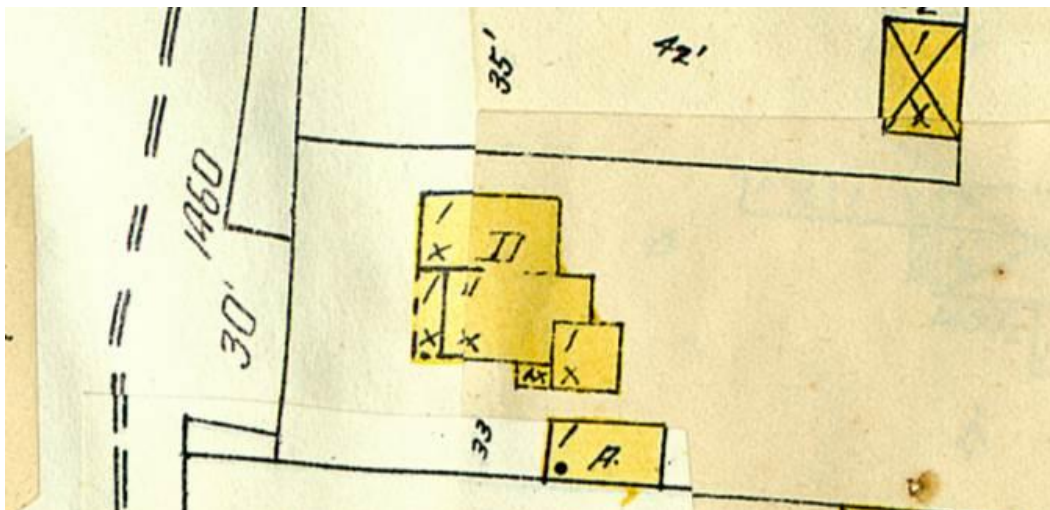
Analysis 2: Material Deconstruction

The house was originally constructed c.1901 as a cross wing cottage. It first appears on the 1907 Sanborn Fire Insurance Map because of its date of construction and its location. In 1907, the original T-shape form of the cross wing is discernible and there is a front porch.



1907 Sanborn Fire Insurance Map

During the next twenty (20) years, several additions were added to the original cross-wing form. The north-south stem wing was expanded east, altering the form from a T-shape to an L-shape. Several additions were also constructed on the rear elevation, including a one (1) story-addition where the existing kitchen addition is today.



1927 Sanborn Fire Insurance Map

As described in the Physical Conditions Report, a number of modifications occurred to the house following 1927. While the east elevation of the east-west stem wing remains largely unchanged since 1901, additional modifications to the rear elevation have

occurred to create the long, shed-roof addition visible on the back of the structure today. These modifications likely occurred post-1930 as they are not depicted in the Sanborn Fire Insurance Map, and are erroneously thought to be original by the Physical Conditions Report.

Because this house has very little primary documentation, many of the changes that occurred outside of the historic period can be determined by comparing this house to its neighbor at 1450 Park Avenue and other cross-wing houses in Park City. The Sanborn maps shows a front porch, constructed of wood; this porch is believed to have been replaced with the existing metal awning porch on or before 1958. The original window on the projecting gable had been replaced by a single fixed window in 1958; however, its height was modified by 1995 and the window replaced with an aluminum slider by 2006. Other alterations include the replacement of original windows and covering the original lap siding with Masonite and then asbestos siding. A crawlspace was dug beneath the house, likely in the 1960s, to construct a mechanical room.



Historic Photograph, 1958



Photograph dated 1995

The applicant is proposing to restore the structure's original c.1901 cross-wing form. Given the number of alterations and the additions that were haphazardly constructed on the rear (east) elevation, staff finds it is appropriate to remove these additions and reconstruct a new addition that will mimic the appearance of the existing shed-roof kitchen addition from the façade. The extensive number of additions to the house and the change to its setting have made this site ineligible for listing on the National Register of Historic Places. The site is currently designated as "Significant" on the City's HSI

The extensive number of additions have made this site ineligible for listing on the National Register of Historic Places. The site is currently designated as "Significant" on the City's HSI.

The existing structure is substandard. As described in further detail below, the existing roof structure, as it currently exists, is grossly undersized and there is little structural integrity that can be preserved due to fire damage. The construction of later additions on the original cross-wing form has caused additional strain and stress to the existing roofing members. The single-wall construction of the exterior walls does not meet wind, seismic, or gravity loads. Further, the floor structure is loosely supported on pieces of wood, rock, or stone; the majority of it sits directly on the dirt as there is only a limited rubble stone and concrete foundation. The floor framing will be rebuilt by sistering¹ new structural supports to the existing members and with the construction of a new foundation. Existing utilities and mechanical equipment are all inadequate and will be replaced as part of this renovation.

The following work is proposed as part of this renovation and requires HPB approval :

1. SITE DESIGN

As noted in the Physical Conditions Report completed by architect Sandy Hatch, the landscaping is not historic. Most of the existing vegetation is comprised of voluntary trees and shrubs that are significantly overgrown; these plants and shrubs are largely concentrated on the north side of the property, though some also exist on the south side. The most significant vegetation on the site is the tree in the front yard, located between the Park Avenue sidewalk and the historic house.

The applicant intends to remove all of the landscaping as part of the relocation of the historic houses at 1450 and 1460 Park Avenue. Due to the amount of construction that will occur on this site, existing trees and shrubs will likely be damaged by the construction of footings and foundations near root balls.

That said, staff finds that it is important that the character of the site is not diminished because of the loss of these plantings, particularly the mature tree in the front yard. Condition of Approval #2 states that the applicant is responsible for providing an updated landscape plan as part of the building permit application; any significant vegetation that needs to be removed shall be replaced in-kind or a multiple of trees of the same caliper shall be provided to match the diameter of the

¹: In construction, "sistering" refers to strengthening existing beams by fastening a second beam alongside it.

existing tree. Further, staff has stipulated that the applicant incorporate fruit trees and lilac bushes, consistent with the current vegetation that exists on site and, if possible, the applicant will preserve the mature tree.

There is also a chain-link fence on the east (rear) side of the lot. This fence is not historic and will be removed as part of the development of the site.

The concrete driveway and paths on this site are also not historic and will be removed as part of the site development.

Staff finds that these landscaping additions to the historic site are non-contributory to the historic integrity or the historical significance of the site, and, thus, can be removed so long as any new landscaping meets Condition of Approval #2. A survey of the property, depicting the existing landscaping is included as Exhibit D.

2. ADDITIONS

As previously discussed in the Background section of this staff report, several additions were built on to this house after its initial construction c.1901. Based on staff's Sanborn analysis and the Physical Conditions Report, staff finds that only the west-east and north-south gables forming the original cross-wing form of the house are original. The haphazard construction of these later additions is causing significant strain on the existing structural system of the historic house, as described in more detail below.

The applicant intends to remove the multiple additions constructed at the rear of the house in order to build a new addition that will largely replace the footprint of the existing kitchen addition. This new addition will mimic the look of the existing shed-roof kitchen addition from the primary public right-of-way (Park Avenue) and improve the appearance of the house from its rear elevation.

As noted in the Design Guidelines, changes may or may not contribute to the historic character of the site and should be evaluated as the project is being planned (page 5). Staff finds that these post-1901 alterations to the site are non-contributory. The number of additions made to the rear of the structure and the reconfiguration of the interior floor plan has detracted from the original cross-wing form of the historic house. While portions of these additions were constructed during the Mature Mining Era (1894-1930), they largely obscure the original historic form. Staff finds that the removal of these additions to accommodate a smaller shed-roof addition is appropriate.

Staff finds that the removal of these additions is required for the rehabilitation of the historic structure. These proposed exterior changes do not destroy the exterior architectural features which are compatible with the character of the historic site. The proposed work also mitigates any impact that will occur to the visual character of the neighborhood by replacing the existing kitchen addition with a new addition of similar appearance. Further, the removal of these non-contributory additions will not

impact the historical significance of the structures nor impact their architectural integrity. The following depicts the areas to be remain following demolition:



3. ROOF

As noted in the c.2010 Physical Conditions Report and the CTS Engineering report, the original roof structure was covered by 1x6 wood sheathing, covered by original wood shingles and then three (3)-tab asphalt roof shingles. The roof at 1460 Park Avenue shows sign of a past attic fire, which has weakened and deteriorated the roof joists. Further, because of how the rear additions were constructed, the weight of these structures have caused the original cross-wing roof structure to settle at uneven rates, evident by the bump and waviness of the roof at the intersection of the original cross-wings.

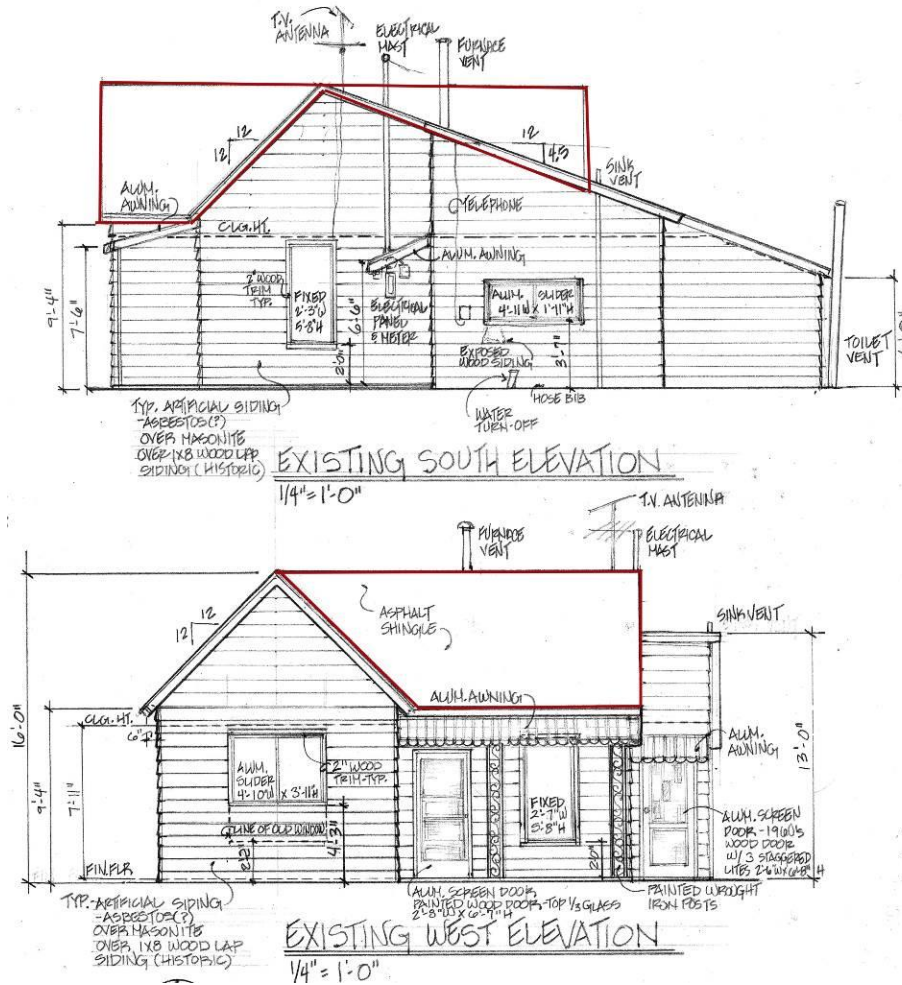
In typical roof structure, the roof sheathing acts as a diaphragm to transfer lateral wind and seismic loads across the structure; however, the historic roof construction on the cross-wing form has no diaphragm capacity. As it currently exists, the historic roof is grossly undersized and there is little structural integrity that can be preserved.

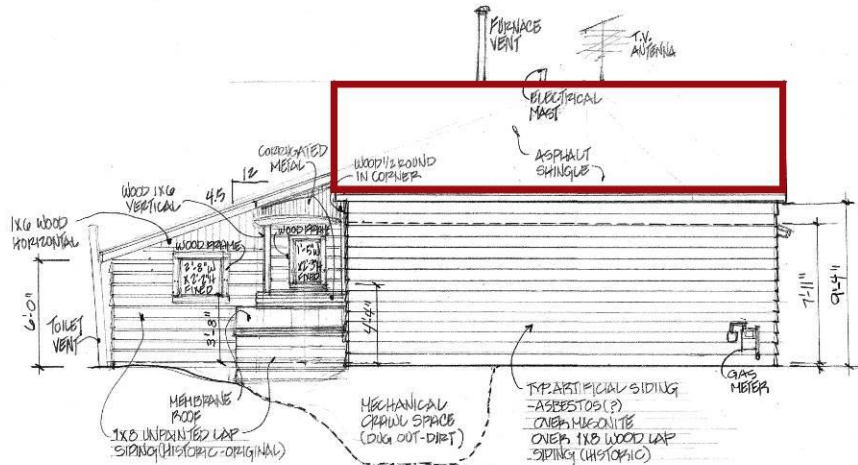
The applicant is proposing to improve the structural integrity as part of this rehabilitation. The asphalt shingles, wood shingles, and roof sheathing will be removed and replaced with new plywood and OSB sheathing. New roofing material will be added atop the new roof sheathing. On the interior, the existing roof rafters will be replaced due to their severe deterioration and fire damage. Ridge beams and posts will be installed to carry the load. The gable ends of the roof will be structured from the interior to survive the relocation and ensure their preservation.

Staff finds that the proposed scope of work is necessary for the rehabilitation of the historic building. The proposed exterior changes—removing the roof sheathing and

improving the structural stability of the existing roof structure—will not damage or destroy the exterior architectural features of the subject property as this method will ensure that the original roof pitch and dimensions are maintained. Further, the proposed scope of work mitigates any impacts that will occur to the architectural integrity of the building and will improve, rather than compromise, the structural stability of the historic building.

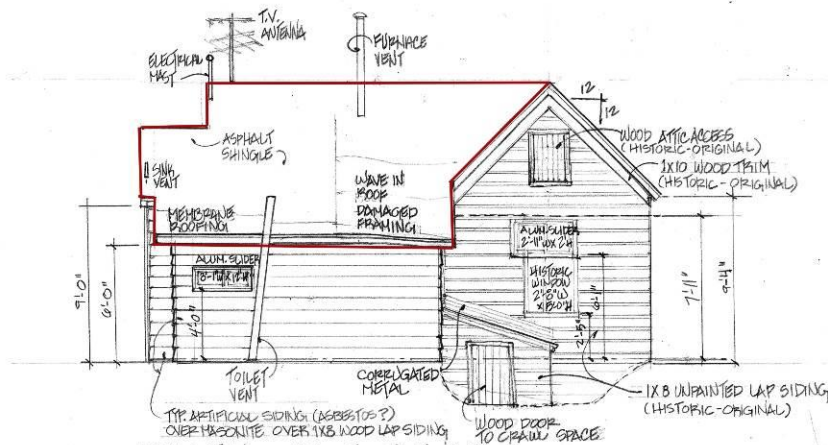
The following diagrams outline the locations of these alterations:





EXISTING NORTH ELEVATION

1/4" = 1'-0"



EXISTING EAST ELEVATION

1/4" = 1'-0"

4. EXTERIOR WALLS

As previously noted, this is a single-wall structure. As existing, the historic walls are not strong enough to support wind, seismic, or gravity loads. The applicant intends to stabilize these walls by constructing new stud-wall framing on the interior that will be tied to the new roof and floor framing. These modifications will bring the structure into compliance with the International Building Code (IBC).

On the exterior, the original wood lap siding has been covered by Masonite and asbestos shingle siding. Masonite and asbestos shingle siding is not historic, nor is it contributing to the historical significance of the c.1901 cross-wing structure. As part of the restoration work, the applicant proposes to remove the Masonite and asbestos shingle siding in order to expose the original wood siding. The historic wood siding will also be uncovered by the removal of the rear additions. The siding will be restored, to the greatest extent possible. In accordance with Condition of Approval #3, where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension,

texture, profile, material and finish after the applicant has demonstrated to the Historic Preservation Planner that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.

Staff finds that the Masonite and asbestos shingle siding does not contribute to the historic integrity or the historical significance of the structure and may be removed.

The following photograph illustrates the layers of material found on the historic cross-wing form:



5. FOUNDATION

As noted in the Physical Conditions Report, there is currently a limited stone rubble foundation with no foundation in some areas. The Physical Conditions Report includes photos showing the unsupported corners of the floor framing, and the nominal floor framing is largely supported by wood resting on rock or stone. There is a mechanical room located in the crawlspace beneath the house, likely constructed in the 1960s. Very little of the stone rubble foundation is visible on the exterior.

The applicant proposes to pour a new, code-compliant concrete foundation that will raise the historic house approximately one foot (1') from its existing elevation. No basement addition is proposed, solely a concrete foundation.

Staff finds that the demolition of the existing limited foundation is necessary in order to rehabilitate the building, improve its structural stability, and preserve the floor structure into the future. The proposed exterior change will not damage the exterior architectural features of the subject property which are compatible with the character of the historic site as the new foundation will have limited visibility from the primary public right-of-way.

6. PORCH

As described in the Physical Conditions Report, there is no evidence of the historic porch; however, given the house's nearly identical design to 1450 Park Avenue, it is likely that its original porch was very similar in design to the porch in 1450 Park Avenue's historic photograph. The historic wood porch was likely replaced by the existing porch—consisting of the metal awning, metal posts, and concrete slab—in c.1958. This contemporary addition was likely constructed in the same location of the original wood porch. The metal awning roof is beginning to fail; however, the metal posts are in good condition. The concrete slab is cracked and damaged.

The applicant proposes to remove this non-contributory metal porch addition and reconstruct the historic wood porch based on the photographic evidence. Staff finds this is acceptable as any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site may be removed.

The following diagrams shows the porch to be removed.



7. DOORS

There are only two (2) exterior doors on the existing house—the historic front door and the kitchen door on the non-contributory addition. As noted in the Physical Conditions Report, the front door is a wood door with a third light and three raised panels; it appears on the 1958 historic photograph, is likely original, and can be restored. The kitchen door is on the addition to be removed and replaced by the new addition.

The applicant intends to remove the existing front door, relocate it to the rear façade, and expand the existing door opening on the façade in order to install a new, ADA-compliant front door; the historic door will be restored and reinstalled on the rear elevation. The applicant argues that the front façade is the best location for the new ADA accessible door because of its proximity to the driveway and Park Avenue.

Staff finds that this proposal does not meet the Design Guidelines. According to the Specific Design Guidelines N. ADA Compliance (page 41), in the case of historic buildings, the goal is to provide the highest level of accessibility with the lowest impact on the historic structure. In discussing the location of the ADA access with the Building Department, staff has found that the house only needs to provide one (1) ADA-accessible entrance. The ADA accessible doorway could be relocated to the rear elevation where it will not diminish the historic integrity of the c.1904 cross-wing. Specific Guideline N.1 says that barrier-free access should be provided...., while preserving the character-defining features of the historic building. Staff finds that the size and proportion of the front door is a character-defining feature and the expansion of the door opening will have a negative impact on the appearance of the historic door. Staff finds that the more attractive alternative is to incorporate the ADA-accessible door on the rear elevation where it will not impact the historic character of the house and will not be visible from the primary public right-of-way.

Staff finds that the relocation of the existing historic door to the rear elevation and the expansion of the historic front door opening is unacceptable because ADA-access can be provided on the rear façade and still comply with the IBC. Staff has added Condition of Approval #4 requiring that the applicant maintain the historic door opening, door, and door surround in its existing location on the front (west) façade.

Staff finds that the removal of the existing kitchen door is acceptable as any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site may be removed. The kitchen door will be removed as part of the demolition of the non-contributory rear additions.

Does the HPB agree maintaining the historic front door and putting the ADA door in the rear will provide the highest level of accessibility with the lowest impact on the historic structure?

The following diagrams shows the doors to be removed:



8. WINDOWS

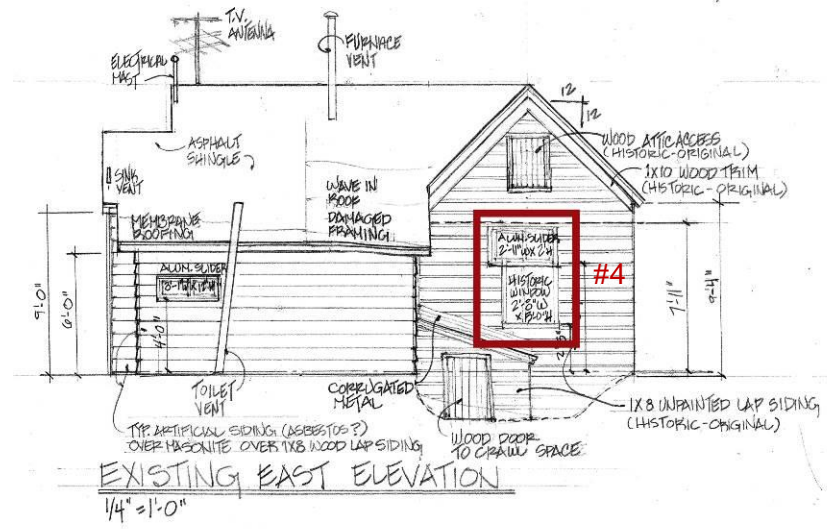
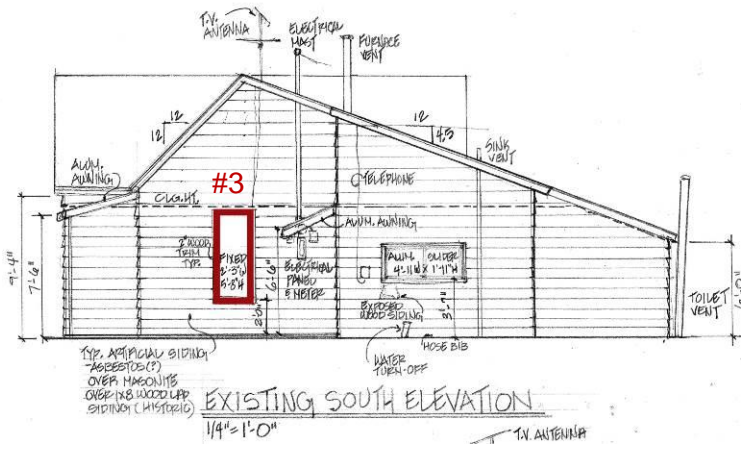
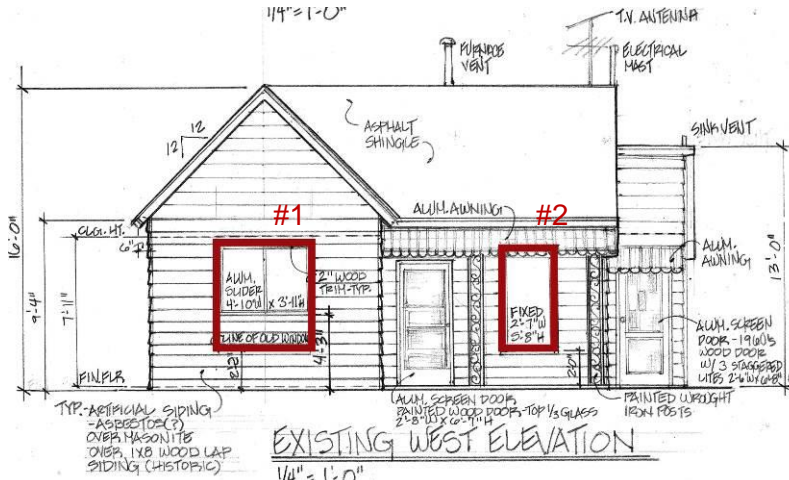
There are no historic windows remaining on the house. Following the removal of the non-contributory additions, only four (4) windows will remain:

- Window #1: Interior exploratory demolition discovered that the window opening on the front gable has changed several times since 1901. Originally, there would have been two (2) side-by-side double-hung windows in this opening. Between 1958 and 1996, the window opening was modified, reducing the height of the opening and raising the window sill; a fixed-pane glass window was likely added during this alteration. Then, between 1995 and 2006, the fixed-glass window was replaced by the aluminum slider present today.
- Window #2: The window adjacent to the front door shows a similar history. The opening was originally larger and featured two (2) side-by-side double-hung windows. These windows were then replaced with the existing fixed-pane window likely between 1958 and 1996.
- Window #3. The Physical Conditions Report finds that the window on the south elevation may be original window opening; however, staff believes the opening was enlarged to make a taller window opening outside of the historic period.
- Window #4. The existing window is located on the east elevation of the original west-east stem-wing. This window opening is currently boarded, and a new aluminum slider window was installed over the top-half of the original window opening. The applicant intends to restore the original window opening and add a door opening directly to the south to provide egress from the rear addition. This new door opening is not visible from the primary public right-of-way and will have no impact on the historic character of the site.

The applicant is proposing to restore the original window openings and window configuration on the front (west) façade based on physical and photographic evidence. On the south elevation, the windows will be removed and the replaced with new operable windows. Staff finds this proposed work is acceptable as these windows are non-contributory and detract from the historic c.1901 form. Further, window trim will be replaced and repaired as necessary to restore the window openings.

Staff finds that the proposed scope of work for the windows is acceptable as these proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site. Further, non-contributory features, such as the incompatible 1980s windows on the south elevation, may be removed and original c.1901 window opening will be restored.

The following diagrams show the windows to be removed:



Recommendation:

Staff recommends the Historic Preservation Board review and discuss the application, conduct a public hearing, and approve the relocation of the historic house and material deconstruction of non-historic materials at 1460 Park Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval.

Finding of Fact:

1. The property is located at 1460 Park Avenue, Lot 2 of the Retreat at the Park Subdivision.
2. The historic house is listed as Significant on the Historic Sites Inventory.
3. The house was originally constructed c. 1901, per the Historic Site Inventory (HSI) Form, as a cross-wing. Following its initial construction, several additions were constructed on the rear elevation of the original cross-wing form. Material alterations, such as the asbestos siding, aluminum windows, and metal porch, were added starting in the 1940s.
4. On December 8, 2015, the Planning Department received a Historic District Design Review (HDDR) application for the renovation of the historic house at 1460 Park Avenue; the application was deemed complete on December 17, 2015. The HDDR application is still under review by the Planning Department.
5. The applicant proposes to relocate the existing historic house 5'5" to the west, towards Park Avenue, as part of this renovation in order to construct three (3) new affordable-housing cottages behind the historic house.
6. The proposal to relocate complies with LMC 15-11-13 Relocation and/or Reorientation of a Historic Building or Historic Structure. There are unique conditions that warrant the relocation of the historic house on its site as the context of the building's setting has been so radically altered that its present setting does not appropriately convey its history and the relocation will enhance the ability to interpret the historic character of the site; the integrity and significance of the historic building will not be diminished by relocation and/or reorientation; and all other alternatives to relocation have been reasonably considered prior to determining the relocation of the building.
7. The applicant intends to remove all of the landscaping as part of the relocation of the historic houses at 1450 and 1460 Park Avenue as well as a non-historic retaining wall, wood fence, and chain-link fence. These landscaping additions to the historic site are non-contributory to the historic integrity or the historical significance of the site, and, thus, can be removed
8. Following the initial construction of the cross-wing c. 1901, several additions were made to the original form along the rear (east) elevation. These additions appear in 1927 Sanborn Fire Insurance map; however, were altered after 1927 to create the unbroken wall of the rear addition that exists today. The applicant is proposing to remove these additions in order to restore the c.1901 form and construct an addition that will largely mimic the c.1927 kitchen addition that exists today. The removal of these additions is required for the rehabilitation of the historic structure; these proposed exterior changes do not destroy the exterior architectural features which are compatible with the character of the historic site; the proposed work mitigates any impact that will occur to the visual character of the neighborhood; and the removal of these non-contributory additions will not impact the historical significance of the structures nor impact their architectural integrity.
9. The applicant is proposing to improve the structural integrity of the existing roof form by removing the existing asphalt shingles, wood shingles, and roof sheathing. New plywood and OSB sheathing will be applied and the existing roof rafters be replaced due to fire damage. The gable ends will be structured from the interior to prevent their removal. The proposed scope of work is necessary for the rehabilitation of the

historic building; the proposed exterior changes will not damage or destroy the exterior architectural features of the subject property; and the proposed scope of work mitigates any impacts that will occur to the architectural integrity of the building and will improve the structural stability of the historic building.

10. On the exterior, the original wood lap siding has been covered by Masonite and asbestos shingle siding. This material will be removed in order to restore the original wood lap siding. The Masonite and asbestos shingle siding does not contribute to the historic integrity or the historical significance of the structure and may be removed.
11. The applicant proposes to replace the existing, limited stone rubble and concrete foundation with a new code-compliant concrete foundation. The work is necessary in order to rehabilitate the building, improve its structural stability, and preserve the floor structure into the future. The proposed exterior change will not damage the exterior architectural features of the subject property which are compatible with the character of the historic site as the new foundation will have limited visibility from the primary public right-of-way.
12. The historic wood porch was likely replaced by the existing porch—consisting of the metal awning, metal posts, and concrete slab on or after 1958. The existing porch is non-contributory to the historic integrity or historical significance of the structure or site and may be removed.
13. The applicant proposes to remove the existing kitchen door, as part of the larger demolition of the non-contributory rear additions. This is acceptable as any addition to a Historic Building, Site, or Structure that has been found to be non-contributory to the historic integrity or historical significance of the structure or site may be removed.
14. The applicant will remove the existing pre-2006 aluminum window and the fixed pane window on the front (west) façade in order to restore the original window openings and window configuration. Further, the applicant will be restoring the original historic window on the south elevation as well as the original window opening on the east elevation. A new door opening will be cut into the east elevation, where it will not be visible from the primary right-of-way. The existing windows are non-contributory and may be removed.

Conclusions of Law:

1. The proposal complies with the Land Management Code requirements pursuant to the HR-M District and the pending ordinance.

Conditions of Approval:

1. Final building plans and construction details shall reflect substantial compliance with the HDDR proposal stamped in on November 23, 2015. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for providing an updated landscape plan as part of the building permit application. In regards to the mature tree in the front yard, the applicant will need to specifically show that the construction activity is detrimental to the tree prior to its removal. Any significant vegetation that needs to be removed shall be replaced in-kind or a multiple of trees of the same caliper shall be provided to match the diameter of the existing tree. The updated landscape plan shall

incorporate fruit trees and lilac bushes, consistent with the current vegetation that exists on site. If possible, the applicant will preserve the mature tree.

3. Where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish. Prior to replacement, the applicant shall demonstrate to the Historic Preservation Planner that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.
4. The applicant shall maintain the historic door opening, door, and door surround in its existing location on the front (west) façade.

Exhibits:

Exhibit A – HPB Checklist for Material Deconstruction

Exhibit B – Historic Sites Inventory Form

Exhibit C – Physical Conditions Report

Exhibit D – Survey

Exhibit E – Proposed Site Plan

Exhibit F – Public Comment regarding the relocation of the historic house

Exhibit A

Historic Preservation Board Material Deconstruction Review Checklist:

1. Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
2. The material deconstruction is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
3. Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
4. The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where material deconstruction is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
5. The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
6. Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1460 Park Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: RPS-1

Current Owner Name: Lindy Point Properties, LLC

Parent Parcel(s): SA-240 & SA-241

Current Owner Address: c/o VSN Properties, LLC, 1567 SW Chandler, Ste 101, Bend, OR 97702

Legal Description (include acreage): 0.21 acres; LOT 1 THE RETREAT AT THE PARK SUBDIVISION.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date: _____
 Permit #: _____
 Full Partial

Use

Original Use: Residential
 Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
 Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
 McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
 Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
 Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" cottage or "T" cottage

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November, 08

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not visible and therefore its material cannot be verified.

Walls: Aluminum siding

Roof: Asphalt shingle

Windows/Doors: Aluminum sliding windows, and aluminum screen doors.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Form of "L" cottage type is readily evident, although the materials have been drastically altered from original state. Aluminum in siding, windows, porch roof and supports all suppress the original appearance of this structure. Material alterations were likely made in mid-20th century.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Narrow building lot on fairly flat terrain. House is recessed at least 20 feet from city roadway on the lot. Grounds are surrounded in mature trees and simple grasses with pedestrian access to structure being through a single car width driveway.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Though the distinctive elements that define the typical Park City mining era home- simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes- have been altered, the building retains its essential historical form.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1901¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

¹ Summit County Tax Assessor; appears on the 1907 Sanborn Insurance Map.

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Southwest oblique. Camera facing northeast, 2006.

Photo No. 2: Southwest oblique. Camera facing northeast, 1995.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.







PHYSICAL CONDITIONS REPORT
For Use with the *Historic District Design Review (HDDR)* Application

For Official Use Only

PLANNER: _____ APPLICATION #: _____
DATE RECEIVED: _____

PROJECT INFORMATION

NAME: 1450-1460 Park Avenue
ADDRESS: 1460 Park Avenue
Park City, Utah 84060

TAX ID: RPS-1 OR
SUBDIVISION: _____ OR
SURVEY: _____ LOT #: _____ BLOCK #: _____
HISTORIC DESIGNATION: LANDMARK SIGNIFICANT NOT HISTORIC

APPLICANT INFORMATION

NAME: Rhoda Stauffer
MAILING ADDRESS: PO Box 1480
445 Marsac avenue
Park City, UT 84060

PHONE #: (435) 615 - 5152 FAX #: (435) 658 - 9019
EMAIL: rhoda.stauffer@parkcity.org

APPLICANT'S REPRESENTATIVE INFORMATION

NAME: same
PHONE #: () -
EMAIL: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.



ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: *Rhoda J. Stauffer*

Name of Applicant: Park City Municipal Corporation

Mailing Address: PO Box 1480

445 Marsac Avenue

Park City, UT

Phone #: (435) 615 - 5152 Fax #: (435) 658 - 9019

Email: rhoda.stauffer@parkcity.org

Type of Application: Historic District Design Review

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: Same

Mailing Address: _____

Street Address/ Legal _____

Description of Subject Property: _____

Signature: *Rhoda J. Stauffer* Date: 1.19.16

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements of this application or process please contact a member of the Staff at (435) 615-3660 or visit us online at www.parkcity.org Updated 10/2014



PHYSICAL CONDITIONS REPORT

Detailed Description of Existing Conditions. Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.

1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

Element/Feature: _____

This involves: An original part of the building
 A later addition Estimated date of construction: _____

Describe existing feature:

This is to update a Physical Conditions Report completed in 2010 on this property. It is attached. We are updating it with a structural report submitted by Joe Crilly of CTS Engineering - a licensed structural engineer.

Please refer to the attached report.

Describe any deficiencies: Existing Condition: Excellent Good Fair Poor

Photo Numbers: _____ Illustration Numbers: _____

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.





ENGINEERING COMMITMENT TO ENGINEERING EXCELLENCE AND SERVICE

4652 South 2300 West, Suite 105, Holladay, UT 84117
Phone 801-274-2831 Fax 801-274-2832
joe@ctsengineering.net
www.ctsengineering.net

Project Name: Park City Historic Home Location: 1460 and 1450 Park Ave. Park City, Utah
Report Date: October 2, 2015

Site Visit Report

Date September 29, 2015
Weather Sunny cool

Time of arrival: 1 pm
Time of departure: 4:30 pm

Present at meeting: Name Joe Crilly Company CTS Engineering

Observations:

This is a preliminary report on the structural conditions of the two homes located at 1450 and 1460 Park Avenue. The investigation involved entering the attic area where possible, and removing "wall board" on the interior to determine the wall structure.

It is believed the structures were constructed in the 1800's with additions to the east end of each structure since that time. The original structures foot print is outlined in orange highlighter on the attached drawings. Attached is a description of the structural systems.

The roof structure on Building 1460 has been severely damage by a fire. This occurred sometime prior to the lower slope roof

Table with 3 columns: Distributed to, Name, & Company. Rows include Steve Brown, Rhoda Stauffer, Hans Cerny, and Matthew Schexnyder.

Summary of findings and recommendations:

The structures at 1460 and 1450 were constructed over several time periods. Based on the uniformity, layout roof framing and fire damage which didn't damage the newer framing, the original structures were L shaped with two gable roofs lines intersecting on the west side of the structures.

Due to the fire damage in 1460, and the lack of sheathing, below capacity (snow loads) roof system, appurtenances (masonry chimneys, lack of any functional structural wall system, and floor framing bearing on pieces of wood and stone,) I consider both these structures to meet the dangerous criteria of the IBC chapter. The fire damaged in 1460 definitely raises the structural condition of the roof in that structure to dangerous, the masonry chimneys and roof framing in 1450 raises that structure to be considered dangerous.

The safest way to preserve the historical portions of the buildings is to disassemble the structure and preserve the clapboard wall siding to rebuild identical structures, that meet the exact dimensions of these two structures Disassembly should be completed as soon as possible to avoid another season of snow loads on the buildings, that are now unheated and therefore experiencing larger snow loads.

Pictures from the site visit are on the following pages:





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joe@ctsengineering.net
www.ctsengineering.net

Project Name: Park City Historic Home Location: 1460 and 1450 Park Ave. Park City, Utah
Report Date: October 2, 2015

View Of: Overall fire damage looking south in the attic.

Comments and Required Action:
Fire damaged framing will have to be removed and replaced.



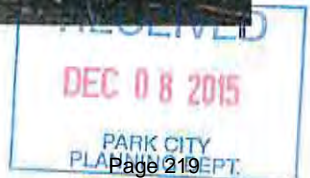
View Of: Close up of fire damage

Comments and Required Action:
Fire damaged framing will have to be removed and replaced



View Of: Close up of fire damage

Comments and Required Action:
Fire damaged framing will have to be removed and replaced





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Phone 801-274-2831 Fax 801-274-2832
joe@ctsengineering.net
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Project Name: Park City Historic Home Location: 1460 and 1450 Park Ave. Park City, Utah
Report Date: October 2, 2015

View Of :

Framing over initial shingles.
Old shingles will need to be removed. New sheathing required beneath shingles.



View Of: Building 1450 Attic

Observation :
2x4 framing @ 24" + o.c.





COMMITMENT TO ENGINEERING EXCELLENCE AND SERVICE

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Project Name: Park City Historic Home Location: 1460 and 1450 Park Ave. Park City, Utah
Report Date: October 2, 2015

View Of: Building 1460 South elevation

Note low slope roof facing east, this area was over-framed after the fire which caused the damage indicated in the attic, based on the over-framing not being charred.



Structural Description:

Roof structure:

Chimneys apply only to 1460 Park.

Chimneys there are multiple brick chimneys extending through the roof that pose a serious collapse hazard since they are supported on a wood frame in the attic. There is no seismic bracing or resistance in this construction and the chimneys would collapse on to the wood roof in a seismic event. the chimneys are not functioning and the must be removed.

The roof sheathing is 1 x 6 sheathing with large gaps between boards. In typical wood construction the wood roof sheathing is used as a diaphragm to transfer lateral wind and seismic loads across the structure. This type of construction has no diaphragm capacity and would have to be overlaid with new 1/2" or thicker sheathing.

Roof framing: The roof framing is with nominal 2x4s either to ridge board, butted to the opposite member, or in some cases not even reaching the ridge and a scabbed on 2x4 extends up to the ridge board. Despite having survived all these years the roof framing is grossly undersized and the entire system would have to be supplemented with new members parallel to the existing ones. The roof sags in certain areas and so framing would have to be added after the deflections were removed. A ridge beam and posts would have to be added. The post will have to extend down to the foundation or an intermediate beam.

Walls:

Several exterior walls are framed with 1 x 8 flat. All exterior walls would have to be rebuild and connected properly to the new roof structure. Since the new roof framing will be deeper than the existing 2x4 framing LVLs may have to be specified to be able notch the members to meet the existing wall plate height. This connection will require additional investigation. Required new wall studs would be 2x6 @ 16" o.c or 24" o.c.

← Applicant will construct new wall system behind existing

Floor Framing:

The existing floor framing is 2x4 nominal framing at 24 or 16" o.c, supported every so often on a piece of wood, (the sizes vary) down to a rock or stone. Like the roof framing, the floor framing system would have to be completely rebuilt with parallel framing members, and a beam line.

Foundation system:

There is no foundation.





Phone: 801-274-2831
 Fax: 801-274-2832
 4625 S. 2300 E., STE 105
 HOLLADAY, UT 84117
 joe@ctsengineering.net

OWNER INFORMATION

PARK CITY MUNICIPAL CORP
 P.O. BOX 1480
 445 MARSAC AVE
 PARK CITY, UTAH
 84060

PROJECT

FORMER MINER'S RESIDENCE
 1450 & 1460 PARK AVE
 PARK CITY, UTAH
 84060

SHEET NAME:

REVISIONS

DATE DESCRIPTION

ISSUE DATA

PROJECT NUMBER: 15073
 ISSUE DATE: 10/02/2015
 DRAWN BY: K. FARRELL
 CHECKED BY: J. CRILLY
 SHEET NUMBER:

S101



1 1450 PARK AVE

SCALE: 1/8" = 1'-0"



NORTH



2 1460 PARK AVE

SCALE: 1/8" = 1'-0"



NORTH

FIRE DAMAGE ABOVE THIS AREA





ENGINEERING COMMITMENT TO ENGINEERING EXCELLENCE AND SERVICE

4625 South 2300 East, Suite 105, Holladay, UT 84117
Phone 801-274-2831 Fax 801-274-2832
joe@ctsengineering.net
www.ctsengineering.net

October 9, 2015

Sheet 1 of 1

Rhoda Stauffer
Housing Specialist
Park City Building Department,
Park City, Utah

Ref: 1460 and 1450 Park Ave
Park City, Utah
Structural Review

Dear Rhoda;

Please find the attached site report. I have found both the buildings to be considered dangerous. This is based on three elements meeting the definition of dangerous in the 2012 IBC chapter 1.

1. The chimneys are appurtenances that pose a significant risk of collapse, detachment or dislodgement under service loads, wind or seismic.
2. The fire damage has caused half the roof on 1460 to pose a significant danger of collapse due to loss of member size.
3. The roofs as constructed and analyzed with 60% of design snow loads exceed all allowable loads elements are engineered to carry.

If there are any additional questions please do not hesitate to call or contact me at the address above.

Sincerely,

Joseph D. Crilly, PE, SE
President,
CTS Engineering, P.C.



10/10/2015



PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060 ° (435) 615-4906 FAX



(08-09)

PHYSICAL CONDITION REPORT
For use with the Historic District/Site Design Review Application

For Office Use Only

PROJECT PLANNER _____ APPLICATION # _____
DATE RECEIVED _____

PROJECT INFORMATION

HISTORIC SITE? NO YES: LANDMARK SIGNIFICANT DISTRICT: _____
NAME: John Doe
ADDRESS: 1460 Park Ave.
Park City, Utah
TAX ID #: RPS-1
OR
SUBDIVISION: _____ OR
SURVEY: _____ LOT #: _____ BLOCK #: _____

CONTACT INFORMATION

NAME: _____
PHONE #: _____ FAX #: _____
EMAIL: _____

Instructions for Completing the PHYSICAL CONDITION REPORT

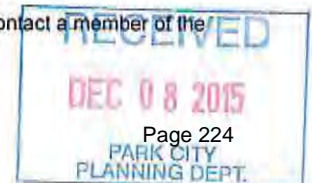
The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings, and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

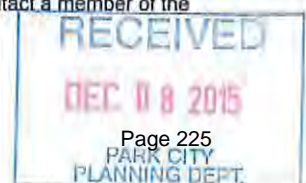
PHOTOGRAPHS

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Digital photographs must be included with this report. Low-resolution digital photographs should be inserted into the document to illustrate the written descriptions and high-resolution photographs should be submitted on a disk. Specifications for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



SITE FEATURES

A.1. TOPOGRAPHY - Describe the topography of the site, including any unusual conditions.

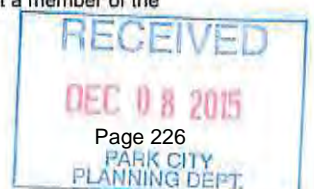
Describe the existing feature(s) and condition:

The site is relatively flat. The finished floor elevation is approximately 2-3" above grade. The northeast corner of the house and the yard has been dug out to provide access to a mechanical crawlspace. This hole begins at grade on the east and northeast corner of the house and drops to 6'. There is a lot of vegetation in this corner and a photograph is difficult to show this artificial topographical condition.



Northeast corner hole

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Topographical change at northeast corner



Relatively flat topography



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

A.2. LANDSCAPING - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates.

Describe existing feature(s) and condition:

Unfortunately there are no historic photos of this property. The only photos available show the exterior modifications already present. This is particularly true of the paths and patios. There are many trees and bushes on this property. These landscape features exist on predominantly the north side of the property however, there are some bushes and trees on the south side of the property as well. There is a beautiful big tree in the front, west yard. The center of the property is flat, open and grassy. There is a concrete driveway. Without changing elevation the concrete extends to form the porch and a path to the side kitchen door. All these landscape features don't seem to be historic. The house to the south at 1450 Park Ave. is similar to this house at 1460 Park Ave. They were most likely built at the same time. There is more historic information about 1450 Park Ave. and this information can be used to analyze 1460.



Older photo showing vegetation and concrete areas

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



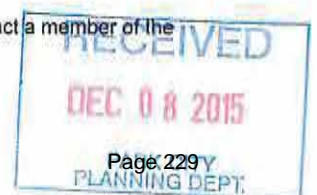


1958 photograph shows immature tree in front and driveway is not finished.



West elevation mature trees and vegetation-2010

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





East and north side vegetation

A.3. RETAINING WALL(S) - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

There are no retaining walls on the site.

A.4. EXTERIOR STEPS - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

No exterior steps.

A.5. FENCE(S) - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Describe the existing feature(s) and condition

There is a chain link fence at the rear of the property.



Chain link fence rear and partial north and south sides of the property.

A.6. OTHER SITE FEATURES (SPECIFY): _____

Describe the existing feature(s) and condition:

None

MAIN BUILDING

B.1. ROOF - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

Describe the existing feature(s) and condition:

The roof form is a typical cross gable with an intersecting shed roof. There is a west to east gable with 12/12 pitch. The construction of this gable is visible through the attic access on the east end. There are 2X4 rafters at 24" o.c. with 1X6 skip sheathing. The roof was originally a wood shingle roof. Now it has a red, asphalt shingle roof. The asphalt shingle roofing is losing its granules and needs to be replaced.

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The north to south gable has a 12/12 pitch on the west side and a 4.5/12 pitch on the east side. It is assumed the roof framing construction is the same as the east to west gable. At the intersection of two gable forms on the west front elevation is an aluminum porch roof supported by two, wrought iron, decorative posts. This roof shows on the 1958 photo of the house. Since the adjacent property is so similar and there is a older photo of 1450 Park Ave. showing an original porch structure; for purposes of restoration this porch design can be replicated on 1460 Park Ave.

The rest of the roof sheds to the east-rear with a 4.5/12 pitch from 16 feet at the ridge of the north-south gable to 6 feet at the east-rear elevation. The roof extends 4 feet to the south to form the kitchen door entrance. There is an aluminum roof over this side door.

The east shed portion of the roof shows some damage. The asphalt shingle is missing on southeast corner and replaced haphazardly with a membrane and sheet metal. The northeast section of the shed roof waves and sags indicating structural problems. This area may be an addition and have inadequate connection to the original structure and inadequate foundation support. (See foundation)

The only roof penetrations are an electrical mast, a plumbing vent, a t.v. antennae, and the furnace vent. There are no chimneys and no evidence there ever were any chimneys.

Soffit and fascias are all formed from extension of 2X4 framing. They are in various stages of disrepair and all need attention.



East-west gable roof

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





East-west gable framing



Intersecting cross gable roof with aluminum shed porch roof



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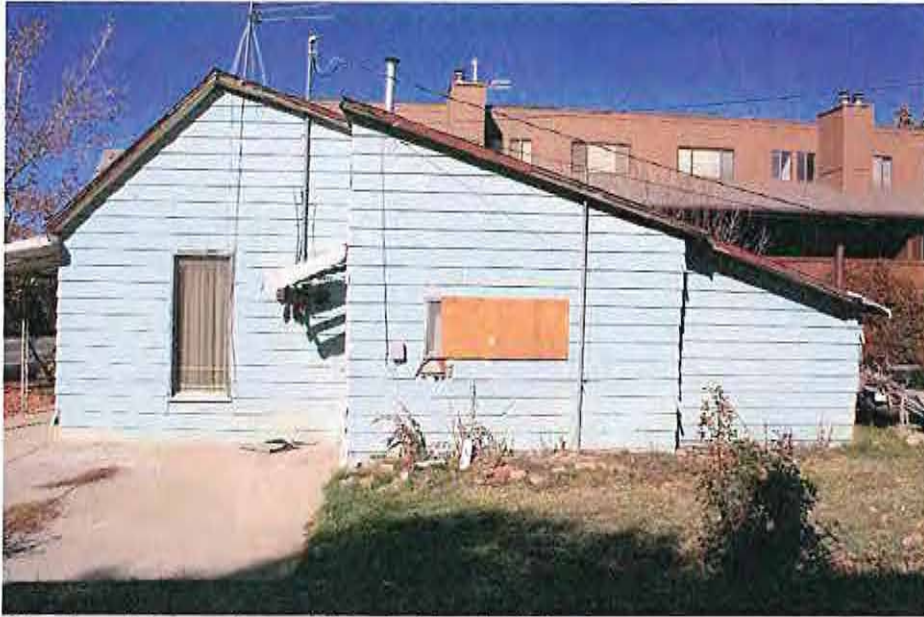
Intersection-valley east-west gable and north-south gable



Historic front porch structure on 1450 Park Ave.



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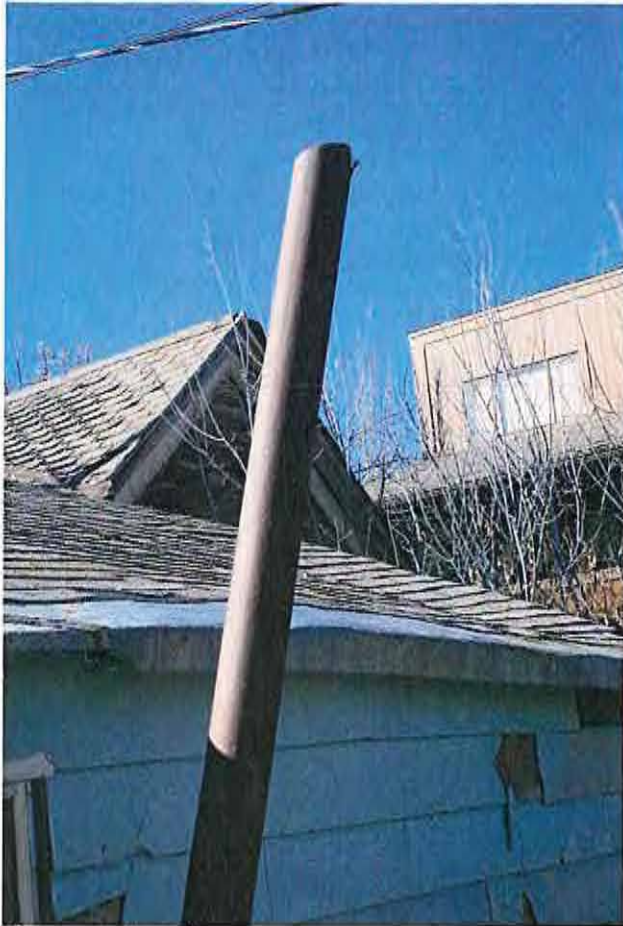
Shed roof forms from 16 foot ridge to 6 foot rear



Damage on east-rear portion of shed roof. Roof penetrations.



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Damaged roof.



Soffit and fascia at northwest corner.

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Original soffit and fascia on east side of north-south gable. Intersecting shed roof and soffit and fascia has water damage and layers of makeshift repairs.



Original soffit, fascia and trim. Sheet metal drip edge.



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Soffit and fascia south elevation



Soffit and fascia southeast corner kitchen/bathroom



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Soffit and fascia east- rear elevation. Roof penetrations.



Detail soffit and fascia corner southeast 10"

B.2. EXTERIOR WALL - PRIMARY FAÇADE - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



The west, primary, front façade runs 25'-1 ½" north to south. The wall height is 9'-4". The ridge height is 16'-0". Beginning at the northwest corner gable end moving 3'-7" to the south is a 4'10"W X 3'-11"H aluminum slider window 4'-3" off the ground. The primary gable ends 3'-10" south of the window. The entire gable end is 12'-7" long. The elevation is covered to the ground with ¼" x 8" blue, pressed, artificial siding. Testing is required to ascertain the asbestos content in this siding. Underneath this siding is the original 1X8 wood lap siding. The artificial siding is shown in a 1958 photograph.

The soffit-overhang is 6" and the fascia is a wood 1X4 reflecting the 2X4 roof framing. The roof is asphalt shingle.

The façade drops to the east 4'-6" and then extends 12'-2 ½" to the south to form the front porch. This porch is covered with an aluminum awning type roof supported by two, wrought iron, decorative posts. The porch floor is concrete.

The entry wall, under the porch roof is formed by the 9'-4" side wall of the north-south gable. The 2'-6"W X 6'-7"H front entry door is located 12 ½" south of the intersecting corner of the two gables. 2'-11" to the south of the door is a 2'-7"W X 5'-8"H fixed window. The end of this wall is 3'-4" south of the window.

12'-2" east of the southwest corner of the porch is a 4'-2" projection with the 2'-6"W X 6'-8"H kitchen door. This is a 13'-0" high wall.

Although the materials and fenestration on this façade have been modified the basic historic 1901 form has not changed.



1958 Photograph-shows many of the modifications made to the historic house West primary façade



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West primary façade 2006 photograph



West primary façade- 2010 photograph



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B.3. EXTERIOR WALL - SECONDARY FAÇADE 1 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The north façade extends west to east 24'-5", drops 11'-10 ½" to the south, and continues east with a shed roof 12'-4". The 24'-5" wall is 9'-4" high and is covered with 8" blue artificial siding that extends soffit to ground. The red asphalt shingle roof ridge with sheet metal drip edge is 16'-0" above the ground. There are no windows on this section. There is a gas meter on the northwest corner.

The area formed by the intersection of the east-west gable and the shed roof is a difficult area to get accurate measurements from and is a precarious area to work around because debris covers holes. Most of the measurements were taken from the inside or squaring up the house. This area has been excavated to provide access to the mechanical space under this corner of the house. An awkward shed covers the access. It is built out of lap siding, scrap wood and metal and corrugated metal. The mechanical area has probably evolved over time however it is a contemporary addition to this house. This corner elevation is interesting to study because it is the only place that the original wood, lap siding hasn't ever been covered. It is a good example of the original construction of the cross-plan house.

Starting at the northwest corner of the shed is a 1X wood batten that covers the intersection of the east-west gable and the shed. 1'-4" east of the corner is a 1'-5"W X 2'-3"H fixed window in an unpainted wood frame. This window is 4'-4" off the finished floor. 1'-3" east of the window there is an unpainted 1X6 vertical batten. This appears to be a division between two different shed sections. The northwestern shed that was just described is at a right angle to the east-west gable and the remainder of the shed section 8'-4" to the west is at a slightly different angle from the northwestern section. This area appears to have been problematic for water damage. Corrugated metal was installed from the edge of the roof to just over the window to help divert water focused to the corner from the valley created by the east-west gable and the shed roof. There is mold on the interior wall at the intersection of the two shed sections.

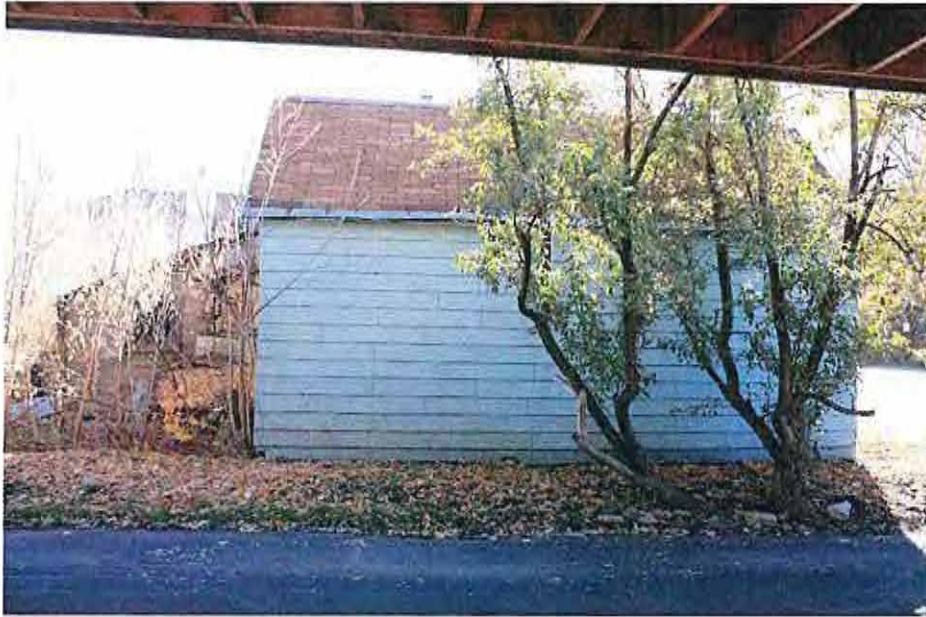
There is a window 3'-3" east of the previously described window. The window is 2'-8"W X 2'-2"H and is 3'-8" off the floor. This window is boarded up.

The lower section the shed wall is covered with unpainted horizontal 1X8" lap siding and the upper section is covered with siding applied vertically. The north elevation ends at the northeast corner 6'-0" off the ground.

The east-west gable structure and the first 4'-0" of the shed structure are part of the original 1904 house. The 8'-4" section of the shed and the mechanical access appear to have been added at a later date.



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North façade



North elevation-shed access to mechanical



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Corner- original 4'-0" shed structure



Mechanical shed roof- original siding material- north elevation



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Intersection-sheds north elevation

B.4. EXTERIOR WALL - SECONDARY FAÇADE 2 - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

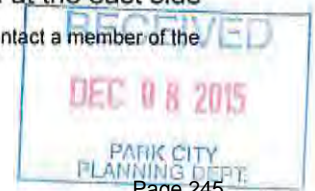
The south elevation extends west to east 37'-2 ¼". Starting at the southwest corner and 12'-2 ½" to the north is a 4'-6 ¼" section of the east-west gable with a 9'-4" wall height and roof ridge at 16'-0". The wall is covered with the 8" blue, artificial siding typical of this house. South of this wall and visually bisecting this area is the aluminum porch awning roof with wrought iron posts.

The façade continues east with a 12'-2" modified gable wall. The western part of this wall has a 12/12 pitch reaching 16'-0". The eastern section extends from the ridge at a 4.5/12 pitch. The entire south façade is covered with the 8" of blue, artificial siding. 4'-8" east of southwest corner is a fixed window 2'-3"W X 5'-8"H and 24" off the ground. The wire for a television antenna extends up the wall on the east side of the window. The wall continues east 4'-11" from the window. The electrical service and meters occur in this section. There is an aluminum awning over the kitchen door.

The next section of the south façade begins 4'-2" south of the wall described above. It extends east 12'-2" and begins at a height of 13'-0" at the southwest corner and ends at a height of 9'-0" on the southeast corner. This area forms the kitchen. The telephone drop occurs on the southwest corner. 2'-10" east of the corner is an aluminum slider window 4'-11"W X 2'-0"H and 3'-7" off the ground. Below this window are a hose bib and the water turn off for the house. At the east corner of the window is an exterior vent for the kitchen sink. Some of the original siding has been exposed under the window illustrating the original exterior wall construction. The wall ends 4'-5" east of the window.

If the evidence on the north elevation of an 8'-4" addition is accurate; the original house possibly ended at the east end of the kitchen wall. There is a 1'-4" turn to the north at the east side

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of the kitchen wall and the shed wall continues 8'-4" to the east corner of the south elevation. There is a change from a 6" overhang to a 10" overhang as the kitchen wall turns the corner to the bathroom south wall. The southeast end of this facade is 6'0" off the ground.



South facade



Transition from 6" overhang to 10" overhang

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Exposed original wood lap siding, building paper, masonite, siding



Overhang at west end of kitchen wall-south elevation

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B.5. EXTERIOR WALL - REAR FAÇADE - Describe the exterior facade including additions, materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The rear east façade is characterized by the short end of a long shed form terminating a wide expanse of roof and the east side of the east-west gable. At the south end of this elevation the 1'-4" corner of the kitchen is visible. The rear 6'-0" high wall extends south to north 15'-2". 1'-1" north of the south corner is an aluminum slider window 3'-1"W X 12"H and 4'-0" off the ground. Adjacent to the north corner of the window is a cast iron vent for the bathroom. This area does not have the stability of the rest of the house and appears to be an addition.

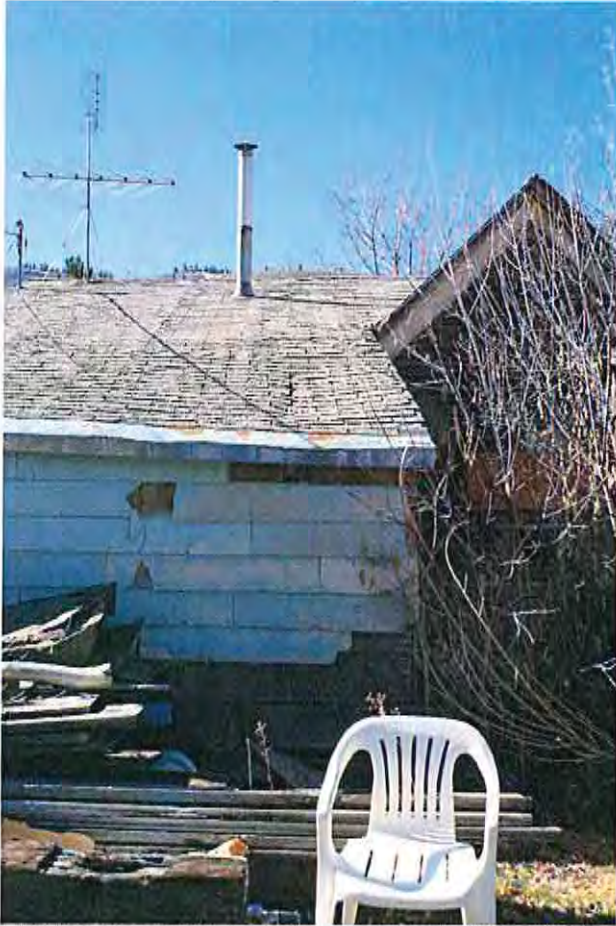
The rear-east gable end is 12'-4" west of the rear shed form. This area was discussed extensively above in the north façade section. The exposed gable has a dimension of 11'-10 ½". Interior inspection shows a 3 ½" jog in the wall of the closet off the kitchen. This dimension plus the wall depth makes the entire actual horizontal dimension 12'-7". The shed structure laps the gable structure 8 ½". The wall is covered with unpainted, wood 1X8 lap siding. The siding is trimmed at the roof with 1X trim which appears to be original. There is a rectangular wood attic access door centered on the gable. The shed access to the mechanical area makes it difficult to obtain the exterior measurements. The window on this elevation has been altered but the original is still visible and has been boarded up. The existing aluminum slider window is 4'-4" from the southeast corner of the bedroom. It is 2'-11"W X 2'-0"H and 6'-1" off of the floor. The historic window is 2'-8"W X 5'-0"H and 2'-5" off the floor.



East-rear facade

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





Northeast corner- roof damage and different wood siding

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East elevation gable end

B.6. FOUNDATION - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

The siding extends to the ground on every elevation with the exception of the excavated area in the northeast corner of the house. There is one open area in the house which shows rubble stone foundation with the 2 1/8"X 6" floor joist resting on this stone or resting on the dirt.

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When the northeast area under the house was excavated to accommodate mechanical equipment and duct work a lot of damage was done to the foundation. No thought went into replacement of bearing points 2/3 of the east gable wall has no foundation. The corner intersection between the east gable and the perpendicular shed has no support. Excavation for the duct work is haphazard. This is a potentially dangerous situation and should be stabilized before any other work is done on the house.



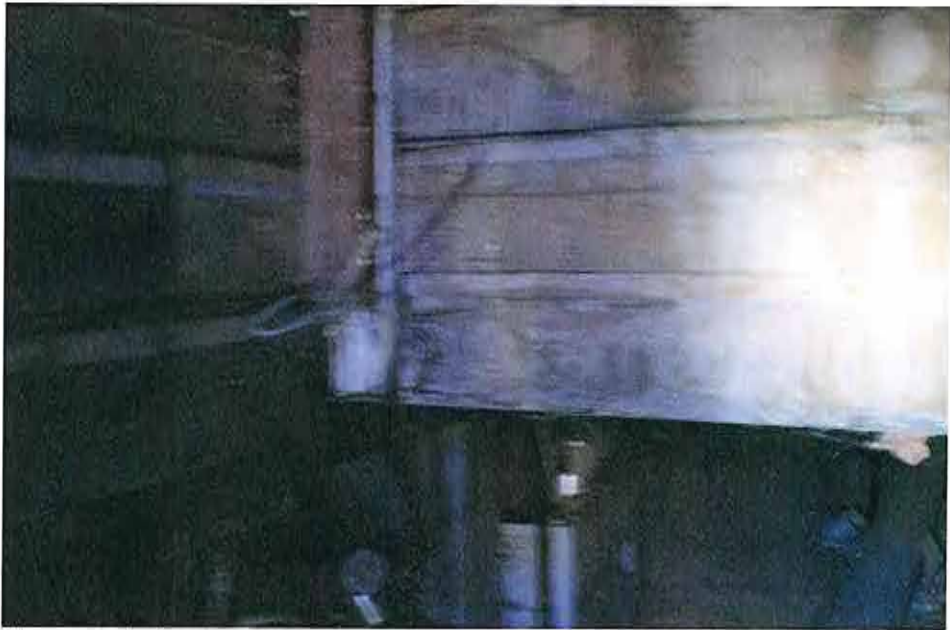
Dirt and rubble foundation-typical

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Foundation excavation



Unsupported corner

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Unsupported corner



Excavation



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Damage to existing foundation-rubble fallen

B.7. PORCH (ES) - Describe the current porch (es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction. Describe the existing feature(s) and condition:

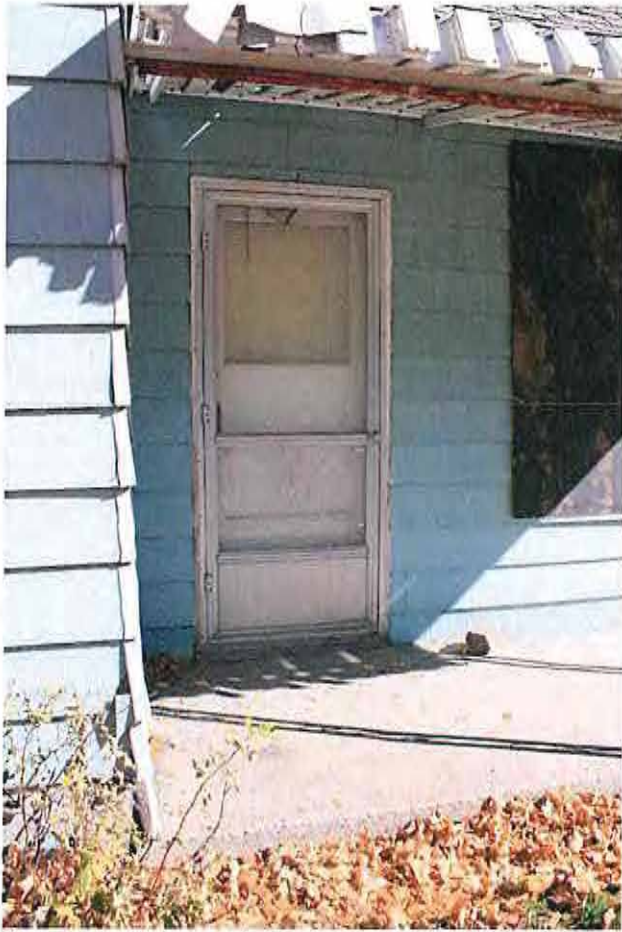
There is very little other than position that is original about the existing porch. The 4'-6 1/4" X 12'-2 1/2" area is located similarly to the porch on the adjacent property 1450 Park Ave. There is a historic photo of that porch and it can be assumed that the porch at 1460 Park Ave. was similar. The earliest photo available of 1460 is from 1958 and the present materials were seen in this photo. The aluminum awning roof and the wrought iron decorative posts were all present in 1958.



West porch-2010



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Concrete slab porch floor



West front porch-2010



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West front porch-1958



1450 Park Ave. Historic porch



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B.8. DORMER(S) / BAY(S) - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition:

No dormers or bays on this house.

B.9. DEVELOPMENT HISTORY - Briefly describe the development history of the site in a chronological order of development including changes to the site, original building, accessory buildings, and structures. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures:

There is very little primary documentation for this house. The best information comes from comparing this house to other cross plan houses in Park City. The site inventory states that the house was originally built in 1901. The historic form is still evident as is the fenestration pattern (even though the actual windows have been modified). There is a 12/12 pitch gable structure with the gable end facing the front elevation. A window is centered on the gable wall. Historically this was typically a pair of windows. A single fixed window is shown in the 1958 photograph and the height was not modified. In the 1995 photograph the sill of the window has been raised and in the 2006 the aluminum slider replaced the fixed window. All these photos show the placement of the blue artificial siding over original wood lap siding.

4'-6" back from this gable form is a perpendicular modified gable that has a 12/12 pitch on the first half and a 4.5/12 pitch on the second. In the space formed by the intersection of the two cross gables is the covered porch. Only the location of this porch is original; the aluminum roof, wrought iron posts and the concrete slab have replaced the historic materials. This alteration occurred on or before 1958.

The modified gable turns 4'-0" to form a 13'-0" wall that contains the kitchen door. The rest of the house consists of a shed form that terminates at the rear of the house. These are forms found in other cross plan houses and are original to house. Variations occur in the additions that occur on the rear of the house. This is true of 1460 Park Ave.

The northeast corner of the house has an interesting development history. The original wood lap siding hasn't been covered. Other than the windows this corner has the feeling that it hasn't changed since 1901. Someone dug a huge hole underneath this area to accommodate mechanical probably sometime in the 1960's.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



House in 1958



House in 1995



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



House in 2006



House-2010



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Northeast corner

B.10. MECHANICAL SYSTEM

Describe the existing mechanical system and condition:

Mechanical area location is under the northeast corner of the home. An 8'X8' hole was dug under the house with 2 trenches about 30" X 30" both 8-10 feet long running in two directions for heating and plumbing. The heating unit set on a concrete pad and the water heater is not on a pad and is sinking into the dirt. There is a 2 sided shed with a roof and no insulation. The condition of the equipment is very poor. The duct work lies haphazardly on the ground.

The plumbing supply lines are galvanized iron pipe and drains are cast iron. The vents are on the exterior of the house. The fixtures are varying ages and it can be assumed that nothing is code complying. It should be assumed that there is some lead piping given the age of the structure.



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Gas-northwest corner



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Water heater and furnace in excavated crawl space



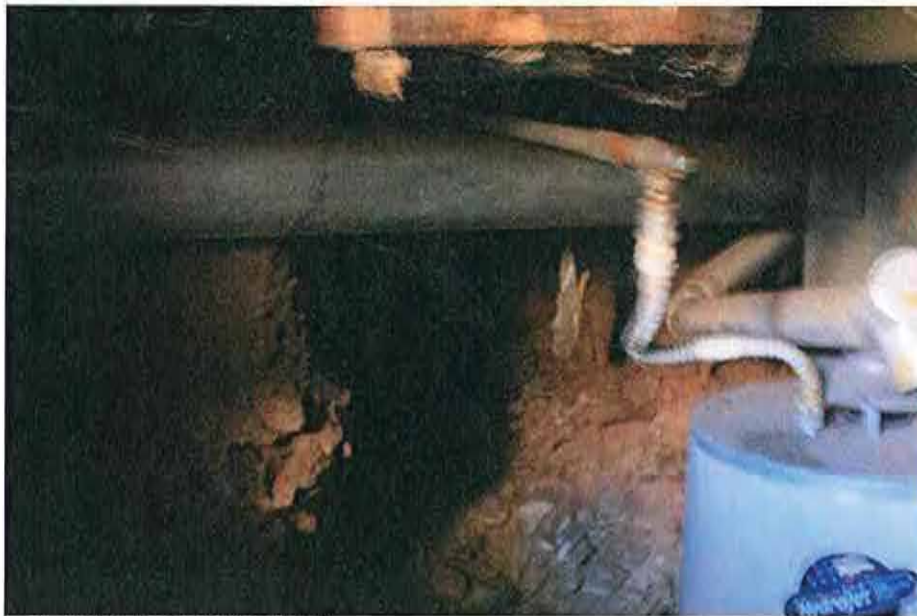
Duct work-exposed no insulation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





Duct work through excavated dirt



Hot water heater-venting?



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Return air



Kitchen sink south wall

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Water turn off, hose bib, and sink venting



Tub and toilet



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Bathroom-sink



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Toilet vent



B.11. ELECTRICAL SYSTEM

Describe the existing electrical system and condition:

The supply lines are cloth wire. There is no inside breaker panel. The service panel is on the outside with two fuse boxes. The electrical system is not grounded. It will require complete replacement.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Electrical service-south elevation



Knob and tube cloth wire-typical



B.12. STRUCTURAL SYSTEM

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing structural system and condition:

Based on the historic building code , if the framing member has more than 50% of the capacity of what the code requires than it is structural adequate. Most of the existing roof joists (except the 12/12 pitch framing) are less than 50% capacity of the code. They need to be upgraded by either sistering them with additional roof joist or replacing them with new.

The existing roof deck is 1X wood plank installed perpendicular to the existing joists. This roof decking doesn't have any capacity of shear diaphragm value.

The existing headers over windows and doors are inadequate to transfer roof loads to the ground.

The exterior walls consist of ¼" artificial siding, masonite, 1X8 wood, horizontal lap siding, 1X12 vertical planking, and 2X2 or 2X4 flats @ roughly 16" o.c. installed for gyp.bd. attachment. None of the walls are mechanically fastened to the foundation and floor or to the roof structure. The walls are not strong enough for wind, seismic or gravity loads.

The original ceiling framing is 2x4 framing @ 24" o.c. with perpendicular 1X12 planks. The ceiling has been lowered throughout the house.

The existing building doesn't have any footings. The floor joists sit on a small pile of rubble stone or directly on the dirt. The house has been even further compromised by the type of excavation that has occurred under the house.



Foundation-floor joist on rubble stone



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wall structure- wallpaper on 1X12 vertical plank typical



Wall structure



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wall structure



Roof Framing

Is 1450 or 1460
have this damage?
Make sure photos
are clearly labeled.
Also address why
you can't sister existing
beams.

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If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Roof and ceiling framing



Ceiling lowered throughout house

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



B.13. HAZARDOUS MATERIALS

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:



Test materials siding and roofing for asbestos. Assume age of house there will be lead paint.



Possible lead piping



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Visible mold-probably hidden mold

B.14. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:



MAIN BUILDING - DETAILS

C.1. WINDOWS - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing feature(s) and condition:

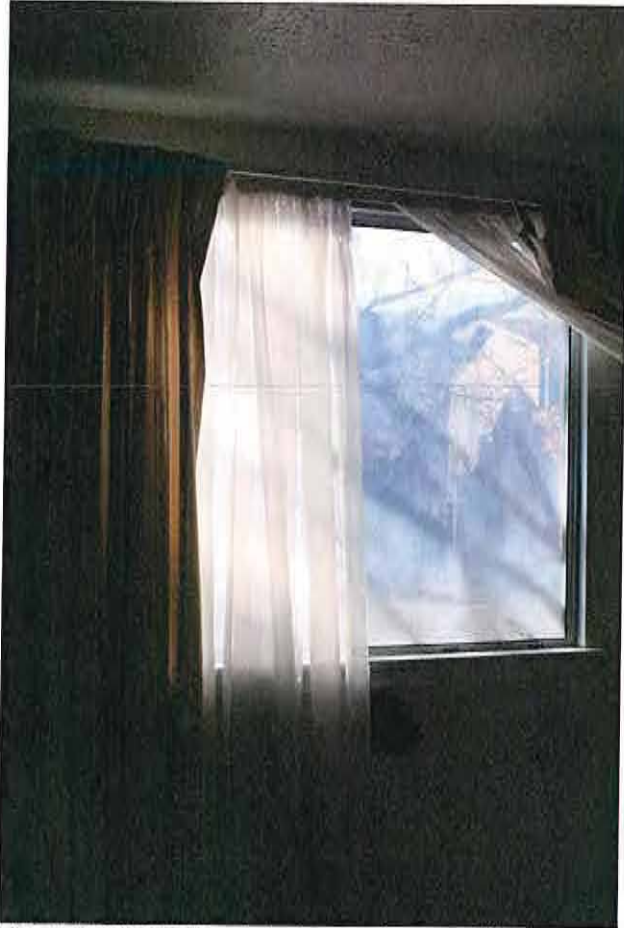
All windows have been altered. They appear in their original location. They have been replaced with aluminum sliders and fixed single pane. 2" exterior wood casing or modified is a typical detail. This may be an original casing. All the interior casing has been recently modified to stock 1/2"X2" casing.



Front west window-aluminum slider 4'-10"W X 3'-11" and 4'3" off ground. Head and jamb original 2" wood. Sill new. 1958 window sill was lower and fixed. 1995 window sill raised.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Front-west window interior-casing modified



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



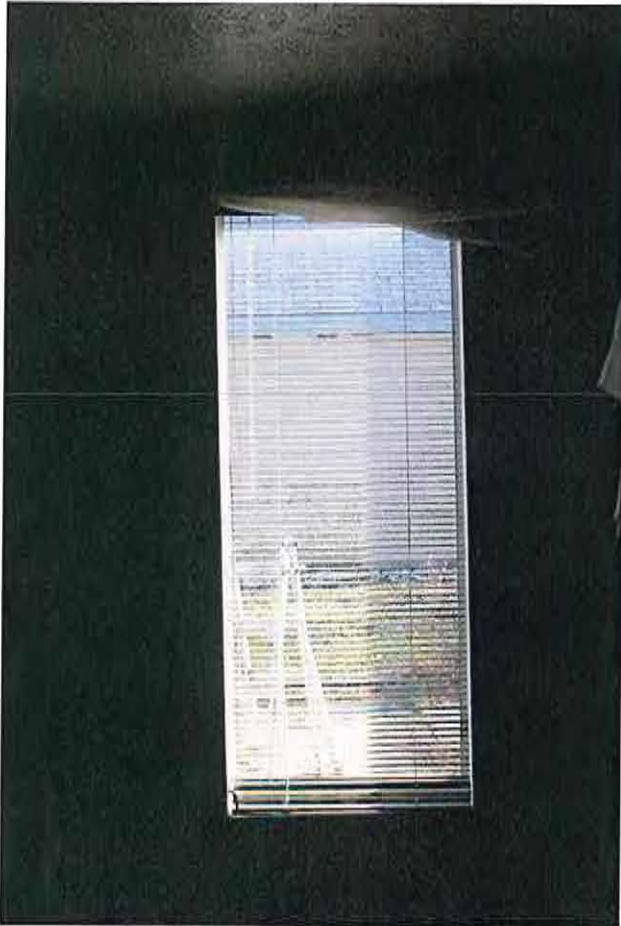
West porch window-2'-7"WX5'-8"H fixed 24" off porch 2" historic wood casing exterior, interior modified



South windows-southwest 2'-7"W X 5'-8"H fixed 24"off slab. Center kitchen window 4'-11"W X 2'-0"H aluminum slider 3'-7" off ground. 2" historic wood casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





Interior southwest window- casing modified



Typical 2" historic wood casing. This particular one is on the kitchen window.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



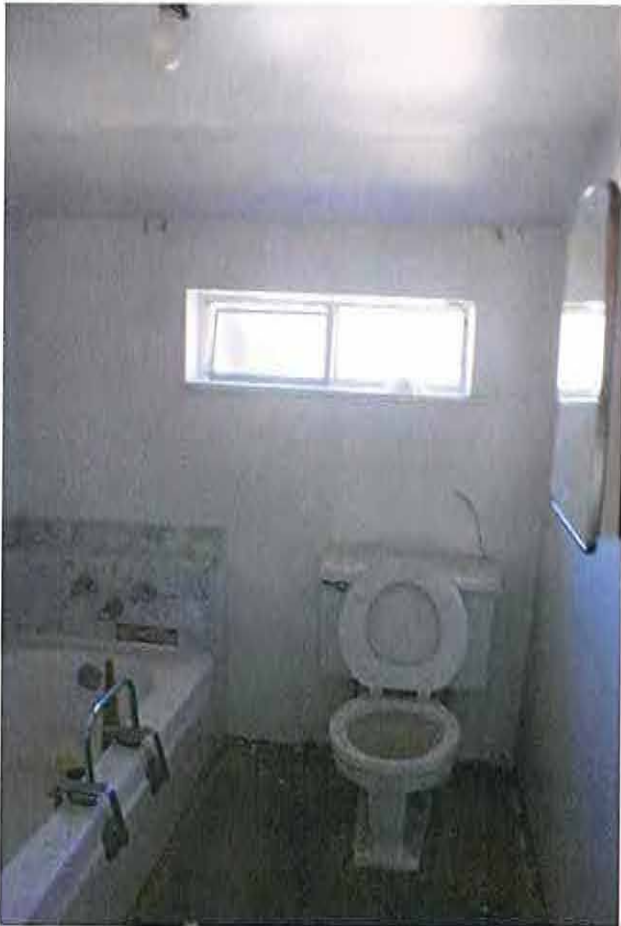
Interior kitchen window casing modified



East bathroom aluminum slider 3'-1"W X 12"H and 48" off the ground-patched together casing



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East bathroom window-modified casing



Northeast window fixed 2'-8"W X 2'-2"H 3'-8" off floor-casing unknown
Northwest window fixed 1'-5"W X 2'3"H 4'-4" off floor-casing 1X4 wood

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





Northeast window-modified frame



Interior northwest window



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



East bedroom window-existing aluminum slider 2'11"W X 2'-0"H and 6'-0" off floor
Casing unknown. Historic window 2'-8"W X 5'-0"H 2'-5" off the floor- window style and casing unknown.



Interior east bedroom window

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



C.2. DOORS - Describe the doors including materials, dimensions, types, whether the doors are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:

There are two exterior doors. The front door is a wood door with a third light and three raised panels. It is 32"W X 6'-7"H and has the typical 2" casing. It has an aluminum screen door. This door may be original and shows on the 1958 photograph. The interior casing like all the interior trim has been changed. The kitchen door is not original. It is a 30"W X 6'-8" H and is a solid core wood door with three small lights stepped along the upper half of the door. The exterior casing is the typical 2" casing to interior is stock 1/2" wood trim.

None of the interior doors are historic. They are all hollow core wood doors with stock 1/2" casing.



Front door



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior front door



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



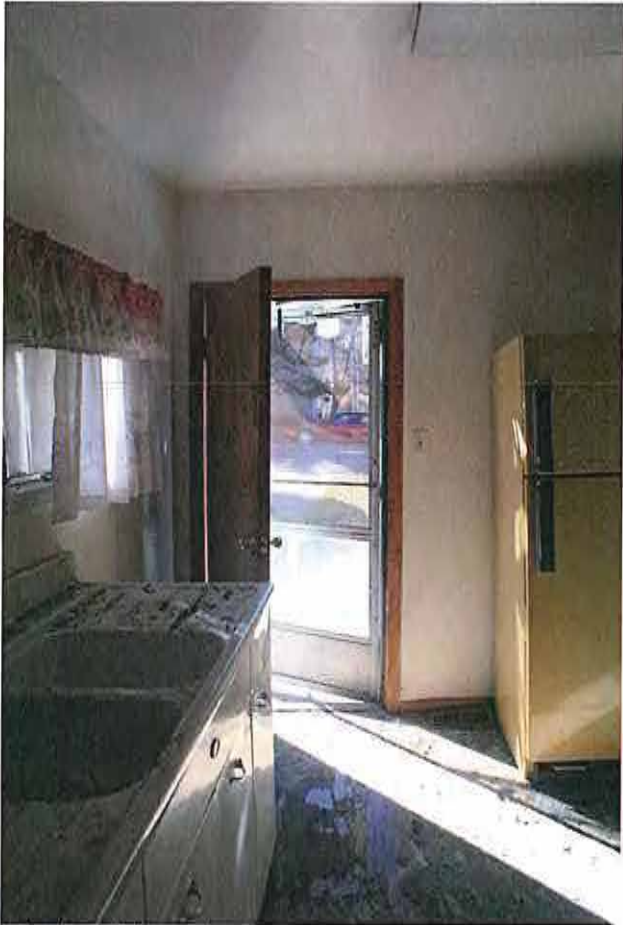
1958 photograph showing existing front door-possibly showing kitchen door as well



Kitchen door



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Interior kitchen door



Typical interior door and casing

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



C.3. TRIM - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.

Describe the existing feature(s) and condition:

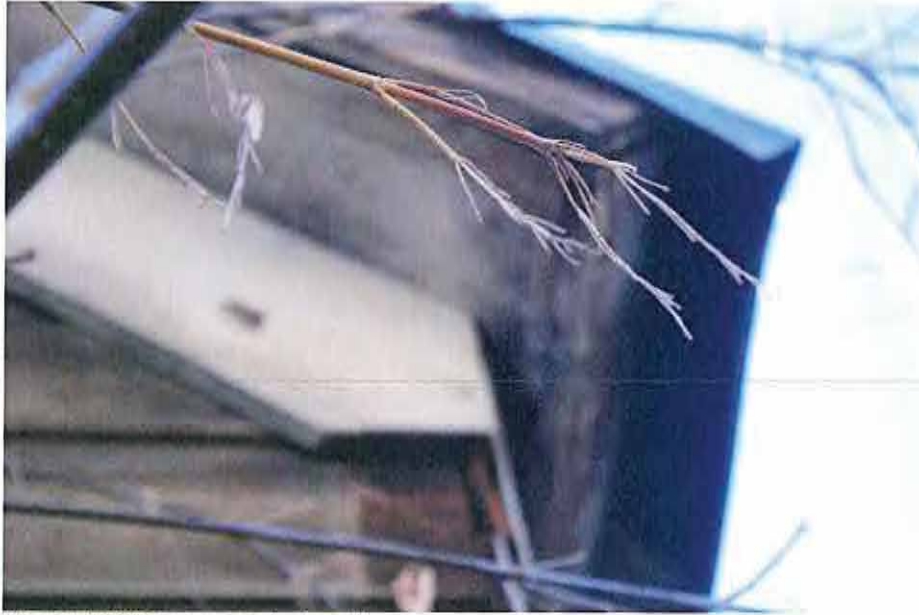
The only original trim on this house would be the 2" window and door exterior trim and the 1x10 trim on the east elevation in the northeast corner of the house. Trim is generally functional and simple.



Typical 2" wood casing



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Wood 1X trim on east elevation



Typical soffit and fascia-functional and simple



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

C.4. ARCHITECTURAL ORNAMENTATION - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition:

No architectural ornamentation. Detailing is simple and functional.

C.5. OTHER (SPECIFY): _____

Describe the existing feature(s) and condition:

ACCESSORY BUILDING(S)

D.1. ACCESSORY BUILDING(S) - Mark all the boxes below that apply to your property. Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s): Garage Root Cellar Shed XOther (specify):

Describe existing accessory building(s) and condition:

Although the accessory building no longer exists it does show up in older photographs.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



1958 photograph showing accessory building

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STRUCTURE(S)

E.1. STRUCTURE(S) - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s): Tram Tower Animal Enclosure Other (specify):

Describe existing structure(s) and condition:

No additional structures.

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: *Theresa J. Stauffer* Date: _____

Name of Applicant: _____



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

PHYSICAL CONDITION REPORT - PHOTOS

Low Resolution Photos Inserted into the Body of the Report:

Digital photographs illustrating the descriptions must be included with this report.

Each feature described in this report must include *at least* one corresponding photograph. More than one photograph per description is encouraged.

To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the report.

- Microsoft offers a free download of Image Resizer for Windows XP at www.microsoft.com.
- iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
- Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at www.vso-software.fr

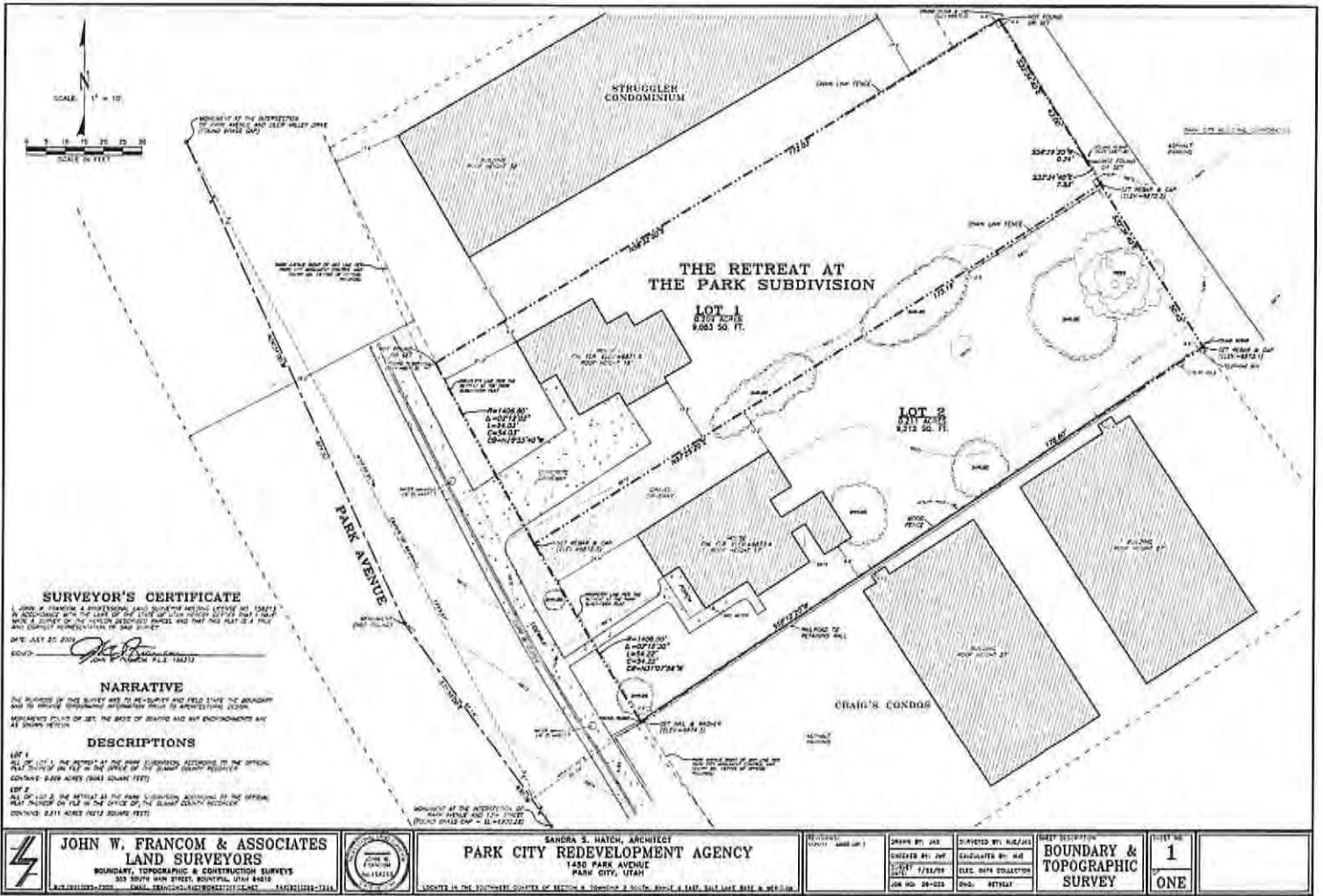
High Resolution Photos Submitted on a Disc:

Digital copies of photographs used in the report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: **PCR Form "Property Address" "Date"**.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



SURVEYOR'S CERTIFICATE

I, JOHN W. FRANCOM, a PROFESSIONAL LAND SURVEYOR LICENSE NO. 1366712, IN ACCORDANCE WITH THE LAND SURVEYING ACT, HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND HAVE FOUND THAT THE PROPERTY IS NOT SUBJECT TO ANY EASES OR ENCUMBRANCES OTHER THAN THOSE SHOWN ON THIS MAP.

DATE: JULY 20, 2015

SIGNED: *[Signature]*

JOHN W. FRANCOM, P.L.S. 1366712

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO RE-SURVEY AND RE-DEFINE THE BOUNDARY AND TO PROVIDE TOPOGRAPHIC INFORMATION FOR ARCHITECTURAL DESIGN.

MEASUREMENTS WERE MADE TO DETERMINE THE BOUNDARY AND TO PROVIDE ANY NECESSARY INFORMATION.

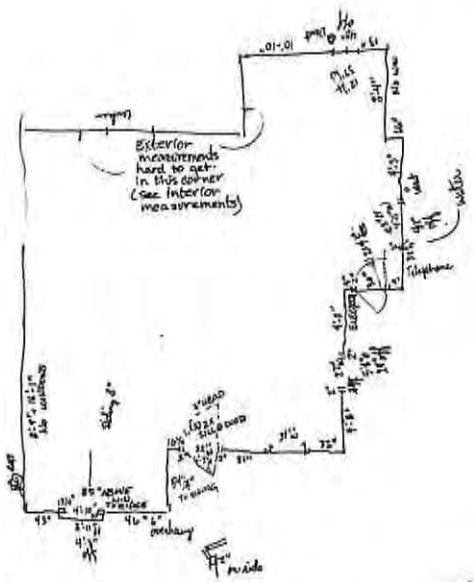
DESCRIPTIONS

LOT 1
 ALL OF LOT 1, THE RETREAT AT THE PARK SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT FILED IN THE OFFICE OF THE CLERK OF THE DISTRICT COURT, DISTRICT 2, COUNTY OF KANE, ARIZONA, CONTAINS 2.003 ACRES (9,083 SQUARE FEET).

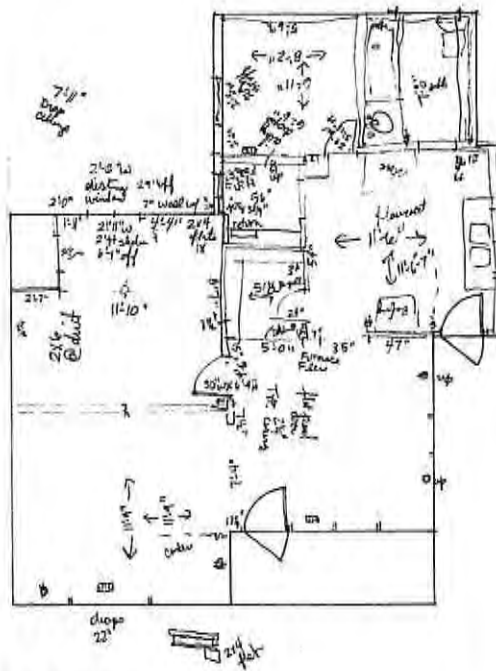
LOT 2
 ALL OF LOT 2, THE RETREAT AT THE PARK SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT FILED IN THE OFFICE OF THE CLERK OF THE DISTRICT COURT, DISTRICT 2, COUNTY OF KANE, ARIZONA, CONTAINS 2.312 ACRES (10,000 SQUARE FEET).

<p>JOHN W. FRANCOM & ASSOCIATES LAND SURVEYORS BOUNDARY, TOPOGRAPHIC & CONSTRUCTION SURVEYS 303 SOUTH MAIN STREET, BOULDER, UTAH 80501 303-441-1122 FAX: 303-441-1123 EMAIL: JFRANCOM@FRANCOMSURVEY.COM</p>		<p>SANDRA S. HATCH, ARCHITECT PARK CITY REDEVELOPMENT AGENCY 1450 PARK AVENUE PARK CITY, UTAH</p>		<p>REVISIONS: (NONE)</p>	<p>DRAWN BY: JAK CHECKED BY: JWF DATE: 7/20/15 JOB NO: 20-023</p>	<p>SURVEYED BY: JWF/JAK CALCULATED BY: JWF DATE: DATA COLLECTION JOB NO: 20-023</p>	<p>SHEET DESCRIPTION BOUNDARY & TOPOGRAPHIC SURVEY</p>	<p>SHEET NO. 1 ONE</p>
		<p>LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 2 SOUTH, RANGE 4 EAST, SALT LAKE BASIN & MOUNTAIN</p>						

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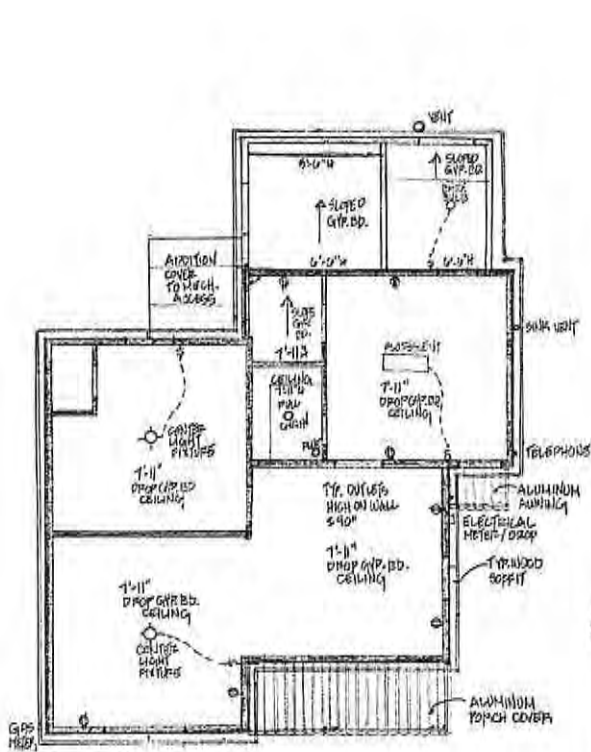


FIELD NOTES - EXTERIOR

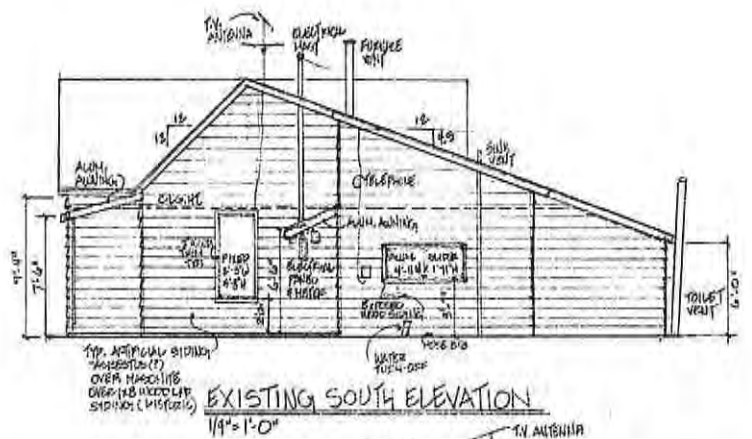


FIELD NOTES - INTERIOR

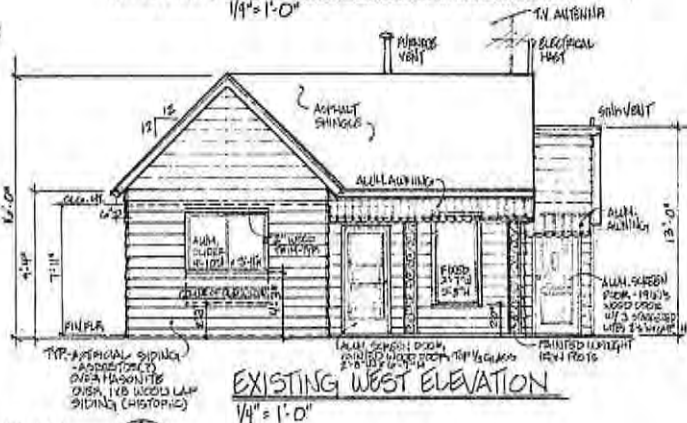




EXISTING REFLECTED CEILING & ELECTRICAL PLAN
1/4" = 1'-0"



EXISTING SOUTH ELEVATION
1/4" = 1'-0"

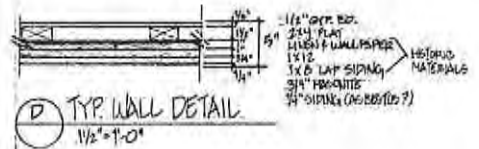
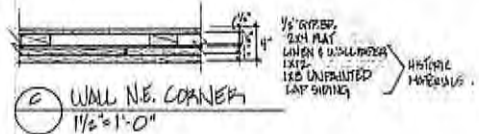
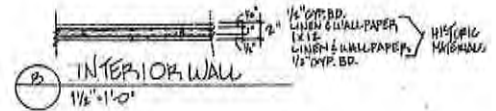
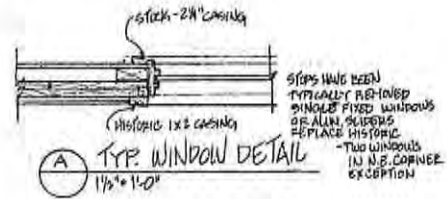
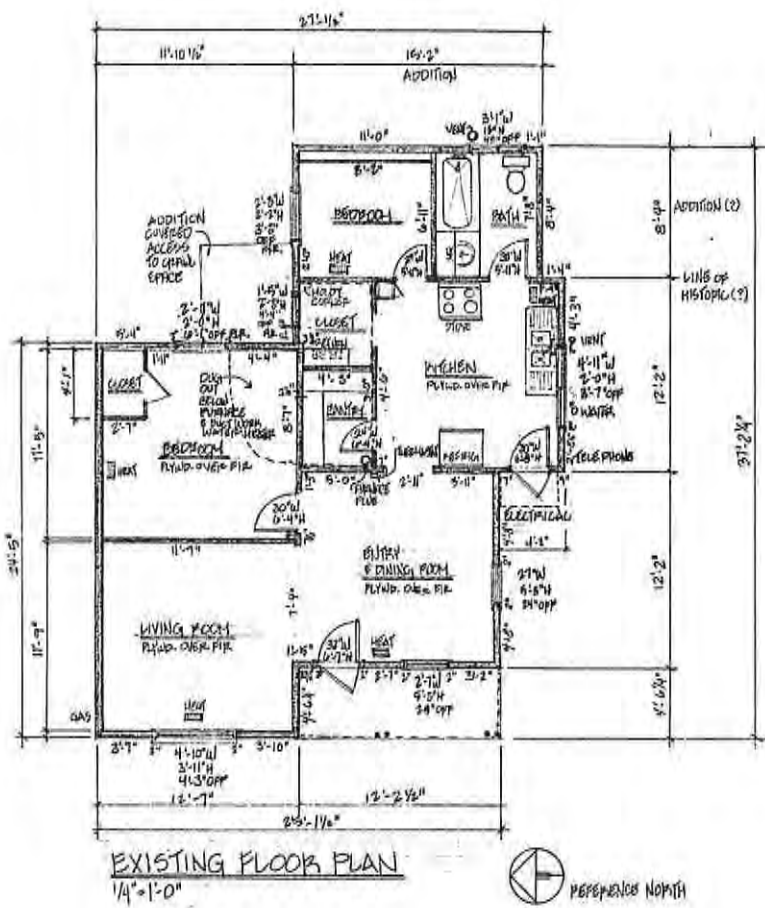


EXISTING WEST ELEVATION
1/4" = 1'-0"



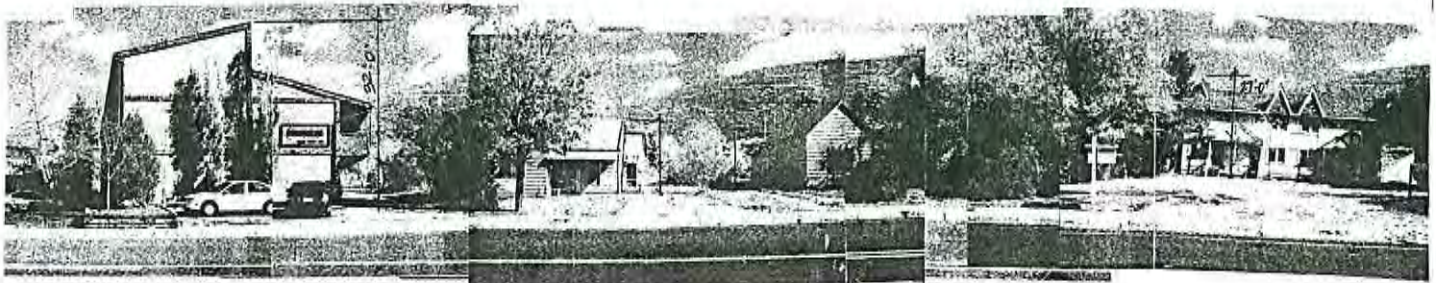
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3





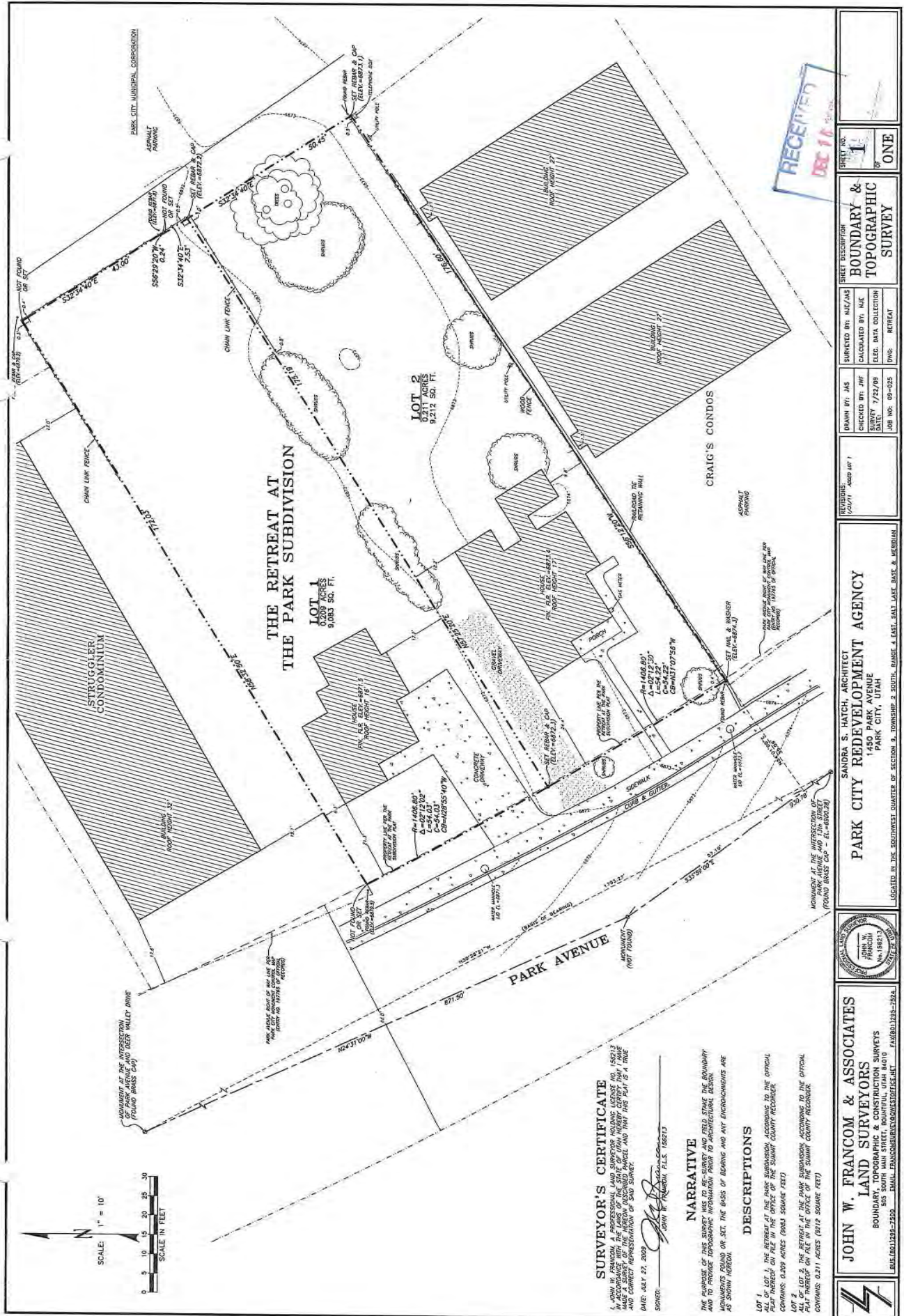
↑ 1460 PARK AVE. ↑ 1490 PARK AVE.

EXISTING STREETSCAPE

NO SCALE - SEE CERTIFIED SURVEY FOR ADDITIONAL INFORMATION

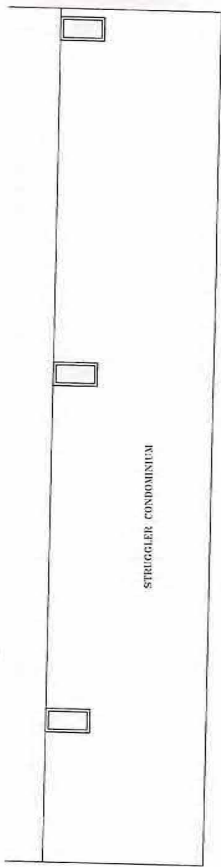
	<u>EXISTING STREETSCAPE</u>	AS-BUILT DRAWING FOR THE RESIDENCE 1460 PARK AVE. PARK CITY, UTAH 84040	PREPARED BY LICENSED ARCHITECT	2
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Caddis
 Caddis Architecture, PC.
PARK CITY MUNICIPAL CORPORATION
1450/1460 PARK AVE.
AFFORDABLE HOUSING

EXISTING STRUCTURES
 NEW CONSTRUCTION



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HDDR-3
PROPOSED ROOF PLAN
 1/8" = 1'-0"
 12.08.2015
 PROJECT # 1621
CADDIS PC

Park City Planning Commission,
Anya Grahn, and Francisco Astorga,

My name is Clark Baron. I am one of the condo owners in the Struggler condominiums located at 1470 Park Avenue. We have addressed previous issues regarding the development of the two historic homes next to our property. I just wanted to go on record as having some concerns regarding the 1450/1460 Park Avenue affordable housing project. We do feel that the latest proposal is a major move in the right direction. Since the request before the commission currently deals only with the two historic homes, I will comment on just this portion of the project.

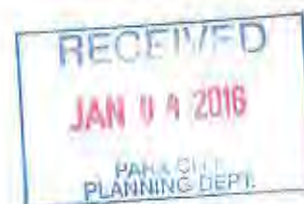
I have a concern regarding the possible height of the remodeled historic structures. The proposed plans appear to show that the historic structures are being raised at least one foot higher than the present grade. There is no mention of the actual finished height. We would ask that the Homes remain as close to the present grade as possible. We ask that any new construction and remodeled Historic structures be placed close to the original grade to help minimize the impact on the neighborhood.

I also have a question regarding the plan to move the historic homes closer toward Park Ave. The homes currently appear to be placed at the exact distance from the street as some other homes in the area including our building right next door. Moving the structures forward will have a negative impact on value of the homes and place them closer to the street than their neighbors. Unlike many historic homes, these two homes actually have moderate front yards. We ask you to maintain this unique feature and give the new home owners the front yard that these homes originally had. Moving the homes toward busy Park Avenue decreases their value and desirability.

We applaud the effort to rebuild these historic homes. We ask that they be placed as close as possible to their present height and location.

Thank you for registering our concerns,

Clark and Joyce Baron
January 4, 2016
801-372-0171
baronsbest@comcast.net





PLANNING DEPARTMENT

Historic Preservation Board Staff Report

Subject: Annual Historic Preservation
Award Program
Author: Anya Grahn, Historic Preservation Planner
Date: February 3, 2016
Type of Item: Administrative
Project Number: GI-15-02972

Summary Recommendations

Staff recommends the Historic Preservation Board review staff's analysis of the Historic Preservation Award program, discuss options for continuing the program, and direct staff to move forward with this year's award.

Background

As part of their visioning goals in 2011, the Historic Preservation Board indicated their intent to implement a preservation awards program. The awards program was not meant to compete with the Historical Society's awards, but complement the existing joint preservation efforts already taking place and highlight the 2009 Historic District Design Guidelines (Design Guidelines). The HPB formed a subcommittee made up of Roger Durst, David White, and Sara Werbelow to discuss the parameters of the program, and this subcommittee greatly assisted the HPB in the launch of the program. (Exhibits 3 and 4 outline the progression of development of the program.)

The Historic Preservation Board had several goals for their Historic Preservation Award:

- Put the Historic Preservation Board in front of the public.
- Communicate the benefits of the Design Guidelines and provide the community with a visualization of how the Design Guidelines could be successfully translated into specific projects.
- Identify potential projects in town that contribute to the historic presence and character of the community.
- Create a legacy gallery of one-of-a-kind art pieces to be displayed in the Marsac Building.
- Award property owners with a plaque to be presented by the Historic Preservation Board, but allow the art work to be a worthy legacy to leave with the City.

They established criteria for the awards program; however, they also sought to avoid the program from being overly structured. They decided to nominate one (1) project per year based on the following themes or categories:

- Infill Development – New Construction
- Excellence in Preservation
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity and Site

The HPB considered limiting the awards by preventing awards for the same theme or category from being repeated within a two (2) year period; however, this was never formalized. They stipulated that the project did not have to occur in the year the award was being given.

The HPB intended to commission an artist each year to develop an art piece to be displayed at City Hall and also present a plaque to the property owner. The board intended to have a different artist every year in order to highlight the different mediums and engage with different artists within the community. The HPB recognized that plaques were costly, especially if the design had to be modified each year. Instead, they opted for a consistent plaque design so that only the award date would have to be modified. The artist stipend and plaque expenses would be covered by the Planning Department.

On July 21, 2011, City Council approved Resolution No. 20-11, establishing the Historic Preservation Board's Annual Preservation Award program (Exhibit 1). City Council added "Adaptive Reuse" as a theme to the HPB's list of categories.

The first award was presented to High West Distillery in August 2011 at the annual Historical Society gala. The Historic Preservation Board presented High West with a plaque at the gala, and commissioned Sid Ostergaard for the painting that is on display at City Hall today.

Since its inception, four (4) additional Historic Preservation Awards have been presented by the Historic Preservation Board:

- 2012: Washington School House Hotel (artist Jan Perkins)
- 2013: House at 929 Park Avenue (artist Dori Pratt) and Talisker on Main/515 Main Street (artist Bill Kranstover)
- 2014: Garage at 101 Prospect (artist Bill Kranstover)

These paintings are on display on the main and upper levels of the Marsac Building, in the public hallways where they can be enjoyed by visitors to City Hall. It is unclear why plaques were not awarded to these recipients after 2011; however, property owners have been presented with a framed copy of the artist's rendering each year.

Since 2013, the Historic Preservation Board and City Council have jointly presented the annual Historic Preservation Award. The award has been presented in May, which is National Historic Preservation Month, to demonstrate the City Council and the Historic Preservation Board's mutual dedication and appreciation for historic preservation in our community.

Analysis

1. City Council Resolution

Resolution No. 20-11 (Exhibit 1), stipulated that the Historic Preservation Board wished to identify and award exemplary historic projects in compliance with the Historic Guidelines on an annual basis, to be selected during the month of June. Awards are selected based on the following criteria; however, other criteria may be considered:

- Adaptive Re-Use
- Infill Development
- Excellence in Restoration
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity of Site

The Planning Department has not been consistent with the resolution's intent to select the award in June, and staff would advise that the HPB recommend to Council to revise the resolution so that the award recipient is selected in November. This time frame provides the HPB adequate time to interview and commission an artist and provide the artist time to complete the art piece prior to National Historic Preservation Month, celebrated in May. Staff recommends that the HPB continue to partner with City Council in May to celebrate and bring attention to Historic Preservation month.

The resolution does not specify whether or not the award is an art piece or plaque, only that the HPB grant a Preservation Award on an annual basis.

Does the HPB wish to make a recommendation to City Council to amend the resolution in order to ensure the awards are presented in May, National Historic Preservation Month?

2. Goals of the Historic Preservation Award

As outlined above, the goals of the Preservation Award included promoting the Historic Preservation Board, the 2009 Design Guidelines, exemplary historic preservation projects in the community, and creating a legacy gallery of art pieces to be displayed at City Hall.

These goals are consistent with the purposes of the Historic Preservation Board to communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists, as well as:

- Promote the City's preservation policy of encouraging excellence in the

preservation of Buildings, Structures, and Sites of Historic Significance in Park City

- Recognize the importance of Historic Districts and Historic Sites as an integral part of Park City's character
- Recognize the numerous historic preservation projects occurring in Park City's historic districts and work occurring to Park City's Historic Sites on an annual basis.
- Encourage the preservation of historic structures and to encourage construction of Historically Compatible Structures that contribute to the scale of the Historic District and to facilitate the continuation of the visual character and streetscape

3. *Success of the program*

Staff finds that the program has been largely successful. A total of five (5) awards have been presented since the program's inception in 2011. Award recipients have felt honored and appreciative to be recognized for their historic preservation efforts, whether it is the large scale rehabilitation of the Washington Schoolhouse or the smaller reconstruction of the garage at 101 Prospect Avenue. In some cases, the Preservation Award recipients have gone on to be recognized by Utah Heritage Foundation's statewide preservation award, such as 929 Park Avenue. High West's restoration of the National Garage set the pace for their future projects, such as their restoration of the bungalow at 651 Park Avenue.

Prior to the Preservation Award, no paintings were displayed in the hallways of the Marsac Building; however, today, there are five (5) paintings on display. These paintings not only promote exemplary historic preservation projects, but also the talent of our local artists. City Hall visitors often stop to admire the artwork, and staffers look forward to the addition of new paintings to adorn the hallways of our workplace.

Additionally, the paintings have been successful in establishing the "legacy gallery" at City Hall envisioned by the Historic Preservation Board in 2011. The art pieces serve as the institutional memory of past Preservation Award recipients, showcases our community's best historic resources, and reminds the community of the City's dedication to historic preservation. While plaques are beneficial to recipients, they are never remembered by the institution awarding the plaque, and they are easily overlooked by the public; paintings are remembered.

4. *Options for moving forward (Pro/CON)*

During the December 2015 meeting, the HPB suggested three (3) potential routes in moving forward with the 2015 Preservation Award:

- Art Work Only
- Art Work + Plaque
- Plaque Only

For the past four years, the HPB has formed a selection committee to select an artist and commission a piece of artwork. The artwork has always been a painting; however, it is not limited to two-dimensional art. All mediums of artwork are acceptable, provided they are within the budget for the award.

The Park City Museum has been successful in awarding plaques to their past award winners. In discussing the HPB's potential plaque program with the Museum, staff confirmed with Museum Director Sandra Morrison that they have not awarded plaques in the last few years and the HPB's plaques would not be competing with those of the Museum. The plaques could take one of two forms:

- (1) Standardized plaque – the plaque would be a standardized plaque with a logo for the Preservation Award and the year the award was granted. The plaque design would stay the same each year, with only the date changing. This is what the HPB initially intended in 2011, and staff's recommendation for moving forward on a plaque.
- (2) Historical Marker Plaque – the plaque would be a standardized dimension; however, the plaque's narrative would need to be researched, written, and revised each year to tell the history of the specific property honored by the Preservation Award.

In Breckenridge, Colorado, these historical markers are often installed on a post near the right-of-way so that pedestrians may read the marker as they walk by. One of the difficulties in this approach, however, is that the marker may be difficult to read if it is setback too far from the front property line. It could also be hazardous to the plaque or its post to have it in the ten foot (10') snow storage setback along the right-of-way as it could be buried in snow during the winter or even damaged by the snow plow. The owner may also wish not to display it in the front yard, and it would be onerous to set display standards on a plaque that is meant as an award.

Staff's recommendation is to commission a painting and present a standardized plaque to the award recipient that may be displayed on the historic structure.

***Does the HPB wish to move forward with awarding a painting and a plaque to the annual Historic Preservation award recipient?
If the HPB awards a plaque, does the Board wish it to be a standardized award plaque or a historical marker plaque, as described above?***

5. Financing the Award

The Planning Department has funded past Preservation Awards. The budget for this each year has been set at \$3,500. This year, staff finds that there

would be funds available for both one (1) art piece and five (5) plaques. (Staff recommends awarding a plaque and dedicating an art piece to this year's award winner as well as presenting plaques to the previous award winners to commemorate the five (5) year anniversary of the Preservation Award.)

Staff has contacted Metal Arts, and they would charge the following:

- 6"x6"x3" bronze plaque \$200.00/ea.
- 10"x10"x3" bronze plaque \$350.00/ea.

Should the HPB elect to provide both plaques and a painting, the Planning Department could offer a commission of \$1,500 for the painting. In the past, the Planning Department has offered a commission of \$800 to \$1,000 per art piece, and the HPB has expressed concern that the commission is too low for professional artists. (The selection for the art work is open to both professional and hobby artists.) Staff finds that artists generally do not just do this for the commission, but also the sense of pride in having their paintings displayed at City Hall.

Recommendation

Staff recommends the Historic Preservation Board review staff's analysis of the Historic Preservation Award program, discuss options for continuing the program, and direct staff to move forward with this year's award.

Exhibits

- Exhibit 1- Resolution No. 20-11
- Exhibit 2- 7.21.11 City Council Report + Minutes
- Exhibit 3- 6.15.11 HPB Report + Minutes
- Exhibit 4- 7.20.11 HPB Work Session Minutes
- Exhibit 5- 12.2.15 HPB Staff Report

Resolution No. 20-11

A RESOLUTION ESTABLISHING THE HISTORIC PRESERVATION BOARD'S ANNUAL PRESERVATION AWARD PROGRAM

WHEREAS, the purpose of the HPB is to preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Park City's Historic Districts and Historic Sites;

WHEREAS, the purpose of the HPB is to recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;

WHEREAS, the purpose of the HPB is to communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;

WHEREAS, Park City's preservation policy is to encourage the preservation of Buildings, Structures, and Sites of Historic Significance in Park City;

WHEREAS, the Historic Preservation Board recognizes the importance of the Historic Districts and Historic Sites as an integral part of Park City's character;

WHEREAS, the Historic Preservation Board recognizes and numerous historic preservation projects occurring in Park City's historic districts and work occurring to Park City's Historic Sites on an annual basis;

WHEREAS, the Purpose Statements of the Land Management Code's historic district zones are to encourage the preservation of historic structures and to encourage construction of Historically Compatible Structures that contribute to the scale of the Historic District and to facilitate the continuation of the visual character and streetscape;

NOW THEREFORE BE IT RESOLVED by the City Council of Park City, Utah as follows:

The Historic Preservation Board wishes to identify and award exemplary historic projects in compliance with the Historic Guidelines on an annual basis, to be selected during the month of June, in the form of a Preservation Award based on criteria not limited to:

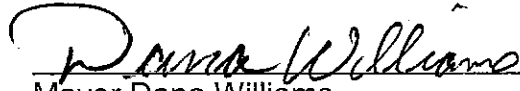
- Adaptive Re-Use
- Infill Development
- Excellence in Restoration
- Sustainable Preservation

- Embodiment of Historical Context
- Connectivity of Site

EFFECTIVE DATE. This resolution shall become effective upon adoption.

Passed and adopted this 21st day of July, 2011.

PARK CITY MUNICIPAL CORPORATION

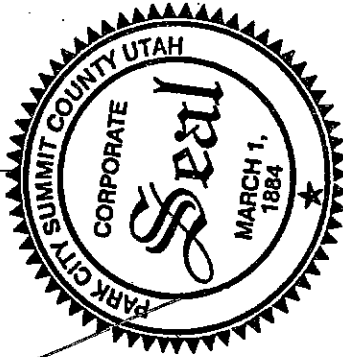


Mayor Dana Williams

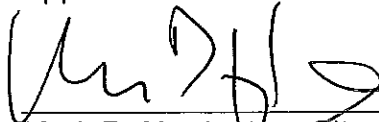
Attest:



Janet M. Scott, City Recorder



Approved as to form:



Mark D. Harrington, City Attorney

City Council Staff Report



Subject: Annual Historic Preservation Award Program
Author: Kayla Sintz – Architect/Planner
Date: July 21, 2011
Type of Item: Legislative - Resolution
Project Number: GI-11-00124

Summary Recommendations

Staff recommends the City Council hold a public hearing and consider adopting the attached Resolution for the Park City Historic Preservation Board's annual Preservation Award.

Background

Over the course of the last year, the Historic Preservation Board has indicated as part of their Visioning goals the intent to implement a preservation award program. The award program was to be based on a Project utilizing the Historic Guidelines and the focus of the award could change from year to year. The Board also agreed the HPB Preservation Award should not compete with any of the Historic Society's awards, but complement the existing joint preservation efforts already taking place and highlight the Historic District Guidelines by which all development in the Historic Districts must comply. The Historic Preservation Board formed a subcommittee made up of Roger Durst, David White and Sara Werbelow to meet and discuss parameters of the program; to review and recommend historic preservation projects; and to nominate a recipient of the 2011 award to the rest of the Historic Preservation Board.

On May 4, 2011, the sub-committee reported back to the Board the recommendation for the 2011 recipient be based on 'adaptive re-use' of a historic structure and unanimously recommended the High West Distillery located at 703 Park Avenue, the property previously known as the National Garage.

The Board discussed that possible future themes may be:

- Infill Development – New Construction
- Excellence in Preservation
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity and Site

The Board also indicated they could award a future recipient for Adaptive Re-Use again, but that no award for the same category or theme should repeat within a two (2) year period. Further, the project need not occur in the year the award was being given and the Board also wanted to make sure that site and landscaping

elements also be considered.

The Board agreed with the sub-committee's recommendation to highlight the annual award recipient with a rendering of the selected property which would be displayed at City Hall (location to be determined). The selected property owner would receive a plaque to be presented by the Historic Preservation Board. The Historic Preservation Board felt this would be a worthy legacy to leave with the City.

Members of the Board met with the Arts Advisory committee to select an artist to provide the rendering for the 2011 Award. Sid Ostergaard was selected for the 2011 artist. The Board indicated a desire to have a different artist each year in order to highlight different art mediums and engage different artists within the community. It is anticipated that members of the Board will continue to follow the same procedure for artist procurement in the coming years. The stipend for the rendering has been identified to come out of the Planning Department's Historic Preservation Board budget.

The Board gave staff direction to come back at their next scheduled meeting with a Resolution to take action and adopt the awards program. On June 15, 2011 the Historic Preservation Board forwarded a positive recommendation of the draft Resolution to City Council for their consideration.

The Board has already indicated their selection for the 2011 award if Council chooses to adopt the recommended resolution. The HPB has arranged for the 2011 award to be presented in conjunction with the Historic Society annual events scheduled for mid to late August.

The HPB sub-committee has since recommended the wording for the 2011 plaque be as follows:

*HIGH WEST DISTILLERY
PARK CITY HISTORIC PRESERVATION 2011 AWARD
WINNER for EXEMPLARY ADAPTIVE RE-USE
Park City Historic Preservation Board and City Council*

Significant Impacts

There are no significant impacts associated with adopting the Resolution. Staff time and all award related costs will be covered within the existing budget.

Recommendation

Staff recommends the City Council review the attached Resolution as written and consider adopting the Resolution for the Annual Historic Preservation Award Program.

Exhibits

Resolution – Historic Preservation Board Annual Award Program

Resolution No. 11-

A RESOLUTION ESTABLISHING THE HISTORIC PRESERVATION BOARD'S ANNUAL PRESERVATION AWARD PROGRAM

WHEREAS, the purpose of the Historic Preservation Board (HPB) is to preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Park City's Historic Districts and Historic Sites;

WHEREAS, the purpose of the HPB is to recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;

WHEREAS, the purpose of the HPB is to communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;

WHEREAS, Park City's preservation policy is to encourage the preservation of Buildings, Structures, and Sites of Historic Significance in Park City;

WHEREAS, the Historic Preservation Board recognizes the importance of the Historic Districts and Historic Sites as an integral part of Park City's character;

WHEREAS, the Historic Preservation Board recognizes and numerous historic preservation projects occurring in Park City's historic districts and work occurring to Park City's Historic Sites on an annual basis;

WHEREAS, the Purpose Statements of the Land Management Code's historic district zones are to encourage the preservation of historic structures and to encourage construction of Historically Compatible Structures that contribute to the scale of the Historic District and to facilitate the continuation of the visual character and streetscape;

NOW THEREFORE BE IT RESOLVED by the City Council of Park City, Utah as follows:

The Historic Preservation Board wishes to identify and award exemplary historic projects in compliance with the Historic Guidelines on an annual basis, to be selected during the month of June, in the form of a Preservation Award based on criteria not limited to:

- Adaptive Re-Use
- Infill Development
- Excellence in Restoration
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity of Site

EFFECTIVE DATE. This resolution shall become effective upon adoption.

Passed and adopted this ____ day of July, 2011.

PARK CITY MUNICIPAL CORPORATION

Mayor Dana Williams

Attest:

Janet M. Scott, City Recorder

Approved as to form:

Mark D. Harrington, City Attorney

2. Consideration of an Ordinance approving the 929 Park Avenue plat amendment located at 929 Park Avenue, Park City, Utah – Kirsten Whetstone explained that the request is to combine two standard Old Town lots with two adjacent remnant parcels or the back 25 feet of lots that are adjacent but located on Woodside Avenue. An historic house sits across the lot lines. The Planning Commission conducted a public hearing, continued the item to obtain more information from the applicant, reopened the public hearing and now forwards a positive recommendation. Approval was conditioned that the building footprint be reduced from the 1,888 reached by using the formula outlined in the LMC and reducing it to 1,688 square feet. The applicant consented to the reduction in footprint. In response to questions from Ms. Simpson, Kirsten Whetstone explained that no substandard lots will be created on Woodside Avenue. The average house size in the area is 1,625 square feet but the Planning Commission considered the condominiums in the area and the applicant's willingness to reduce the house size. Moving the historic home back to its original location after construction was discussed. The Mayor opened the public hearing; there was no public input and the hearing was closed. Joe Kernan, "I move we approve New Business Item No. 2". Cindy Matsumoto seconded. Motion unanimously carried.

3. Consideration of Resolution establishing the Historic Preservation Board's Annual Preservation Award Program – Kayla Sintz stated that although Roger Durst is no longer on the Historic Preservation Board, he was instrumental in creating this project. The High West Distillery has been selected as the award recipient this year and each year a different artist will be selected by the subcommittee to depict the property. It is the intent that the art work would be displayed in the Marsac Building. The owner and the architect will be presented with a plaque to coincide with this year's Historical Society's home tour program. Mr. Durst felt that the program will bring awareness to the community and publicly thanked Ken Martz for his participation. The presentation to High West is scheduled on August 18.

Liza Simpson thanked them for creating the program and including the Historical Society in the process. She liked the expansion of criteria including in-fill development, new construction, excellence in preservation, sustainable preservation and embodiment of historical context and connectivity on-site. The Mayor opened the public hearing; there were no comments from the audience and the public hearing was closed. Dick Peek, "I move we adopt the Resolution for the Historic Preservation Board's Annual Preservation Award". Liza Simpson seconded. Motion unanimously carried.

4. Consideration of an appeal of the Planning Commission's June 8, 2011 denial of an appeal of the administrative extension of the Conditional Use Permit for the North Silver Lake Subdivision Lot 2B and the North Silver Lake Lodge Development - appellant Lisa Wilson, represented by the law firm Miller Guymon – The Mayor explained that Council has the discretion to expand the scope of the appeal or strictly adhere to the grounds of the appeal. He described the order of presentations, including questions and public input. Liza Simpson, "I move we limit the review of this appeal to

Historic Preservation Board Staff Report

Subject: Annual Historic Preservation
Award Program
Author: Kayla Sintz
Date: June 15, 2011
Type of Item: Legislative - Resolution
Project Number: GI-11-00124



Summary Recommendations

Staff recommends the Historic Preservation Board hold a public hearing and consider forwarding a positive recommendation to City Council for the adoption of the attached Resolution for the Park City Historic Preservation Board's annual Preservation Award.

Background

Over the course of the last year, the Historic Preservation Board has indicated as part of their Visioning goals the intent to implement a preservation awards program. The awards program was to be based on a Project utilizing the Historic Guidelines and the focus of the award could change from year to year. The Board also agreed the HPB Preservation Award should not compete with any of the Historic Society's awards, but complement the existing joint preservation efforts already taking place and highlight the Historic District Guidelines by which all development in the Historic Districts must comply. The Historic Preservation Board formed a subcommittee made up of Roger Durst, David White and Sara Werbelow to meet and discuss parameters of the program; to review and recommend historic preservation projects; and to nominate a recipient of the 2011 award to the rest of the Historic Preservation Board.

On May 4, 2011, the sub-committee reported back to the Board the recommendation for the 2011 recipient be based on 'adaptive re-use' of a historic structure and unanimously recommended the High West Distillery located at 703 Park Avenue, the property previously known as the National Garage.

The Board discussed that possible future themes may be:

- Infill Development – New Construction
- Excellence in Preservation
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity and Site

The Board also indicated they could award a future recipient for Adaptive Re-Use again, but that no award for the same category or theme should repeat within a

two (2) year period. Further, the project need not occur in the year the award was being given and the Board also wanted to make sure that site and landscaping elements also be considered.

The Board agreed with the sub-committee's recommendation to highlight the annual award recipient with a rendering of the selected property which would be displayed at City Hall. The selected property owner would receive a plaque to be presented by the Historic Preservation Board and the art work would be displayed at City Hall (location to be determined). The Historic Preservation Board felt this would be a worthy legacy to leave with the City.

Members of the Board met with the Arts Advisory committee to select an artist to provide the rendering for the 2011 Award. The Board indicated a desire to have a different artist each year in order to highlight different mediums and engage different artists within the community. It is anticipated that members of the Board will continue to follow the same procedure for artist procurement in the coming years. The stipend for the rendering has been identified to come out of the Planning Department's Historic Preservation Board budget.

The Board gave staff direction to come back at their next scheduled meeting with a Resolution to take action and adopt the awards program. A proposed Resolution is attached.

The Board has already indicated their selection for the 2011 award if Council chooses to adopt the recommended resolution. Staff recommends a formal vote be taken at tonight's meeting so that the 2011 award may be presented in conjunction with the Historic Society annual events scheduled for mid to late August.

Recommendation

Staff recommends that the Historic Preservation Board review the attached Resolution and forward a positive recommendation to City Council to adopt the Resolution as written.

Exhibits

Resolution – Historic Preservation Board Annual Award Program

Resolution No. 11-

A RESOLUTION ESTABLISHING THE HISTORIC PRESERVATION BOARD'S ANNUAL PRESERVATION AWARD PROGRAM

WHEREAS, the purpose of the Historic Preservation Board (HPB) is to preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Park City's Historic Districts and Historic Sites;

WHEREAS, the purpose of the HPB is to recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;

WHEREAS, the purpose of the HPB is to communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;

WHEREAS, Park City's preservation policy is to encourage the preservation of Buildings, Structures, and Sites of Historic Significance in Park City;

WHEREAS, the Historic Preservation Board recognizes the importance of the Historic Districts and Historic Sites as an integral part of Park City's character;

WHEREAS, the Historic Preservation Board recognizes and numerous historic preservation projects occurring in Park City's historic districts and work occurring to Park City's Historic Sites on an annual basis;

WHEREAS, the Purpose Statements of the Land Management Code's historic district zones are to encourage the preservation of historic structures and to encourage construction of Historically Compatible Structures that contribute to the scale of the Historic District and to facilitate the continuation of the visual character and streetscape;

NOW THEREFORE BE IT RESOLVED by the City Council of Park City, Utah as follows:

The Historic Preservation Board wishes to identify and award exemplary historic projects in compliance with the Historic Guidelines on an annual basis, to be selected during the month of June, in the form of a Preservation Award based on criteria not limited to:

- Adaptive Re-Use
- Infill Development
- Excellence in Restoration
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity of Site

EFFECTIVE DATE. This resolution shall become effective upon adoption.

Passed and adopted this ____ day of June, 2011.

PARK CITY MUNICIPAL CORPORATION

Mayor Dana Williams

Attest:

Janet M. Scott, City Recorder

Approved as to form:

Mark D. Harrington, City Attorney

Historic Preservation Board
Minutes of June 15, 2011

Simpson noted that Mr. Peek was a member of the former Historic District Commission and he is well versed in Historic District issues.

Council Member Peek stated that his introduction to public involvement began with construction of historic homes and he was eventually recruited to the Historic District Commission.

REGULAR AGENDA – Discussion, Public Hearing and Possible Action.

1. Historic Preservation Awards Program – Resolution for Adoption
(Application #GI-11-00124)

Chair Durst stated that the Board met several times and eventually selected the High West Distillery building as the recipient of the first award. Since the last meeting the subcommittee interviewed and commissioned an illustrator to do a painting of the building that would be suitable for hanging. The intent is to continue with an award each year and to create a gallery of historic buildings and preservation in the City. Chair Durst noted that the award presentation would occur on August 18th at a Historical Society event. He noted that several categories were created for the award.

Planner Sintz noted that page 67 of the Staff report lists the themes that were previously discussed. The categories were infill development, new construction, excellence in preservation, sustainable preservation, embodiment of historical context, connectivity and site, adaptive use. She noted that the 2011 award was selected for adaptive use.

Chair Durst requested a motion to forward a resolution to the City Council for adoption.

Board Member Werbelow could not recall a discussion among the Board that one theme would not be repeated within a two year period. Planner Sintz noted that she had taken that comment from the minutes where Chair Durst had suggested mixing up the themes to avoid repeating the same one. The Board could change that if they wished. It was noted that the two-year reference was not stated in the resolution. Board Member Werbelow liked the idea of different themes, but she was not comfortable with being bound to a specific time period. Since the time period was not included in the resolution, Board Member Werbelow did not believe it would be an issue.

MOTION: Board Member Werbelow moved to forward a POSTIVE recommendation to the City Council to adopt the Annual Historic Preservation Award Program. Board Member White seconded the motion.

VOTE: The motion passed unanimously.

Planner Sintz asked about process. Assistant City Attorney McLean replied that once the resolution is adopted the program would be in place and the Historic Preservation Board could present the award. The HPB would have the option of asking the City Council to present the award the night the resolution is adopted, they could present it at the next HPB meeting, or it could be presented as discussed at the Historical Society event in August. At a minimum, once the program is in place the Staff could help with a press release to let people know about the award and the results for this year.

Historic Preservation Board
Minutes of June 15, 2011

Chair Durst noted that in addition to a plaque on the illustration, a plaque would be mounted at the recipient's location. Chair Durst stated that the subcommittee met with the illustrator and he is revising the sketches based on their comments. The illustrator would send Chair Durst a copy that would be distributed to the HPB. He welcomed comments prior to the final illustration.

Chair Durst provided a brief summary of the artist selection process. The subcommittee asked the Park City Arts Board for recommendations. They were given the names of five local artists, but only two applicants responded. Both presented very good work and the subcommittee made their selection. Chair Durst emphasized that the intent is to solicit a different artist each year from four local applicants.

Planner Sintz would inform the Board members when the resolution is scheduled to be heard by the City Council.

Board Member Martz asked if the subcommittee had made a decision on the plaque. He noted that plaques are expensive, particularly if they have to be changed each year. He noted that the Historical Society and the City have done plaques in the past and he suggested that they look at how the HPB could fit in with their approach. Chair Durst stated that the award would be from the City and given by the Historic Preservation Board. The plaque would not change except for the date.

Board Member Werbelow remarked that timing was an issue and the Board could not wait another month to discuss the details for the plaque. Director Eddington understood that there would be a plaque on the actual piece of art and the City would provide the frame. In addition, the recipient would be given a plaque to hang inside their building. The Board concurred that the subcommittee could work out the details.

2. 919 Woodside Avenue – Appeal of Staff's Determination to deny the movement of a historic structure. Application #PL-11-01253)

Chair Durst recused himself from this item and turned the chair over to Vice-Chair Ken Martz. Board Member Werbelow recused herself from this item.

Ken Martz assumed the Chair.

Assistant City Attorney McLean noted that the HPB would lack a quorum of members who attended this meeting to approve the minutes at the next meeting. Craig Elliott, representing the applicant, asked if there was a legal reason why the three remaining members could not vote on the minutes. Ms. McLean explained that typically a quorum is required to move forward. If the applicant stipulates that three voting members would be acceptable, it should not be a problem. Ms. McLean remarked that the Board could also offer the applicant the option to request a continuation to the next meeting. Mr. Elliott stated that if it was not illegal for three members to confirm the meeting, he was comfortable moving forward this evening.

Planner Sintz reported that the Historic Preservation Board was being asked to conduct a quasi-judicial hearing on an appeal of Planning Staff's determination of non-compliance with the Design Guidelines for Historic Districts and Historic Sites for the proposed relocation of the historic structure located at 919 Woodside Avenue. The

PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF JULY 20, 2011

BOARD MEMBERS IN ATTENDANCE: Sara Werbelow, Alex Natt, Puggy Holmgren, Judy McKie, Dave McFawn, Katherine Matsumoto-Gray

EX OFFICIO: Kayla Sintz, Polly Samuels McLean, Patricia Abdullah

Board Member Werbelow presided over the meeting as the Chair Pro Tem until a Chair was elected later in the meeting. The meeting was called to order at 5:02 p.m.

Chair Pro Tem Werbelow welcomed the new Board members and asked each one to provide a brief introduction.

Alex Natt stated that he was happy to be part of the Board. As a new member he would be learning at the beginning, but he intended to be a significant contributor.

Puggy Holmgren stated that she was a returning member. She loves the Historic Preservation Board and was happy to be back.

Katherine Matsumoto-Gray stated that she was a new member to the HPB. She lives at 823 Norfolk Avenue and was excited to contribute to Old Town.

WORK SESSION

Note: The annual Open and Public Meetings Act training scheduled for work session was moved to the end of the regular session.

Presentation of High West Building for the Historic Preservation Award.

Chair Pro Tem Werbelow updated the new members on the awards program that was instituted by the HPB. She understood that the City Council was being asked to consider a resolution to adopt this awards program at their meeting the next evening.

Chair Pro Tem Werbelow explained that the HPB created a subcommittee a year ago comprised of her, Roger Durst, and David White, to devise an awards program from the HPB in tandem with the Historic Society that would highlight residential or commercial projects in town for a variety of different elements. Those elements were highlighted in the minutes from the last meeting. It would be an annual award determined from a list of categories that highlight different aspects of historic preservation in town that are important to the HPB.

Chair Pro Tem Werbelow stated that the High West Distillery project was the first recipient chosen by the HPB, and the theme was exemplary adaptive reuse. On August 18th the Historic Society was having a fundraiser at the Museum and all the Board members were invited. Sandra Morrison would allow the committee to say a few words about the awards program and to present the art piece that was commissioned and the plaque. Chair Pro Tem Werbelow noted that the plaque says "Historic Preservation

Board and Council". She understood that it was envisioned to be a Historic Preservation Award from the HPB.

Planner Kayla Sintz reiterated that the resolution to adopt the awards program was scheduled as the third item on the agenda for the City Council meeting. She invited all the Board members, as well as former members Roger Durst and Ken Martz, to attend. Planner Sintz had copies of the resolution and her report to the City Council available if anyone was interested. She explained that the Staff report contained draft language for the plaque. Once the City Council approves the resolution, the actual language could be fine-tuned before it goes on the plaque.

Chair Pro Tem Werbelow introduced Sid Ostergaard, the artist who was commissioned to do the artwork for the award presented to High West Distillery.

Mr. Ostergaard stated that it was an honor to be the selected artist to do the painting. He has been working in Park City and Summit County for the last 15 years. Professionally he is a land planner/landscape architect and has done a number of illustrations, including the St. Regis. Mr. Ostergaard presented a number of iterations to show the progress he has made, as well as the view, angle and setting that was chosen. The setting was more of a night/winter to show off how warm and inviting the building is today.

Chair Pro Tem Werbelow remarked that in the early stages of discussion, the intent was to show the connection between the two structures because it highlights the adaptive reuse concept. She was pleased with what Mr. Ostergaard had done so far. Board Member Matsumoto Gray agreed.

Chair Pro Tem Werbelow read the six award categories; adaptive reuse, infill development, excellence in restoration, sustainable preservation, embodiment of historical context, and connectivity of site. She felt it was important for the public to understand what the HPB was trying to recognize through these awards. Planner Sintz remarked that the actual resolution leaves it loose and summarizes the process that the subcommittee and the HPB went through in analyzing what might be an applicable award recipient. Therefore, the draft resolution recognizes the importance of an awards program.

Chair Pro Tem Werbelow suggested that the Board members begin thinking of forming a new subcommittee to find a candidate for the award next year.

Roger Durst reported that he had ordered the plaques. One would be placed on the High West Distillery and the second would be mounted on the illustration. He also suggested that the architect for the High West Distillery project be invited to the reception.

Chair Pro Tem Werbelow expressed regret for not being able to attend the City Council meeting. Board members McKie and McFawn would try to attend. It was noted that Roger Durst was very instrumental in bringing the awards program to fruition. Mr. Durst stated that he would attend the City Council meeting the next evening.

REGULAR MEETING – Discussion, Public Hearing and Possible Action



Historic Preservation Board Staff Report

Subject: Annual Historic Preservation Award Program
Author: Anya Grahn, Historic Preservation Planner
Date: December 2, 2015
Type of Item: Administrative
Project Number: GI-15-02972

Summary Recommendations

Staff recommends the Historic Preservation Board choose one (1) awardee for the annual Preservation Award. Staff will return to the HPB at a later date to discuss the commemorative plaques in greater detail.

Background

During the November 18th HPB meeting, the HPB members expressed interest in also considering 562 Main Street as a 2015 Historic Preservation Award recipient in addition to the other award nominees, which included:

- 337 Daly Avenue—Infill Development
- 651 Park Avenue—Adaptive Re-Use
- 343 Park Avenue—Excellence in Restoration

Staff has included the November 18th staff report as Exhibit B; the staff report provides background on the Historic Preservation Award and these specific projects.

562 Main Street was a contender for the 2014 Historic Preservation Board award; however, work had not yet been completed at the time of the selection for the award. 562 Main Street was completed in late-2014. Staff recommends that the project be nominated for its Excellence in Restoration:

- 562 Main Street—Excellence in Restoration
 The “Landmark” structure is protected by a façade easement that required City Council to review and approve any exterior changes. The project’s design team also provided an extensive engineering report that demonstrated the need for panelization. Staff worked closely with the construction crew to ensure that the panelization was completed as specified per the plans. Staff also routinely inspected the site to guarantee that all salvageable historic materials, such as the wood siding, were preserved and safeguarded during the construction. The project is nearing completion and is expected to be finished prior to Sundance.

Recommendation

Staff recommends the Historic Preservation Board choose one (1) awardee for the annual Preservation Award.

Exhibits

Exhibit A- 562 Main Street Photos + Historic Site Inventory Form

Exhibit B- 11.18 Staff Report

Exhibit A



562 Main Street

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **Raddon Dye Works**

Address: 562 MAIN ST

AKA: 566 Main Street

City, County: Park City, Summit County, Utah

Tax Number: CARR-A

Current Owner Name: 562 MAIN ST LLC

Parent Parcel(s): PC-309, PC-309-A

Current Owner Address: 14400 N 76TH PL, SCOTTSDALE, AZ 85260

Legal Description (include acreage): LOT A CARR REPLAT SUBDIVISION, 0.05 AC

2 STATUS/USE

Property Category

- building(s), main
 building(s), attached
 building(s), detached
 building(s), public
 building(s), accessory
 structure(s)

Evaluation*

- Landmark Site
 Significant Site
 Not Historic

Reconstruction

- Date:
Permit #:
 Full Partial

Use

- Original Use: Commercial
Current Use: Commercial

- *National Register of Historic Places: ineligible eligible
 listed (date: 03/07/1979 - Park City Main Street Historic District)

3 DOCUMENTATION

Photos: Dates

- tax photo:
 prints:
 historic: c.

Drawings and Plans

- measured floor plans
 site sketch map
 Historic American Bldg. Survey
 original plans:
 other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
 tax card
 original building permit
 sewer permit
 Sanborn Maps
 obituary index
 city directories/gazetteers
 census records
 biographical encyclopedias
 newspapers
 city/county histories
 personal interviews
 Utah Hist. Research Center
 USHS Preservation Files
 USHS Architects File
 LDS Family History Library
 Park City Hist. Soc/Museum
 university library(ies):
 other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

Longstreth, Richard. *The Buildings of Main Street; A Guide to Commercial Architecture*. Updated edition. Walnut Creek, CA:

Alta Mira Press, a division of Rowman & Littlefield Publishers, Inc., 2000.

Notarianni, Philip F., "Park City Main Street Historic District." National Register of Historic Places Inventory, Nomination Form. 1979.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: 2-Part Block

No. Stories: 2

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # ____; structure(s), # ____.

General Condition of Exterior Materials:

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not verified.

Walls: Drop siding with cornice brackets.

Roof: Shed roof form.

Windows/Doors: Single and paired double-hung sash type, large display windows flanking a center recessed entryway.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The two-story frame 2-pat block remains as it was described in the National Register nomination and as seen in early photographs. The site retains its original design character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting is typical of a mining era commercial core; buildings are located adjacent to one another and abut the sidewalk or street edge.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era commercial building are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the recessed entrance and display windows, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of the commercial activity in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The two-part block is one of the most common commercial building types constructed in Park City during the mining era.

This site was listed as a contributing building on the National Register of Historic Places in 1979 as part of the *Park City Main Street Historic District*. It was built within the historic period (1868-1929), is associated with the mining era, and retains its historic integrity. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:) Date of Construction: c. 1922¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

¹ Notarianni, page 126.

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's commercial buildings represent the best remaining metal mining town business district in the state. The buildings along Main Street, in particular, provide important documentation of the commercial character of mining towns of that period, including the range of building materials, building types, and architectural styles. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining business district².

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Southwest oblique. Camera facing northeast, 2008.

Photo No. 2: West elevation. Camera facing east, 2008.

Photo No. 3: Northwest oblique. Camera facing southeast, 2008.

Photo No. 4: West elevation. Camera facing east, 2006.

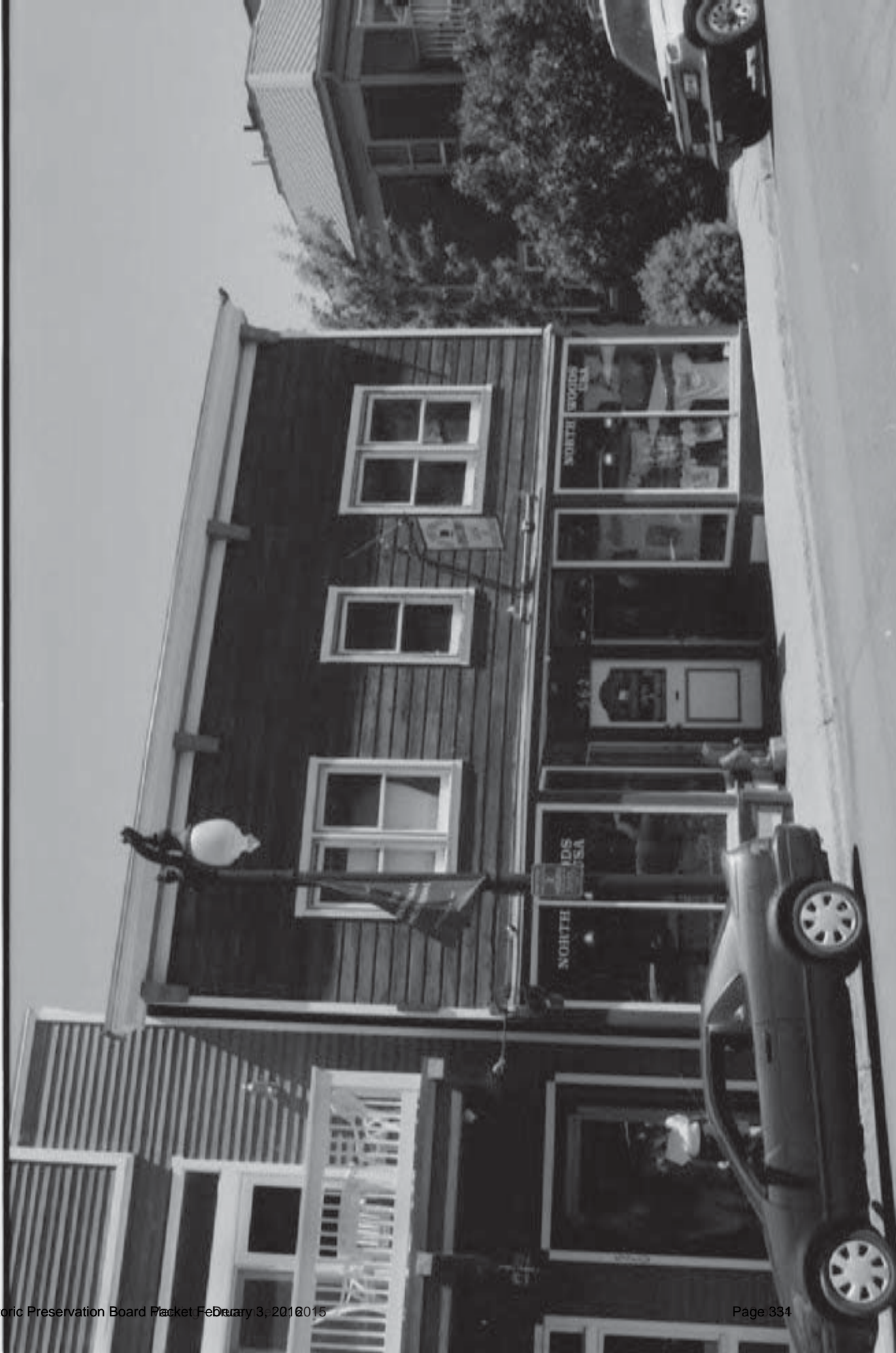
Photo No. 5: West elevation. Camera facing east, 1995.

Photo No. 6: Southwest oblique. Camera facing northeast, tax photo.

Park City Historical Society & Museum has an extensive library of historic photographs; time constraints did not permit review of available historic photographs for this report.

² From "Park City Main Street Historic District" written by Philip Notarianni, 1979 and "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.











Chloe Lane

562



Historic Preservation Board Staff Report



Subject: Annual Historic Preservation Award Program
Author: Anya Grahn
Date: November 18, 2015
Type of Item: Administrative
Project Number: GI-15-02972

Summary Recommendations

Staff recommends the Historic Preservation Board choose one (1) awardee for the annual Preservation Award, select three (3) members to form an Artist Selection Committee, and discuss awarding commemorative plaques.

Background

The Historic Preservation Board (HPB) has indicated as part of their Visioning goals the intent to continue the Preservation Awards program. The awards program is to be based on a Project utilizing the *Design Guidelines for Historic Districts and Historic Sites*, adopted in 2009, and the focus of the award may change from year to year. The Board has agreed that the HPB Preservation Award should not compete with any of the Historical Society's awards, but complement the existing joint preservation efforts already taking place and highlight the *Design Guidelines for Historic Districts and Historic Sites* by which all development in the Historic Districts must comply.

Properties are selected for this award based on the following categories:

- Adaptive Re-Use
- Infill Development
- Excellence in Restoration
- Sustainable Preservation
- Embodiment of Historical Context
- Connectivity of Site

Previous award winners include:

- 2011: High West Distillery (artist Sid Ostergaard)
- 2012: Washington School House Hotel (artist Jan Perkins)
- 2013: House at 929 Park Avenue (artist Dori Pratt) and Talisker on Main/515 Main Street (artist Bill Kranstover)
- 2014: Garage at 101 Prospect (artist Bill Kranstover)

All five (5) of these paintings are showcased in City Hall, on the main and second levels. Owners of these sites have received a frame copy of the art work as part of the award.

In the past, the Historic Preservation Board has discussed commemorating these award recipients with a plaque. This award is not intended to compete with any of the Historical Society's awards, and staff has confirmed with the Park City Museum that they are currently not awarding plaques to property owners.

If the Historic Preservation Board is interested in awarding plaques to past and future Historic Preservation Award recipients, staff will return to the HPB to discuss these options more fully. ***Would the Historic Preservation Board be interested in either of the following?***

1. Customized plaque with limited text stating the property address, Historic Preservation Award Recipient, and the year the site received the award. The plaque would measure no more than ten inches by seven inches (10"x7").
2. Customized plaque with headline that states the property address, Historic Preservation Award Recipient, and the year the site received the award. Additionally, the plaque would also provide a short history of the site. Staff has heard from several property owners and Old Town residents that a short history of sites would help the community better connect and promote the history of Old Town.

This is the fifth (5th) year that the Historic Preservation Board is honoring projects in Old Town. If the HPB chooses to present property owners with a commemorative plaque, staff recommends that we invite the past award winners to attend the City Council ceremony in which we honor this year's award winner as well as past Historic Preservation Award recipients. The plaques could be distributed at this City Council ceremony in May, in honor of Historic Preservation Month.

The Historic Preservation Award is intended to honor those projects completed under the 2009 *Design Guidelines*. Staff recommends that the HPB consider the following projects as an award recipient this year:

1. **337 Daly Avenue.** This new structure is Infill Development. The applicant utilized the Design Guidelines to build new compatible construction that reflects vernacular Park City architecture in its use of a cross-wing form, simple posts, double-hung windows and panel doors, stacked stone and vertical siding. Despite the large size of the house, the volumes have been broken up to reflect the mass and scale of adjacent historic houses. The owner has completed most of the construction work himself, and he intends for the project to be completed in December 2015.
2. **651 Park Avenue.** This structure is an example of Adaptive Re-Use. High West renovated and added a small kitchen addition to the rear of this bungalow. The site is currently used as event space for the distillery. Construction was completed late-2014, so this property was not

considered for an award last year. The site is designated as “Landmark” on the City’s Historic Site Inventory and is eligible for the National Register of Historic Places.

3. **343 Park Avenue.** This project is an example of Excellence in Restoration. In 2014, the Historic Preservation Board awarded a Historic District Grant in the amount of \$30,000 to fund the renovation of this site. Work included pouring a new foundation, structural upgrades, and window/door restoration. The work was completed in 2015, and the house is designated as Landmark on the City’s Historic Site Inventory and was listed on the National Register of Historic Places in 1984.

Staff would recommend that the HPB focus on choosing one (1) of the above nominees for their annual Historic Preservation Award.

Recommendation

Staff recommends the Historic Preservation Board choose one (1) awardee for the annual Preservation Award, select three (3) members to form an Artist Selection Committee, and discuss awarding commemorative plaques.

Exhibits

Exhibit A- Photographs of 337 Daly Avenue

Exhibit B- HSI Form for 651 Park Avenue + Current Photographs

Exhibit C- HSI Form for 343 Park Avenue + Current Photographs

Exhibit A- 337 Daly Avenue



Exhibit B– 651 Park Avenue





HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **House at 651 Park Avenue**

Address: 651 Park Ave

AKA:

City, County: Park City, Summit County, Utah

Tax Number: BA-ALL

Current Owner Name: MOORE ANNE HADLEY TRUSTEE

Parent Parcel(s):

Current Owner Address: 2274 S 1300 E #G15-323, SALT LAKE CITY, UT 84106

Legal Description (include acreage) ALL THE BADASS SUBDIVISION; CONT 3749.8 SQ FT OR 0.09 AC

2 STATUS/USE

Property Category

- building(s), main
 building(s), attached
 building(s), detached
 building(s), public
 building(s), accessory
 structure(s)

Evaluation*

- Landmark Site
 Significant Site
 Not Historic

Reconstruction

- Date:
Permit #:
 Full Partial

Use

- Original Use: Residential
Current Use: Commercial

- *National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
 prints:
 historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
 tax card
 original building permit
 sewer permit
 Sanborn Maps
 obituary index
 city directories/gazetteers
 census records
 biographical encyclopedias
 newspapers
- city/county histories
 personal interviews
 Utah Hist. Research Center
 USHS Preservation Files
 USHS Architects File
 LDS Family History Library
 Park City Hist. Soc/Museum
 university library(ies):
 other:

Drawings and Plans

- measured floor plans
 site sketch map
 Historic American Bldg. Survey
 original plans:
 other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Bungalow type

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Tax cards indicate a concrete foundation.

Walls: Narrow wood novelty siding.

Roof: Main-hipped roof form; porch-truncated low-pitched gable sheathed in standing-seam metal.

Windows/Doors: Large rectangular fixed casement type.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The one-story frame bungalow remains as it was described in the National Register nomination (see Structure/Site Form, 1983). Minor changes--the front steps and lattice porch skirt--are minor and do not affect the sites original design integrity.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting has not been altered from what is seen in early photographs.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The bungalow was a common house type built in Utah during the early twentieth century.

This site was nominated to the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*, but was not listed because of the owner's objection. It was built within the historic period, defined as 1872 to 1929 in the district nomination. The site retains its historic integrity and would be considered eligible for the National Register as part of an updated or amended nomination. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:) Date of Construction: c. 1925¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)

¹ National Register nomination.

Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation. Camera facing west, 2006.

Photo No. 2: Southeast oblique. Camera facing northwest, 1995.

Photo No. 3: Southeast oblique. Camera facing northwest, 1983.

Photo No. 4: Southeast oblique. Camera facing northwest, tax photo.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

Serial No. PC 172

Location _____
 Kind of Bldg. Res St. No. 651 Park
 Class _____ Type 1 2 3 3 Cost \$ _____ X _____ %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		841		\$ 2389
	x x				
	x x				

Gar.—Carport x Fr. _____ Walls _____ Cl. _____

Description of Buildings	Additions
Foundation—Stone _____ Conc. <input checked="" type="checkbox"/> None _____	
Ext. Walls _____ <u>Siding</u>	
Insulation—Floors _____ Walls _____ Cigs. _____	
Roof Type _____ Mtl. _____	
Dormers—Small _____ Med. _____ Large _____	
Bays—Small _____ Med. <u>1</u> Large _____	50
Porches—Front _____ <u>96</u> @ <u>1.80</u>	173
Rear _____ <u>65</u> @ <u>1.20</u>	78
Porch _____ @	
Metal Awnings _____ Mtl. Rail _____	
Basement Entr. _____ @	
Planters <u>Rail 40</u> @	
Cellar-Bamt. — $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ Full _____ <u>None</u>	
Bamt. Apt. _____ Rooms Fin. _____ Unfin. _____	
Attic Rooms Fin. _____ Unfin. _____	
Plumbing {	Class <u>2</u> Tub <u>1</u> Trays _____
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>
	Wtr. Sfr. _____ Shr. St. _____ O.T. _____
	Dishwasher _____ Garbage Disp. _____
Built-in-Appliances _____	
Heat—Stove <input checked="" type="checkbox"/> H.A. _____ Steam _____ Stkr. _____ Bfr. _____	
Oil _____ Gas <input checked="" type="checkbox"/> Coal _____ Pipeless _____ Radiant _____	
Air Cond. _____	
Finish—Fir <input checked="" type="checkbox"/> Hd. Wd _____	
Floor—Fir _____ Hd. Wd <u>2</u> Other _____	60
Cabinets <u>1</u> Mantels _____	
Tile—Walls _____ Wainseot _____ Floors _____	
Storm Sash—Wood D. _____ S. _____; Metal D. _____ S. _____	
Total Additions	771

Year Built _____	Avg. Age <u>32</u>	Current Value	\$ 3159
Inf. by <u>(Owner, Tenant, Neighbor, Record)</u>	Record Est.	Commission Adj.	%
Remodel Year _____	Est. Cost _____	Bldg. Value	
Garage—Class _____	Depr. 2% 3%	Depr. Col. 1 2 3 4 5 6	55 %
Cars _____	Floor _____ Walls _____	Current Value Minus Depr.	\$ 1737
Size— _____ x _____	Age _____	Carport—Factor _____	
Other _____	Cost _____	Roof _____	
		Doors _____	
		Size— _____ x _____	%
		Other _____	

Appraised Dec 3 19 57 By 1831

26 100
Serial Number

OF
Card Number

Owners Name _____

Location _____

Kind of Bldg. Res St. No. 651 Park

Class 5- Type 1 2 3 4. Cost \$ 5283 x 94%

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
	x x	323	6"	\$ 4966	\$
	x x				
	x x				

Att. Gar. - C.P. Flr. _____ Walls _____ Cl. _____

Description of Buildings

Foundation - Stone _____ Conc. Sills _____

Ext. Walls sid

Roof Type Hip Mtl. Shy

Dormers - Small _____ Med. _____ Large _____

Bays - Small Med _____ Large _____

Porches - Front _____ 80 @ 2nd 160

Rear _____ 65 @ 2nd 130

Porch _____ @ _____

~~stairs~~ Rail 40' @ .50 20

Ext. Base. Entry _____ @ _____

Cellar-Bsmt. - 1/4 1/2 3/4 Full _____ Floor NONE

Bsmt. Gar. _____

Basement-Apt. _____ Rms. _____ Fin. Rms.

Attic Rooms Fin. _____ Unfin. _____

Plumbing { Class 2 Tub 1 Trays _____

Basin 1 Sink 1 Toilet 1 650

Wtr. Sfr. _____ Shr. St. _____ O.T. _____

Dishwasher _____ Garbage Disp. _____

Heat - Stove H.A. _____ FA _____ HW _____ Stkr _____ Elec. _____

Oil _____ Gas Coal _____ Pipeless _____ Radiant _____

Air Cond. - Full _____ Zone _____

Finish - Fir. Hd. Wd. _____ Panel _____ 80

Floor - Fir. _____ Hd. Wd. 2 Other _____

Cabinets _____ Mantels _____

Tile - Walls _____ Wainscot _____ Floors _____ 55

Storm Sash - Wood D. 1 S. _____; Metal D. 1 S. _____

Awnings - Metal _____ Fiberglass _____

Total Additions 1145

Year Built 1925 Avg. 1. Replacement Cost 611

Age 2. Obsolescence

Inf. by { Owner - Tenant Adj. Bid. Value

{ Neighbor - Record - Est. Conv. Factor 118

Replacement Cost - 1940 Base 1145

Depreciation Column 3 4 5 6 524

1940 Base Cost, Less Depreciation

Total Value from reverse side

Total Building Value \$ 5717

10-22-19 CR By 1708 DRG LV 1388

Appraised @ 19 _____ By _____

PG 100

X-7

Property Type:

Historic Preservation Research Office

Structure/Site Information Form

Street Address: 651 Park
Park City, Summit County, Utah

UTM: 12 457940 4499390

Name of Structure: House at 651 Park

T. R. S.

Present Owner: Maureen Brown and Sarah White

Owner Address: P.O. Box 242, Park City, Utah 84060

Year Built (Tax Record):
Legal Description

Effective Age:
Kind of Building:

Tax #: PC 100

All of Lots 12, 13, 25, and 26 Block 6, Park City Survey.
Less than one acre.

Original Owner: Lila Nelson

Construction Date: c. 1925 Demolition Date:

Original Use: Residential rental

Present Use:

Building Condition:

Integrity:

Preliminary Evaluation:

Final Register Status:

- | | | | | | | |
|--|--------------------------------|---|---|-------------------------------------|--|---|
| <input type="checkbox"/> Excellent | <input type="checkbox"/> Site | <input type="checkbox"/> Unaltered | <input checked="" type="checkbox"/> Significant | <input type="checkbox"/> Not of the | <input type="checkbox"/> National Landmark | <input type="checkbox"/> District |
| <input checked="" type="checkbox"/> Good | <input type="checkbox"/> Ruins | <input checked="" type="checkbox"/> Minor Alterations | <input type="checkbox"/> Contributory | Historic Period | <input type="checkbox"/> National Register | <input type="checkbox"/> Multi-Resource |
| <input type="checkbox"/> Deteriorated | | <input type="checkbox"/> Major Alterations | <input type="checkbox"/> Not Contributory | | <input type="checkbox"/> State Register | <input type="checkbox"/> Thematic |

Photography: Date of Slides: 1983 Slide No.: Date of Photographs: 1983 Photo No.:

Views: Front Side Rear Other

Research Sources:

- | | | | |
|---|---|--|---|
| <input checked="" type="checkbox"/> Abstract of Title | <input checked="" type="checkbox"/> Sanborn Maps | <input checked="" type="checkbox"/> Newspapers | <input type="checkbox"/> U of U Library |
| <input checked="" type="checkbox"/> Plat Records/Map | <input type="checkbox"/> City Directories | <input type="checkbox"/> Utah State Historical Society | <input type="checkbox"/> BYU Library |
| <input checked="" type="checkbox"/> Tax Card & Photo | <input type="checkbox"/> Biographical Encyclopedias | <input type="checkbox"/> Personal Interviews | <input type="checkbox"/> USU Library |
| <input type="checkbox"/> Building Permit | <input checked="" type="checkbox"/> Obituary Index | <input type="checkbox"/> LDS Church Archives | <input type="checkbox"/> LLC Library |
| <input type="checkbox"/> Sewer Permit | <input checked="" type="checkbox"/> County & City Histories | <input type="checkbox"/> LDS Genealogical Society | <input type="checkbox"/> Other |

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Hanley, Gerald. Telephone interview, May 1, 1984, Park City, Utah.
Park Record, May 25, 1939, p. 1. Lila Nelson obituary.

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: Bungalow

Description of physical appearance & significant architectural features:
(Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one story frame bungalow with a hip roof. Characteristic of a bungalow is the low pitch of the hip roof and the prominent front porch. The facade is almost symmetrical with a door set slightly off-center between two large plate glass windows. The porch is set off-center, spanning just two thirds of the facade. It has a clipped gable roof, porch piers that are original, and a balustrade that is a more recent addition. The balustrade is unobtrusive and is in keeping with the character of the building. Because the porch is positioned off-center it creates the impression of asymmetry. The siding of this house is narrow novelty siding, like a majority of Park City's bungalows. The house is raised slightly off the ground, and has lattice panels along the lower edges. A square bay projects from the south side to which a small half frame half screen porch is attached at the west end. The house is in fair condition, and except for the replacement of the balustrade, has no exterior alterations. It, therefore, maintains its original integrity.

Statement of Historical Significance:

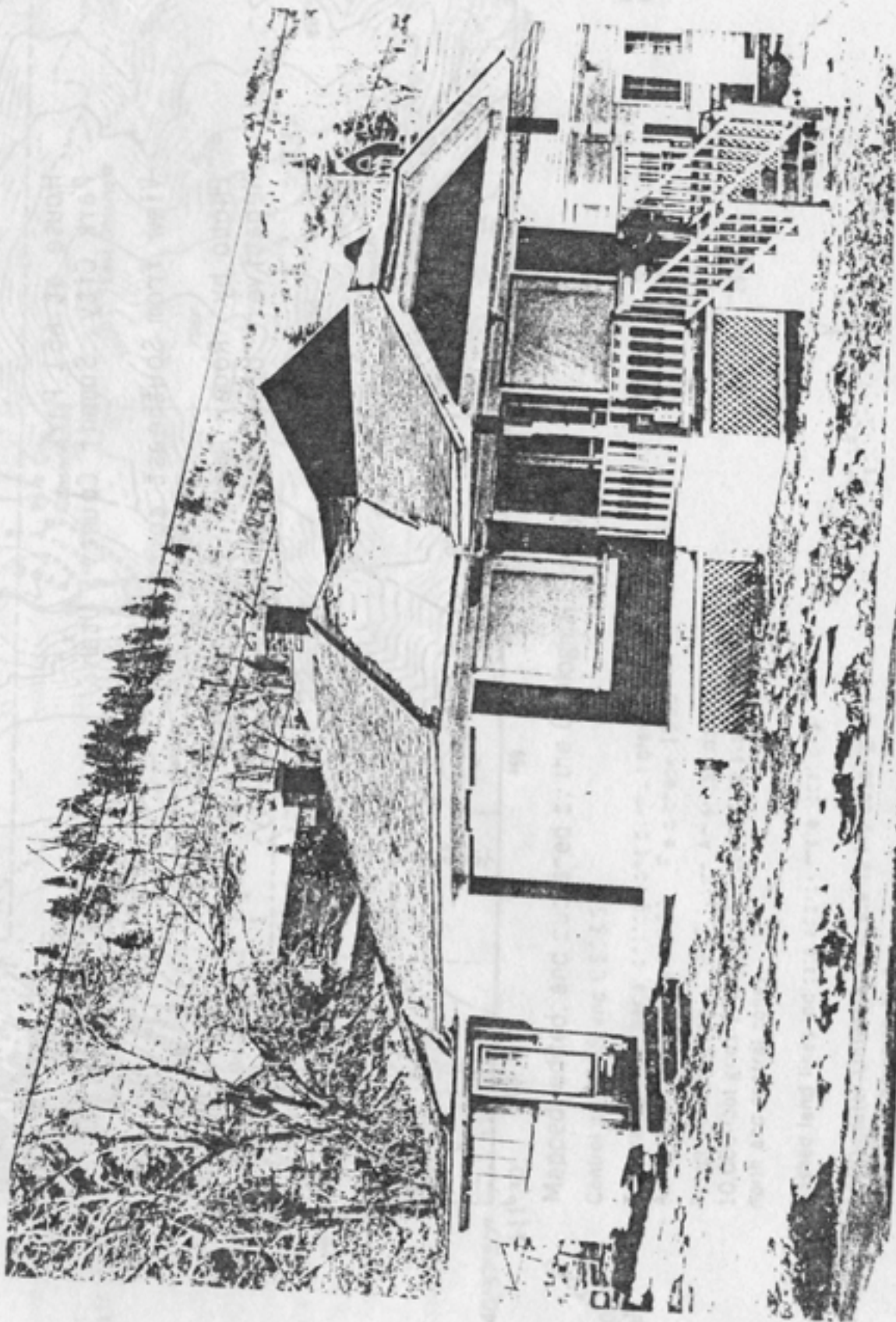
Construction Date: c. 1925

Built c. 1925, the house at 651 Park is architecturally significant as one of 18 extant bungalows in Park City, eight of which are included in this nomination. The bungalow is the major Park City house type that was built between 1907 and the end of the mining boom period, and significantly contributes to the character of the residential area.

This house was built c. 1925 as investment property for Lila Nelson,¹ a daughter of one of the early settlers of Park City. Her parents were Col. John A. and Eliza C. Nelson, who came to Park City in the mid-1870s and were prominent in the mining, social, and business affairs of the community. Lila was born in 1868 in Virginia City, Montana, graduated from the Sacred Heart Academy in Ogden, Utah, and for several years served as treasurer of a large theatrical chain in the East. She also taught school for a time in Montana and spent two years in Alaska during the gold rush with her brother, John, before returning to take up her permanent residence in Park City. Lila's residence was on Nelson Hill (now the location of the headquarters of the Park City Ski Resort). She died in 1939. This house remained in the Nelson family until 1953, when it was purchased by William P. Hanley. The Hanleys owned it until the current owners bought it in 1976.

The basic styling of this house is similar to that of other bungalows in town which were built in the late 1920s, two examples being the houses at 1100 and 1110 Woodside.

¹Telephone interview with Gerald Hanley, brother of William Hanley, May 1, 1984, Park City, Utah. Mr. Hanley's statement that this house was built in the 1920s as investment property for Lila Nelson is supported by all the available evidence.



To meet on the property with American Datum 1983
more the projection lines 8 meters north and
64 meters east as shown by dashed corner lines





Exhibit C– 343 Park Avenue



HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 343 Park Ave

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-44

Current Owner Name: NEELY BLAKE IV & BETH H/W (JT)

Parent Parcel(s):

Current Owner Address: 15720 WOODVALE RD, ENCINO, CA 91436

Legal Description (include acreage): ALL LOT 11 & S1/2 LOT 12 BLK 3 PARK CITY SURVEY; Acres 0.07

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date: _____
- Permit #: _____
- Full Partial

Use

- Original Use: Residential
- Current Use: Residential

- *National Register of Historic Places: ineligible eligible
- listed (date: 7/12/1984 - Mining Boom Era Residences Thematic District)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

- Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
- Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
- McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
- Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
- Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Foursquare

No. Stories:

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # 1.

General Condition of Exterior Materials:

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- POOR (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Stone retaining wall runs the length of frontage; line is broken to accommodate steps to entry porch.

Foundation: Tax cards indicate no foundation, not verified.

Walls: Drop siding.

Roof: Hipped roof form sheathed in asphalt shingles.

Windows/Doors: Paired double-hung sash type.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The one-story frame foursquare remain unchanged from the description provided in the National Register nomination form (see Structure/Ste Form, 1983).

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The setting remains unchanged from what is described in the National Register nomination form.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The foursquare was a common house type built in Utah during the mining era.

This site was listed on the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*. It was built within the historic period, defined as 1872 to 1929 in the district nomination, and retains its historic integrity. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:) Date of Construction: c. 1898

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.¹

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: East elevation. Camera facing west, 2006.

Photo No. 2: East elevation. Camera facing west, 1995.

Photo No. 3: Northeast oblique. Camera facing southwest, 1983.

Photo No. 4: Southeast oblique. Camera facing northwest, tax photo.

¹ From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

Serial No. PC44

Location _____
 Kind of Bldg. Rsn St. No. 343 Park
 Class 3 Type 1 2 3 4. Cost \$ _____ X _____ %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		844		\$ 1709
	x x				
	x x				

Gar.—Carport x Fir. _____ Walls _____ Cl. _____

Description of Buildings		Additions		
Foundation—Stone _____	Conc. _____	None <input checked="" type="checkbox"/>		
Ext. Walls _____	<u>Siding</u>			
Insulation—Floors _____	Walls _____	Cigs. _____		
Roof Type _____	<u>Shp</u>	Mtl. <u>Alu</u>		
Dormers—Small _____	Med. _____	Large _____		
Bays—Small _____	Med. _____	Large _____		
Porches—Front _____	<u>110</u>	@ <u>110</u>		
Rear _____		@ _____		
Porch _____		@ _____		
Metal Awnings _____		Mtl. Rail _____		
Basement Entr. _____		@ _____		
Planters _____		@ _____		
Cellar-Bemt. — $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ Full _____		Floor _____		
Bemt. Apt. _____	Rooms Fin. _____	Unfin. _____		
Attic Rooms Fin. _____		Unfin. _____		
Plumbing	Class <u>1</u>	Tub <u>1</u>	Trays _____	
	Basin <u>1</u>	Sink <u>1</u>	Toilet <u>1</u>	
	Wtr. Sfr. _____	Shr. St. _____	O.T. _____	
	Dishwasher _____	Garbage Disp. _____		
Built-in-Appliances _____				
Heat—Stove <input checked="" type="checkbox"/>	H.A. _____	Steam _____	Stkr. _____	Blr. _____
Oil _____	Gas _____	Coal _____	Pipeless _____	Radiant _____
Air Cond. _____				
Finish—Fir <input checked="" type="checkbox"/>	Hd. Wd. _____			
Floor—Fir <input checked="" type="checkbox"/>	Hd. Wd. _____	Other _____		
Cabinets _____	Mantels _____			
Tile—Walls _____	Wainscot _____	Floors _____		
Storm Sash—Wood D. _____	S. _____	Metal D. _____	S. _____	
Total Additions				<u>460</u>

Year Built _____	Avg. Age <u>53</u>	Current Value	\$ <u>2169</u>	
Inf. by <input type="checkbox"/> Owner - Tenant -	<input type="checkbox"/> Neighbor - Record - Est.	Bldg. Value		
Remodel Year _____	Est. Cost _____	Depr. Col. <u>1</u> 2 3 4 5 6	<u>34</u> %	
Garage—Class _____	Depr. 2% 3%	Carport—Factor _____		
Cars _____	Floor _____	Walls _____	Roof _____	Doors _____
Size—_____ x _____	Age _____	Cost _____	x _____ %	
Other _____				
Total Building Value			\$ _____	

Appraised 12-3-55 By 1331

PC 44
Serial Number

OF
Card Number

Owners Name _____

Location _____

Kind of Bldg Res St. No. 343 Park Ave

Class 3 Type 1 2 3 4 Cost \$ _____ X _____ %

Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
	x x	676		\$ 2970	\$
	x x				
	x x				

Att. Gar.—C.P. x Fir. _____ Walls _____ Cl. _____

Description of Buildings Additions Additions

Foundation—Stone _____ Conc. _____ Sills _____

Ext. Walls Sid (A)

Roof Type HIP Mtl. Pnt + Alum

Dormers—Small _____ Med. _____ Large _____

Bays—Small _____ Med _____ Large _____

Porches—Front 110 @ 120 132

Rear _____ @ _____

Porch _____ @ _____

Planters _____ @ _____

Ext. Base. Entry _____ @ _____

Cellar-Bsmt. — $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ Full None

Bsmt. Gar. _____

Basement-Apt. _____ Rms. _____ Fin. Rms. _____

Attic Rooms Fin. _____ Unfin. _____

Plumbing { Class 1 Tub 1 Trays _____

Basin 1 Sink 1 Toilet 1 550

Wtr. Sfr. _____ Shr. St. _____ O.T. _____

Dishwasher _____ Garbage Disp. _____

Heat—Stove H.A. FA Y HW Stkr Elec. 313

Oil _____ Gas Y Coal _____ Pipeless _____ Radiant _____

Air Cond. — Full _____ Zone _____

Finish—Fir. / Hd. Wd. _____ Panel _____

Floor—Fir. / Hd. Wd _____ Other _____

Cabinets 1 Mantels _____

Tile—Walls _____ Wainscot _____ Floors _____

Storm Saab—Wood D. _____ S. _____; Metal D. 1 S. 30

Awnings — Metal _____ Fiberglass _____

108 @ STORAGE @ 1.50 252

Total Additions 1277

Year Built 1904 Avg. 1/50 Replacement Cost 4247

Age 2 Obsolescence _____

Inf. by Owner - Tenant - Adj. Bid. Value _____

Neighbor - Record - Est. Conv. Factor 1.16

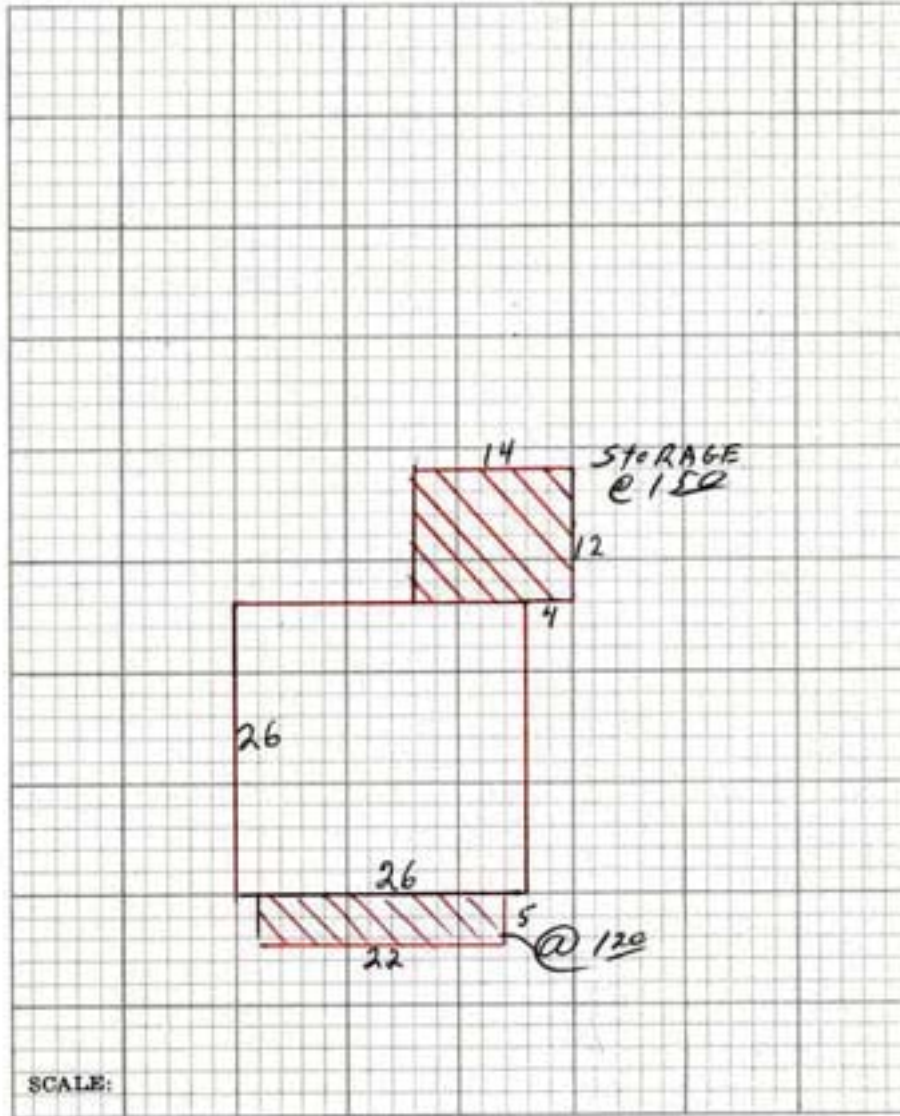
Replacement Cost—1940 Base _____

Depreciation Column 1 2 3 4 5 6 _____

1940 Base Cost, Less Depreciation _____

Total Value from reverse side _____

Total Building Value \$ _____



SCALE:

RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Factor	Cost	Conv. Fac.	Adj. Cost	Depr. Value
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class _____ Depr. 2% 3% _____

Cars _____ Floor _____ Walls _____ Roof _____ Doors _____

Size _____ x _____ Age _____ Cost _____ x 47% _____

_____ 1940 Base Cost _____ x _____ % Depr. _____

Total _____

REMARKS _____



Structure/Site Information Form

1 IDENTIFICATION

Street Address: 343 Park Park City, Summit County, Utah UTM: 12 458120 4498980
 Name of Structure: House at 343 Park T. R. S.
 Present Owner: Robert W. Thielke
 Owner Address: 1026 Hillview Drive, Salt Lake City, Utah 84117
 Year Built (Tax Record): Effective Age: Tax #: PC 44
 Legal Description: Kind of Building:
 All Lot 11 and South half Lot 12 Block 3, Park City Survey
 Less than one acre.

2 STATUS/USE

Original Owner: probably Walter and Ann W. Wilcocks Construction Date: c. 1898 Demolition Date:
 Original Use: Residence Present Use:
 Building Condition: Integrity: Preliminary Evaluation: Final Register Status:
 Excellent Site Unaltered Significant Not of the National Landmark District
 Good Ruins Minor Alterations Contributory Historic Period National Register Multi-Resource
 Deteriorated Major Alterations Not Contributory State Register Thematic

3 DOCUMENTATION

Photography: Date of Slides: 1983 Slide No.: Date of Photographs: 1983 Photo No.:
 Views: Front Side Rear Other Views: Front Side Rear Other
 Research Sources:
 Abstract of Title Sanborn Maps Newspapers U of U Library
 Plat Records/Map City Directories Utah State Historical Society BYU Library
 Tax Card & Photo Biographical Encyclopedias Personal Interviews USU Library
 Building Permit Obituary Index LDS Church Archives SLC Library
 Sewer Permit County & City Histories LDS Genealogical Society Other Census Records

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):
 1900 Census Records. Summit County, Park City Precinct. p. 156-A.
Deseret News. March 12, 1930, p. 10. Ann Wilcocks obituary.
Salt Lake Tribune. June 20, 1898, p.1.

Architect/Builder: unknown

Building Materials: wood

Building Type/Style: Pyramid House

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one story frame pyramid house with a truncated hip roof. Typical of the pyramid house is the square plan, the generally symmetrical facade with the door set slightly off center between pairs of double hung sash one over one light windows, the truncated hip roof, and the porch supported on lathe turned piers that spans the facade. The windows are framed with a common type of Victorian molding, one that is grooved and has decorative corner blocks. There is a rear shed extension on the northwest corner of the building, which in scale and materials complements the original section, and may in fact be original. In-period rear extensions are part of Park City's architectural vocabulary. Although in many cases an extension represents a major alteration of the original house, it usually contributes to the significance of a house because it documents the most common and acceptable method of expansion of the small Park City house. This house has received no major alterations and is in excellent condition. It maintains its original integrity.

Photos:

Statement of Historical Significance:

Construction Date: c. 1898

Built c. 1898, the house at 343 Park is architecturally significant as one of 69 extant pyramid houses in Park City, 28 of which are included in this nomination. Of the 28 being nominated, 11 are true pyramid houses and 17 are variants of the basic type. This house is one of the true pyramid houses. The pyramid house is one of the three most common house types built during the early period of Park City's mining boom era, and significantly contributes to the character of the residential area. It appeared early on, but continued to be built with variations longer than the other two types.

This house was built by at least 1900, as indicated by the Sanborn Insurance Maps, having probably been built c.1898 as investment property by Walter and Ann W. Wilcocks, who lived down the block at 363 Park. William Scoble, Ann Wilcocks' brother, sold them the property in 1888, at which time there was a different house located there. That house was probably destroyed in the fire of 1898, which burned many of the houses in town, including some along this the west side of Park Avenue.¹ Ann Wilcocks, widowed in 1900, probably rented out this house until selling it in 1905 to her 21 year old nephew, William J. Scoble (a son of William Scoble). The 1900 census records indicate that at that time this house was probably occupied by William Boyd, a druggist, and his family. William J. Scoble, who had previously lived with the Wilcocks in their neighboring house, owned this house until 1924, although it is unclear whether or not he ever lived here. Other owners of the house include Willard R. Jones (1924-26), Henry and Corina Tuggle (1926-49), and Robert W. Thielke (1949-c.1980).

¹Salt Lake Tribune, June 20, 1898, p. 1.



House at 343 Park
Park City, Summit County, Utah

View from Northeast corner

Photo by Roger Roper, October 1983
Negative: Utah State Historical Society





Historic Preservation Board Staff Report



Subject: Design Guideline Revisions
Author: Anya Grahn, Planner
Hannah Turpen, Planner
Date: February 3, 2016
Type of Item: Work Session
Project Number: GI-13-00222

Summary Recommendations

Staff has committed to routinely reviewing the existing Design Guidelines for Historic Districts and Historic Sites. The Planning Department requests the Historic Preservation Board open a public hearing, review the possible amendments to the *June 19, 2009 Design Guidelines for Park City's Historic Districts and Historically Significant Buildings*, and forward a positive recommendation regarding the staff's proposed changes as referenced in Exhibit C to City Council.

Staff requests that the Historic Preservation Board (HPB) read and familiarize themselves with the existing Design Guidelines to prepare for this work session. The Design Guidelines are available online at:

<http://www.parkcity.org/Modules/ShowDocument.aspx?documentid=62>.

Background

During the January 6, 2016, HPB meeting, staff discussed the history of the City's preservation efforts, the purpose of the Design Guidelines and their role as a living document, as well as differences between Federal, State, and local preservation regulations. Staff reminded the HPB that though our Design Guidelines are based on the Secretary of the Interior's Standards for Preservation, Rehabilitation, Restoration, and Reconstruction, the City does not enforce the Secretary of the Interior's Standards; we rely solely on the Design Guidelines. Our Design Guidelines identify four (4) treatment methods: Preservation, Rehabilitation, Restoration, and Reconstruction, which are often used in tandem depending on the condition of the structure and work to be completed. These terms are defined on page 6 of the Design Guidelines.

Staff began reviewing the Design Guidelines with the HPB in December 2014. Staff met with the HPB to discuss a potential outline for Design Guideline Changes in December 2014. Following this discussion, staff brought forward a work session regarding the treatment of historic structures to discuss panelization and reconstruction in February 2015. In September and October 2015, the HPB discussed compatibility of new additions. Staff also led a discussion with the HPB regarding character zones on October 7, 2015 and November 18, 2015. Starting in January 2016 and going forward, staff will be reviewing the Design Guidelines with the HPB on a monthly basis.

During the January 6, 2015, meeting, the HPB reviewed amendments to the following Design Guideline Sections:

- Universal Design Guidelines
- Site Design
 - Building Setbacks & Orientation
 - Topography & Grading
 - Landscaping & Vegetation
 - Retaining Walls
 - Fencing
 - Paths, Steps, Handrails & Railings (Not Associated with Porches)
 - Gazebos, Pergolas, and Other Shade Structures
 - Parking Areas & Driveways

The HPB continued the discussion to the February 3rd meeting and directed staff to bring back revisions to the Design Guidelines based on the HPB's feedback.

Staff had originally recommended that the HPB spend the year reviewing and amending the Design Guidelines before meeting with City Council to pass a resolution to adopt these changes at the end of 2016. The HPB expressed concern that this timeframe was too onerous and asked staff to break the Design Guidelines into sections that could be reviewed with City Council prior to December 2016. Staff has considered the HPB's input and finds the following will aid in approving our efficiency and expedite our meeting with Council:

- Because of how the existing Design Guidelines are crafted, staff recommends that the HPB review the revised guidelines for Design Guidelines for Historic Residential Structures and Design Guidelines for Historic Commercial Structures as these two (2) proposed sections will replace our Design Guidelines for Historic Sites chapter; we will then review these amendments with City Council in Summer 2016. Similarly, staff will bring forward the Design Guidelines for Infill Residential Construction and Design Guidelines for Infill Commercial Construction for HPB review before reviewing these sections with City Council in Winter 2016.
- Staff will strive to publish the staff report for Design Guideline amendments one week prior to publishing the entire HPB packet. This will provide board members additional time to review the amendments, find grammatical mistakes, and ask staff questions.
- During the January meeting, staff presented nine (9) subsections of the Design Guidelines to the HPB. Going forward, staff will be presenting a greater number of subsections for the HPB's review in order to expedite the process further. An updated calendar for reviewing these revisions is provided as Exhibit C.

Analysis

Following January's meeting, staff has made several significant edits to the Design Guidelines reviewed by the HPB:

- Staff removed all the existing and proposed numbering to reduce confusion. The guidelines will be renumbered as part of the final document.

- The use of the phrase “historic building and structure” is repetitive. The Design Guidelines define a structure as “anything constructed, the Use of which requires a fixed location on or in the ground, or attached to something having a fixed location on the ground and which imposes an impervious material on or above the ground; definition includes “Building.” As the definition of structure already includes building, staff has simplified the Guidelines to only refer to a “structure” and not a “building and structure.”
- In the previously proposed changes, staff had incorporated the term “historic property.” As the existing Guidelines use the term “historic site,” staff has chosen to continue to use this term for consistency.
- Finally, staff has worked to correct grammatical errors, simplify wording, and make the proposed changes consistent.

Additionally, the Historic Preservation Board asked that staff return in February to discuss the definitions of “compatibility” and “subordinate.” The Land Management Code currently provides the following definitions:

- **COMPATIBLE OR COMPATIBILITY.** Characteristics of different Uses or designs that integrate with and relate to one another to maintain and/or enhance the context of a surrounding Area or neighborhood. Elements affecting Compatibility include, but are not limited to, Height, scale, mass and bulk of Building, pedestrian and vehicular circulation, parking, landscaping and architecture, topography, environmentally sensitive Areas, and Building patterns.
- **VISUAL COMPATIBILITY.** Characteristics of different architectural designs that integrate with and relate to one another to maintain and/or enhance the context of a surrounding Area or neighborhood. In addition to the elements effecting Compatibility which include, but are not limited to Height, scale, mass, and bulk of Building. Other factors that dictate compatibility include proportion of building’s front facade, proportion of openings within the facility, rhythm of solids to voids in front facades; rhythm of entrance or porch projections; relationship of materials and textures; roof shapes; scale of building.

The LMC and Design Guidelines do not define subordinate; however, the Oxford Dictionary defines it as lower in rank or position; of less or secondary importance. Further, Park City’s General Plan states:

“Per historic preservation practices, subordinate design refers to additions or new construction that is visually contiguous to a historic structure, yet reinforces the visual dominance of the historic structure. While a smaller addition is visually preferable to achieve subordinate design, various design strategies (e.g underground SF, placement on lot, choice of materials) can achieve this goal despite the fact that the addition may contain greater SF than the historic structure.”

Staff finds that defining these terms requires a thorough discussion, which staff will incorporate into the March Design Guideline revisions staff report.

The following depicts the edits staff made following input from the HPB. The black text represents the existing Design Guideline; the underlined red is staff's amendments; and the blue represents the edits staff made following the HPB's discussion. Many of the edits we made were to make the language consistent throughout the Guidelines, correct grammatical errors, etc.

A. Universal Design Guidelines:

4. *Distinctive materials, components, finishes, and examples of craftsmanship should be retained and preserved. Owners are encouraged to reproduce missing historic elements that were original to the building, but have been removed. Physical or photographic evidence should be used to substantiate the reproduction of missing features. In some cases, where there is insufficient evidence to allow for an accurate reconstruction of the lost historic elements, it may be appropriate to reproduce missing historic elements that are consistent with properties of similar design, age, and detailing ~~in some cases.~~*

9. *New construction—such as new additions, exterior alterations, repairs, upgrades, etc. — or related new construction should not destroy historic materials, features, and spatial relationships that characterize the historic site or building historic structure. ~~The new work~~ New construction should be differentiated from the historic structure or construction and should, at the same time, be compatible with the historic structure or construction in materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. ~~historic structure, the historic site, and its environment.~~*

B. Site Design

BUILDING SETBACKS & ORIENTATION

A.1.4 Maintain the existing front and side yard setbacks of historic sites.

A.1.2 Preserve the original location of the main entry of the historic structure, if extant.

~~A.1.3 Maintain the original path or steps leading to the main entry, if extant.~~¹

TOPOGRAPHY AND GRADING

A.5.8-2.1. Maintain the natural topography and original grading of the site when and where feasible.

A.5.3-2.2. The historic character of the site should not be significantly altered by substantially changing the proportion of built and/or paved area to open space, or and vice versa.

LANDSCAPING & SITE GRADING VEGETATION

¹ Relocated to "Paths, Steps, Handrails, ..."

~~A.5.3.4~~ Respect and maintain historic existing landscape features that contribute to the historic character of the site and these existing landscape features that provide sustainability benefits.

~~A.3.2~~ Maintain established on-site native plantings on site. During construction, protect established vegetation during construction to avoid damage. and Replace damaged, aged, or diseased trees as necessary. Vegetation that may encroach upon or damage the historic building structure may be removed, but should be replaced with similar vegetation away from the historic building structure.

~~A.5.2~~ Incorporate landscape treatments for driveways, walkways, paths, building and accessory structures in a comprehensive, complimentary and integrated design.²

~~A.5.6~~ ~~A.3.3~~ Provide a detailed landscape plan that respects, particularly for the front yard, areas viewable from the public right-of-way, that respects the manner and materials historically used traditionally in the historic districts. Consider all relationships on and with the site when planning for the long term sustainability of the landscape system. Relationships between site and building as well as between plants with other plants on site should be considered. When planning for the long-term sustainability of a landscape system, consider all landscape relationships on the site, the relationship between the site and its structure(s), as well as the relationship between plants and other plants on a site.

~~A.5.3.4~~ Landscape plans should balance water efficient irrigation methods and drought tolerant and native plant materials with existing plant materials and site features that contribute to the historic significance of the site.

~~A.3.6~~ Use to advantage existing stormwater management features, such as gutters and downspouts as well as site topography and vegetation, that contribute to the sustainability of the historic property site.

~~A.3.7~~ Where watering systems are necessary, use those which systems that minimize water loss, such as drip irrigation. Consider the use of xeriscaping or permaculture strategies for landscape design to maximize water efficiency; these systems should be designed to maintain the traditional historic character of the lot as viewed areas viewable from the public right-of-way.

~~A.5.5~~ Landscape plans should allow for snow storage from driveways.³

~~A.5.7~~ Provide landscaped separations between parking areas, drives, service areas, and public use areas including walkways, plazas, and vehicular access points.⁴

² Relocated to "Parking Areas and Driveways."

³ Relocated to "Parking Areas and Driveways."

⁴ Relocated to "Parking Areas and Driveways."

STONE RETAINING WALLS

~~A.2.1 Maintain historic stone retaining walls in their original locations. Maintain the historic line height and setback of stone retaining walls along the street. Retaining walls of stone, concrete, or rock-faced concrete block that are original to a property the historic site should be preserved and maintained in their original dimensions.~~

~~A.2.2 Maintain the original dimensions of historic retaining walls.~~

~~Removing portions of retaining walls for new driveways and pathways should be avoided to the greatest extent possible, but where it must occur, visual impacts should be minimized.~~

~~A.2.2 Retaining walls should be repaired with materials which that closely approximate the original. Replace only those portions of historic stone retaining walls that have deteriorated beyond repair. When repair of a deteriorated feature retaining wall is not feasible, the replacement must reuse the existing stone where possible to the greatest extent possible, or and otherwise match the original in color, shape, size, material, and design.~~

~~A.2.3 To reduce failure of walls abate retaining wall failure, improve drainage behind them retaining walls so that water drains away from the walls. Preserve and repair Repair and preserve existing historic stone and mortar.~~

~~A.2.4 New retaining walls should be consistent with historic features retaining walls in design, materials, and scale of materials, as well as size and mass of the wall. Simple seered board-formed concrete, stone, and other historic materials are recommended over concrete block, asphalt, or other modern concrete treatments.~~

~~A.2.5 Non-extant historic retaining walls of brick, concrete or stone specific to the historic site may be reconstructed based on physical or pictorial evidence. or Historically appropriate concrete or stone walls, if consistent with the historic character of the district, may be added to the front of a property area of a historic site viewable from the public right-of-way if historically appropriate and consistent with the character of the district.~~

~~A.2.6 Maintain stone in its natural finish. It is not appropriate to paint, stain, or plaster over stone or concrete walls.~~

FENCES FENCING & HANDRAILS

~~A.3.1 Maintain Historic fences fencing and handrails should be preserved and maintained.~~

~~A.3.2 Historic fences fencing and handrails may be reconstructed based on photographic evidence. The reconstruction should match the original in design, color, texture, and material. Wood picket fences with flat, dog-ear, or pointed tops were typical in the front yard; the heights of these fences was generally less~~

~~than three feet (3'), the boards were 3-1/2" wide and spacing of 1-3/4" between boards.~~⁵

~~A.3.3 New fences fencing and handrails should reflect the building's structure's style and period. New wood and metal fences fencing located in the front yard where viewable from the public right-of-way should feature traditional designs and patterns. Split or horizontal rail, railroad tie, or timber fences fencing may be located in rear yards where not viewable from the public right-of-way, but should be avoided in front yards where visible from the primary public right-of-way. Vinyl or plastic-coated fencing is not appropriate.~~

~~A.3.4 Design a new fence New fencing should be designed to minimize its environmental impacts. New fences fencing should use green materials and should take into account site impacts such as shading, natural topography, and drainage.~~

~~A.3.5 Wood fences should be painted using colors complementary to the adjacent house.~~⁶

~~A.3.6 Drought tolerant shrubs should be considered in place of a fence fencing or walls.~~

~~A.3.7 Arbors emphasizing a fence gate or entry shall be subordinate to the associated historic building or structure and shall complement the design of the historic structure and fence fencing in materials, features, size, scale and proportion, and as well as massing to protect the integrity of the historic property site and its environment.~~

PATHS, STEPS, HANDRAILS, & RAILINGS (NOT ASSOCIATED WITH PORCHES)

~~A.1.3 A.4.1 Maintain The original path or steps leading to the main entry, if extant, should be maintained and preserved preserved and maintained.~~⁷

~~A.4.1 2 Maintain Historic hillside steps that may be are an integral part of the landscape should be maintained and preserved preserved and maintained.~~

~~A.4.3 New hillside steps should be visually subordinate to the associated historic building or structure in materials, size, scale and proportion, as well as massing and shall complement the historic structure in materials, size, scale and proportion, and massing to protect the integrity of the historic property site and its environment. For larger longer-runs of stairs, consider changes in material to break up the mass of the stairs.~~

~~A.4.4 Historic handrails should be maintained and preserved preserved and maintained. Historic handrails may be reconstructed based on photographic~~

⁵ The HPB recommended that this sentence be moved to a side-bar.

⁶ The HPB requested that paint be addressed as part of a new section "Treatment of Historic Building Materials."

⁷ Relocated from "Building Setbacks and Orientation"

evidence; the reconstruction should match the original in size, design, color, texture, and material.

A.4.5 New handrails and railings shall complement the historic structure in materials, size, scale and proportions, and massing and design to protect the integrity of the historic ~~property structure and its environment~~ site.

A.5. GAZEBOS, PERGOLAS, AND OTHER SHADE STRUCTURES

A.5.1 Gazebos, pergolas, and other shade structures ~~shall~~ should be visually subordinate to the associated historic ~~building or~~ structure(s) and ~~shall should~~ complement the design of the historic structure(s) in materials, features, size, scale and proportion, and massing to protect the integrity of the historic ~~structure and site property and its environment.~~

A.5.2 The installation of gazebos, pergolas, and other shade structures shall be limited to rear or side yards and have limited visibility when viewed from the ~~primary~~ public right-of-way.

A.5.2. Gazebos, pergolas, and other shade structures shall not be attached to the associated ~~building or~~ historic structure(s), nor damage historic features of ~~the associated or neighboring historic building(s) or structure(s).~~

PARKING AREAS, ~~DETACHED GARAGES,~~ & DRIVEWAYS

~~A.5.2~~ ~~A.6.1~~ Minimize the visual impacts of on-site parking by incorporating landscape treatments for driveways, walkways, paths, ~~building and accessory~~ and structures in a comprehensive, complimentary and integrated design.⁸

~~A.5.7~~ ~~A.6.2~~ Provide landscaped separations between parking areas, drives, service areas, and public use areas including walkways, plazas, and vehicular access points.⁹

~~C.1.3~~ ~~A.6.3~~ When locating new off-street parking areas, the existing topography of the ~~building~~ site and ~~significant~~ integral site features should be minimally impacted.

~~C.1.1~~ ~~A.6.4~~ Off-street parking areas should be located within the rear yard and beyond the rear wall plane of the primary structure where feasible. ~~C.1.2~~ If locating a parking area in the rear yard is not physically possible, the off-street parking area and associated vehicles should be visually buffered from adjacent properties and the primary public right-of-way. Consider providing a driveway along the side yard of the property where feasible.

~~C.2.4~~ When locating driveways, the existing topography of the building site and significant site features should be minimally impacted.

~~C.2.2~~ Ten-foot (10') wide driveways are encouraged; however, new driveways should not exceed twelve feet (12') in width.

~~C.2.3~~ Shared driveways should be used when feasible.

⁸ Relocated from "Landscaping & Vegetation"

⁹ Relocated from "Landscaping & Vegetation"

A.6.5 Consider using textured and pour paving materials other than smooth concrete for driveways in the front yard viewable from the public right-of-way. Use Permeable paving should be used on a historic site, where appropriate, on a historic site to manage storm water. Permeable paving may not be appropriate for all driveways and parking areas.

A.6.6 Avoid paving up to the building foundation to reduce heat island effect, building temperature, damage to the foundation, and storm-water runoff problems.

A.5.5 Landscape plans should allow for Snow storage from driveways should be provided on site.

Going forward, staff will be reviewing our proposed guidelines with an editor prior to presenting them to the HPB to reduce confusion and reduce the number of modifications. Further, staff will be providing additional information to aid the HPB in understanding the reasoning behind staff's proposed modifications.

Recommendation

The Planning Department requests the Historic Preservation Board open a public hearing, review the possible amendments to the *June 19, 2009 Design Guidelines for Park City's Historic Districts and Historically Significant Buildings*, and forward a positive recommendation regarding the staff's proposed changes as referenced in Exhibit C to City Council.

Exhibits

- Exhibit A – 1.6.16 HPB Report (Minutes included in this HPB packet)
- Exhibit B – Amendments to the Design Guidelines
- Exhibit C – Revised calendar for Design Guideline Revisions

Historic Preservation Board Staff Report



Subject: Design Guideline Revisions
Author: Anya Grahn, Planner
 Hannah Turpen, Planner
Date: January 6, 2016
Type of Item: Regular Session
Project Number: GI-13-00222

Summary Recommendations

Staff has committed to routinely reviewing the existing Design Guidelines for Historic Districts and Historic Sites. Staff recommends that the Historic Preservation Board (HPB) take public comment on the proposed changes to the *Design Guidelines for Park City's Historic Districts and Historically Significant Buildings*; provide specific amendments to be made to the document if necessary; and make a recommendation to City Council. (A final review of the Design Guideline changes will be requested prior to forwarding a recommendation to City Council.)

Staff requests that the Historic Preservation Board (HPB) read and familiarize themselves with the existing Design Guidelines to prepare for this work session. The Design Guidelines are available online at:

<http://www.parkcity.org/home/showdocument?id=62>.

Background

Historic preservation code provisions date back to approximately 1982. In the early 1990s, the City expanded regulations governing demolition of commercial properties, primarily on Main Street, and soon after extended protections to residential properties on the initial survey or over 50 years old, subject to a determination of significance hearing. In 2007, the City contracted Preservation Solutions to conduct a reconnaissance level, or "windshield," survey of the historic district. This increased our current preservation program in which some 400 sites and structures were designated as historic on the City's Historic Sites Inventory (HSI) and the adoption of the 2009 *Design Guidelines for Historic Districts and Historic Sites*. Owners of properties on the HSI may not demolish buildings or structures designated as historic unless warranted by economic hardship; however, reconstruction and panelization may be deemed necessary and approved by the Historic Preservation Board if specified criteria are met as defined in the LMC. The City has been successful in encouraging historic preservation through a "carrot and stick" approach, which includes the Historic District Grant Program and LMC exceptions benefitting historic properties.

Purpose of the Design Guidelines

The Design Guidelines provide direction to property owners, architects, designers, builders, developers, City staff, the Historic Preservation Board (HPB), and City Council

in developing proposals that maintain the historic character of Park City's Old Town. The Design Guidelines fulfill policy directives provided in the General Plan and Land Management Code (LMC). Further, these guidelines are a foundation for making decisions and a framework for ensuring consistent procedures and fair deliberations.

The Design Guidelines were envisioned to be a living document. From time to time, the HPB may recommend changes in the Design Guidelines for Park City's Historic Districts and Historic Sites to Council, provided that no changes in the guidelines shall take effect until adopted by a resolution of the City Council. The Guidelines have not been reviewed or revised since their adoption in 2009.

What do they do?

The Design Guidelines are a standard for rehabilitating historic structures, developing historic sites, and constructing new buildings in the commercial and residential neighborhoods of Old Town. The guidelines direct alterations and the design of new construction projects to maintain the historic integrity and character of our historic districts. This allows Park City to maintain its listing on the National Register of Historic Places.

National versus Local Review

The Design Guidelines are based on the Secretary of the Interior's Standards for Preservation, Rehabilitation, Restoration, and Reconstruction. The Standards are a series of concepts about maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations. Park City's Design Guidelines offer general design and technical recommendations to assist in applying the Standards to a specific property. The Secretary of Interior's Standards are generally applied most specifically during tax credit projects, which are reviewed by the National Park Service. The City does not enforce the Secretary of the Interior's Standards; we rely solely on the Design Guidelines.

The Secretary of the Interior, as well as our Design Guidelines, identifies four (4) treatment methods:

- *Preservation*: The act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials, and features rather than extensive replacement and new construction.
- *Rehabilitation*: The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.
- *Restoration*: The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period.

- *Reconstruction*: The act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

Often, a project will utilize several of these methods depending on the condition of the structure and work to be completed.

It is important to note that though our Design Guidelines are based on the Secretary of Interior's Standards, City staff does not utilize the federal standards specifically when reviewing applications.

Past Reviews

Staff began reviewing the Design Guidelines with the HPB in December 2014. Staff met with the HPB to discuss a potential outline for Design Guideline Changes in December 2014. Following this discussion, staff brought forward a work session regarding the treatment of historic structures to discuss panelization and reconstruction in February 2015. In September and October, the HPB discussed compatibility of new additions. Staff also led a discussion with the HPB regarding character zones on October 7, 2015 and November 18, 2015.

Analysis

In December 2014, staff presented a rough outline to the Historic Preservation Board for reorganizing the Design Guidelines (Exhibit A). Using this outline, staff has chosen to focus today's discussion on the following areas of concern within the *Design Guidelines for Historic Residential Structures*:

- Universal Guidelines
- Site Design

Staff has outlined the applicable Design Guidelines that apply to each subject matter. In reviewing Design Guidelines from other cities and towns—including Crested Butte, Colorado; Breckenridge, Colorado; Madison, Indiana; and the 1980 Park City, Utah, Design Guidelines—staff has proposed the following changes to the Park City Design Guidelines as a possible solution.

1. Universal Design Guidelines:

The *Design Guidelines for Historic Sites* in Park City currently recommend the following Universal Design Guidelines:

1. *A site should be used as it was historically or be given a new use that requires minimal change to the distinctive materials and features.*
2. *Changes to a site or building that have acquired historic significance in their own right should be retained and preserved.*
3. *The historic exterior features of a building should be retained and preserved.*
4. *Distinctive materials, components, finishes, and examples of craftsmanship should be retained and preserved. Owners are encouraged to reproduce missing historic elements that were original to the building, but have been removed.*

Physical or photographic evidence should be used to substantiate the reproduction of missing features.

5. Deteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in design, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.

6. Features that do not contribute to the significance of the site or building and exist prior to the adoption of these guidelines, such as incompatible windows, aluminum soffits, or iron porch supports or railings, may be maintained; however, if it is proposed they be changed, those features must be brought into compliance with these guidelines.

7. Each site should be recognized as a physical record of its time, place and use. Owners are discouraged from introducing architectural elements or details that visually modify or alter the original building design when no evidence of such elements or details exists.

8. Chemical or physical treatments, if appropriate, should be undertaken using recognized preservation methods. Treatments that cause damage to historic materials should not be used. Treatments that sustain and protect, but do not alter appearance, are encouraged.

9. New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the site or building.

10. New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored.

These Universal Design Guidelines are based on the Secretary of the Interior's Standards for Rehabilitation. Staff finds that overall these Universal Guidelines provide sufficient direction. Staff would recommend clarifying Universal Guideline #4 by adding language clarifying that owners may reproduce missing historic elements consistent with those seen on properties of similar design, age, and detailing. Staff also recommends that Universal Design Guideline #9 be amended to further reflect the Secretary of the Interior's Standards by clarifying that new additions should be differentiated from the historic structure but also compatible. These changes are outlined below:

4. Distinctive materials, components, finishes, and examples of craftsmanship should be retained and preserved. Owners are encouraged to reproduce missing historic elements that were original to the building, but have been removed. Physical or photographic evidence should be used to substantiate the reproduction of missing features. It may be appropriate to reproduce missing

historic elements that are consistent with properties of similar design, age, and detailing in some cases.

9. New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the site or building. The new work should be differentiated from the historic structure or construction and should be compatible with the historic structure or construction in materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

2. Site Design

Currently, Specific Design Guidelines A. Site Design (pages 29-30 of the Design Guidelines) provides direction on Building Setbacks & Orientation, Stone Retaining Walls, Fences and Handrails, Steps, Landscaping & Site Grading. Based on the outline for the revised Design Guidelines (Exhibit A), staff has made several recommendations for reorganizing the Design Guidelines, introducing new subsections such as Topography and Grading; and Gazebos, Pergolas, and Other Shade Structures. Further, staff has added additional guidelines for Landscaping and moved Parking Areas to the Site Design Subsection.

Staff's proposed changes are outlined below in red:

A.1. BUILDING SETBACKS & ORIENTATION

A.1.1 Maintain the existing front and side yard setbacks of Historic Sites.

A.1.2 Preserve the original location of the main entry, if extant.

~~A.1.3 Maintain the original path or steps leading to the main entry, if extant.~~

A.2. TOPOGRAPHY AND GRADING

~~A.5.8~~ 2.1. Maintain the original grading of the site when and where feasible.

~~A.5.3~~ 2.2. The historic character of the site should not be significantly altered by substantially changing the proportion of built or paved area to open space or vice versa. In

A.53 LANDSCAPING & SITE GRADING VEGETATION

~~A.53.1~~ Respect and maintain historic landscape features that contribute to the character of the site and those that provide sustainability benefits.

~~A.3.2~~ Maintain established native plantings on site. Protect established vegetation during construction to avoid damage and replace damaged, aged, or diseased trees as necessary. Vegetation that may encroach upon or damage the historic building may be removed, but should be replaced with similar vegetation away from the historic building.

~~A.5.2~~ Incorporate landscape treatments for driveways, walkways, paths, building and accessory structures in a comprehensive, complimentary and integrated design.

~~A.5.6 A.3.3~~ Provide a detailed landscape plan, particularly for the front yard, that respects the manner and materials used traditionally in the districts. Consider all relationships on and with the site when planning for the long term sustainability of the landscape system. Relationships between site and building as well as between plants with other plants on site should be considered.

A.53.4 Landscape plans should balance water efficient irrigation methods and drought tolerant and native plant materials with existing plant materials and site features that contribute to the significance of the site.

~~A.3.6~~ Use to advantage existing stormwater management features, such as gutters, downspouts, as well as site topography and vegetation that contribute to the sustainability of the historic property.

~~A.3.7~~ Where watering systems are necessary, use those which minimize water loss, such as drip irrigation. Consider use of xeriscaping or permaculture strategies for landscape design to maximize water efficiency; these systems should be designed to maintain the traditional character of the lot as viewed from the public right-of-way.

~~A.5.5~~ Landscape plans should allow for snow storage from driveways.

~~A.5.7~~ Provide landscaped separations between parking areas, drives, service areas, and public use areas including walkways, plazas, and vehicular access points.

A.24 STONE RETAINING WALLS

~~A.2.1~~ Maintain historic stone retaining walls in their original locations. Maintain the line of stone retaining walls along the street. Walls of stone, concrete, or rock-faced concrete block that are original to a property should be preserved and maintained in their original dimensions.

~~A.2.2~~ Maintain the original dimensions of historic retaining walls.

~~A.2.2~~ Walls should be repaired with materials which closely approximate the original. Replace only those portions of historic stone retaining walls that have deteriorated beyond repair. When repair of a deteriorated feature is not feasible, the replacement must reuse the existing stone where possible, or otherwise match the original in color, shape, size, and design.

~~A.2.3~~ To reduce failure of walls, improve drainage behind them so that water drains away from walls. Preserve and repair existing stone and mortar.

~~A.2.4~~ New retaining walls should be consistent with historic features in design, materials, and scale. Simple scored concrete, stone, other historic materials are recommended over concrete block, asphalt, or other modern concrete treatments.

~~A.2.5~~ Walls of brick, concrete, or stone may be reconstructed based on physical or pictorial evidence or added to the front of a property if historically appropriate and consistent with the character of the district.

~~A.2.6~~ Maintain stone in its natural finish. It is not appropriate to paint, stain, or plaster over stone walls.

A.3. FENCES & HANDRAILS

A.3.1 ~~Maintain~~ Historic fences and handrails should be preserved and maintained.

A.3.2 Historic fences ~~and handrails~~ may be reconstructed based on photographic evidence. The reconstruction should match the original in design, color, texture, and material. Wood picket fences with flat, dog-ear, or pointed-tops were typical in the front yard; the heights of these fences was generally less than three feet (3'), the boards were 3-1/2" wide and spacing of 1-3/4" between boards.

A.3.3 New fences and handrails should reflect the building's style and period. New wood and metal fences located in the front yard should feature traditional designs and patterns. Split or horizontal rail, railroad tie, or timber fences may be located in rear yards but should be avoided in front yards visible from the primary public right-of-way. Vinyl or plastic-coated fencing is not appropriate.

A.3.4 Design a new fence to minimize its environmental impacts. New fences should use green materials and take into account site impacts such as shading, natural topography, and drainage.

A.3.5 Wood fences should be painted using colors complementary to the adjacent house.

A.3.6 Drought tolerant shrubs should be considered in place of a fence or wall.

A.3.7 Arbors emphasizing a fence gate or entry shall be subordinate to the associated historic building or structure and shall complement the design of the historic structure and fence in materials, features, size, scale and proportion, and massing to protect the integrity of the historic property and its environment.

A.4. PATHS, STEPS, HANDRAILS, & RAILINGS (NOT ASSOCIATED WITH PORCHES)

~~A.1.3~~ A.4.1 ~~Maintain~~ The original path or steps leading to the main entry, if extant, should be maintained and preserved.

A.4.4 ~~2~~ ~~Maintain~~ Historic hillside steps that may be an integral part of the landscape should be maintained and preserved.

A.4.3 New hillside steps should be subordinate to the associated historic building or structure and shall complement the historic structure in materials, size, scale and proportion, and massing to protect the integrity of the historic property and its environment. For larger runs of stairs, consider changes in material to break up the mass of the stairs.

A.4.4 Historic handrails should be maintained and preserved. Historic handrails may be reconstructed based on photographic evidence; the reconstruction should match the original in design, color, texture, and material.

A.4.5 New handrails and railings shall complement the historic structure in materials, size, scale, and proportions, and massing to protect the integrity of the historic property and its environment.

A.5. GAZEBOS, PERGOLAS, AND OTHER SHADE STRUCTURES

A.5.1 Gazebos, pergolas, and other shade structures shall be subordinate to the associated historic building or structure and shall complement the design of the historic structure in materials, features, size, scale and proportion, and massing to protect the integrity of the historic property and its environment.

A.5.2 The installation of gazebos, pergolas, and other shade structures shall be limited to rear or side yards and have limited visibility when viewed from the primary public right-of-way.

A.5.2. Gazebos, pergolas, and other shade structures shall not attach to the associated building or structure, nor damage historic features of the associated or neighboring historic building(s) or structure(s).

C. A.6. PARKING AREAS, DETACHED GARAGES, & DRIVEWAYS

A.5.2 A.6.1 Minimize the visual impacts of on-site parking by incorporating landscape treatments for driveways, walkways, paths, building and accessory structures in a comprehensive, complimentary and integrated design.

A.5.7 A.6.2 Provide landscaped separations between parking areas, drives, service areas, and public use areas including walkways, plazas, and vehicular access points.

C.1.3 A.6.3 When locating new off-street parking areas, the existing topography of the building site and significant site features should be minimally impacted.

C.1.4 A.6.4 Off-street parking areas should be located within the rear yard and beyond the rear wall plane of the primary structure. C.1.2 If locating a parking area in the rear yard is not physically possible, the off-street parking area and associated vehicles should be visually buffered from adjacent properties and the primary public right-of-way. Consider providing a driveway along the side yard of the property where feasible.

A.6.5 Consider using textured and pour paving materials other than smooth concrete for driveways in the front yard. Use permeable paving where appropriate on a historic site to manage storm water. Permeable paving may not be appropriate for all driveways and parking areas.

A.6.6 Avoid paving up to the building foundation to reduce heat island effect, building temperature, damage to the foundation, and storm-water runoff.

Recommendation

Staff has committed to routinely reviewing the existing Design Guidelines for Historic Districts and Historic Sites. Staff recommends that the Historic Preservation Board (HPB) take public comment on the proposed changes to the *Design Guidelines for Park City's Historic Districts and Historically Significant Buildings*; provide specific amendments to be made to the document if necessary; and make a recommendation to City Council. (A final review of the Design Guideline changes will be requested prior to forwarding a recommendation to City Council.)

Exhibits

Exhibit A

Outline of Proposed Restructuring and Modifications of Design Guidelines

Existing Design Guidelines	Proposed Design Guidelines
<p><u>Design Guidelines for Historic Sites</u> Universal Guidelines</p> <p>Specific Guidelines</p> <p>A. Site Design</p> <ul style="list-style-type: none"> A.1. Building Setbacks & Orientation A.2. Stone Retaining Walls A.3. Fences & Handrails A.4. Steps A.5. Landscaping & Site Grading <p>B. Primary Structures</p> <ul style="list-style-type: none"> B.1. Roofs B.2. Exterior Walls B.3. Foundations B.4. Doors B.5. Windows B.6. Mechanical Systems, Utility Systems, and Service Equipment B.7. Paint and Color <p>C. Parking Areas</p> <ul style="list-style-type: none"> C.1 Off-Street Parking C.2. Driveways C.3. Detached Garages <p>D. Additions to Historic Structures</p> <ul style="list-style-type: none"> D.1. Protection for Historic Structures and Sites D.2. General Compatibility D.3. Scenario 1: Residential Historic Sites—Basement Addition without Garage D.4. Scenario 2: Residential Historic Sites—Basement Addition with Garage <p>E. Relocation and/or Reorientation of Intact Buildings</p> <ul style="list-style-type: none"> E.1. Protection for the Historic Site <p>F. Disassembly/Reassembly of All or Part of a Historic Structure</p> <ul style="list-style-type: none"> F.1. General Principles 	<p><u>Design Guidelines for Historic Residential Sites</u> Universal Guidelines</p> <p>Specific Guidelines</p> <p>Site Design</p> <ul style="list-style-type: none"> • Street Patterns and Streetscape • Building Setback and Orientation • Topography and Grading • Landscaping and Vegetation • Stone Retaining Walls • Fences • Steps and Handrails (Not associated with porch) • Gazebos, Pergolas, and Other Shade Structures • Parking (Areas and Driveways) <p>Primary Structures</p> <ul style="list-style-type: none"> • Foundation • Exterior Walls • Roofs • Doors • Windows • Porches • Gutters and Downspouts • Chimneys and Stove Pipes • Mechanical Systems <p>Additions to Primary Structures</p> <ul style="list-style-type: none"> • Protection of Historic Sites and Structures • General Compatibility • Basement Addition With Garage • Basement Addition Without Garage • Decks <p>Historic Accessory Structures</p> <p>Character Zones</p>

- F.2. Documentation Requirements prior to the commencement of Disassembly
- F.3. Disassembly
- F.4. Protection of the Disassembled Components
- F.5. Reassembly

G. Reconstruction of Existing Historic Structures

H. Accessory Structures

I. Signs

J. Exterior Lighting (Building Mounted)

K. Awnings

L. Sustainability

M. Seismic Upgrades

N. ADA Compliance

Supplemental Rehabilitation Guidelines

Main Street National Register Historic District

Design Guidelines for Historic Commercial Sites

Universal Design Guidelines

Specific Design Guidelines

Site Design

- Street Patterns and Streetscape
- Building Setback and Orientation
- Topography and Grading
- Landscaping and Vegetation

Primary Structure

- Foundation
- Exterior Walls
- Roofs
- Store Fronts
- Doors (not included in Storefronts)
- Windows (not included in Storefronts)
- Balconies/Porticos
- Awnings
- Chimney and Stovepipes
- Mechanical Equipment

Additions to Primary Structures

- Protection of Historic Sites and Structures
- General Compatibility
- Basement Additions
- Balconies/Decks

Historic Accessory Structures

****Staff has chosen not to re-number the revised Guidelines in order to allow greater flexibility when reorganizing the revised guidelines in the future.****

Design Guidelines for New Construction in Historic Districts

**Universal Design Guidelines
Specific Design Guidelines**

A. Site Design

- A.1. Building Setbacks & Orientation
- A.2. Lot Coverage
- A.3. Fences
- A.4. Site Grading & Steep Slope Issues
- A.5. Landscaping

B. Primary Structures

- B.1. Mass, Scale, & Height
- B.2. Key Building Elements
 - Foundations
 - Roofs
 - Materials
 - Windows and Doors
 - Porches
 - Paint and Color
 - Mechanical and Utility Systems and Service Equipment

C. Reconstruction of Non-Surviving Structures

D. Off-Street Parking Areas, Garages, & Driveways

- D.1. Off-Street Parking Areas**
- D.2. Garages**
- D.3. Driveways**

E. Signs

F. Awnings

G. Exterior Lighting

H. Accessory Structures

I. Sustainability

J. Mailboxes, Utility Boxes, and other Visual Elements in the Landscape

Supplemental Guidelines

Swede Alley

Main Street National Register Historic District

Design Guidelines for Infill Residential Development

Universal Guidelines

Specific Guidelines

Site Design

- Street Patterns and Streetscape
- Sameness
- Building Setback and Orientation
- Topography and Grading
- Landscaping and Vegetation
- Stone Retaining Walls
- Fences
- Steps and Handrails (Not associated with porch)
- Gazebos, Pergolas, and Other Shading Structures
- Parking (Areas and Driveways)

Primary Structures

- Foundation
- Exterior Walls
- Roofs
- Doors
- Windows
- Porches
- Gutters and Downspouts
- Chimneys and Stove Pipes
- Mechanical Systems
- Decks
- Materials

New Accessory Structures

Design Guidelines for Infill Commercial Development

Universal Design Guidelines

Specific Design Guidelines

Site Design

- Street Patterns and Streetscape
- Building Setback and Orientation
- Topography and Grading
- Landscaping and Vegetation

Primary Structure

- Foundation
- Exterior Walls
- Roofs
- Store Fronts for Main Street
- Doors (not included in Storefronts)
- Windows(not included in Storefronts)
- Balconies/Decks
- Awnings
- Chimney and Stovepipes
- Mechanical Equipment
- Materials

New Accessory Structures

Treatment of Historic Building Materials

- Wood
- Masonry
- Architectural Metals
- Exterior Paint & Color

Relocation, Panelization, and Reconstruction of Historic Buildings

Sustainability in Historic Buildings

Seismic Upgrades in Historic Buildings

ADA Compliance

Exterior Lighting

Signs

Mailboxes & Other Visual Elements in the Landscape

Design Guidelines for Historic Sites in Park City

Universal Guidelines

1. A site should be used as it was historically or be given a new use that requires minimal change to the distinctive materials and features.
2. Changes to a site or building that have acquired historic significance in their own right should be retained and preserved.
3. The historic exterior features of a building should be retained and preserved.
4. Distinctive materials, components, finishes, and examples of craftsmanship should be retained and preserved. Owners are encouraged to reproduce missing historic elements that were original to the building, but have been removed. Physical or photographic evidence should be used to substantiate the reproduction of missing features. In some cases, where there is insufficient evidence to allow for an accurate reconstruction of the lost historic elements, it may be appropriate to reproduce missing historic elements that are consistent with properties of similar design, age, and detailing.
5. Deteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in design, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.
6. Features that do not contribute to the significance of the site or building and exist prior to the adoption of these guidelines, such as incompatible windows, aluminum soffits, or iron porch supports or railings, may be maintained; however, if it is proposed they be changed, those features must be brought into compliance with these guidelines.
7. Each site should be recognized as a physical record of its time, place and use. Owners are discouraged from introducing architectural elements or details that visually modify or alter the original building design when no evidence of such elements or details exists.
8. Chemical or physical treatments, if appropriate, should be undertaken using recognized preservation methods. Treatments that cause damage to historic materials should not be used. Treatments that sustain and protect, but do not alter appearance, are encouraged.
9. New construction—such as new additions, exterior alterations, repairs, upgrades, etc. — or related new construction should not destroy historic materials, features, and spatial relationships that characterize the historic site or building historic structure. New construction should differentiate from the historic structure and, at the same time, be compatible with the historic structure in materials, features, size, scale and proportion, and massing to protect the integrity of the historic structure, the historic site, and its environment.
10. New additions and related new construction should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored.

Specific Guidelines

SITE DESIGN

BUILDING SETBACKS & ORIENTATION

~~A.1.1~~ Maintain the existing front and side yard setbacks of ~~H~~historic ~~S~~sites.

~~A.1.2~~ Preserve the original location of the main entry of the historic structure, if extant.

~~A.1.3~~ Maintain the original path or steps leading to the main entry, if extant.

TOPOGRAPHY AND GRADING

~~A.5.8~~ Maintain the natural topography and original grading of the site when and where feasible.

~~A.5.3~~ The historic character of the site should not be significantly altered by substantially changing the proportion of built and/or paved area to open space, and vice versa.

LANDSCAPING & SITE GRADING VEGETATION

~~A.5.1~~ Respect and maintain existing landscape features that contribute to the historic character of the site- and existing landscape features that provide sustainability benefits.

Maintain established on-site native plantings. During construction, protect established vegetation to avoid damage. Replace damaged, aged, or diseased trees as necessary. Vegetation that may encroach upon or damage the historic structure may be removed, but should be replaced with similar vegetation away from the historic structure.

~~A.5.2~~ Incorporate landscape treatments for driveways, walkways, paths, building and accessory structures in a comprehensive, complimentary and integrated design.

~~A.5.3~~ The historic character of the site should not be significantly altered by substantially changing the proportion of built or paved area to open space.

~~A.5.6~~ Provide a detailed landscape plan that respects, particularly for the front yard, areas viewable from the public right-of-way, that respects the manner and materials historically used traditionally in the historic districts. When planning for the long-term sustainability of a landscape system, consider all landscape relationships on the site, the relationship between the site and its structure(s), as well as the relationship between plants and other plants on a site.

~~A.5.4~~ Landscape plans should balance water efficient irrigation methods and drought tolerant and native plant materials with existing plant materials and site features that contribute to the historic significance of the site.

Use to advantage stormwater management features, such as gutters and downspouts as well as site topography and vegetation, that contribute to the sustainability of the historic site.

Where watering systems are necessary, use systems that minimize water loss, such as drip irrigation. Consider the use of xeriscaping or permaculture strategies for landscape design to maximize water efficiency; these systems should be designed to maintain the historic character of areas viewable from the public right-of-way.

~~A.5.5~~ Landscape plans should allow for snow storage from driveways.

~~A.5.7 Provide landscaped separations between parking areas, drives, service areas, and public use areas including walkways, plazas, and vehicular access points.~~

~~A.5.8 Maintain the original grading of the site when and where feasible.~~

STONE RETAINING WALLS

~~A.2.1 Maintain historic stone retaining walls in their original locations. Maintain the historic height and setback of retaining walls along the street. Retaining walls of stone, concrete, or rock-faced concrete block that are original to the historic site should be preserved and maintained in their original dimensions.~~

~~A.2.2 Maintain the original dimensions of historic retaining walls.~~

~~Removing portions of retaining walls for new driveways and pathways should be avoided to the greatest extent possible, but where it must occur, visual impacts should be minimized.~~

~~Retaining walls should be repaired with materials that closely approximate the original. Replace only those portions of historic retaining walls that have deteriorated beyond repair. When repair of a deteriorated retaining wall is not feasible, the replacement must reuse the existing stone to the greatest extent possible, and otherwise match the original in color, shape, size, material, and design.~~

~~To abate retaining wall failure, improve drainage behind retaining walls so water drains away from the walls. Repair and preserve historic stone and mortar.~~

~~New retaining walls should be consistent with historic retaining walls in design, materials, scale of materials, as well as size and mass of the wall. Simple board-formed concrete, stone, and other historic materials are recommended over concrete block, asphalt, or other modern concrete treatments.~~

~~Non-extant historic retaining walls of concrete or stone specific to the historic site may be reconstructed based on physical or pictorial evidence. Historically appropriate concrete or stone walls, if consistent with the historic character of the district, may be added to the area of a historic site viewable from the public right-of-way.~~

~~Maintain stone in its natural finish. It is not appropriate to paint, stain, or plaster over stone or concrete.~~

FENCES FENCING & HANDRAILS

~~A.3.1 Maintain historic fences and handrails. Historic fencing should be preserved and maintained.~~

~~A.3.2 Historic fences fencing and handrails may be reconstructed based on photographic evidence. The reconstruction should match the original in design, color, texture and material.~~

~~A.3.3 New fences fencing and handrails should reflect the building's structure's style and period. New wood and metal fencing located where viewable from the public right-of-way should feature traditional design and pattern. Split or horizontal rail, railroad tie, or timber fencing may be located where not viewable from the public right-of-way, but should be avoided where visible from public right-of-way. Vinyl or plastic-coated fencing is not appropriate.~~

~~New fencing should be designed to minimize its environmental impacts. New fencing should use green materials and should take into account site impacts such as shading, natural topography, and drainage.~~

~~Drought tolerant shrubs should be considered in place of fencing or walls.~~

Arbors emphasizing a fence gate or entry shall be subordinate to the associated historic structure and shall complement the design of the historic structure and fencing in materials, features, size, scale and proportion, and as well as massing to protect the integrity of the historic site.

PATHS, STEPS, HANDRAILS, & RAILINGS (NOT ASSOCIATED WITH PORCHES)

A.1.3 Maintain The original path or steps leading to the main entry, if extant, should be preserved and maintained.

A.4.1 Maintain Historic hillside steps that ~~may be~~ are an integral part of the landscape. should be preserved and maintained.

New hillside steps should be visually subordinate to the associated historic structure in materials, size, scale and proportion, as well as massing and shall complement the historic structure in materials, size, scale and proportion, and massing to protect the integrity of the historic site. For longer-run stairs, consider changes in material to break up the mass of the stairs.

Historic handrails should be preserved and maintained. Historic handrails may be reconstructed based on photographic evidence; the reconstruction should match the original in size, design, color, texture, and material.

New handrails and railings shall complement the historic structure in materials, size, scale and proportions, massing and design to protect the integrity of the historic structure and site.

GAZEBOS, PERGOLAS, AND OTHER SHADE STRUCTURES

Gazebos, pergolas, and other shade structures should be visually subordinate to the associated historic structure(s) and should complement the design of the historic structure(s) in materials, features, size, scale and proportion, and massing to protect the integrity of the historic structure and site.

The installation of gazebos, pergolas, and other shade structures shall be limited to rear or side yards and have limited visibility when viewed from the public right-of-way.

Gazebos, pergolas, and other shade structures shall not be attached to the associated historic structure(s), or damage historic features of associated or neighboring historic structure(s).

PARKING AREAS, ~~DETACHED GARAGES,~~ & DRIVEWAYS

C.1 Off-street parking

A.5.2 Minimize the visual impacts of on-site parking by ~~incorporate~~ ing landscape treatments for driveways, walkways, paths, ~~building and accessory~~ and structures in a comprehensive, complimentary and integrated design.

A.5.7 Provide landscaped separations between parking areas, drives, service areas, and public use areas including walkways, plazas, and vehicular access points.

~~C.1.3~~ C.1.3 When locating new off-street parking areas, the existing topography of the ~~building~~ building site and ~~significant~~ integral site features should be minimally impacted.

C.1.1 Off-street parking areas should be located within the rear yard and beyond the rear wall plane of the primary structure where feasible. ~~C.1.2~~ C.1.2 If locating a parking area in the rear yard is not physically

possible, the off-street parking area and associated vehicles should be visually buffered from adjacent properties and the primary public right-of-way. Consider providing a driveway along the side yard of the property where feasible.

C.2 Driveways

C.2.1 When locating driveways, the existing topography of the building site and significant site features should be minimally impacted.

C.2.2 Ten foot (10') wide driveways are encouraged; however, new driveways should not exceed twelve (12) feet in width.

C.2.3 Shared driveways should be used when feasible.

Consider using textured and pour paving materials other than smooth concrete for driveways viewable from the public right-of-way. Permeable paving should be used on a historic site, where appropriate, to manage storm water. Permeable paving may not be appropriate for all driveways and parking areas.

Avoid paving up to the building foundation to reduce heat island effect, building temperature, damage to the foundation, and storm-water runoff problems.

Snow storage from driveways should be provided on site.

2016 Historic Preservation Board Dates

Tentative Work Plan for 2016 Year

This calendar is subject to change!!

Revised 1.14.16

January 6	DESIGN GUIDELINES: Design Guidelines for Historic Residential Structures: <ul style="list-style-type: none"> • Universal Guidelines • Site Design
<i>January 20</i>	<i>Alternative Date</i>
February 3	CONTINUATION: DESIGN GUIDELINES: Design Guidelines for Historic Residential Structures: <ul style="list-style-type: none"> • Universal Guidelines • Site Design
<i>February 17</i>	<i>Alternative Date</i>
March 2	DESIGN GUIDELINES: Design Guidelines for Historic Residential Structures: <ul style="list-style-type: none"> • Primary Structures • Additions to Primary Structures • Character Zones • Historic Accessory Structures
<i>March 16</i>	<i>Alternative Date</i>
April 6	DESIGN GUIDELINES: Design Guidelines for Historic Commercial Sites: <ul style="list-style-type: none"> • Universal Design Guidelines • Site Design • Primary Structure
<i>April 20</i>	<i>Alternative Date</i>
May 4	DESIGN GUIDELINES: Design Guidelines for Historic Commercial Sites: <ul style="list-style-type: none"> • Additions to Primary Structures • Historic Accessory Structures <p>DESIGN GUIDELINES: Relocation, Panelization, and Reconstruction of Historic Buildings; Treatment of Historic Building Materials</p>
<i>May 18</i>	<i>Alternative Date</i>
June 1	DESIGN GUIDELINES: Design Guidelines for Infill Residential Development: <ul style="list-style-type: none"> • Universal Guidelines • Site Design • Character Zones

	<ul style="list-style-type: none"> • Primary Structures • New Accessory Structures
<i>June 15</i>	<i>Alternative Date</i>
<i>July 6</i>	<i>Holiday</i>
<i>July 20</i>	DESIGN GUIDELINES: Design Guidelines for Infill Commercial Development: <ul style="list-style-type: none"> • Site Design • Universal Design Guidelines
<i>July</i>	Review Design Guidelines for Historic Residential and Historic Commercial Sites with City Council
August 3	DESIGN GUIDELINES: Design Guidelines for Infill Commercial Development: <ul style="list-style-type: none"> • Primary Structure • New Accessory Structures DESIGN GUIDELINES: Additional Guidelines: <ul style="list-style-type: none"> • Treatment of Historic Building Materials • Sustainability in Historic Buildings
<i>August 17</i>	<i>Alternative Date</i>
September 7	DESIGN GUIDELINES: Additional Guidelines: <ul style="list-style-type: none"> • Seismic Upgrades in Historic Buildings • ADA Compliance • Exterior Lighting • Signs • Mailboxes and Other Visual Elements in the Landscape
<i>September 21</i>	<i>Alternative Date</i>
October 5	
<i>October 19</i>	<i>Alternative Date</i>
<i>October</i>	Review Design Guidelines for Infill Residential and Infill Commercial Development and Additional Guidelines with City Council
November 2	
<i>November 16</i>	<i>Alternative Date</i>
December 7	
<i>December 21</i>	<i>Alternative Date</i>