



# AGENDA

**SITE VISIT – 4:30 PM** – *No discussion or action will be taken on site.*

1450 – 1460 Park Avenue – Please meet at the lobby of City Hall at 4:15 PM

**MEETING CALLED TO ORDER AT 5:00 PM**

**ROLL CALL**

**ADOPTION OF MINUTES OF January 3, 2016**

**STAFF/BOARD COMMUNICATIONS AND DISCLOSURES**

**CONTINUATIONS**

569 Park Avenue – Determination of Significance  
*Public hearing and continuation to March 2, 2016*

210 Grant Avenue – Determination of Significance  
*Public hearing and continuation to March 2, 2016*

921 Norfolk Avenue – Determination of Significance  
*Public hearing and continuation to March 2, 2016*

1406 Park Avenue – Determination of Significance  
*Public hearing and continuation to March 2, 2016*

1259 Norfolk Avenue – Determination of Significance  
*Public hearing and continuation to March 2, 2016*

**WORK SESSION**

Work Session – Discussion of recent LMC Amendments to Chapter 15-11, modifying the Historic Preservation Board’s purposes and requiring HPB review for Material Deconstruction; Relocation and/or Reconstruction of a Historic Building or Historic Structure; Disassembly and Reassembly of a Historic Building or Historic Structure; and Reconstruction of an existing Historic Building or Historic Structure.

*Planner Grahn 29*

*Discussion item only, no action taken*

**REGULAR AGENDA** – *Discussion and possible action as outlined below*

1450 Park Avenue—Relocation and Material Deconstruction—Significant House. The applicant is proposing to relocate the existing historic house on its lot. In addition, the applicant will be removing non-historic vegetation, non-historic rear additions, removing the roof for structural upgrades, temporarily

PL-15-03029 81  
*Planner Grahn*

removing a historic chimney for restoration, removing non-historic cladding on exterior walls, removing the non-historic porch, removing a historic door and non-historic doors, removing existing non-historic windows.

*Public hearing and possible action*

1460 Park Avenue –Relocation and Material Deconstruction—Significant House. The applicant is proposing to relocate the existing historic house on its lot. In addition, the applicant will be removing non-historic vegetation, non-historic rear additions, removing the roof for structural upgrades, removing non-historic cladding on exterior walls, removing the non-historic porch, removing a historic door and non-historic doors, removing existing non-historic windows.

*Public hearing and possible action*

PL-15-03030 189  
*Planner Grahn*

Administrative – Staff recommends the Historic Preservation Board choose one (1) awardee for the annual Preservation Award.

*Public hearing and possible action*

GI-15-02972 303  
*Planner Grahn*

Design Guideline Revisions- Staff recommends that the Historic Preservation Board take public comment on the proposed changes to the Design Guidelines for Park City’s Historic Districts and Historically Significant Buildings; provide specific amendments to be made to the document if necessary; and make a recommendation to City Council (Council review will be after the entire Guidelines are reviewed by the HPB)

*Public hearing and possible action*

GI-13-00222 373  
*Planner Grahn*  
*Planner Turpen*

## ADJOURN

PARK CITY MUNICIPAL CORPORATION  
HISTORIC PRESERVATION BOARD  
MINUTES OF JANUARY 6, 2016

BOARD MEMBERS IN ATTENDANCE: David White, Lola Beatlebrox, Cheryl Hewett, Puggy Holmgren, Hope Melville, Douglas Stephens, Jack Hodgkins

EX OFFICIO: Bruce Erickson, Anya Grahn, Hannah Turpen, Polly Samuels McLean, Louis Rodriquez

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ROLL CALL

Chair White called the meeting to order at 5:04 p.m. and noted that all Board Members were present.

PUBLIC COMMUNICATIONS

There were no comments.

ADOPTION OF MINUTES

November 18, 2015

MOTION: Board Member Beatlebrox moved to APPROVE the minutes of November 18, 2015 as written. Board Member Stephens seconded the motion.

VOTE: The motion passed unanimously.

December 2, 2015

Board Member Melville referred to page 39, first paragraph, and corrected "One example was 535 Park Avenue" to correctly read **435 Park Avenue**. Ms. Melville referred to the second paragraph on page 39 and corrected 1061 Norfolk to correctly read **1063 Norfolk**. Ms. Melville referred to the third paragraph on page 39 and corrected 918 Empire to correctly read **819 Empire Avenue**. Ms. Melville referred to page 40 and corrected 411 Main Street to correctly read **411 Park Avenue**. Ms. Melville referred to page 41, second paragraph and changed "The Silver Queen at 65 Main Street" to correctly read, "The Silver Queen **and 65 Main Street**".

MOTION: Board Member Holmgren moved to APPROVE the minutes as amended. Board Member Hodgkins seconded the motion.

VOTE: The motion passed. Board Member Hewett abstained since she was not present for the December 2, 2015 meeting.

## STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

Planning Director Bruce Erickson reported that the HPB would be returning to their original schedule of one meeting each month since they had moved through the critical period of preserving specific homes. Based on the number of applications submitted for material deconstruction permits, the Staff believed those could sufficiently be reviewed under the normal meeting schedule.

Director Erickson stated that the main agenda item for the next few months would be review of the Historic District Guidelines.

Director Erickson stated that the Staff had considered the valuable input provided by the HPB at the last meeting on the examples of various homes that were presented. The City Council had given the Planning Department direction to move forward on this year long process. They intend to use the comments provided by the HPB to work through the guidelines in an effort to protect historic neighborhoods. Director Erickson stated that one of the ways they were articulating that mission was looking at customer service. One of the customer bases they were looking at were people who currently live somewhere else but would like to come to Park City in ten years. The goal is to keep that dream alive for people to come to Park City and see historic structures in the historic neighborhoods. Director Erickson clarified that the customer extends to people they would be telling the story to 50 years from now.

Board Member Melville asked if the number of applicants had slowed down or whether the Staff had adjusted the ones they were looking at. Planner Grahn replied that the HPB would only be reviewing the ones for material deconstruction on Historic District Design Review applications. If the Staff finds that the number of applications is more than what could be handled in one meeting, they would look at potentially going back to two meetings a month.

Director Erickson stated that a clause in the new ordinance that was adopted gives the Planning Director more authority on non-historic materials and those would not be reviewed by the HPB. However, anything historic would come before the HPB.

Board Member Melville reiterated a previous request for the Staff to provide the HPB with a list of what is approved administratively just so they could be aware and updated. Planner Grahn suggested providing a list every quarter, and at the same time inform the HPB of the work flow and the number of applications that were being processed.

Assistant City Attorney McLean suggested that the Staff provide the HPB with the updated Code changes for review during a work session at the next meeting.

Planner Turpen pointed out that the Staff had not approved any pre-applications since the last HPB meeting.

Planner Grahn stated that the Staff had set a vigorous schedule for the Guideline revisions, and pages 69 through 72 of the Staff report contained an outline of the Design Guideline revisions. The Staff intended to discuss the Design Guidelines monthly and to get HPB feedback. The goal was to complete the Design Guideline revision by the end of the year so they could be adopted by the City Council. Planner Grahn noted that the Guidelines are a living document and they have not been updated since they were adopted five years ago.

Planner Grahn stated that the Staff would like to provide an article monthly regarding historic preservation. This month the HPB was given an article about Aspen and how they were looking at preserving their ski era buildings.

#### REGULAR AGENDA – Discussion, Public Hearing and Possible Action

1. 1445 Woodside Avenue – Material Deconstruction – Significant House. The applicant is requesting to remove: a non-historic portico on the front façade; the front door; a secondary entrance (door, stairs, railing) on the south elevation; a rectangle of approximately 21.5 feet by 14.5 feet of the rear wall of the historic house; the roof the non-historic garage to accommodate a new second level addition; and a rectangle of approximately 19 feet by 29 feet of the non-historic garage wall.  
(Application PL-15-02871)

Planner Grahn reported that the historic house was built as a hall and parlor. However, the house burned down around 1992 and it appears to have been reconstructed by 1996. Planner Grahn noted that the materials being reviewed this evening were not historic materials because very little material, if any, was salvaged from the fire. The Staff had visited the site with the architect for that verification.

Planner Grahn explained that the structure was listed on the Historic Sites Inventory and the HPB would be looking at the impacts of removing materials on the historic reconstructed portion of the house.

Planner Grahn noted that the proposal is to remove the front portico, which would be replaced with a full width porch. The applicant was also proposing to remove the front door and replace it with a new front door.

Board Member Holmgren asked if there were old tax photos. Planner Grahn answered no. She had also consulted the Sanborn Fire Maps to see if there originally was a porch on the historic structure, but a porch was not showing.

Board Member Melville thought there should have been documentation at the time of the reconstruction. Planner Grahn agreed; however, there was nothing in the Building Department files and this was all the information they had in the Planning Department records. Planner Grahn had checked to see if grant funds were given for the reconstruction and she found that it had received a grant. There was information as to how it was being reconstructed, which also included a garage addition, but there was very little detail.

Board Member Melville asked why the Staff felt that the portico of the front façade was not historic. Planner Grahn replied that it was not historic because it was built in 1996 and the materials are not historic. In looking at the Sanborn maps, the house originally did not have a porch. The existing porch is more reminiscent of a house from the 1920s or 1930s. Planner Grahn believed that the full-width porch that the applicant was proposing to put on was more in keeping with the hall and parlor vernacular architecture style that is typically seen in Park City. Ms. Melville asked for the year of the Sanborn map that was shown on Page 45 of the Staff report. Planner Grahn replied that it was the 1929 Sanborn fire Insurance map. She reviewed the map to orient the Board to the structure and noted that there was no porch. Planner Grahn noted that the Staff report also references the earlier Sanborn maps back to 1907. Because it was on the outskirts of town, it came on to the Sanborn maps later than other parts of town.

Board Member Melville asked by what criteria they decide whether demolitions of taking off elements is appropriate. Planner Grahn replied that page 43 of the Staff report outlined the criteria that was agreed upon as part of the LMC changes. Ms. Melville requested that Planner Grahn explained how each criteria applied to this demolition application.

Planner Grahn stated that regarding the porch, the proposed work mitigates any impacts that would occur to the historical significance of the building and any impact that would occur to the architectural integrity of the building. She believed the porch work would actually increase the architectural integrity by replacing the non-historic porch with a full-width porch that is more reflective of the style of architecture seen on a house built in the late 1800s to early 1900s in Park City.

Board Member Melville asked Planner Grahn to explain how the criteria, "Partial demolition is required for the renovation, restoration, or rehabilitation of the building, structure, or object" applies to this request. Planner Grahn stated that proposal would not have to meet all of the criteria. She explained that each criteria depends on the work being proposed. Every criteria cannot be applied to one specific action. Ms. Melville pointed out that most of the back of the house was being removed. Planner Grahn stated that they would talk about the back of the house after they address the front porch and the door.

Board Member Beatlebrox stated that when she went to look at this house she noticed that there were as many large full front porches on historic buildings on Park Avenue as there were small porches. She was comfortable with this proposal for that reason. Ms. Melville clarified that Ms. Beatlebrox felt that the full-width porch would be compatible. She asked if the smaller porch would also be compatible. Ms. Beatlebrox thought both porch sizes would be compatible. Ms. Melville thought that was a problem. Planner Grahn remarked that it was the same problem the Staff had in determining whether or not they should leave the existing porch or do a full-width porch. After a full review and discussion with the architect, the Staff found that putting a full-width porch back on this house was not inappropriate, since there was not a porch originally on the house.

Planner Grahn stated that deciding on a portico or full width porch could be a matter of test or a matter of which one is more appropriate. In either case, her personal opinion was that adding a full-width porch would not disturb the architectural integrity of the house.

Board Member Stephens did not believe the low gable porch was appropriate and it was probably not original to many of the homes built in that time period. He thought the earlier porches did not have adequate footings to hold up the porch and they failed. They were replaced with a simpler low gable porch to handle the issue of snow load over the front door. Mr. Stephens stated that he has seen documentation on very specific homes that go back to the 1900s which show the longer porches being more appropriate and more consistent.

Chair White was comfortable with the porch that goes all the way across. His experience with the majority of these homes is that they all had full-width porches across the front.

Board Member Melville stated that she struggled initially with the demolition of the porch without knowing what it would be replaced with. She thought the Board was put in an awkward situation of having to review demolitions that are important without the benefit of knowing what would go in its place. In this case, they know it will be a full-width porch that appears to be consistent with the historic period.

Mr. Stephens thought they could make that basis because the existing gable porch is new. If the HPB approves removing non-historic material, the replacement should not matter that much. Ms. Melville remarked that a lot of houses are reconstructions with mostly new material. She did not think they could say that any relatively new material was no longer part of the historic house. Board Member Stephens disagreed. Ms. Melville understood that if a house is reconstructed with mostly new material it is still considered historic

under the Code. Planner Grahn that a reconstructed house with new materials remains on the local Historic Sites Inventory.

Board Member Hodgkins understood that the HPB was reviewing this application because the house was on the HSI. Planner Grahn replied that he was correct. Mr. Hodgkins clarified that the porch was not original to the house, but it was added during the reconstruction and not three or four years later. Planner Grahn agreed, but she was unsure why the decision was made to add the porch.

Board Member Melville stated that she was not against this particular porch. She was only trying to point out the difficulties they have in reviewing these demolitions. Planner Grahn agreed that it is difficult without knowing what the removed materials would be replaced with. Board Member Melville understood their role in design review, but she did not believe replacement should be a separate issue from demolition.

Board Member Holmgren personally preferred a sitting porch over a stepping porch.

Planner Grahn asked if there was consensus for removing the porch. The Board concurred.

Planner Grahn commented on the proposal to remove the non-historic front door and replace it with a door that meets the design guidelines. The Staff found that the proposed exterior change shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site. Planner Grahn stated that any new door would have to meet the design guidelines, and the applicant was not proposing to relocate the door, expand the width or change the proportions.

Board Member Hodgkins questioned whether the argument of not being historic materials was appropriate in a reconstruction. He believed that was the issue they were struggling with. Planner Grahn replied that they needed to look at it from the standpoint of whether replacing the door would affect the reconstruction.

Director Erickson stated that one reason the Staff was being so rigorous on these demolitions is that they are telling the story to the next HPB 50 years from now. Making determinations about historic or non-historic materials is building that record. The relevancy of this discussion is about making sure the record is accurate going forward. Director Erickson stated that when the Board reviews demolitions the Staff will do their best to articulate the change in generic terms, such as one porch for another. He believed that would be fair without affecting the HPBs ability to review an appeal of a Staff decision.



Board Member Melville stated for the record that she was not opposed to the HPB losing their appeal ability and letting it go to the Board of Adjustment. Director Erickson understood her position. However, the most important goal right now is to get the Historic District Guidelines in place so the HPB understands them and can articulate them to the public; and so the Staff can apply them correctly. He believed the best way to accomplish that would be for the HPB to be the appeal board because they would know the regulations.

There was consensus among the Board to allow the front door to be removed and replaced.

Planner Grahn remarked that the applicant was proposing to remove the secondary entrance which has the porch overhang, the concrete steps and the door. She stated that not only are the materials not historic, but the Staff does not believe the door, porch and stair configuration was historic. She reviewed a diagram showing the original gable of the house where the shed addition was added. The secondary door sits in an awkward position in the middle. Planner Grahn did not believe it was historically there when the house was reconstructed. She assumed it was added because of how the rooms were reconfigured in the reconstruction.

Board Member Melville asked if it was part of the reconstruction. Planner Grahn replied that it was included but it was probably an addition to the reconstruction but not an original feature. Ms. Melville assumed it was a best guess and not based on accurate information. Planner Grahn stated that it was based on how the side looks compared to other houses in Park City that do not have this feature. Board Member Hodgkins pointed out that it also sits behind the gable. Planner Grahn explained that usually when changes like this are proposed to a historic structure, the Staff requests that it occur beyond the midpoint of the house so it is not visible from the primary right-of-way and would not detract from the historic house.

The Board was comfortable removing the secondary entrance.

Planner Grahn commented on the proposal to remove a portion of the rear wall in order to accommodate the addition. She reported that the shed roof was constructed as part of the 1993-1996 addition. The materials are not historic, but given the shape and form of the house it looks like a reconstruction of what had been there. The Staff found that the proposed partial demolition is required for the renovation of the building. They would not be able to add on to the house without removing this material.

Board Member Melville believed that removing the back would impact the historic house. She asked how the rear addition would impact the historic house. Planner Grahn stated that based on the design, where the rear portion is being

removed there would be a transitional element before the new addition starts. The new addition will connect between the historic house and the garage. Ms. Melville asked about the massing in relation to the historic house. Planner Grahn stated that the architect had done a good job of keeping the addition fairly small. The massing will change above the garage and that part will be visible from the street. However, the new addition would be minimally visible from the right-of-way in terms of looming over the historic house.

Jonathan DeGray, the project architect, confirmed that the height of the addition would not be visible from the street at all except for the area above the garage. The garage itself is already tall off the driveway and they will be pushing that up a little bit to add living space above the existing garage footprint.

Board Member Beatlebrox asked if the depth of the addition would go past the existing garage. Mr. DeGray replied that it would be flush. He noted that the Staff has reviewed the plans for compliance with the Historic District Guidelines. Pending the outcome of this meeting, it has all been approved. Ms. Beatlebrox asked if an elevation would show it rising at all above the roofline. Mr. DeGray stated that it would look at it head-on. However, looking up from the street level it would not be visible. Planner Grahn noted that it is not visible from the street level because the transitional element pushes it back from the historic house.

The Board was comfortable with removing the back wall.

Planner Grahn reported that the garage was not historic and it was never listed on the Historic Sites Inventory. The garage was not a reconstruction. It has all new material and it was added as part of the 1993-1996 remodel and development of the site. The applicant was proposing to remove the garage because it was going from a one-story building to a two-story building that will connect to the house. That was the reason for removing the gable and the roof on the side elevations.

Board Member Melville asked about the accessory structure on the Sanborn map. Planner Grahn was unsure and noted that it does not currently exist on the site. However, there is a small accessory structure behind one of the neighboring houses on Woodside that sits on the hill. Board Member Melville asked for the height of the garage at completion. Mr. DeGray recalled that it would be 22 feet. Ms. Melville asked if it was higher than the current roof of the house. Mr. DeGray answered no.

Board Member Stephens was uncomfortable talking about the future design because it design review was the role of the Planning Department. Mr. Stephens did not believe the HPB should be basing their decision on the height of the garage or whether it is visible from the street. He understood that the Board

wanted to know what it would look like, but he believed that Mr. DeGray had designed the project in good faith with these items being removed. Mr. Stephens pointed out that most architects would not have a design at this point in the process and they would not be able to answer these questions. He thought it was inappropriate to be asking Mr. DeGray.

Board Member Melville disagreed from the perspective of her first question, which was by what criteria the Board could decide whether these demolitions were appropriate. For example, one criteria that the proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work. She questioned how they could make that determination without having some idea of what would happen after demolition. Ms. Melville thought it was appropriate for the HPB to know something; otherwise they would just be saying that it is okay to remove materials from historic buildings. Planner Grahn understood her point; however, they also have to relate it to the demolition of the affected material and not what is put in its place. Ms. Melville stated that both were exterior changes. Planner Grahn explained that in this case the proposed exterior change is to remove the roof in good faith that the replacement would meet the design guidelines and the LMC.

Board Member Stephens thought it was a matter of interpretation. In his reading, "proposed exterior changes" means the actual removal of the material being proposed. It is not the material that will be added.

Board Member Melville read, "The proposed scope of work mitigates any impacts that will occur to the visual appearance of the neighborhood where demolition is proposed". Mr. Stephens pointed out that the proposed scope of work is not what is being built or added on to the building. The scope of work is what they would approve to be removed from the building. Ms. Melville was unsure how the Board could provide helpful input if all they can look at is the material that comes off the building. She believed it was not an issue with this particular application, but she was raising these points because they will come up every time. Planner Grahn agreed that she was raising good points, but the problem is that the HPB does not do design review and the Staff could not provide them with design information.

Chair White stated that Planner Grahn was correct. It is legal for this structure and many other structures to have additions. Currently, it is up to the Planning Department to follow the Guidelines to make sure the additions comply. Since the HPB is not a design review Board, he agreed with Mr. Stephens that they could not delve further.

Chair White understood Ms. Melville's concern about taking off elements without knowing its replacement. He personally felt comfortable that it would all work out through the Design Review process. Ms. Melville assumed that it would probably work out, but she questioned what the Board was adding under the new criteria of looking at demolitions if their decisions are based on assumptions that it will all work out. Chair White stated that they were tip-toeing around. He did not believe that was a good thing, but they have no choice.

Mr. Stephens thought the purpose was for the HPB to make sure that historic additions on historic homes that might be significant to the architecture and the character of the home are not removed. The objective is to give the Planning Department and the design community an understanding of what they have to work with when they design these houses in the future, and which additions, if any, can be removed.

Director Erickson asked the Board to look at how Planner Grahn had drafted the Conclusions of Law because she was asking them to make findings consistent with the Guidelines. He noted how she had also referenced the design in the HDDR in the Conditions of Approval. Director Erickson explained that the ordinance was structured to 1) inform the HPB of the actions to be taken for the demolition; 2) finding conclusions of law that these are consistent with the guidelines for demolitions; 3) make a condition of approval that the changes that are brought forward in the HDDR are consistent with the design guidelines.

Director Erickson stated that the Staff looks at the criteria that applies to a particular section to determine whether or not a finding of fact could be made that the action would not harm the historic home. That Staff then asks the Board for input and whether they concur.

Director Erickson understood the concerns expressed in their discussion and he would talk with the Staff to see how far they could push the envelope towards the future; but they are required to follow the steps as outlined.

Board Member Hodgkins asked how the garage falls under the HPB jurisdiction if it is no-historic material and non-historic reconstruction. Planner Grahn replied that it is on a historic site and it will be connected to a historic house. Therefore, they need to look at it holistically, but with limited information. Chair White noted that it also relates to demolition which the HPB is required to review. Planner Grahn stated that it was also part of a larger HDDR.

Assistant City Attorney McLean stated that this issue come up often with accessories structures that are not historic. She clarified that it is within the purview of the HPB because it is associated with the site; however, the Staff recommendation is generally that the structure can be altered per the demolition portion because it was not historic to begin with.

Board Member Hodgkins asked if HPB approval of a demolition was contingent on doing something specific; or whether the homeowner could remove materials and elements and then do nothing. Planner Grahn replied that it was contingent on the Historic District Design Review approval which is addressed in the conditions of approval. Mr. Hodgkins understood that the applicant must move forward with the project. Planner Grahn replied that he was correct.

Assistant City Attorney McLean clarified that before the applicant could pull a building permit, which would include removal of the material, they are required to put down a financial guarantee to ensure that the work is completed.

Planner Grahn noted that the last item was to remove a portion of the north wall of the non-historic garage in order to accommodate the new addition. The Staff found that the proposed partial demolition was required for the renovation of the building.

The Board was comfortable removing the rectangular piece of material.

The Staff recommended that the HPB review the application, conduct a public hearing and approve the material deconstruction of non-historic materials at 1445 Woodside Avenue.

Board Member Melville referred to Finding #8, "The material on this wall is not historic and the addition was not a historic reconstruction..." She asked if they knew that for certain. Planner Grahn answered yes, and apologized for previously saying that it was historic. She explained that it retains the shed roof appearance, but she did not believe the Sanborn map was reflective of the existing addition. Ms. Melville asked if Planner Grahn was certain that the addition was not historic. Planner Grahn noted that in looking at the 1929 Sanborn map it was clear that the current addition does not match the addition shown on the maps, and the footprint is not the same.

Board Member Melville noted that the Conclusion of Law refers to a pending ordinance and she believed it was no longer pending. Assistant City Attorney replaced "pending ordinance" with "and the Land Management Code."

Chair White opened the public hearing.

There were no comments.

Chair White closed the public hearing.

**MOTION:** Board Member Holmgren moved to APPROVE the review of material deconstruction permits for the buildings and structures located at 1445 Woodside

Avenue as indicated on the Agenda, and based on the Staff recommendation and the Findings of Fact, Conclusions of Law and Conditions of Approval found in the Staff Report and as amended to revise the Conclusion of Law as previously stated. Board Member Beatlebrox seconded the motion.

VOTE: The motion passed unanimously.

#### Finding of Fact – 1445 Woodside Avenue

1. The property is located at 1445 Woodside Avenue, Lot 1 of the Frandsen Subdivision, Amended.
2. The historic house is listed as Significant on the Historic Sites Inventory.
3. The house was originally constructed c. 1898, per the Historic Site Inventory (HSI) Form, as a hall-parlor with no front porch. In 1992, the historic house appears to have suffered from severe fire damage as a building permit was issued to demolish and reconstruct it on September 15, 1992.
4. Staff has confirmed the HSI form's findings that the siding, windows, doors, portico, and other features of the house are of new materials and are not historic. Staff finds that this house was reconstructed following the fire and it is likely little to no historic material was salvaged from the fire and reused on the reconstruction of the house.
5. On July 29, 2015, the Planning Department received a Historic District Design Review (HDDR) application for the renovation of the historic house at 1445 Woodside Avenue; the application was deemed complete on August 19, 2015. The HDDR application is still under review by the Planning Department.
6. The applicant will remove the existing non-historic porch on the front façade and replace the existing front door. As the applicant will be replacing the porch with a new full-width front porch, the proposed work mitigates any impacts that will occur to the historical significance of the building and any impact that will occur to the architectural integrity of the building.
7. The applicant will also remove a secondary entrance on the south elevation, including the existing non-historic door, concrete stairs, and railing. The proposed exterior change shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site.
8. The applicant will remove a portion of the rear wall of the house, measuring approximately 21.5 feet by 14.5 feet, as well as a portion of the roof on the rear of the house in order to accommodate the new addition. The material on this wall is not historic and the addition was not a historic reconstruction, but rather a new addition constructed around 1993-1996. The partial demolition is required for the renovation of the building.
9. The applicant will also remove the gable roof of the non-historic garage to construct a second level addition above the garage. The partial demolition is required for the renovation of the building.

10. The applicant will remove a portion of the north wall of the non-historic garage, measuring approximately 19 feet by 29 feet, as well as a portion of the roof above this area. The partial demolition is required for the renovation of the building.

#### Conclusions of Law – 1445 Woodside Avenue

1. The proposal complies with the Land Management Code requirements pursuant to the HR-M District and the LMC.

#### Conditions of Approval – 1445 Woodside Avenue

1. Final building plans and construction details shall reflect substantial compliance with the HDDR proposal stamped in on November 23, 2015. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.

2. Design Guideline Revisions – Staff recommends that the Historic Preservation Board take public comment on the proposed changes to the Design Guidelines for Park City’s Historic Districts and Historically Significant Buildings; provide specific amendments to be made to the document if necessary; and make a recommendation to City Council (Council review will be after the entire Guidelines are reviewed by the HPB) (Application GI-13-00222)

Planner Hannah Turpen reported that this was one of many Staff reports for Design Guideline revisions that the Historic Preservation Board would see this year. She reviewed Exhibit A to explain what they would be looking at this evening and the process for future meetings. The left side of the exhibit showed how the Guidelines are currently laid out and the right side showed the proposed revisions. Planner Turpen noted that the Guidelines have not been revised since their adoption in 2009.

Planner Turpen commented on Site Design and Universal Guidelines. She pointed out that the existing Site Design does not have as many sections as the Proposed Site Design. The Staff was proposing to add more sections to address additional items in the current Design Guidelines.

Planner Turpen commented on National versus Local Review. She stated that the Design Guidelines are based on the Secretary of the Interior Standards for Preservation, Rehabilitation, Restoration and Reconstruction. She stated that the City does not always enforce the Secretary of Interior Standards. They rely solely on the Design Guidelines which are based on the National Standards; but the City enforces its local document.

Planner Turpen started the discussion with Universal Guidelines. She noted that the Staff was proposing to change Universal Guideline #4 to include, "It may be appropriate to reproduce missing historic elements that are consistent with properties of similar design, age and detailing in some cases". They also added clarification to Universal Guideline #9 with language, "The new work should be differentiated from the historic structure or construction and should be compatible with the historic structure or construction in materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment".

Board Member Melville noted that the Board does not always see the problems the Staff has when applying the Guidelines. She asked for an example of why it was being proposed and how it would help the Staff.

Planner Grahn clarified that they were looking at guidelines that apply only to Historic residential structures. Ms. Melville stated that her question was more specific to the changes for Universal Guidelines 4 and 9. Director Erickson noted that the Board saw an example this evening where a non-historic porch would be removed and replaced with a porch that may be more historically in keeping with the home. That type of situation was addressed by Universal Guideline #4.

Planner Turpen noted that the language underlined in red in the Staff report was new language that the Staff was proposing to add. The Staff had added language in areas that needed more clarification so when the Guidelines are applied it is clear and not open to interpretation by a developer. Director Erickson used the boarding house renovation on Park Avenue that was discussed at the last meeting as an example of how the added language would bring the home more into compatibility, which was the purpose of this particular section. The language talks more about rhythm and scale and certain elements.

Planner Turpen assumed that the Board had read the Staff report and were aware of the proposed language. Therefore she did not intend to read all of the changes. She had only read #4 and #9 because the Universal Guidelines are broad and she wanted to hone in on exactly what was being changed in this section. Board Member Melville encouraged the Staff to give examples to help them understand the reason for the changes and the benefit.

Planner Grahn spoke about Site Design and Building Setbacks.

A.1 Building Setbacks and Orientation - Planner Grahn stated that the Staff removed "A.1.3 Maintain the original path or steps leading to the main entry, if extant", because they were addressing it in a different section.



A.2 Topography and Grading – Planner Grahn noted that nothing changed other than adding “or vice-versa” in A2.2. She explained that if the site is relatively paved they would not want to change the built or paved area too drastically because it would change the character of the site.

Ms. Melville noted that word “Grading” had also been added. She asked if the Guideline, “Maintain the original grading of the site” had been applied in the past. Planner Grahn stated that it also says, “...when and where feasible. She stated that the LMC requirement is to retain the finished grade after the project within four feet of existing grade. In Old Town they always look at where the grade will be after a new basement foundation goes in because they try to avoid having too much visible concrete. Director Erickson explained that this particular clause refers to the historic home that was raised and put on a very modern concrete foundation. The HPB had concerns about how the grading and the metal retaining wall that was in place. The intent of the proposed change is to clarify how they review that particular action. Director Erickson referred to the HPB picture of the house with the oversized steps and noted that this guideline would try to avoid that from occurring again.

Planner Grahn reiterated that the language written in black was currently in the existing Guidelines. Only the proposed changes were shown in red. Planner Turpen clarified that all the language in black was being applied currently, and the purpose of the changes in red was to strengthen that language and make it easier to enforce the guideline.

A.3 Landscaping and Vegetation - Planner Grahn stated that site grading was removed because it was addressed under Topography and Grading. She pointed out that in addition to protecting mature vegetation with this guideline, they were also trying to protect the historic houses from mature vegetation as stated in Guideline A.3.1. Planner Grahn stated that either the Secretary of the Interior or the National Parks Service came up with Design Guidelines for energy efficiency. That was where the storm water management features and storm water management systems, etc. came from in A.3.7. They want to make sure that people develop landscape plans that last and that landscaping is not being redone every year. That was addressed in the language added to A.3.3.

Board Member Holmgren understood from the photos she has seen and people she spoke with that Park City used to have a lot of fruit trees and lilacs. She was vocally opposed when the plum trees were removed behind a restaurant. Ms. Holmgren suggested that in the Design Review process the Staff could encourage applicants to plant that type of landscaping because it does grow. Planner Turpen stated that they could add a sidebar and include examples of vegetation that was historically found in the City. She thought it would be interesting for the Staff to do that research.

Board Member Melville liked the added language in A.3.2 to protect established vegetation and replace removed vegetation with similar vegetation. She noted that too often mature trees are removed during construction and replaced with smaller stick-like trees. Planner Grahn stated that the Staff has had a policy to address those situations. When mature trees are taken down the Staff requests that it be replaced with a 2:1 ratio of something similar. In addition, they look at the diameter of the tree at chest height to make sure that if a 10" diameter is replaced with a 1" diameter, they need to replace it with ten trees. The Staff was looking at revising that requirement, but they were losing a lot of mature vegetation and this Guideline would help reduce the amount. Ms. Melville thought it was better to require bigger trees as opposed to a lot of smaller trees.

Board Member Holmgren suggested that the Staff research which trees do well in Park City. For example, aspen trees last about four years and eventually need to be removed. Box Elder is another garbage tree that people like to plant.

Board Member Stephens remarked that the Board was looking at the vegetation on its own merits, but the Planning Department looks at it in relationship to parking, construction, etc. He thought it would be interesting to get an idea from the Planning Department on how they weight what is more important. Mr. Stephens stated that Mr. Erickson had commented on a historic house that was lifted and the grade was changed, but at the same time a garage was going in to facilitate off-street parking. He recognized that it was a difficult job but he was unsure how they judge it. Director Erickson replied that it was an interesting balancing act. The first priority is not to negatively affect the historic home. The second priority is not to negatively affect the historic district, which is where vegetation comes into play. He stated that the Planning Department would rather restrict grading and protect a tree than to accommodate parking. However, fir trees go decadent after 60 years and Aspen trees are inappropriate. He believed the strongest trees in the District are fruit trees and lilac bushes. Director Erickson believed it was appropriate to add plant materials as a sidebar. He clarified that he is personally opposed to removing a dead tree if it is a wildlife tree with bird species living in it.

Board Member Holmgren asked if there was an ordinance that prohibits using rain barrels. Director Erickson answered yes. Ms. Melville thought the ordinance had been changed to allow it. Director Erickson explained that the State Division of Water Rights regulates how much water can be collected without a permit. Water can be collected in a rain barrel and registered, but the rest has to run down stream so farmers can water the grass. He was unaware of any restrictions in the Historic District Guidelines that prohibit water barrels.

Planner Grahn asked if the Board wanted to add a guideline regarding rain barrels. Board Member Holmgren stated that she would like the ability to use them. Director Erickson reiterated that she already has that ability because the

City does not regulate rain barrels. He suggested that if a rain barrel is proposed as part of a reconstruction or restoration the Staff could ask that the location be included on the site plan. If an owner wanted to place a rain barrel on their existing home it should not be an issue for the Planning Department to regulate unless it encroaches into the setback or over a property line.

Assistant City Attorney McLean recommended that the Staff include a comment in the redlines to indicate items that were redlined because they were moved to another section. Another option would be to underline it in a different color. She believed it would help the Board know that it was not deleted and where they could find it.

Planner Turpen stated that she and Planner Grahn were finding numbering errors. She asked the Board to let them know if they find issues with the numbering. Planner Grahn pointed out that the sections are numbered primarily to keep the Staff reports organized. She assumed the final version of the Design Guidelines would have to be renumbered based on comments and feedback from the HPB.

A.4 Stone Retaining Walls - Planner Turpen recalled discussing this item in the Fall and early Winter in terms of what defines the streetscape. They found that there are a lot of historic retaining walls but it is difficult to regulate what new walls are supposed to look like and how they deal with the ones they already have. She pointed out that most of this section was in red because the current guidelines have very little about retaining walls.

Planner Turpen stated that A.2.1 talks about maintaining a line of stone retaining walls along the street; and that goes back to the streetscape. She recalled from the Fall discussion that Board Member Stephens talked about how the walls stepped with the topography of the street and they needed to be able to respect that. She stated that A.2.2 was moved to another section. Director Erickson referred to the April Inn retaining wall as an example and noted that the new guideline would regulate that wall much more effectively. Ms. Melville liked that that language specifically calls for reusing the existing stone where possible. She thought it would be even better if they could make the language stronger than “where possible”. Director Erickson suggested, “to the greatest extent practicable”.

Board Member Hodgkins asked why they named this section stone retaining walls and not just retaining walls. Planner Grahn stated that they could change it to masonry retaining walls because it also includes brick and concrete. Planner Turpen suggested changing it to Retaining Walls to encompass all walls.

Planner Turpen noted that the newly proposed A.2.2 states that “Walls should be repaired with materials that closely approximate the original”. She stated that

A.2.3 addresses reducing the number of failing walls by encouraging applicants to improve the drainage behind existing walls. A.2.4. - New walls shall be consistent with historic features and design, materials and scale. A.2.5 - Walls of brick should be reconstructed based on physical or pictorial evidence. A.2.6 – Maintain stone in its Natural Finish. It is not appropriate to paint, stain or plaster over stone.

Board Member Melville asked if this would prevent the use of plate steel. Planner Grahn believed it was covered under A.2.4 in terms of materials. Board Member Hewett asked if they could list the type of stone that would be preferred if a wall was built from scratch. Planner Grahn stated that recommended materials could be listed as a sidebar; however, she cautioned against being overly prescriptive. Director Erickson thought they could be consistent with what they know on local knowledge, and that the stone needs to retain a traditional shape and that the materials need to be sourced locally. He would work on geographically defining locally.

Chair White stated that recently they have been saying that walls should be of stone in a size that a person could carry, and they should be hand stacked or look hand stacked to be consistent with how the walls were originally built. The Board talked about stone size, shape and color. Planner Turpen thought they could include a photos of an authentic Park City wall, which would make it easier to enforce. She stated that the Staff has been successful in Design Review Team meetings making it clear that the stone must be something a miner could carry and that it is rectangular or square. Ms. Melville was not opposed to that criteria as long as it resulted in something historic looking and not a wall with modern stone.

A.3 – Fences - Planner Turpen noted that in A.3.1 language was added to state, “Historic fences should be preserved and maintained”. She noted that language in A.3.2 describes what appropriate wood fences should look like. Wood fences should have flat, dog-eared or pointed tops similar to what was typically used. The language gives specific dimensions. Planner Grahn noted that the information was pulled from the previous Park City Design Guidelines.

Board Member Holmgren asked about metal fences. Planner Grahn believed they would be open to it as long as it was compatible with the design of the building. However, the LMC does not allow chain link fences other than for LOD fencing. Planner Turpen stated that A.3.3 says, “New wood and metal fences located in the front yard should be traditional designs and patterns”.

Board Member Stephens asked if the wood picket fences were only for reconstruction. He preferred to move the measurements into a sidebar to keep it from becoming too specific. Mr. Stephen thought a 3-1/2 inch wide board would have been new dimensional lumber. In the 1900s it would have been a 4-inch

board. He believed a sidebar would force the applicant to show what was there or what might be compatible with the house, but still allow some flexibility.

Planner Turpen stated that A.3.5 talks about how the wood fence should be painted to be complimentary to the adjacent house. A.3.6 encourages the use of drought tolerant shrubs in place of a fence or wall. A.3.7 states, “Arbors emphasizing a fence gate or entry shall be subordinate to the associated historic building or structure and shall complement the design of the historic structure and fence in materials, features, size, scale and proportion, and massing to protect the integrity of the historic property and its environment”. She pointed out that the current guidelines do not address arbors and the Staff sometimes gets pushback on arbor proposals because nothing is in writing.

A.4. – Paths, Steps, Handrails, & Railings (Not associated with porches). Planner Grahn noted that these were ones not associated with porches. The first guideline was moved from a different section. A.4.3 relates to compatibility and the issues they identified in various photos at the last meeting. Language in A.4.4 indicates that Historic handrails should be maintained and preserved if they exist. In A.4.5 they need to make sure that they complement the historic structure and the site in general.

Board Member Hewett asked for an example of a historic handrail. Planner Grahn replied that all handrails have to meet the Building Department Code for safety. Historic handrails could just be a wood railing on steps. It could also be similar to metal plumbing pipes that are simple in design. Ms. Hewett stated that she was thinking of the 1970s houses where some things are not attractive. She was concerned about suggesting round circle railings.

#### A.5. – Gazebos, Pergolas, and Other Shade Structures.

Planner Grahn reiterated that the Staff was seeing more demand for arbors and these types of structures. The language promotes that they be subordinate to the associated historic buildings or structure, complement the design, and should be limited to rear or side yards so they are not in the front yard or affecting the integrity of the site. They should not be attached to associated buildings or structures because they would no longer be a freestanding shade structure.

#### A.6. – Parking Areas, Detached Garages and Driveways.

Planner Turpen stated that the change to this section was primarily adding language for clarification and details. A.6.5 was added to “Consider using textured and pour paving materials other than smooth concrete for driveways in the front yard. Use permeable paving where appropriate on a historic site to manage storm water. Permeable paving may not be appropriate for all driveways and parking areas. A.6.6 was added to say, “Avoid paving up to the building

foundation to reduce heat island effect, building temperature, damage to the foundation, and storm-water runoff”.

Board Member Beatlebrox stated that the textured and poured paving materials language reminded her of how the City beautified the area going to the Transit Center. She asked if they were talking about that type of material or something different. Planner Grahn thought they would be open to people using pavers. Traditionally there were wood sidewalks and gravel or dirt driveways so there was some room for flexibility. However, they would not want the driveway to detract from the historic site or become the focal point. Textured materials would be allowed and pavers would be considered a textured material. She pointed out that the language specifically states poured concrete because a smooth concrete finish is too modern.

Board Member Melville asked how the Guideline would keep people from paving over the entire front of the house. Planner Grahn replied that it goes back to the design guideline regarding the site plan and how they should not have a substantial amount of paved or built area. Planner Grahn stated that the LMC and the current Design Guidelines do not allow more than 12’ of width on the driveway. They could add it to this section for clarification.

Board Member Melville asked how the Staff addresses the fact that these are only guidelines and not requirements when applicants raise that issue. Director Erickson stated that if the Staff makes a determination based on applying the design guidelines, the applicant would have the right to appeal that decision to the Board of Adjustment. Planner Grahn believed the LMC also states that if there is a discrepancy between the guidelines and the LMC the stricter of the two applies.

Director Erickson followed up on the question regarding the 12’ driveway width and noted that it was addressed in D.3 of the existing Guidelines.

Board Member Beatlebrox complimented the Staff on thoroughness and a job well done. It was evident that they had carefully listened to the comments made by the Board and they had drafted language that made the guidelines very clear.

Planner Grahn explained the breakdown of Exhibit A and the color coded categories. Director Erickson stated that in effect they were remapping the Guidelines between the existing and the proposed. It was more of a tracking mechanism for the Staff.

Planner Turpen commented on process. She noted that the Design Guidelines would not go to the City Council for adoption until the HPB completes all of the revisions.

Chair White opened the public hearing.

Jim Tedford stated that he was representing a group called Preserve Historic Main Street. They have been testifying the past few years concerning the Kimball Corner. As he listened to the proposed changes a couple of things came to mind. He thought separating residential and commercial was an excellent idea because some things do not apply to both. Regarding the proposed changes, Mr. Tedford noted that they had used the words “compatible” and “subordinate”, which are important words in terms of what their concerns for Kimball Corner. He pointed out that the definitions in both the current Design Guidelines and the General Plan were not the best. Mr. Tedford stated that compatible and subordinate can be interpreted in many ways without a very clear definition.

Cindy Matsumoto, a Park City resident commented on language under Fences, “Drought tolerant shrubs should be considered in place of a fence or a wall.” She felt that would encourage more xeriscape which would not fit into the Old Town look. Ms. Matsumoto favored Board Member Holmgren’s idea of using lilac or rose bushes or other vegetation that was historically used between homes. Ms. Matsumoto asked the Staff to explain why they were waiting until all the revisions were completed before bringing them forward. Since the Guidelines were being revised section by section, she questioned why the City Council could not vote on them section by section. She thought it was better to have people follow the new guidelines this year when they start doing their fencing and landscaping in March rather than waiting another year to implement them.

Planner Turpen stated that the Design Guidelines are set up different than the LMC. It is one document and each section is not its own chapter. Planner Grahn explained that the goal was to keep the document together rather than section by section to avoid confusion in trying to update the website on a monthly basis. The Staff gives the Council quarterly updates and they will include which sections are being revised in each update.

Assistant City Attorney suggested that since the Guidelines were divided between existing historic houses and new construction, there may be some break points to address Ms. Matsumoto’s concerns. Planner Turpen thought they could possibly structure the new document in a way that would allow more frequent updates. Planner Grahn agreed that it would be beneficial to everyone if the Guidelines could be changed as often as the LMC.

Ruth Meintsma, a resident at 305 Woodside, had an issue with a small change on the Universal Guidelines. She pointed to the language under Landscaping, “Use to advantage the existing storm water management features such as gutters.” She was told by Sandra Morrison that there were no gutters in Old Town. Ms. Meintsma understood that gutters have become essential to help with barrels and sustainability, but since gutters did not historically exist she thought

the language as written was confusing. Ms. Meintsma noted that the language in A.5.7 “providing landscape separations” was also shown in A.6.2. She referred to the language regarding retaining walls, “Maintain the line of stone retaining walls.” She recalled that the Planning Commission calls that the setback.

Planner Grahn explained that the language in the guideline was talking about height and not the setback from the street. She offered to revise the language for better clarification.

Ms. Meintsma referred to language in A.2.3, “To reduce failure of walls, improve the drainage...” She watches a lot of structure go up and she watches the drainage that is used in new construction or new construction under historic structures. Often the drainage is nothing more than gravel backfill. She stated that gravel backfill is unsightly and nothing grows in it so it becomes dead space. She had researched different drainage systems and there are different levels of gravel and different environmental fabrics. Topsoil can be put over the top of gravel so things can grow. Ms. Meintsma suggested the possibility of coming up with a fundamental system of drainage behind a wall.

Director Erickson was not in favor of coming up with a system, but they could recommend that the final landscaping needs to have sufficient top soil and a means of retaining the top soil. It would then be up to the engineer to work out the details. He thought Ms. Meintsma had made a good point.

Ms. Meintsma referred to A.2.4 and the different types of retaining walls. She asked if simple scored concrete was the same as wood form. Planner Grahn thought it was. Ms. Meintsma clarified that if it was scored concrete it would include wood form. Planner Grahn offered to change it to simple board form concrete for clarity.

Ms. Meintsma was confused with the language, “Wood fences should be painted using colors complimentary to the adjacent house”. Planner Grahn stated that the intent is to make sure it is obvious that the fence belongs to the house. She was not opposed to eliminating the guideline if there were concerns about regulating color.

Board Member Holmgren noted that paint and color were not mentioned in the proposed guidelines and she suggested that they could just let it go. Board Member Stephens interpreted the language to mean that the fence should be painted as opposed to having an unfinished cedar fence. Planner Grahn replied that he was correct. The intent is for the wood to be painted. Planner Turpen thought they should just say that the fence should be painted. Ms. Beatlebrox agreed. She read the guideline from the standpoint of an artist and her interpretation of complimentary colors is probably different.



Planner Grahn suggested that they remove the guideline from this section. The Guidelines will have a new section regarding the treatment of historic building materials, and they could address the need to paint wood in that section.

Ms. Meintsma referred to language in A.4.3 under Paths and Steps stating that the steps should complement historic structures in materials, size and scale. She asked if it would be easier to identify a maximum width.

Planner Grahn stated that it would depend on the site. She preferred to keep the language more subjective.

Ms. Meintsma referred A.5.2, Installation of Gazebos, and the language stating that they shall be limited to rear side yards and have limited visibility when viewed from the primary right-of-way. She suggested revising the language to say, "limited visibility when viewed from public right-of-way" to address the situation of a corner lot. Ms. Meintsma suggested that they add visual examples under landscape treatment for driveways and walkways. Director Erickson clarified that it was more of a greenspace. He explained that many newer homes have a grassy area between the driveway and the sidewalk to maintain the 12' width.

Ms. Meintsma commented on off-street parking in the rear yard. Board Member Holmgren thought the language should be revised to make "If locating the parking area in the rear is physically not possible..." the first sentence. The next sentence could be that the off-street parking should be located within the rear yard.

Ms. Meintsma referred to #7 of the General Guidelines, the second sentence, "Owners are discouraged from introducing architectural elements or details that visually modify or alter the original building design when no evidence of such elements or details exist." Her interpretation is that if a house never had a front porch that architectural element could not be added.

Planner Grahn explained that the intent of the sentence is not to add features that never existed. The last sentence talks about reproducing missing historic elements and it can be based on physical or photographic evidence. For example, they might know a railing existed but they do not always have the best physical evidence. In some cases they can look to a neighboring house and reproduce an element based on their dimensions.

Ms. Meintsma understood that clarification but she still questioned whether an element could be added if there was evidence that it never existed. She referred to the first item the HPB reviewed this evening. Planner Grahn replied that it was also a reconstruction and the porch that exists was added because whoever approved it at the time thought it contributed to the historical look and feel of the

house. In this case the added porch was not in keeping with the era of the house; whereas a full-width porch was typical on hall-parlor homes. Planner Grahn pointed out that this was a unique situation because the home was reconstructed after a fire and given the neighborhood. Ms. Meintsma was concerned that they were opening a door for many things to occur if they justify it based on what exists in the neighborhood. Planner Grahn explained that if an element is being reconstructed based on photographic or physical evidence it should be replicated. However, if a new element is added, it must be compatible with the house.

Chair White closed the public hearing.

Board Member Melville referred to Mr. Tedford's comment regarding the definitions of "compatible" and "subordinate". She suggested that the HPB should look at the current definitions to see whether or not they are adequate. Planner Grahn offered to schedule that review for the next meeting. Board Member Beatlebrox thought they should also look at the definition of "complementary".

Assistant City Attorney McLean stated that the HPB should make a recommendation to the City Council on whether or not to consider the amendments as outlined. Board Member Beatlebrox was uncomfortable making a recommendation until the suggested changes were incorporated and the guidelines are re-drafted. She wanted to look at the next draft before forwarding a recommendation. Chair White concurred.

MOTION: Board Member Beatlebrox moved to CONTINUE the draft that was discussed this evening to February 3, 2016. Board Member Holmgren seconded the motion.

VOTE: The motion passed unanimously.

Board Member Beatlebrox asked if there was a way to have links to each section rather than relying on a full PDF document. Planner Grahn thought it was a good suggestion and they would look into it. Planner Turpen pointed out that if items are eliminated from some sections, the links would not be current. Assistant City Attorney McLean thought the Staff could meet internally to come up with a strategy to address this issue.

The meeting adjourned at 7:05 p.m.

Approved by \_\_\_\_\_

David White, Chair  
Historic Preservation Board



## Historic Preservation Board Staff Report

**Subject:** Recent Land Management Code Amendments to 15-11  
**Author:** Anya Grahn, Historic Preservation Planner  
**Date:** February 3, 2016  
**Type of Item:** Work Session

### Summary Recommendation

Staff recommends the Historic Preservation Board review and familiarize themselves with the amendments to LMC 15-11, and come prepared to discuss their questions during this work session.

### Background

On August 6, 2015, the City Council directed the Planning Department to move forward with a pending ordinance. The purpose of the pending ordinance was to expand the Historic Sites Inventory criteria to include the following terms:

- Any structure that has received a historic grant from the City;
- Has previously been on the Historic Site Inventory or listed as significant or contributory on any recognizant or other historic survey;
- Or despite non-historic additions retain its historic scale, context, materials in a manner and degree which can reasonably be restored to historic form.

In addition, the pending ordinance was also to amend Land Management Code to include demolition permits for all structures in a Historic District to be reviewed by the Historic Preservation Board.

During September, October, and November, staff met with the Historic Preservation Board and Planning Commission to discuss our proposed amendments to the Land Management Code based on City Council's initial feedback in August. This information was then presented and approved by City Council on December 17, 2015. Staff has attached the 12.17.15 City Council staff report as a reminder to the HPB why these modifications were made (Exhibit A). Staff has also attached the amended LMC Chapter 15-11 as Exhibit B for the HPB's review; the red text reflects the modifications adopted in December.

In January 2016, staff committed to reviewing these amendments in detail with the Historic Preservation Board (HPB).

### Analysis

On December 17, 2015, City Council approved amendments to the following sections of LMC 15-11:

- 15-11-5 Purposes
- 15-11-10 Park City Historic Sites Inventory
- 15-11-12 (A) Pre-Application Conference and (D) Appeals
- 15-11-12.5 Historic Preservation Board Review for Demolitions

- 15-11-13 (A) Criteria for Relocation and/or Reorientation as well as (B) Procedure for Relocation and/or Reorientation
- 15-11-14 (A) Criteria for Disassembly and Reassembly of the Historic Building(s) and (B) Procedure for the Disassembly and Reassembly
- 15-11-15 (A) Criteria for Reconstruction of the Historic Building(s) and (B) Procedure for Reconstruction

Staff will review these amendments in greater detail during the work session.

### **Summary Recommendation**

Staff recommends the Historic Preservation Board review and familiarize themselves with the amendments to LMC 15-11, and come prepared to discuss their questions during this work session.

### **Exhibits**

Exhibit A – City Council Staff Report 12.17.15

Exhibit B – LMC 15-11, as adopted on December 17, 2015.



**DATE: December 17, 2015**

**TO HONORABLE MAYOR AND COUNCIL**

On August 6, 2015, City Council directed the Planning Department to move forward with a pending ordinance (Exhibit A). Staff is proposing modifications to 15-1-8, Appeal process in 15-1-18, the Notice Matrix, as outlined in LMC Chapter 15-1-21, as well as the Purposes of the Historic Preservation Board (HPB), Park City Historic Sites Inventory, Relocation and/or Reorientation of a Historic Building or Historic Structure, Disassembly and Reassembly of a Historic Building or Historic Structure, Reconstruction of an Existing Historic Building or Historic Structure and adding a material deconstruction review process as outlined in LMC Chapter 15-11 and definitions in Chapter 15-15. Amendments to the Land Management Code require City Council adoption.

**Respectfully:**

Anya Grahn, Planner II



# City Council Staff Report

**Subject:** LMC Amendment Park City Historic Sites Inventory Criteria & Demolition Permits  
**Author:** Anya Grahn, Historic Preservation Planner  
 Hannah Turpen, Planner  
 Bruce Erickson, AICP, Planning Director  
**Department:** Planning Department  
**Date:** December 17, 2015  
**Type of Item:** Legislative — LMC Amendment

### Summary Recommendations:

Staff recommends that the City Council review proposed amendments to Land Management Code (LMC) regarding the allowed use matrix in 15-1-8, Appeal process in 15-1-18, the Notice Matrix, as outlined in LMC Chapter 15-1-21, as well as the Purposes of the Historic Preservation Board (HPB), Park City Historic Sites Inventory, Relocation and/or Reorientation of a Historic Building or Historic Structure, Disassembly and Reassembly of a Historic Building or Historic Structure, Reconstruction of an Existing Historic Building or Historic Structure and adding a material deconstruction review process as outlined in LMC Chapter 15-11 and definitions in Chapter 15-15. Staff recommends City Council conduct a public hearing, consider public input, review the request, and consider approving the proposed changes as proposed in this Report.

### Executive Summary:

On August 6, 2015, City Council directed the Planning Department to move forward with a pending ordinance (Exhibit A). Staff is proposing amendments to Land Management Code (LMC) regarding the allowed use matrix in 15-1-8, Appeal process in 15-1-18, the Notice Matrix, as outlined in LMC Chapter 15-1-21, as well as the Purposes of the Historic Preservation Board (HPB), Park City Historic Sites Inventory, Relocation and/or Reorientation of a Historic Building or Historic Structure, Disassembly and Reassembly of a Historic Building or Historic Structure, Reconstruction of an Existing Historic Building or Historic Structure and adding a material deconstruction review process as outlined in LMC Chapter 15-11 and definitions in Chapter 15-15. Amendments to the Land Management Code require City Council adoption.

### Description:

**Project Name:** LMC Amendment regarding Historic Sites Inventory criteria and demolition permits in the Historic District  
**Applicant:** Planning Department  
**Proposal:** Revisions to the Land Management Code

### Acronyms in this Report:

Certificate of Appropriateness for Demolition	CAD
Chief Building Official	CBO



Community Development Director	CDD
Determination of Significance	DOS
Historic District Commission	HDC
Historic District Design Review	HDDR
Historic Preservation Board	HPB
Historic Preservation Board Review	HPBR
Historic Site Inventory	HSI
International Building Code	IBC
Land Management Code	LMC
Request for Proposals	RFP

**Background:**

*History of Park City's Preservation Movement*

The development of the ski resorts (Snow Park Ski Area, 1946; Treasure Mountain, 1963; Park City West /Canyons Resort, 1968; and Deer Valley Resort, 1981) played a major role in transforming Park City from a mining ghost town into a year-round resort destination. Greater real estate demands and increased development spurred the historic preservation movement in Park City, which largely began in 1978 with the Main Street nomination for the National Register of Historic Places. A second thematic National Register nomination recognized the historic significance of the Mining Boom Era residences in 1984. These two (2) districts were focused on preserving historic buildings within Old Town.

Early on, the City recognized the need to assist property owners in order to encourage historic preservation. Initially, the City placed 180-day stay on demolition that provided an opportunity for the City to purchase or find a buyer for a historic property threatened by demolition. Further, the City purchased the Watts House and National Garage, put out a Request for Proposals (RFP) to rehabilitate the site, and then lobbied the Department of the Interior to keep the National Garage on the National Register of Historic Places after it had been panelized. Today, High West is one of the best examples of a historic rehabilitation project in Park City. The City's grant program, established in 1987, incentivized preservation efforts using RDA funds. Design Guidelines and the Land Management Code (LMC) also allowed the City to maintain the historic look and feel of its historic districts.

The City has been successful at developing regulations favoring historic preservation. We have created opportunities for mixed-use development, eliminated parking requirements for historic structures, and adopted provisions in the LMC and Design Guidelines all in an effort to encourage and make feasible historic preservation.

Historic preservation code provisions date back to approximately 1982. In the early 1990s, the City expanded regulations governing demolition of commercial properties, primarily on Main Street, and soon after extended protections to residential properties on the initial survey or over 50 years old, subject to a Determination of Significance (DOS) hearing.

In 2007, the City contracted with Preservation Solutions to conduct a reconnaissance level, or “windshield,” survey of the historic district. This increased our current preservation program in which some 400 sites and structures were designated as historic on the City’s Historic Sites Inventory (HSI) and the adoption of the 2009 *Design Guidelines for Historic Districts and Historic Sites*. Owners of properties on the HSI may not demolish buildings or structures designated as historic unless warranted by economic hardship through the Certificate of Appropriateness for Demolition (CAD) process; however, reconstruction and panelization may be deemed necessary and approved by the Chief Building Official (CBO) and Planning Director if specified criteria are met as defined in the LMC. The City has been successful in encouraging historic preservation through a “carrot and stick” approach, which includes the Historic District Grant Program and LMC exceptions benefitting historic properties.

Until 2002, the LMC gave the Community Development Department the authority to “review and approve or deny all applications for Building permits to build, locate, demolish, construct, remodel, alter, or modify any façade on any structure or building or other visible element...located within the Park City Historic District.” The Historic District Commission (HDC) had the ability to review and approve design review applications in those cases where the Community Development Director (CDD) found the proposal did not comply or the CDD was unable to make a determination at all; however, past preservation planners’ practice was to take nearly all applications to the HDC. In 2002, the HDC also reviewed demolition permits for locally designated historic buildings.

The City Council initiated amendments changing from a Historic District Commission (HDC) to a Historic Preservation Board (HPB) in 2003. The proponents put forth two primary reasons:

- a) The HDC had authority over several properties outside the official historic zoning districts, so the name was technically inaccurate; and
- b) Consistent with an overall approach that emphasized streamlined customer service for licensing, Building, Planning and Engineering, the Council decided to primarily confirm the HPB’s role as an appeal body.

As part of a stakeholder process leading up to the 2003 amendments, several designers requested that the Planning Department either follow the code and make the initial determination, using the Historic Preservation Board (HPB) primarily an appeal authority, or change the LMC to reflect the actual practice to take all applications to the HPB. The Council chose to refine the LMC process but left staff as the primary design review authority.

Since 2006, the LMC and practice have been aligned in that staff makes a decision on Historic District Design Reviews and the HPB serves as the appeal body for such determinations. Any appeal after the HPB goes directly to the District Court. The HPB’s purpose is to review all appeals on action taken by the Planning Department regarding compliance with the Design Guidelines for Park City’s Historic Districts and Historic Sites, designate sites to the Historic Site Inventory (HSI), and participate in the

design review of any City-owned projects located within the Historic District at Council's direction, as outlined in the Land Management Code per LMC 15-11-5.

Prior to the pending ordinance, all Historic District Design Review (HDDR) applications were reviewed by staff. If, as part of the Design Review, a demolition of a structure was proposed and the property was not designated as historic on the City's Historic Sites Inventory (HSI) as Landmark or Significant, the planner would sign off on the Building Department's demolition permit. Further, staff reviewed and determined the historical significance of additions to historic structures as well as the historical significance of modifications to ensure that these alterations had not gained historical significance in their own right. Panelization or reconstruction of any historic structures were reviewed and approved by the Planning Director and Chief Building Official, per LMC 15-11-14. Further, relocating and reorientation, per LMC 15-11-13 were also approved by a Planning Director and Chief Building Official determination.

Pending Ordinance:

The criteria for Landmark and Significant historic designations are outlined in Land Management Code (LMC) 15-11-10(A). Due to concerns regarding the historic designation of certain properties in the Historic District which contained historic materials but were not on the Historic Site Inventory (HSI), City Council adopted the attached pending ordinance (Exhibit A) on August 6, 2015. The pending ordinance modifies the criteria for historic designation as well as requires additional review for all structures constructed in or before 1975. Furthermore, the ordinance requires that the Historic Preservation Board (HPB) review any request for demolition as defined by the International Building Code (IBC). The HPB has been reviewing applications on a bi-monthly basis for compliance with this ordinance. The IBC manner of defining demolition will not work long term because it refers to the removal of any portions of a structure as well as demolishing the entire building. The existing, current LMC provides a definition of demolition that is used in HPB reviews. New language for consideration is proposed in Section 8 of this Staff Report.

Following the adoption of the pending ordinance, the Historic Preservation Board discussed and took public comment on the pending ordinance on August 13, September 2, September 16, October 7, October 21, and November 18, 2015; staff held robust discussions regarding redlining the Land Management Code on October 7 and November 18. Similarly, the Planning Commission discussed and took public comment on the pending ordinance on September 9, October 14, and November 11, 2015.

The proposed redlines to the Land Management Code outlined in the Analysis section of this staff report reflect staff's discussions with the Planning Commission and Historic Preservation Board as well as public comment regarding the pending ordinance.

Intent behind proposed LMC amendments

The intent of the pending ordinance is to expand the protection of Park City's Historic Districts through amendments and additions to the Land Management Code. The goal of the pending ordinance is to:

- Expand the Historic Preservation Board’s role in demolition determinations;
- Expand the Historic Sites Inventory criteria;
- Modify the process for designation to the Historic Sites Inventory;
- Modify the criteria for relocation and/or reorientation of Historic Building(s), disassembly and reassembly (panelization) of Historic Buildings, or reconstruction of Historic Buildings;
- Modify the noticing requirements for demolition permits; and
- Expand the definitions in the Land Management Code.

Research We’ve Conducted

The research that staff has conducted in order to craft the pending ordinance includes researching other jurisdiction’s ordinances, comparing definitions, and analyzing the existing regulations in the Land Management Code. Input received from the Historic Preservation Board and Planning Commission has helped guide staff’s research and areas requiring analysis. Staff’s proposed amendments reflect this research and input.

Why we are making these recommendations

Staff received direction from City Council on August 6, 2015, to move forward with the pending ordinance in order to increase the protection of Park City’s Historic Districts. Staff brought the pending ordinance to the Historic Preservation Board and Planning Commission for review and input. After receiving direction from the Historic Preservation Board and Planning Commission, staff has brought back possible amendments and/or clarifications to the pending ordinance.

The HPB has reviewed the pending ordinance on August 13, September 2, September 16, October 7, October 21, and November 18, 2015 (See 10.7.15 Historic Preservation Board Minutes, Exhibit B; 11.18.15 Historic Preservation Board Minutes, Exhibit C).

Thus far, we have heard from the HPB that:

- They are interested in reviewing requests for panelization and reconstruction projects, as well as those projects that include lifting the historic structure to add a new foundation; and
- As they have been reviewing minor maintenance and construction projects that include an aspect of demolition, they prefer to review larger projects related more to the HDDR process than over-the-counter building permits.

The Planning Commission has also reviewed the pending ordinance. The Planning Commission completed a review of the first draft of the proposed LMC changes on September 9th. Public input on September 9<sup>th</sup> was in support of the new ordinance and reducing potential loss of historic structures through demolition (see 9.9.15 Planning Commission Minutes, Exhibit D). Staff followed up with the Planning Commission to propose changes to the pending ordinance on October 14 and November 11, 2015; Comments from this meeting provided the following direction (see 10.14.15 Planning Commission Minutes, Exhibit E; 11.11.15 Planning Commission Minutes, Exhibit F):

- The Planning Commission also expressed concern about the need for greater public communication and accountability on panelization and reconstruction projects to prevent decisions being made solely in the field. Staff’s proposal of a

third historic designation—Contributory—was concerning as the Planning Commission found that evaluating structures at the age of forty (40) years was a moving target and the definition of contributing to the streetscape was too vague.

- The Planning Commission was also very concerned that the Historic Preservation Board (HPB) would be too arbitrary and capricious in their demolition review. The Commission recommended that staff develop a checklist for reviewing demolitions, as defined by the IBC.
- The Planning Commission found that the HPB’s demolition review was onerous on property owners as it extended the timeframe for completing construction projects.

We also reviewed the proposed LMC changes with the Planning Commission on November 11<sup>th</sup> and the Historic Preservation Board on November 18<sup>th</sup>. They expressed the following comments:

- Planning Commission was concerned about the 40 year designation as 40 years could be perceived as a moving target. They found that it would make it difficult for owners; however, staff clarified that the 40 year mark was intended to aid staff in inventorying these properties.
- The Planning Commission wanted to streamline the process as much as possible for applicants.
- Both the Planning Commission and the Historic Preservation Board requested a demolition review checklist for the new Historic Preservation Board Review (HPBR) for demolition applications.
- The Historic Preservation Board requested that staff find a way to work with property owners before a determination was made on historic designations.
- Both were supportive of the Board of Adjustment serving as the appeal body for HPB determinations.

Both forwarded a positive recommendation to City Council. Comments from the Planning Commission and HPB have been incorporated into the Land Management Code redlines outlined in the Analysis section of this report.

**Analysis:**

**1. Noticing for Demolitions and Designations of Sites**

Staff has heard from the Historic Preservation Board, Planning Commission, City Council, and public that there needs to be greater public communication regarding demolitions and historic designations. LMC 15-1-21 currently requires the following noticing for Designation of sites to the Historic Sites Inventory and Historic District Design Review (HDDR) applications:

<b>Notice Matrix</b>			
<b>Action:</b>	<b>Property Posting:</b>	<b>Courtesy Mailing:</b>	<b>Published:</b>
Historic District or Historic Site Design Review	First Posting: The Property shall be posted for a 14 day period once a	First Mailing: To Owners within 100 feet once a Complete	If appealed, then once 7 days before the date set for the appeal

	<p>Complete Application has been received. The date of the public hearing shall be indicated in the first posting. Other posted legal notice not required.</p> <p>Second Posting: For a 10 day period once the Planning Department has determined the proposed plans comply or does not comply with the Design Guidelines for Historic Districts and Historic Sites. Other posted legal notice not required.</p>	<p>Application has been received, establishing a 14 day period in which written public comment on the Application may be taken. The date of the public hearing shall be indicated.</p> <p>Second Mailing: To Owners within 100 feet and individuals who provided written comment on the Application during the 14 day initial public comment period. The second mailing occurs once the Planning Department determines whether the proposed plans comply or do not comply with the Design Guidelines for Historic Districts and Historic Sites and no later than 45 days after the end of the initial public comment period. This establishes a 10 day period after which the Planning Department's decision may be appealed.</p>	
Certificate of Appropriateness for Demolition	45 days on the Property upon refusal of the City	14 days prior to the hearing before the Historic	Once 14 days prior to the hearing before the Historic

(CAD)	to issue a CAD; 14 days prior to the hearing before the <del>Historic Preservation Board</del> <u>CAD Hearing Board</u>	Preservation Board, to Owners within 300 ft.	Preservation Board.
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There currently is no requirement for staff to post notifications of the HPB’s demolition reviews as this is a new process; however, staff recommends amending the LMC to require a 14-day property posting, courtesy mailing, and published public notice Consistent with the HDDR and CAD processes. Staff suggests changing the terminology in the matrix from “Designation of Sites to the Historic Sites Inventory” to “Determination of Significance” as the Determination of Significance application is used for nominating historic structures to the Historic Site Inventory, modifying historic designations, and removing designations. Also, there was a typo in the matrix. Per the LMC, CAD hearings are before a CAD hearing board and not the HPB.

**Proposed Changes:**  
15-1-21 Notice Matrix

<b>Notice Matrix</b>			
<b>Action:</b>	<b>Property Posting:</b>	<b>Courtesy Mailing:</b>	<b>Published:</b>
<del>Historic Preservation Board Review for Material Deconstruction</del>	<del>14 days prior to hearing before the Historic Preservation Board</del>	<del>14 days prior to the hearing before the Historic Preservation Board to property owners within 100 feet.</del>	<del>Once 14 days prior to the hearing before the Historic Preservation Board</del>
<del>Designation of Sites to the Historic Sites Inventory Determination of Significance</del>	<del>7 14 days prior to hearing before the Historic Preservation Board</del>	<del>--- 14 days prior to the hearing before the Historic Preservation Board to property owners within 100 feet.</del>	Once 7 14 days prior to the hearing before the Historic Preservation Board
Certificate of Appropriateness for Demolition (CAD)	45 days on the Property upon refusal of the City to issue a CAD; 14 days prior to the hearing before the <del>Historic Preservation Board</del> <u>CAD Hearing Board</u>	14 days prior to the hearing before the Historic Preservation Board, to Owners within 300 ft.	Once 14 days prior to the hearing before the Historic Preservation Board.

**2. Purposes of the Historic Preservation Board (HPB)**

As part of the pending ordinance, City Council requested that the HPB review demolition permits. The HPB is not currently authorized to serve as a design review board, and City Council has asked that staff return to City Council with a discussion on providing HPB with design review authority in the future. Staff plans on addressing this after the pending ordinance is passed.

**Proposed Changes:**

**15-11-5. PURPOSES.**

*The purposes of the HPB are:*

*(A) To preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Park City's Historic Districts and Historic Sites;*

*(B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;*

*(C) To provide input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or Structures;*

*(D) To recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;*

*(E) To communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;*

*(F) To recommend to the City Council Development of incentive programs, either public or private, to encourage the preservation of the City's Historic resources;*

*(G) To administer all City-sponsored preservation incentive programs;*

*(H) To review all appeals on action taken by the Planning Department regarding compliance with the Design Guidelines for Park City's Historic Districts and Historic Sites; ~~and~~*

*(I) To review and take action on all designation of Sites to the Historic Sites Inventory Applications submitted to the City; ~~and~~*

*(J) To review and take action on material deconstruction applications for those Sites listed on the Historic Sites Inventory.*

**3. Historic Designations**

On January 22, 2009, the City Council, at a public hearing, discussed proposed amendments and approved a resolution adopting LMC amendments to Land Management Code, Section 15-11-12 to establish the Park City Historic Sites Inventory (HSI). The Land Management Code, Section 15-11-12: Park City Historic Sites Inventory specifies that the Planning Department shall maintain an inventory of Historic Sites located with Park City.

Research and development of the Historic Sites Inventory (HSI) was conducted by the City's Historic Preservation Consultant, Dina Blaes and her staff at Preservation Solutions using criteria set forth in Land Management Code, Section 15-11-12(A): Criteria for Designating Sites to the Park City Historic Sites Inventory. Four hundred five (405) sites—with a total of five-hundred twenty-five (525) buildings, accessory buildings, and/or structures—were identified as meeting the criteria for designation



to the Historic Sites Inventory (HSI). Of these sites, one hundred ninety-two (192) sites meet the criteria for designation as “Landmark” Sites and two hundred thirteen (213) sites meet the criteria for designation as “Significant” Sites. The HSI was adopted on February 4, 2009.

Of the four hundred five (405) sites adopted as part of the original Historic Site Inventory, two hundred thirteen (213) sites met the criteria for designation as Significant Sites. Staff's evaluation of these sites was based on the criteria set forth in Title 15-11-10 and the subsequent recommendation to the HPB to include these sites on the Historic Sites Inventory as Significant Sites was based on the information gathered during fieldwork and from secondary sources.

Following the initial adoption of the 2009 HSI, sites and structures were removed from the HSI as more information was discovered and the site or structure was found not to meet the designation criteria. Most of these sites were previously on the HSI but removed due to additional analysis of non-historic alterations to their form. The purpose of these changes is to safeguard those structures forty (40) years old or older that have had significant alterations yet continue to contribute to the rhythm and pattern of the streetscape within the H-Districts, and may return to the HSI if future restoration efforts comply with adopted standards.

Staff is not recommending any changes to the criteria for Landmark listing on the HSI except to make the language consistent in each of the three (3) designations. Staff's intent in modifying the “Significant” designation is to expand the criteria in order to capture those structures that continue to contribute to the historical significance and integrity of the historic district due to their form, mass, scale, or historical features, though they may have had past alterations that have caused them to be removed from the Historic Sites Inventory in the past. The intent is not to dilute to the Historic District with severely altered structures, but rather provide greater opportunities for these structures to be recognized for contributing to the historical integrity of the district as a whole as well as allow greater opportunities for restoration.

Staff also proposes modifying the LMC to incorporate a new designation to LMC 15-11-10(A). The “Contributory” designation will include those structures forty (40) years old or older that are compatible with historic structures and the streetscape in the district due to their mass, scale, composition, materials, treatment, and/or other architectural features that are Visually Compatible to the Mining Era Residences National Register District based on the criteria defined later in this report. A 50 year criteria exists for the designation of Historic sites. The forty (40) year requirement is designed to:

1. Assist in managing inventories of structures that contribute to neighborhood character;
2. Potentially allow structures on this to be eligible for the Historic District Grant program- however, they will not be automatically designated to the Historic Sites Inventory (HSI); and

3. Providing a data (non-regulatory) background for other historical eras in the City for future reference.

Contributory sites will be identified through a survey (not yet completed). These sites will not be designated on the Historic Sites Inventory (HSI) and will have no additional restriction beyond what all property is subject to in the Historic Districts. Contributory sites will not be protected from demolition. Contributory sites will be eligible for grants. Those properties that receive grants will not be eligible for demolition; grant recipients are required to enter into a preservation easement with the City that runs in perpetuity with the land and prevents demolition.

**Proposed Changes:**

**15-11-10. PARK CITY HISTORIC SITES INVENTORY.**

*The Historic Preservation Board may designate Sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the Preservation of Historic Sites in the community.*

**(A) CRITERIA FOR DESIGNATING SITES TO THE PARK CITY HISTORIC SITES INVENTORY.**

**(1) LANDMARK SITE.** *Any Buildings (main, attached, detached, or public), Accessory Buildings, and/or Structures may be designated to the Historic Sites Inventory as a Landmark Site if the Planning Department finds it meets all the criteria listed below:*

- (a) It is at least fifty (50) years old or has achieved Significance ~~in the past fifty (50) years~~ or if the Site is of exceptional importance to the community; and*
- (b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and*
- (c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:*
  - (i) An era that has made a significant contribution to the broad patterns of our history;*
  - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or*
  - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman.*

**(2) SIGNIFICANT SITE.** *Any Buildings (main, attached, detached or public), Accessory Buildings and/or Structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:*

- (a) It is at least fifty (50) years old (this includes buildings not historic to Park City that were relocated to prevent demolition) or ~~has achieved Significance in the past fifty (50) years~~ if the Site is of exceptional importance to the community; and*

~~(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form as may be demonstrated but not limited by any of the following:~~

~~(i) It previously received a historic grant from the City; or~~

~~(ii) It was previously listed on the Historic Sites Inventory; or~~

~~(iii) It was listed as Significant or on any reconnaissance or intensive level survey of historic resources; or~~

~~(c) It has one (1) or more of the following:~~

~~(i) It retains its historic scale, context, materials in a manner and degree which can be restored to Essential Historical Form even if it has non-historic additions; and Major alterations that destroy the Essential Historical Form include:~~

~~(i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner; or~~

~~(ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance; or~~

~~(iii) Moving it from its original location to a Dissimilar Location; or~~

~~(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.~~

~~(ii) It reflects the Historical or Architectural character of the site or district through design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District even if it has non-historic additions; or~~

~~(d) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:~~

~~(i) An era of Historic importance to the community, or~~

~~(ii) Lives of Persons who were of Historic importance to the community, or~~

~~(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.~~

(3) CONTRIBUTORY SITE. Any site, including Buildings (main, attached, detached, or public), Accessory Building, and/or Structure may be designated to the Historic Sites Inventory as a Contributory Site if the Planning Department finds it meets the criteria listed below:

(a) The structure is forty (40) years old or older (this includes buildings not historic to Park City that were relocated to prevent demolition); and

(b) Meets one of the following:

(i) Expresses design characteristics such as mass, scale, composition, materials, treatment, cornice, and/or other architectural features as are Visually Compatible to the Mining Era Residences National Register District; or

*(ii) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:*

*(a) An era of Historic importance to the community, or*

*(b) Lives of Persons who were of Historic importance to the community, or*

*(c) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.*

*(c) Contributory structures may be eligible for Historic District Grant funding. Contributory structures are eligible for demolition.*

*(4) Any Development involving the Reassembly or Reconstruction of a Landmark Site or a Significant Site that is executed pursuant to Sections 15-11-14 or 15-11-15 of this code shall remain on the Park City Historic Sites Inventory. Following Reassembly or Reconstruction, the Historic Preservation Board will review the project to determine if the work has required a change in the site or structure's historic designation from Landmark to Significant. ~~and shall be listed as a Significant Site.~~*

#### **4. Designating Sites to the Historic Site Inventory**

Currently, the LMC dictates that only Planning Department staff or the property owner may nominate sites to the Historic Sites Inventory (HSI). Staff policy will continue be to accept and review nominations from other interested parties for consideration and determination whether to move forward to the HPB for decision. The nominations will then be reviewed by the HPB, which then determines whether the nomination meets the criteria to designate the site as Landmark or Significant.

#### ***Proposed Changes:***

*None*

#### **5. Historic District or Historic Site Design for Material Deconstruction**

Staff recommends adding language to the LMC for the Historic Preservation Board Review (HPBR) for material deconstruction. Staff is using the term material deconstruction instead of demolition as it addresses the systematic removal of materials for reuse and selective disposal. The National Trust for Historic Preservation differentiates deconstruction from demolition in that deconstruction is more selective in its material removal, can be used to remove and salvage specific materials, and is more systematic in its approach than demolition, which is generally considered to be the total scrape or loss of the historic building. HPB shall review all material deconstruction permits for any structure listed on the Historic Sites Inventory except for Routine Maintenance as defined by Section 15-11-12 (A)(3). Further, staff recommends amending Section 15-11-12(A)(3) to allow the Planning Director to issue a Historic District Design Review (HDDR) waiver letter for those projects requiring emergency repair work. Staff also proposes adding a section to LMC 15-11-12 outlining the application process for Historic Preservation Board Review for material deconstruction.

**Proposed Changes:**

**15-11-12. HISTORIC DISTRICT OR HISTORIC SITE DESIGN REVIEW.**

**(A) PRE-APPLICATION CONFERENCE.**

...

(3) The Planning Director, or his designee, may upon review of a Pre-Application submittal, determine that due to the limited scope of a project the Historic District or Historic Site Design Review process as outlined in LMC Sections 15-11-12(B-E) is not required and is exempt.

If such a determination is made, the Planning Director, or his designee may, upon reviewing the Pre-Application for compliance with applicable Design Guidelines, approve, deny, or approve with conditions, the project. If approved, the Applicant may submit the project for a Building Permit.

Applications that may be exempt from the Historic Design Review process, include, but are not limited to the following:

...

(d) For Significant and Landmark Historic Structures and Sites, the Planning Director may determine that the proposed work is Emergency Repair Work having little or no negative impact on the historic character of the surrounding neighborhood or the Historic District.

**15-11-12.5. HISTORIC PRESERVATION BOARD REVIEW FOR MATERIAL DECONSTRUCTION.**

The Historic Preservation Board shall review and approve, approve with conditions, or deny, all Applications for Material Deconstruction involving any Building(s) (main, attached, detached, or public), Accessory Buildings and/or Structures designated to the Historic Sites Inventory as Landmark or Significant.

Prior to issuance of a Building Permit for any material deconstruction work, the Historic Preservation Board shall review the proposed plans for compliance with the Land Management Code. Planning staff shall review material deconstruction applications of interior elements that (1) have no impact on the exterior of the structure; or (2) are not structural in nature; or (3) the scope of work is limited to exploratory demolition.

(A) COMPLETE APPLICATION. The Owner and/or Applicant for any Property shall be required to submit a Historic Preservation Board Review For Material Deconstruction for proposed work requiring a Building Permit in order to complete the work.

(B) NOTICE. Upon receipt of a Complete Application, but prior to taking action on any Historic Preservation Board Review for Material Deconstruction

application, the Planning staff shall provide notice pursuant to Section 15-1-12 and 15-1-21 of this Code.

(D) PUBLIC HEARING AND DECISION. Following the fourteen (14) day public notice period noted in Section 15-1-21 of this Code Historic Preservation Board shall hold a public hearing and make written findings, conclusions of law, and conditions of approval or reasons for denial, supporting the decision and shall provide the Owner and/or Applicant with a copy.

## **6. Relocation and/or Reorientation/Disassembly and Reassembly/Reconstruction**

Currently, projects that involve the relocation or reorientation of Historic Building(s) and or Structures, disassembly and reassembly (panelization) of Historic Building(s) and or Structures, or reconstruction of Historic Building(s) and or Structures is reviewed by the Chief Building Official and Planning Director before approval. Staff recommends modifying these sections of the Land Management Code to require Historic Preservation Board review of these modifications.

### ***Proposed Changes:***

#### **15-11-13. RELOCATION AND/OR REORIENTATION OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.**

(A) CRITERIA FOR THE RELOCATION AND/OR REORIENTATION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE. *In approving a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the Historic Preservation Board ~~Planning Department~~ shall find the project complies with at least one of the following criteria:*

*(1) The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or*

*(2) The Planning Director and Chief Building Official determine that the building is threatened in its present setting because of hazardous conditions and the preservation of the building will be enhanced by relocating it; or*

*(3) The Historic Preservation Board, with input from the Planning Director and the Chief Building Official, Planning Director and the Chief Building Official determines that unique conditions warrant the proposed relocation and/or reorientation to a different Site, which include but are not limited to:*

*(i) The historic context of the building has been so radically altered that the present setting does not appropriately convey its history and the proposed relocation may be considered to enhance the ability to interpret the historic character of the building and the district; or*

*(ii) The new site shall convey a character similar to that of the historic site, in terms of scale of neighboring buildings, materials, site relationships, geography, and age; or*

- (iii) The integrity and significance of the historic building will not be diminished by relocation and/or reorientation; or
- (4) All other alternatives to relocation/reorientation have been reasonably considered prior to determining the relocation/reorientation of the building. These options include but are not limited to:
  - (i) Restoring the building at its present site; or
  - (ii) Relocating the building within its original site; or
  - (iii) Stabilizing the building from deterioration and retaining it at its present site for future use; or
  - (iv) Incorporating the building into a new development on the existing site

(B) PROCEDURE FOR THE RELOCATION AND/OR REORIENTATION OF A LANDMARK SITE OR A SIGNIFICANT SITE. All Applications for the relocation and/or reorientation of any Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site within the City shall be reviewed by the Historic Preservation Board Planning Department pursuant to Section 15-11-12 of this Code.

**15-11-14. DISASSEMBLY AND REASSEMBLY OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.**

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the disassembly and reassembly of Historic Buildings, Structures, and Sites.

(A) CRITERIA FOR DISASSEMBLY AND REASSEMBLY OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR SIGNIFICANT SITE. In approving a Historic District or Historic Site design review Application involving disassembly and reassembly of the Historic Building(s) and/or Structure(s) on a Landmark Site or Significant Site, the Historic Preservation Board Planning Department shall find the project complies with the following criteria:

- (1) A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) cannot reasonably be moved intact; ~~or and~~
- (2) at least one of the following:
  - (a) The proposed disassembly and reassembly will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or
  - (b) The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; or
  - (c) The Historic Preservation Board determines, with input from the Planning Director and the Chief Building Official, that unique conditions and the quality of the Historic preservation plan warrant the proposed disassembly and reassembly; unique conditions include but are not limited to:
    - (i) If problematic site or structural conditions preclude temporarily lifting or moving a building as a single unit; or

(ii) If the physical conditions of the existing materials prevent temporarily lifting or moving a building and the applicant has demonstrated that panelization will result in the preservation of a greater amount of historic material; or  
(iii) all other alternatives have been shown to result in additional damage or loss of historic materials.

Under all of the above criteria, the Historic Structure(s) and or Building(s) must be reassembled using the original materials that are found to be safe and/or serviceable condition in combination with new materials; and the Building(s) and/or Structure(s) will be reassembled in their original form, location, placement, and orientation.

(B) PROCEDURE FOR THE DISASSEMBLY AND REASSEMBLY OF A LANDMARK SITE OR A SIGNIFICANT SITE. All Applications for the disassembly and reassembly of any Historic Building(s) and/or Structure(s) on a Landmark Site of a Significant Site within the City shall be reviewed by the Historic Preservation Board Planning Department pursuant to Section 15-11-12 of this Code.

If an Application involving the disassembly and reassembly of Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site also includes relocation and/or reorientation of the reassembled Historic Building(s) and/or Structure(s) on the original Site or another Site, the Application must also comply with Section 15-11-13 of this Code.

#### **15-11-15. RECONSTRUCTION OF AN EXISTING HISTORIC BUILDING OR HISTORIC STRUCTURE.**

(A) CRITERIA FOR RECONSTRUCTION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE. In approving an Application for Reconstruction of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the Historic Preservation Board Planning Department shall find the project complies with the following criteria:

- (1) The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; and
- (2) The Historic Building(s) and/or Structure(s) cannot be made safe and/or serviceable through repair; and
- (3) The form, features, detailing, placement, orientation, and location of the Historic Building(s) and/or Structure(s) will be accurately depicted, by means of new construction, based on as-built measured drawings, historical records, and/or current or Historic photographs.

(B) PROCEDURE FOR THE RECONSTRUCTION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE. All Applications for the Reconstruction of any Historic Building and/or Structure on a Landmark Site or a Significant Site within the City shall be



reviewed by the ~~Historic Preservation Board Planning Department~~ pursuant to Section 15-11-12 of this Code. If an Application involving the Reconstruction of Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site also includes relocation and/or reorientation of the Reconstructed Historic Building(s) and/or Structure(s) on the original Site or another Site, the Application must also comply with Section 15-11-13 of this Code.

## 7. Appeal Process

Currently, staff determinations on Historic District Design Review applications may be appealed to the Historic Preservation Board (HPB). Following an appeal hearing with the HPB, the applicant may petition the District Court in Summit County for a review of the HPB's decision.

The proposed changes to the LMC require that an appeal body be identified for the review of HPB determinations for those actions described above. All decisions made by the HPB may be appealed to Board of Adjustment subject to LMC 15-1-18.

Staff did not review the appeal process with Planning Commission and Historic Preservation Board as part of their review of these LMC changes. Currently, the LMC has all appeals of HPB action going to the Board of Adjustment. These proposed amendments continue that process, and expand it slightly to include all HDDR appeals since now the HPB will be reviewing portions of HDDRs either by review of material deconstruction or for the additional review proposed. Even though the HPB won't reviewing all HDDRs, having the BOA review any HDDR appeals allows the appeals to all go to one body. Staff recommends City Council move forward with adopting the LMC changes, but request staff to return to Planning Commission and Historic Preservation Board for their input on the appeal process. In addition, Staff recommends streamlining the language in the Code and only having the appeal process outlined in Chapter 1.

### **Proposed Changes:**

#### **15-1 -8. REVIEW PROCEDURE UNDER THE CODE.**

<b>RECOMMENDATION (y) and FINAL ACTION (X) and APPEAL (z)</b>					
	<b>Planning Department</b>	<b>HPB</b>	<b>Board of Adjustment</b>	<b>Planning Commission</b>	<b>City Council</b>
<b>Allowed</b>	X				
<b>Allowed-Historic (HDDR)</b>	X	z	z		
<b>Administrative Permits</b>	X			z	
<b>Conditional Use</b>				X	z
<b>Conditional Use Admin.</b>	X			z	
<b>MPD</b>				X	z
<b>Change of Non-</b>			X		

Conforming Use					
<u>Historic Preservation Board Review for Material Deconstruction (HPBR)</u>		X	Z		
Plat Amendment				y Recommendation to CC	X
Variance			X		
Subdivision				y Recommendation to CC	X
Annexation and Zoning				y Recommendation to CC	X
Zoning Appeal			X		
LMC Amendments				y Recommendation to CC	X

**15-1 -18. APPEALS AND RECONSIDERATION PROCESS.**

(A) STAFF. Any decision by either the Planning Director or Planning Staff regarding Application of this LMC to a Property may be appealed to the Planning Commission. Appeals of decisions regarding the Design Guidelines for Historic Districts and Historic Sites shall be reviewed by the Board of Adjustment Historic Preservation Board as described in 15-11-12(E). ~~unless the Historic Preservation Board participated in the Design Review of a City Development project, pursuant to 15-11-6, in which case any appeal of the decision shall be reviewed by the Board of Adjustment. The Board of Adjustment in such an appeal will have the same scope of authority and standard of review as the Historic Preservation Board would have in such an appeal.~~

(B) HISTORIC PRESERVATION BOARD (HPB). The City or any Person with standing adversely affected by any decision of the Historic Preservation Board ~~regarding the Design Guidelines for Historic Districts and Historic Sites may petition the District Court in Summit County for a review of the decision. Appeal of all other Final Action by the Historic Preservation Board~~ may be appealed to the Board of Adjustment.

**8. Updating H-District Architectural Review Criteria**

Each of the H-Districts—Historic Residential Low-Density (HRL), Historic Residential (HR-1), Historic Residential (HR-2), Historic Residential Medium Density (HRM), Historic Recreation Commercial (HRC), and Historic Commercial Business (HCB) include a provision regarding Architectural Review Criteria. The language currently recommends that all appeals regarding compliance with the Design Guidelines for Historic Districts and Historic Sites be reviewed by the Historic Preservation Board. Staff recommends updating this for consistency with the revised appeal process.

**Proposed Changes:**  
**ARCHITECTURAL REVIEW.**

Prior to issuance of a Building Permit for any Conditional or Allowed Use, the Planning Department shall review the proposed plans for compliance with the Design Guidelines for Historic Districts and Historic Sites, Historic Preservation LMC Chapter 15-11 and Architectural Review LMC Chapter 15-5.

Appeals of departmental actions on compliance with the Design Guidelines for Historic Districts and Historic Sites, LMC Chapter 15-11, and LMC Chapter 15-5 are heard by the ~~Historic Preservation Board~~ Board of Adjustment as outlined in Section 15-1-18 of the Code.

## 9. Definitions

Staff is proposing to modify and add several definitions to the Land Management Code 15-15 Defined Terms in response to these code changes.

**Proposed Changes:**

Modifications to Existing Definitions:

**1.57 COMPATIBLE OR COMPATIBILITY.** *Characteristics of different Uses or designs that integrate with and relate to one another to maintain and/or enhance the context of a surrounding Area or neighborhood. Elements affecting Compatibility include, but are not limited to, Height, scale, mass and bulk of Building, pedestrian and vehicular circulation, parking, landscaping and architecture, topography, environmentally sensitive Areas, and Building patterns.*

***(A) Visual Compatibility.** Characteristics of different architectural designs that integrate with and relate to one another to maintain and/or enhance the context of a surrounding Area or neighborhood. In addition to the elements effecting Compatibility which include, but are not limited to Height, scale, mass, and bulk of Building. Other factors that dictate compatibility include proportion of building's front facade, proportion of openings within the facility, rhythm of solids to voids in front facades; rhythm of entrance or porch projections; relationship of materials and textures; roof shapes; scale of building.*

**1.66 CONTRIBUTING BUILDING, STRUCTURE, SITE/AREA OR OBJECT.** *A Building (main, attached, detached, or public), Accessory Building, Structure, Site, or Object that is determined by the Historic Preservation Board to meet specific criteria set forth in LMC 15-11-10. reflects the Historical or architectural character of the district as designated by the Historic Preservation Board.—A portion of an*

existing building, an Accessory Building, Structure, or object may also be considered contributory to the historical significance of a Building or Site if it reflects the Historical or architectural character of the site or district as designated by the Historic Preservation Board.

**1.73 DEMOLISH OR DEMOLITION.** Any act or process that destroys in part or in whole a Building or Structure. Includes dismantling, razing, or wrecking of any fixed Building(s) or Structure(s). Excludes Building(s) and/or Structure(s) undergoing relocation and/or reorientation pursuant to Section 15-11-13 of this Code, disassembly pursuant to Section 15-11-14 of this Code, or Reconstruction pursuant to Section 15- 11-15 of this Code.

**1.74 DENSITY.** The intensity or number of non-residential and Residential Uses expressed in terms of Unit Equivalents per acre or Lot or units per acre. Density is a function of both number and type of Dwelling Units and/or non-residential units and the land Area.

(A) In terms of visual compatibility, Density refers to the pattern of clustering residential or commercial structures within a neighborhood and/or District. The pattern is established by the overall mass (length, height, and width) of the structure visible from the Right-of-Way, size of the lot(s), width between structures, and orientation of structures on the site.

**New Definitions:**

**CONTINUITY:** The state or quality of being continuous, as a line, edge, or direction. Factors that dictate continuity within a streetscape include, but are not limited to, mass , scale, and height of buildings; streetscape elements such as sidewalks, curbs, and paving patterns; and development patterns such as setbacks, orientation of buildings, repetition of porches and entryways,

**DECONSTRUCTION OR DISMANTLING:** The disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair.

**EMERGENCY REPAIR WORK:** Work requiring prompt approval because of an imminent threat to the safety or welfare of the public or to the structure or site. The scope of the approval for emergency repair work shall only be to the extent related to stabilizing or repairing the emergency situation. Staff shall give a verbal report regarding the emergency repairs at the next Historic Preservation Board meeting.

**RHYTHM AND PATTERN:** The development patterns established by factors including, but not limited to, the siting of existing structures, including their mass, scale, and height; the spacing of buildings along a streetscape, including setbacks and building sizes; spacing, size and proportion of façade openings, including windows and doors.

## 10. Demolition Review Checklist

Both the Historic Preservation Board and Planning Commission have directed staff to develop a material deconstruction review checklist. The criterion in this checklist is intended to aid the Historic Preservation Board in their review material deconstruction permits to promote consistency and prevent arbitrary and capricious determinations. These criteria will not be codified, but rather a policy that can be modified as the HPB continues their demolition reviews.

Further, it allows the Planning Director to continue to review and approve work through an HDDR waiver if the work is deemed to be minor routine maintenance, minor routine construction, minor alterations, and emergency repair work having little or no negative impact on the historic character of the surrounding neighborhood, or Historic District.

### ***Proposed Changes:***

Staff recommends creating and including the following criterion as part of the HPB's Material Deconstruction Review Checklist:

Historic Preservation Board Material Deconstruction Review Checklist:

- a. *Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).*
- b. *The material deconstruction is required for the renovation, restoration, or rehabilitation of the building, structure, or object.*
- c. *Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.*
- d. *The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where material deconstruction is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.*
- e. *The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.*
- f. *Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.*





### **Department Review:**

This report has been reviewed by the Legal and Executive Departments.

**Alternatives:**

- A. Approve:** The City Council may approve the proposed Land Management Code amendments as presented.
- B. Deny:** The City Council may deny the proposed amendments.
- C. Modify:** The City Council may deny the proposed amendments.
- D. Continue the Item:** The City Council may continue the discussion to a date certain and provide direction to Staff regarding additional information or analysis needed in order to take final action
- E. Do Nothing:** The City Council may choose to do nothing; however, the pending ordinance will expire on February 6, 2016, if no action is taken.

**Significant Impacts:**

	<b>World Class Multi-Seasonal Resort Destination (Economic Impact)</b>	<b>Preserving &amp; Enhancing the Natural Environment (Environmental Impact)</b>	<b>An Inclusive Community of Diverse Economic &amp; Cultural Opportunities (Social Equity Impact)</b>	<b>Responsive, Cutting-Edge &amp; Effective Government</b>
Which Desired Outcomes might the Recommended Action Impact?	<ul style="list-style-type: none"> <li>- Accessible and world-class recreational facilities, parks and programs</li> <li>- Balance between tourism and local quality of life</li> <li>- Internationally recognized &amp; respected brand</li> </ul>	<ul style="list-style-type: none"> <li>+ Enhanced conservation efforts for new and rehabilitated buildings</li> </ul>	<ul style="list-style-type: none"> <li>+ Preserved and celebrated history; protected National Historic District</li> </ul>	<ul style="list-style-type: none"> <li>+ Well-maintained assets and infrastructure</li> <li>- Ease of access to desired information for citizens and visitors</li> </ul>
Assessment of Overall Impact on Council Priority (Quality of Life Impact)	Neutral 	Very Positive 	Very Positive 	Neutral 
<b>Comments:</b>				

**Consequences of not taking the recommended action:**

No changes will be made to the existing Land Management Code. The Historic Preservation Board will not be given the right to conduct material deconstruction reviews, historic designations will not be modified and there will be no changes to the HSI.

**Recommendation:**

Staff recommends that the City Council review proposed amendments to Land Management Code (LMC) regarding the allowed use matrix in 15-1-8, Appeal process in 15-1-18, the Notice Matrix, as outlined in LMC Chapter 15-1-21, as well as the

Purposes of the Historic Preservation Board (HPB), Park City Historic Sites Inventory, Relocation and/or Reorientation of a Historic Building or Historic Structure, Disassembly and Reassembly of a Historic Building or Historic Structure, Reconstruction of an Existing Historic Building or Historic Structure and adding a material deconstruction review process as outlined in LMC Chapter 15-11 and definitions in Chapter 15-15. Staff recommends City Council conduct a public hearing, consider public input, review the request, and consider approving the proposed changes as proposed in this Report.

**Exhibits:**

Exhibit A – Pending Ordinance

Exhibit B—10.7.15 HPB Minutes

Exhibit C—11.18.15 Draft HPB Minutes

Exhibit D—9.9.15 Planning Commission Minutes

Exhibit E—10.14.15 Planning Commission Minutes

Exhibit F—Land Management Code Revisions as discussed in this report.

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**TITLE 15 - LAND MANAGEMENT CODE (LMC)**  
**CHAPTER 11 - HISTORIC PRESERVATION**

*Chapter adopted by Ord. No. 02-07;  
Chapter Amended in Entirety by Ord. No.  
03-34*

**CHAPTER 11 – HISTORIC  
PRESERVATION**

**15-11-1. ESTABLISHMENT OF  
BOARD.**

Pursuant to the Historic District Act, Section 11-18-1, et seq. of the Utah Code, 1953, and other applicable power, there is hereby created a Park City Historic Preservation Board (HPB). The HPB shall be composed of seven (7) members.

*(Amended by Ord. No. 06-69)*

**15-11-2. TERMS AND  
QUALIFICATIONS OF MEMBERS.**

Members of the HPB shall serve terms of three (3) years. The terms shall be staggered. Terms may expire on May 1, however, members of the HPB shall continue to serve until their successors are appointed and qualified.

(A) The Mayor shall appoint a new HPB member to fill vacancies that might arise and

such appointments shall be to the end of the vacating member's term.

(B) It is the first priority of the City Council that the HPB have technical representation in Historic preservation, therefore, when vacancies occur and if appropriate, it shall be the first consideration of the City Council to ensure that there is a licensed architect, or other professional having substantial experience in rehabilitation-type construction, serving on the HPB, and secondly that there is representation from the Park City Historical Society. After being notified by the City of a vacancy, at least two (2) nominations shall be rendered to the City Council by the Park City Historical Society if it desires to participate in the Application process.

(C) In addition, the HPB should include members with the following qualifications, or representing the following interests:

- (1) A member recommended by or associated with the Utah State Historical Society or Utah Heritage Foundation.
- (2) A member living in the Historic District with demonstrated

interest and knowledge of Historic preservation.

(3) A member appointed at large from Park City with demonstrated interest and knowledge of Historic preservation.

(4) A member associated with Main Street Business and commercial interests.

**15-11-3. ORGANIZATION.**

(A) **CHAIR.** The HPB shall elect one of its members to serve as Chair for a term of one (1) year at its first meeting following the expiration of terms and appointment of new members. The Chair may be elected to serve for one (1) consecutive additional term, but not for more than two (2) successive terms. If the Chair is absent from any meeting where a quorum would otherwise exist, the members may appoint a Chair Pro Tem to act as Chair solely for that meeting.

(B) **QUORUM.** No Business shall be conducted without a quorum at the meeting. A quorum shall exist when the meeting is attended by four (4) of the appointed members, including the Chair or Chair Pro Tem.

(C) **VOTING.** All actions of the HPB shall be represented by a vote of the membership. A simple majority of the members present at the meeting in which action is taken shall approve any action taken. The Chair may vote at the meetings.

*(Amended by Ord. Nos. 07-34; 09-10; 11-05)*

**15-11-4. ABSENCE DEEMED RESIGNATION OR GROUNDS FOR REMOVAL.**

Any HPB member who is absent from two (2) consecutive regularly scheduled Board meetings, or a total of four (4) regularly scheduled meetings per calendar year may be called before the City Council and asked to resign or removed for cause by the Council. Members of the HPB are not required to reside within the City limits, however, the majority of the members shall reside in Park City.

**15-11-5. PURPOSES.**

The purposes of the HPB are:

(A) To preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Design Guidelines for Park City's Historic Districts and Historic Sites;

(B) To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;

(C) To provide input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or Structures;

(D) To recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;

(E) To communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;

(F) To recommend to the City Council Development of incentive programs, either public or private, to encourage the preservation of the City's Historic resources;

(G) To administer all City-sponsored preservation incentive programs;

(H) To review all appeals on action taken by the Planning Department regarding compliance with the Design Guidelines for Park City's Historic Districts and Historic Sites; ~~and~~

(I) To review and take action on all designation of Sites to the Historic Sites Inventory Applications submitted to the City; ~~and~~

(J) To review and take action on material deconstruction applications for those Sites listed on the Historic Sites Inventory.

*(Amended by Ord. No. 09-23)*

**15-11-6. ADDITIONAL DUTIES.**

In addition to the powers set forth in Section 15-11-5, the HPB may, at the direction of the City Council:

(A) Participate in the design review of any City-owned projects located within the designated Historic District.

(B) Recommend to the City Council the purchase of interests in Property for purposes of preserving the City's cultural resources.

(C) Recommend to the Planning Commission and the City Council zoning boundary changes for the district to preserve the historical integrity of the Area. Subdivision, Conditional Uses and planned unit Development Applications must continue to be acted upon by the Planning Commission.

(D) Provide advice and guidance on request of the Property Owner or occupant on the construction, restoration, alteration, decoration, landscaping, or maintenance of any cultural resource, Historic Site, and Property within the Historic District, or neighboring Property within a two (2) block radius of the Historic District.

*(Amended by Ord. No. 09-23)*

**15-11-7. LIMITATIONS.**

The HPB has no authority to waive or increase any requirement of any ordinance of the City.

**15-11-8. STAFF ASSISTANCE.**

The City may, subject to the approval of the City Manager, provide staff and/or the HPB with such assistance from:

- (A) Utah Heritage Foundation.
- (B) National Trust for Historic Preservation.
- (C) Utah State Division of History.
- (D) Park City Historical Society.
- (E) American Institute of Architects (AIA).
- (F) The National Alliance of Preservation Commissions.
- (G) American Planning Association (APA)

*(Amended by Ord. Nos. 06-35; 09-23)*

**15-11-9. PRESERVATION POLICY.**

It is deemed to be in the interest of the citizens of Park City, as well as the State of Utah, to encourage the preservation of Buildings, Structures, and Sites of Historic Significance in Park City. These Buildings, Structures and Sites are among the City's most important cultural, educational, and economic assets. In order that they are not lost through neglect, Demolition, expansion or change within the City, the preservation of Historic Sites, Buildings, and Structures is required. This section is intended to provide an incentive for identification and preservation of Historic Buildings, Structures or Sites that may occur within the Park City Historic District, as well as those that may be located outside the Historic District.

(A) **HISTORIC PRESERVATION PLAN.** The Planning Department is authorized to require that Developers prepare a Historic Preservation Plan as a condition of approving an Application for a Building project that affects a Historic Structure, Site or Object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

(B) **GUARANTEE REQUIRED.** The Planning Department is also authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan.

(C) **TERMS OF GUARANTEE.** The Guarantee shall be similar in form to other Guarantees required by this title and shall consist of an Escrow deposit, a cash deposit with the City, a letter of credit or some combination of the above as approved by the City, including but not limited to a lien on the Property.

(D) **AMOUNT OF THE GUARANTEE.** The amount of the Guarantee shall be determined by the Chief Building Official, or his designee. The Building and Planning Departments shall develop standardized criteria to be used when determining the amount of the Historic preservation Guarantee. Such amount may include additional cost or other penalties for the destruction of Historic material(s).

(E) **EFFECT OF NON-COMPLIANCE.** If the Developer does not comply with the terms of the Historic

Preservation Plan as determined by the Chief Building Official and the Planning Director, or their designees, the City shall have the right to keep the funds of the Guarantee, including the ability to refuse to grant the Certificate of Occupancy and resulting in the requirement to enter into a new Historic Preservation Plan and Guarantee. The funds of the Guarantee shall be used, in the City's discretion, for Historic preservation projects within the City.

(F) **RELEASE OF GUARANTEE.**

The Guarantee shall not be released prior to the issuance of the final Certificate of Occupancy or at the discretion of the Chief Building Official and Planning Director, or their designees, based on construction progress in compliance with the Historic Preservation Plan.

*(Amended by Ord. Nos. 09-09; 09-23)*

**15-11-10. PARK CITY HISTORIC SITES INVENTORY.**

The Historic Preservation Board may designate Sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the Preservation of Historic Sites in the community.

(A) **CRITERIA FOR DESIGNATING SITES TO THE PARK CITY HISTORIC SITES INVENTORY.**

(1) **LANDMARK SITE.** Any Buildings (main, attached, detached, or public), Accessory Buildings, and/or Structures may be designated

to the Historic Sites Inventory as a Landmark Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance ~~in the past fifty (50) years~~ or if the Site is of exceptional importance to the community; and

(b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and

(c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:

(i) An era that has made a significant contribution to the broad patterns of our history;

(ii) The lives of Persons significant in the history of the community, state, region, or nation; or

(iii) The distinctive characteristics of type,

period, or method of construction or the work of a notable architect or master craftsman.

(2) **SIGNIFICANT SITE.** Any Buildings (main, attached, detached or public), Accessory Buildings and/or Structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or ~~has achieved~~ Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and

(b) It retains its ~~Essential~~ Historical Form, ~~meaning there are no major alterations that have destroyed the Essential Historical Form as~~ may be demonstrated but not limited by any of the following:

- (i) It previously received a historic grant from the City;
- or
- (ii) It was previously listed on the Historic Sites Inventory; or
- (iii) It was listed as Significant or on any reconnaissance or intensive level survey

of historic resources;

or

(c) It has one (1) or more of the following:

(i) It retains its historic scale, context, materials in a manner and degree which can be restored to Essential Historical Form even if it has non-historic additions; and Major alterations that destroy the Essential Historical Form include:

- (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner; or
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance; or
- (iii) Moving it from its original location to

~~a Dissimilar Location,  
or~~

~~(iv) Addition(s) that  
significantly obscures  
the Essential  
Historical Form when  
viewed from the  
primary public Right-  
of-Way.~~

(ii) It reflects the  
Historical or  
Architectural  
character of the site or  
district through design  
characteristics such as  
mass, scale,  
composition,  
materials, treatment,  
cornice, and/or other  
architectural features  
as are Visually  
Compatible to the  
Mining Era  
Residences National  
Register District even  
if it has non-historic  
additions; or

~~(e)~~ (d) It is important in local  
or regional history,  
architecture, engineering, or  
culture associated with at  
least one (1) of the following:

(i) An era of  
Historic importance to  
the community, or

(ii) Lives of  
Persons who were of

Historic importance to  
the community, or

(iii) Noteworthy  
methods of  
construction,  
materials, or  
craftsmanship used  
during the Historic  
period.

(3) CONTRIBUTORY SITE. Any  
Buildings (main, attached, detached  
or public), Accessory Buildings  
and/or Structures may be designated  
to the Historic Sites Inventory as a  
Contributory Site if the Planning  
Department finds it meets all the  
criteria listed below:

(a) The structure is forty (40)  
years old or older (this  
includes buildings not  
historic to Park City that were  
relocated to prevent  
demolition); and

(b) Meets one of the following:

(i) Expresses design  
characteristics such as  
mass, scale,  
composition,  
materials, treatment,  
cornice, and/or other  
architectural features  
as are Visually  
Compatible to the  
Mining Era

Residences National Register District; or

(ii) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

(a) An era of Historic importance to the community; or

(b) Lives of Persons who were of Historic importance to the community, or

(c) Noteworthy methods of construction, materials, or craftsmanship used during the Historic Period

(c) Contributory structures may be eligible for Historic District Grant funding. Contributory structures are eligible for demolition.

~~(3)~~ (4) Any Development involving the Reassembly or Reconstruction of a Landmark Site or a Significant Site that is executed pursuant to Sections

15-11-14 or 15-11-15 of this code shall remain on the Park City Historic Sites Inventory ~~and shall be listed as a Significant Site.~~ Following Reassembly or Reconstruction, the Historic Preservation Board will review the project to determine if the work has required a change in the site or structure's historic designation from Landmark to Significant.

**(B) PROCEDURE FOR DESIGNATING SITES TO THE PARK CITY HISTORIC SITES INVENTORY.**

The Planning Department shall maintain an inventory of Historic Sites. It is hereby declared that all Buildings (main, attached, detached or public), Accessory Buildings, and/or Structures within Park City, which comply with the criteria found in Sections 15-11-10(A)(1) or 15-11-10(A)(2) are determined to be on the Park City Historic Sites Inventory.

Any Owner of a Building (main, attached, detached or public), Accessory Building, and/or Structure, may nominate it for listing in the Park City Historic Sites Inventory. The Planning Department may nominate a Building (main, attached, detached or public), Accessory Building, and/or Structure for listing in the Park City Historic Sites Inventory. The nomination and designation procedures are as follows:

(1) **COMPLETE APPLICATION.** The Application shall be on forms as prescribed by the City and shall be filed with the



Planning Department. Upon receiving a Complete Application for designation, the Planning staff shall schedule a hearing before the Historic Preservation Board within thirty (30) days.

(2) **NOTICE.** Prior to taking action on the Application, the Planning staff shall provide public notice pursuant to Section 15-1-21 of this Code.

(3) **HEARING AND DECISION.** The Historic Preservation Board will hold a public hearing and will review the Application for compliance with the “Criteria for Designating Historic Sites to the Park City Historic Sites Inventory.” If the Historic Preservation Board finds that the Application complies with the criteria set forth in Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building (main, attached, detached or public), Accessory Building, and/or Structure will be added to the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

(4) **APPEAL.** The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment pursuant to Section 15-10-7 of this Code. Appeal requests shall be submitted to the Planning Department within ten (10) days of

Historic Preservation Board final action. Notice of pending appeals shall be made pursuant to Section 15-1-21 of this code. Appeals shall be considered only on the record made before the Historic Preservation Board.

(C) **REMOVAL OF A SITE FROM THE PARK CITY HISTORIC SITES INVENTORY.** The Historic Preservation Board may remove a Site from the Historic Sites Inventory. Any Owner of a Site listed on the Park City Historic Sites Inventory may submit an Application for the removal of his/her Site from the Park City Historic Sites Inventory. The Planning Department may submit an Application for the removal of a Site from the Park City Historic Sites Inventory. The criteria and procedures for removing a Site from the Park City Historic Sites Inventory are as follows:

(1) **CRITERIA FOR REMOVAL.**

(a) The Site no longer meets the criteria set forth in Section 15-11-10(A)(1) or 15-11-10(A)(2) because the qualities that caused it to be originally designated have been lost or destroyed; or

(b) The Building (main, attached, detached, or public) Accessory Building, and/or Structure on the Site has been demolished and will not be reconstructed; or

(c) Additional information indicates that the Building, Accessory Building, and/or Structure on the Site do not comply with the criteria set forth in Section 15-11-10(A)(1) or 15-11-10(A)(2).

(2) **PROCEDURE FOR REMOVAL.**

(a) **Complete Application.** The Application shall be on forms as prescribed by the City and shall be filed with the Planning Department. Upon receiving a Complete Application for removal, the Planning staff shall schedule a hearing before the Historic Preservation Board within thirty (30) days.

(b) **Notice.** Prior to taking action on the Application, the Planning staff shall provide public notice pursuant to Section 15-1-21 of this Code.

(c) **Hearing and Decision.** The Historic Preservation Board will hear testimony from the Applicant and public and will review the Application for compliance with the "Criteria for Designating Historic Sites to the Park City Historic Sites

Inventory." The HPB shall review the Application "de novo" giving no deference to the prior determination. The Applicant has the burden of proof in removing the Site from the inventory. If the HPB finds that the Application does not comply with the criteria set forth in Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building (main, attached, detached, or public) Accessory Building, and/or Structure will be removed from the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

(d) **Appeal.** The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment pursuant to Section 15-10-7 of this Code. Appeal requests shall be submitted to the Planning Department within ten (10) days of the Historic Preservation Board decision. Notice of pending appeals shall be made pursuant to Section 15-1-21 of this Code. Appeals shall be considered only on the record made before the Historic Preservation Board

and will be reviewed for correctness.

*(Amended by Ord. Nos. 09-05; 09-23)*

**15-11-11. DESIGN GUIDELINES FOR PARK CITY'S HISTORIC DISTRICTS AND HISTORIC SITES.**

The HPB shall promulgate and update as necessary Design Guidelines for Use in the Historic District zones and for Historic Sites. These guidelines shall, upon adoption by resolution of the City Council, be used by the Planning Department staff in reviewing Historic District/Site design review Applications. The Design Guidelines for Park City's Historic Districts and Historic Sites shall address rehabilitation of existing Structures, additions to existing Structures, and the construction of new Structures. The Design Guidelines are incorporated into this Code by reference. From time to time, the HPB may recommend changes in the Design Guidelines for Park City's Historic Districts and Historic Sites to Council, provided that no changes in the guidelines shall take effect until adopted by a resolution of the City Council.

*(Amended by Ord. No. 09-23)*

**15-11-12. HISTORIC DISTRICT OR HISTORIC SITE DESIGN REVIEW.**

The Planning Department shall review and approve, approve with conditions, or deny, all Historic District/Site design review Applications involving an Allowed Use, a Conditional Use, or any Use associated with a Building Permit, to build, locate, construct,

remodel, alter, or modify any Building, accessory Building, or Structure, or Site located within the Park City Historic Districts or Historic Sites, including fences and driveways.

Prior to issuance of a Building Permit for any Conditional or Allowed Use, the Planning Department shall review the proposed plans for compliance with the Design Guidelines for Historic Districts and Historic Sites, LMC Chapter 15-11, and LMC Chapter 15-5. Whenever a conflict exists between the LMC and the Design Guidelines, the more restrictive provision shall apply to the extent allowed by law.

**(A) PRE-APPLICATION CONFERENCE.**

(1) It is strongly recommended that the Owner and/or Owner's representative attend a pre-Application conference with representatives of the Planning and Building Departments for the purpose of determining the general scope of the proposed Development, identifying potential impacts of the Development that may require mitigation, providing information on City-sponsored incentives that may be available to the Applicant, and outlining the Application requirements.

(2) Each Application shall comply with all of the Design Guidelines for Historic Districts and Historic Sites unless the Planning Department determines that, because

of the scope of the proposed Development, certain guidelines are not applicable. If the Planning Department determines certain guidelines do not apply to an Application, the Planning Department staff shall communicate, via electronic or written means, the information to the Applicant. It is the responsibility of the Applicant to understand the requirements of the Application.

(3) The Planning Director, or his designee, may upon review of a Pre-Application submittal, determine that due to the limited scope of a project the Historic District or Historic Site Design Review process as outlined in LMC Sections 15-11-12(B-E) is not required and is exempt.

If such a determination is made, the Planning Director, or his designee may, upon reviewing the Pre-Application for compliance with applicable Design Guidelines, approve, deny, or approve with conditions, the project. If approved, the Applicant may submit the project for a Building Permit.

Applications that may be exempt from the Historic Design Review process, include, but are not limited to the following:

(a) For Non-Historic Structures and Sites - minor routine maintenance, minor routine construction work

and minor alterations having little or no negative impact on the historic character of the surrounding neighborhood or the Historic District, such as work on roofing, decks, railings, stairs, hot tubs and patios, foundations, windows, doors, trim, lighting, mechanical equipment, paths, driveways, retaining walls, fences, landscaping, interior remodels, temporary improvements, and similar work.

(b) For Significant Historic Structures and Sites - minor routine maintenance, minor routine construction work and minor alterations having little or no negative impact on the historic character of the surrounding neighborhood, the Historic Structure or the Historic District, such as work on roofing, decks, railings, stairs, hot tubs and patios, replacement of windows and doors in existing or to historic locations, trim, lighting, mechanical equipment located in a rear yard area or rear façade, paths, driveways, repair of existing retaining walls, fences, landscaping, interior remodels, temporary

improvements, and similar work.

(c) For Landmark Historic Structures and Sites - minor routine maintenance and minor routine construction having no negative impact on the historic character of the surrounding neighborhood, the Historic Structure, or the Historic District, such as re-roofing; repair of existing decks, railing, and stairs; hot tubs and patios located in a rear yard; replacement of existing windows and doors in existing or historic locations; repair of existing trim and other historic detailing; lighting, mechanical equipment located in a rear yard area or rear façade, repair of paths, driveways, and existing retaining walls; fences, landscaping, interior remodels, temporary improvements, and similar work.

(d) For Significant and Landmark Historic Structures and Sites, the Planning Director may determine that the proposed work is Emergency Repair Work having little or no negative impact on the

historic character of the surrounding neighborhood or the Historic District.

(B) **COMPLETE APPLICATION.**

The Owner and/or Applicant for any Property shall be required to submit a Historic District/Site design review Application for proposed work requiring a Building Permit in order to complete the work.

(C) **NOTICE.** Upon receipt of a Complete Application, but prior to taking action on any Historic District/Site design review Application, the Planning staff shall provide notice pursuant to Section 15-1-12 and 15-1-21 of this Code.

(D) **PUBLIC HEARING AND DECISION.** Following the fourteen (14) day public notice period noted in Section 15-1-21 of this Code the Planning Department staff shall hold a public hearing and make, within forty-five (45) days, written findings, conclusions of law, and conditions of approval or reasons for denial, supporting the decision and shall provide the Owner and/or Applicant with a copy. Staff shall also provide notice pursuant to Section 15-1-21.

(1) Historic District/Site design review Applications shall be approved by the Planning Department staff upon determination of compliance with the Design Guidelines for Park City's Historic Districts and Historic Sites. If the

Planning Department staff determines an Application does not comply with the Design Guidelines, the Application shall be denied.

(2) With the exception of any Application involving the Reconstruction of a Building, Accessory Building, and/or Structure on a Landmark Site, an Application associated with a Landmark Site shall be denied if the Planning Department finds that the proposed project will result in the Landmark Site no longer meeting the criteria set forth in 15-11-10(A)(1).

(3) An Application associated with a Significant Site shall be denied if the Planning Department finds that the proposed project will result in the Significant Site no longer meeting the criteria set forth in 15-11-10(A)(2).

(E) **APPEALS.**

(1) The Owner, Applicant, or any Person with standing as defined in Section 15-1-18(D) of this Code may appeal any Planning Department decision made on a Historic District/Site design review Application for new construction of structures or sites not listed on the Historic Sites Inventory to the Historic Preservation Board. Any Planning Department decision made on a Historic District/Site design review Application for any structure or site listed on the Historic Sites Inventory may be appealed to the

Planning Commission. All appeal requests shall be submitted to the Planning Department within ten (10) days of the decision. Appeals must be written and shall contain the name, address, and telephone number of the petitioner, his or her relationship to the project, and a comprehensive statement of the reasons for the appeal, including specific provisions of the Code and Design Guidelines that are alleged to be violated by the action taken. All appeals shall be heard by the reviewing body within forty-five (45) days of the date that the appellant files an appeal unless all parties, including the City, stipulate otherwise.

Notice of all pending appeals shall be made by staff, pursuant to Section 15-1-21 of this Code. The appellant shall provide required stamped and addressed notice envelopes within fourteen (14) days of the appeal. The notice and posting shall include the location and description of the proposed Development project. The scope of review by the Historic Preservation Board shall be the same as the scope of review at the Planning Department level.

(i) The Historic Preservation Board shall either approve, approve with conditions, or disapprove the Application based on written findings, conclusions of law, and conditions of approval, if any, supporting the decision, and shall provide the

Owner and/or Applicant with a copy.

(2) The Owner, Applicant, or any Person with standing as defined in Section 15-1-18(D) of this Code may appeal any Historic Preservation Board decision made on a Historic Preservation Board Review for Material Deconstruction to the Board of Adjustment. All appeal requests shall be submitted to the Planning Department within ten (10) days of the decision. Appeals must be written and shall contain the name, address, and telephone number of the petitioner, his or her relationship to the project, and a comprehensive statement of the reasons for the appeal, including specific provisions of the Code and Design Guidelines that are alleged to be violated by the action taken. All appeals shall be heard by the reviewing body within forty-five (45) days of the date that the appellant files an appeal unless all parties, including the City, stipulate otherwise.

Notice of all pending appeals shall be made by staff, pursuant to Section 15-1-21 of this Code. The appellant shall provide required stamped and addressed notice envelopes within fourteen (14) days of the appeal. The notice and posting shall include the location and description of the proposed Development project. The scope of review by the Historic Preservation Board shall be the same as the scope of review at the

Planning Department level.

(i) The Board of Adjustment shall either approve, approve with conditions, or disapprove the Application based on written findings, conclusions of law, and conditions of approval, if any, supporting the decision, and shall provide the Owner and/or Applicant with a copy.

(F) **EXTENSIONS OF APPROVALS.**  
Unless otherwise indicated, Historic District Design Review (HDDR) approvals expire one (1) year from the date of the Final Action. The Planning Director, or designee, may grant an extension of an HDDR approval for one (1) additional year when the Applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact or that would result in a finding of non-compliance with the Park City General Plan or the Land Management Code in effect at the time of the extension request. Change of circumstance includes physical changes to the Property or surroundings. Notice shall be provided consistent with the original HDDR approval per Section 15-1-12. Extension requests must be submitted to the Planning Department in writing prior to the date of the expiration of the HDDR approval.

*(Amended by Ord. Nos. 09-23; 10-11; 11-05; 12-37)*

**15-11-12.5. HISTORIC PRESERVATION BOARD REVIEW FOR DEMOLITIONS.**

The Historic Preservation Board shall review and approve, approve with conditions, or deny, all Applications for Material Deconstruction involving any Building(s) (main, attached, detached, or public), Accessory Buildings and/or Structures designated to the Historic Sites Inventory as Landmark or Significant.

Prior to issuance of a Building Permit for any material deconstruction work, the Historic Preservation Board shall review the proposed plans for compliance with the Land Management Code. Planning staff shall review material deconstruction applications of interior elements that (1) have no impact on the exterior of the structure; or (2) are not structural in nature; or (3) the scope of work is limited to exploratory demolition.

(A) COMPLETE APPLICATION. The Owner and/or Applicant for any Property shall be required to submit a Historic Preservation Board Review For Material Deconstruction for proposed work requiring a Building Permit in order to complete the work.

(B) NOTICE. Upon receipt of a Complete Application, but prior to taking action on any Historic Preservation Board Review for Material Deconstruction application, the Planning staff shall provide notice pursuant to Section 15-1-12 and 15-1-21 of this Code.

(D) PUBLIC HEARING AND DECISION. Following the fourteen (14) day public notice period noted in Section 15-1-21 of this Code Historic Preservation

Board shall hold a public hearing and make written findings, conclusions of law, and conditions of approval or reasons for denial, supporting the decision and shall provide the Owner and/or Applicant with a copy.

**15-11-13. RELOCATION AND/OR REORIENTATION OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.**

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the relocation and/or orientation of Historic Buildings, Structures, and Sites.

**(A) CRITERIA FOR THE RELOCATION AND/OR REORIENTATION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE.**

In approving a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the ~~Planning Department~~ Historic Preservation Board shall find the project complies with the following criteria:

- (1) The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or
- (2) The Planning Director and Chief Building Official



determine that the building is threatened in its present setting because of hazardous conditions and the preservation of the building will be enhanced by relocating it; or

~~(2)~~ (3) The Planning Director and the Chief Building Official<sup>+</sup> Historic Preservation Board, with input from the Planning Director and the Chief Building Official, determines that unique conditions warrant the proposed relocation and/or reorientation on the existing Site; ~~or,~~ which include but are not limited to:

- (i) The historic context of the building has been so radically altered that the present setting does not appropriately convey its history and the proposed relocation may be considered to enhance the ability to interpret the historic character of the building and the district; or
- (ii) The new site shall convey a character similar to that of the historic site, in terms of scale of neighboring buildings,

materials, site relationships, geography, and age; or

- (iii) The integrity and significance of the historic building will not be diminished by relocation and/or reorientation; or

(4) All other alternatives to relocation/reorientation have been reasonably considered prior to determining the relocation/reorientation of the building. These options include but are not limited to:

- (i) Restoring the building at its present site; or
- (ii) Relocating the building within its original site; or
- (iii) Stabilizing the building from deterioration and retaining it at its present site for future use; or
- (iv) Incorporating the building into a new development on the existing site

**(B) PROCEDURE FOR THE RELOCATION AND/OR REORIENTATION OF A LANDMARK SITE OR A SIGNIFICANT SITE.** All

Applications for the relocation and/or reorientation of any Historic Building(s) and/or Structure(s) on a Landmark Site or a

<sup>+</sup> ~~The HPB shall make this determination if the HPB is hearing the Application on appeal. The Planning Director and the Chief Building Official shall, at the appeal, submit a written statement or testify concerning whether unique conditions warrant the proposed relocation and/or reorientation on the existing Site or to a different Site.~~

Significant Site within the City shall be reviewed by the Historic Preservation Board Planning Department pursuant to Section 15-11-12 of this Code.

*(Created by Ord. No. 09-23; 12-37)*

**15-11-14. DISASSEMBLY AND REASSEMBLY OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.**

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the disassembly and reassembly of Historic Buildings, Structures, and Sites.

**(A) CRITERIA FOR DISASSEMBLY AND REASSEMBLY OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR SIGNIFICANT SITE.** In

approving a Historic District or Historic Site design review Application involving disassembly and reassembly of the Historic Building(s) and/or Structure(s) on a Landmark Site or Significant Site, the Planning Department Historic Preservation Board shall find the project complies with the following criteria:

- (1) A licensed structural engineer has certified that the Historic Building(s) and/or Structure(s) cannot reasonably be moved intact; and
- (2) At least one of the following:

(a) The proposed disassembly and reassembly will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or

~~(3)~~ (b) The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; or

(c) The Historic Preservation Board determines, with input from the Planning Director and the Chief Building Official, that unique conditions and the quality of the Historic preservation plan warrant the proposed disassembly and reassembly; unique conditions include but are not limited to:

(i) If problematic site or structural conditions preclude temporarily lifting or moving a building as a single unit; or

(ii) If the physical conditions of the existing materials prevent temporarily lifting or moving a building and the applicant has

demonstrated that panelization will result in the preservation of a greater amount of historic material; or

(iii) all other alternatives have been shown to result in additional damage or loss of historic materials.

Under all of the above criteria, the Historic Structure(s) and or Building(s) must be reassembled using the original materials that are found to be safe and/or serviceable condition in combination with new materials; and

The Building(s) and/or Structure(s) will be reassembled in their original form, location, placement, and orientation.

**(B) PROCEDURE FOR THE DISASSEMBLY AND REASSEMBLY OF A LANDMARK SITE OR A SIGNIFICANT SITE.** All Applications for the disassembly and reassembly of any Historic Building(s) and/or Structure(s) on a Landmark Site of a Significant Site within the City shall be reviewed by the **Planning Department Historic Preservation Board** pursuant to Section 15-11-12 of this Code.

If an Application involving the disassembly and reassembly of Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site also includes relocation and/or reorientation of the reassembled Historic Building(s) and/or Structure(s) on

the original Site or another Site, the Application must also comply with Section 15-11-13 of this Code.

*(Created by Ord. No. 09-23; Amended by Ord. No. 11-05))*

**15-11-15. RECONSTRUCTION OF AN EXISTING HISTORIC BUILDING OR HISTORIC STRUCTURE.**

It is the intent of this section to preserve the Historic and architectural resources of Park City through limitations on the Reconstruction of Historic Buildings, Structures, and Sites.

**(A) CRITERIA FOR RECONSTRUCTION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE.** In approving an Application for Reconstruction of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the **Planning Department Historic Preservation Board** shall find the project complies with the following criteria:

(1) The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; and

(2) The Historic Building(s) and/or Structure(s) cannot be made safe and/or serviceable through repair; and

(3) The form, features, detailing, placement, orientation and location of the Historic Building(s) and/or Structure(s) will be accurately depicted, by means of new construction, based on as-built measured drawings, historical records, and/or current or Historic photographs.

(B) **PROCEDURE FOR THE RECONSTRUCTION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE.** All Applications for the Reconstruction of any Historic Building and/or Structure on a Landmark Site or a Significant Site within the City shall be reviewed by the **Planning Department Historic Preservation Board** pursuant to Section 15-11-12 of this Code.

If an Application involving the Reconstruction of Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site also includes relocation and/or reorientation of the Reconstructed Historic Building(s) and/or Structure(s) on the original Site or another Site, the Application must also comply with Section 15-11-13 of this Code.

*(Created by Ord. No. 09-23; Amended by Ord. No. 11-05)*

**15-11-16. DEMOLITION OF HISTORIC BUILDINGS, STRUCTURES AND SITES.**

It is the intent of this and succeeding sections to preserve the Historic and

architectural resources of Park City, through limitations on Demolition of Historic Buildings, Structures and Sites to the extent it is economically feasible, practical and necessary. The Demolition or removal of Historic Buildings, Structures and Sites in Park City diminishes the character of the City's Historic District and it is strongly discouraged. Instead, the City recommends and supports preservation, renovation, adaptive reuse, Reconstruction, and relocation within the Historic District. It is recognized, however, that economic hardship and other factors not entirely within the control of a Property Owner may result in the necessary Demolition of a Historic Building, Structure or Site.

(A) **DEMOLITION, RECONSTRUCTION, OR REPAIR OF HAZARDOUS BUILDINGS.** If, upon review, the Chief Building Official determines the subject Building, Structure or Site to be structurally unsound, and a hazardous or dangerous Building, pursuant to Section 116.1 of the International Building Code, the Chief Building Official may order its Demolition, Reconstruction, or repair.

(B) **REQUIREMENT FOR STAY OF DEMOLITION.** In the absence of a finding of public hazard, the Application for Demolition shall be stayed for 180 days.

*(Amended by Ord. Nos. 09-10; 09-23; 11-05)*

**15-11-17. CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION (CAD).**

With the exception of any Building or Structure falling under the purview of Section 116.1 of the International Building Code or undergoing complete renovation/reconstruction in compliance with this Chapter, no Building, other Structure or Site deemed to be Historic, pursuant to the standards of review set forth in Section 15-11-10(A)(1) or 15-11-10(A)(2) herein, may be Demolished without the issuance of a Certificate of Appropriateness for Demolition (CAD) by an independent CAD Hearing Board appointed by the City. Application for a CAD shall be made on forms prescribed by the City and shall be submitted to the Planning Department.

*(Amended by Ord. Nos. 06-35; 09-10; 09-23)*

**15-11-18. CAD PRE-HEARING APPLICATION REQUIREMENTS.**

Upon submittal of a CAD Application to the Planning Department, a pre-hearing period of forty-five (45) days shall commence, during which time the Owner shall allow the City to post and sustain a visible sign stating that the Property is “threatened.” Said sign shall be at least three feet by two feet (3’X2’), readable from a point of public Access and state that more information may be obtained from the Planning Department for the duration of the stay. In addition, the Owner shall conduct negotiations with the City for the sale or lease of the Property or take action to facilitate proceedings for the City to acquire the Property under its power

of eminent domain, if appropriate and financially possible.

At the end of the forty-five (45) days, the Application will be scheduled for a hearing before the CAD Hearing Board, upon showing that the above requirements have been met and all economic hardship information required has been submitted. The Applicant must also submit fees in accordance with the Park City Municipal fee schedule. The Planning Department staff shall notify the Owner if any additional information is needed to complete the Application.

(A) **CAD HEARING BOARD.** Upon confirmation of receipt of a complete CAD Application, the City shall appoint an independent CAD Hearing Board, consisting of three (3) members, for the purpose of reviewing and taking action upon the Application. The City Manager shall appoint the CAD Board as the need might arise, solely for the purpose of reviewing and taking final action on all CAD Applications.

It is the first priority of the City that the CAD Board has substantial experience in finance, real estate, and commercial business interests. Hence, the Board should possess the following qualifications, or represent the following interests:

- (1) A member appointed at large from Park City with demonstrated knowledge of economics, accounting and finance;

- (2) A member appointed at large from Park City who is an attorney at law; and
- (3) A member appointed from the Board of Adjustment.

**15-11-19. CAD HEARING.**

At the hearing, the CAD Hearing Board will review the Application pursuant to the economic hardship criteria set forth in Section 15-11-19(A) herein, and consider public input. The CAD Hearing Board may only approve Demolition of a Historic Building, Structure or Site if the Owner has presented substantial evidence that demonstrates that unreasonable economic hardship will result from denial of the CAD Application.

(A) **ECONOMIC HARDSHIP CRITERIA.** In order to sustain a claim of unreasonable economic hardship, the Owner shall provide information pertaining to whether the Property is capable of producing a reasonable rate of return for the Owner or incapable of beneficial Use. The City shall adopt by resolution separate standards for investment or income producing and non-income producing Properties, as recommended by the HPB. Non-income Properties shall consist of Owner occupied Single-Family Dwellings and non-income producing institutional Properties. The information required by the City may include, but not be limited to the following:

- (1) Purchase date, price and financing arrangements;

- (2) Current market value;
- (3) Form of ownership;
- (4) Type of occupancy;
- (5) Cost estimates of Demolition and post-Demolition plans;
- (6) Maintenance and operating costs;
- (7) Costs and engineering feasibility of rehabilitation;
- (8) Property tax information; and
- (9) Rental rates and gross income from the Property.

The CAD Hearing Board, upon review of the CAD Application, may request additional information as deemed appropriate.

(B) **CONDUCT OF OWNER EXCLUDED.** Demonstration of economic hardship by the Owner shall not be based on conditions resulting from:

- (1) willful or negligent acts by the Owner; or
- (2) purchasing the Property for substantially more than market value at the time of purchase; or
- (3) failure to perform normal maintenance and repairs; or
- (4) failure to diligently solicit and retain tenants; or

- (5) failure to provide normal tenants improvements.

(C) **DECISION**. The CAD Hearing Board shall make written findings supporting the decision made. The CAD Hearing Board may determine that unreasonable economic hardship exists and approve the issuance of a CAD if one of the following conditions exists:

- (1) For income producing Properties, the Building, Structure or Site cannot be feasibly used or rented at a reasonable rate or return in its present condition or if rehabilitated and denial of the Application would deprive the Owner of all reasonable Use of the Property; or
- (2) For non-income producing Properties, the Building, Structure or Site has no beneficial Use as a residential dwelling or for an institutional Use in its present condition or if rehabilitated, and denial of the Application would deprive the Owner of all reasonable Use of the Property; and
- (3) The Building, Structure or Site cannot be feasibly Reconstructed or relocated.

(D) **APPROVAL**. If the CAD Hearing Board approves the Application, the Owner may apply for a Demolition permit with the Building Department and proceed to Demolish the Building, Structure or Site in compliance with other regulations as they

may apply. The City may, as a condition of approval, require the Owner to provide documentation of the Demolished Building, Structure or Site according to the standards of the Historic American Building Survey (HABS). Such documentation may include a complete history, photographs, floor plans, measured drawings, an archeological survey or other information as specified. The City may also require the Owner to incorporate an appropriate memorializing of the Building, Structure or Site, such as a photo display or plaque, into the proposed replacement project of the Property. Approval of a CAD shall be valid for one (1) year.

(E) **DENIAL**. If the CAD Hearing Board denies the Application, the Owner shall not Demolish the Building, Structure or Site, and may not re-apply for a CAD for a period of three (3) years from the date of the CAD Hearing Board's final decision, unless substantial changes in circumstances have occurred other than the re-sale of the Property or those caused by the negligence or intentional acts of the Owner. It shall be the responsibility of the Owner to stabilize and maintain the Property so as not to create a structurally unsound, hazardous, or dangerous Building, as identified in Section 116.1 of the International Building Code. The City may provide the owner with information regarding financial assistance for the necessary rehab or repair work, as it becomes available.

(F) **APPEAL**. The City or any Persons adversely affected by any decision of the CAD Hearing Board may petition the District Court in Summit County for a

review of the decision. In the petition, the plaintiff may only allege that the Officer's decision was arbitrary, capricious, or illegal. The petition is barred unless it is filed within thirty (30) days after the date of the CAD Hearing Board's decision.

*(Amended by Ord. Nos. 09-10; 09-23; 10-11; 11-05)*





## Historic Preservation Board Staff Report

Planning Department

**Author:** Anya Grahn, Historic Preservation Planner  
**Subject:** Material Deconstruction and Relocation Review  
**Address:** 1450 Park Avenue  
**Project Number:** PL-15-03029  
**Date:** February 3, 2016  
**Type of Item:** Administrative – Material Deconstruction and Relocation

### **Summary Recommendation:**

Staff recommends the Historic Preservation Board review and discuss the application, conduct a public hearing, and approve the relocation of the historic house and material deconstruction of non-historic materials at 1450 Park Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval.

### **Topic:**

**Address:** 1450 Park Avenue  
**Designation:** Significant  
**Applicant:** Park City Municipal Corporation, represented by Rhoda Stauffer  
**Proposal:**  
1. Relocation of the house 8'6" to the west  
2. The applicant is requesting to remove: existing landscaping and landscape features such as a non-historic retaining wall, wood fence, and chain-link fence; several non-contributory additions on the rear elevation; existing non-historic and historic roofing materials; one (1) historic chimney for restoration purposes and two (2) non-contributory chimneys permanently; non-historic siding materials; limited rubble stone and concrete foundation; 1940s-1950s metal porch awning, porch posts, and concrete slab; two (2) doors on the west façade; 1970s-1980s aluminum windows on the west façade and three (3) non-contributory wood windows on the north and south elevations.

### **Background:**

#### **Why is the Historic Preservation Board reviewing this application?**

On December 17, 2015, City Council approved Ordinance 15-53 to amend Land Management Code (LMC) Section 15-11. The amendments modified the Purposes of the Historic Preservation Board to include reviewing and taking action on material deconstruction applications for those sites listed on the Historic Sites Inventory (HSI). The changes also gave the Historic Preservation Board the authority to review and approve, approve with conditions, or deny all Applications for Historic Preservation Board Review for Material Reconstruction (LMC 15-11-12.5); Relocation and/or Reorientation of a Historic Building or Historic Structure (LMC 15-11.13); Disassembly and Reassembly of a Historic Building or Historic Structure (LMC 15-11-14); and Reconstruction of an Existing Historic Building or Historic Structure (LMC 15-11-15).

Material Deconstruction, in particular, is a new term that staff developed in order to address the HPB's new role. The term is defined in LMC 15-15-1.163 as:

*The disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair.*

The intent of these LMC amendments included:

- Increasing transparency in the Planning Department's review of HDDR applications.
- Expanding the HPB's role in demolition determinations.
- Modifying the criteria for relocation and/or reorientation, disassembly and reassembly (panelization) and reconstruction of Historic Buildings.
- Establishing noticing requirements for demolition permits.

Finally, Staff worked with the HPB, Planning Commission, and City Council to set demolition review criteria for the HPB to ensure consistency and clarity. The HPB's demolition review is based upon the checklist reviewed by Council, and included as Exhibit A:

- Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
- The partial demolition is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
- Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
- The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where demolition is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
- The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
- Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

*Application for Historic District Design Review (HDDR) and Historic Preservation Board Review (HPBR) or Material Deconstruction*

On December 8, 2015, the Planning Department received a Historic District Design Review (HDDR) application for the property at 1450 Park Avenue. The application was deemed complete on December 17, 2015. The Historic District Design Review (HDDR)

application has not yet been approved, as it is dependent on HPB's Review for Material Deconstruction approval and the request for relocation of the house 8'6" to the west.

Park City Municipal Corporation purchased the property and its neighbor at 1460 Park Avenue in 2009. Following the purchase, the City contracted historic preservation consulting firm Preservation Solutions to complete a Physical Conditions Report on the property. (This Physical Conditions Report is included as part of Exhibit C, with additional addendums to clarify the current site conditions.) In 2012, a building permit was issued to weatherize the building. More notable, the City collaborated with Elliot Work Group and Greenpark Cohousing between 2011 to 2013 in an effort to develop the site as a co-housing development. This partnership dissolved in 2014, and the City is now moving ahead to develop the site for affordable housing.

The current HDDR applications are for the renovation of the two (2) historic structures at 1450 and 1460 Park Avenue. The applicant is proposing an affordable housing development that will include the construction of cottage housing in addition to the renovation of the two (2) existing historic structures. A second HDDR application will be submitted in the future for the new construction of six (6) cottage houses on these two (2) sites. Because the applicant has phased the development of the site, the Planning Department is currently only reviewing the individual HDDR applications for 1450 and 1460 Park Avenue. The HPB will not be involved in the review of the proposed new construction.

The following Material Deconstruction work is proposed at 1450 Park Avenue:

1. Remove all of the landscaping as part of the relocation of the historic house as well as a non-historic retaining wall, wood fence, and chain-link fence.
2. Removal of several additions on the rear elevation that do not contribute to the historical significance of the original c. 1904 cross-wing form.
3. Removing existing historic and non-historic roofing materials in order to make structural improvements to the historic roof system.
4. Temporarily dismantle the original chimney, located on the north-south stem of the c.1904 cross-wing, for restoration purposes.
5. Remove two (2) non-contributing chimneys as part of the demolition of the non-contributing rear additions.
6. Removal of non-historic siding to restore the original c.1904 wood siding.
7. Demolish the existing, limited rubble stone and concrete foundation.
8. Removal of the 1940s-1950s metal porch awnings, porch posts, and concrete slab floor.
9. Remove the existing kitchen side door and relocation of the historic front door.
10. Remove the existing 1970s-1980s aluminum windows on the front (west) façade
11. Remove wood windows on the north and south elevations.

### **Analysis 1: Relocation of the Historic House**

The applicant proposes to relocate the existing historic house 8'6" to the west as part of this renovation. By relocating the house closer to Park Avenue, the applicant will gain additional space to construct three (3) new affordable-housing cottages behind the historic house (Exhibit E). The relocation will comply with the required fifteen foot (15')

front yard setback, as dictated by the Historic Residential-Medium Density (HRM) zoning district, described in Land Management Code (LMC) 15-2.4-4 (C)(1).

The *Design Guidelines for Historic Sites* provide guidance on the Relocation and/or Reorientation of Intact Buildings (pages 36-37). The guidelines recommend that the relocation of historic buildings only be considered after it has been determined by the Design Review Team that the integrity and significance of the historic building will not be diminished by such action. The Design Review Team finds that relocating the historic building on its existing lot will not significantly change the context of the site, nor diminish its historical significance, as described below. Further, the applicant will be making structural upgrades, described below, to ensure that the building will be structural sound in order to survive the move.

Additionally, any relocation of a historic building or historic structure must comply with LMC 15-11-13. This section of the LMC was recently amended and shifted the review authority from the Planning Director and Chief Building Official to the Historic Preservation Board (HPB). The HPB shall review staff's analysis and find that the project complies with the following criteria in order for the relocation to occur:

**15-11-13. RELOCATION AND/OR REORIENTATION OF A HISTORIC BUILDING OR HISTORIC STRUCTURE.**

**(A) CRITERIA FOR THE RELOCATION AND/OR REORIENTATION OF THE HISTORIC BUILDING(S) AND/OR STRUCTURE(S) ON A LANDMARK SITE OR A SIGNIFICANT SITE.** In approving a Historic District or Historic Site design review Application involving relocation and/or reorientation of the Historic Building(s) and/or Structure(s) on a Landmark Site or a Significant Site, the Historic Preservation Board shall find the project complies with the following criteria:

- (1) The proposed relocation and/or reorientation will abate demolition of the Historic Building(s) and/or Structure(s) on the Site; or

*This is not applicable as the structure is not threatened by demolition.*

- (2) The Planning Director and Chief Building Official determine that the building is threatened in its present setting because of hazardous conditions and the preservation of the building will be enhanced by relocating it; or

*This is not applicable as the structure is not threatened by demolition.*

- (3) The Historic Preservation Board, with input from the Planning Director and the Chief Building Official, determines that unique conditions warrant the proposed relocation and/or reorientation on the existing Site, which include but are not limited to:

*Staff finds that these criteria are applicable. Staff, including the Chief Building Official and Planning Director, find that there are unique conditions that warrant the proposed relocation of the historic structure on the existing site.*

- (i) The historic context of the building has been so radically altered that the present setting does not appropriately convey its history and the proposed relocation may be considered to enhance the ability to interpret the historic character of the building and the district; or

*Historically, this structure was part of a larger residential neighborhood characterized by small, single-family houses; over time, many of these historic houses were replaced by larger, multi-family condominiums that now dwarf this historic house and its neighbor at 1460 Park Avenue. The historic context of its present setting has been so altered that these structures, even once restored, would not qualify for the National Register of Historic Places because of their setting.*

- (ii) The new site shall convey a character similar to that of the historic site, in terms of scale of neighboring buildings, materials, site relationships, geography, and age; or

*The relocation of the structure 8'6" to the front of the existing lot will not alter the character of the site in terms of scale of neighborhood buildings, materials, site relationships, geography, or age.*

- (iii) The integrity and significance of the historic building will not be diminished by relocation and/or reorientation; or

*Relocating this historic structure to the front of its lot will not diminish its integrity and significance.*

- (4) All other alternatives to relocation/reorientation have been reasonably considered prior to determining the relocation/reorientation of the building.

These options include but are not limited to:

- (i) Restoring the building at its present site; or
- (ii) Relocating the building within its original site; or
- (iii) Stabilizing the building from deterioration and retaining it at its present site for future use; or
- (iv) Incorporating the building into a new development on the existing site

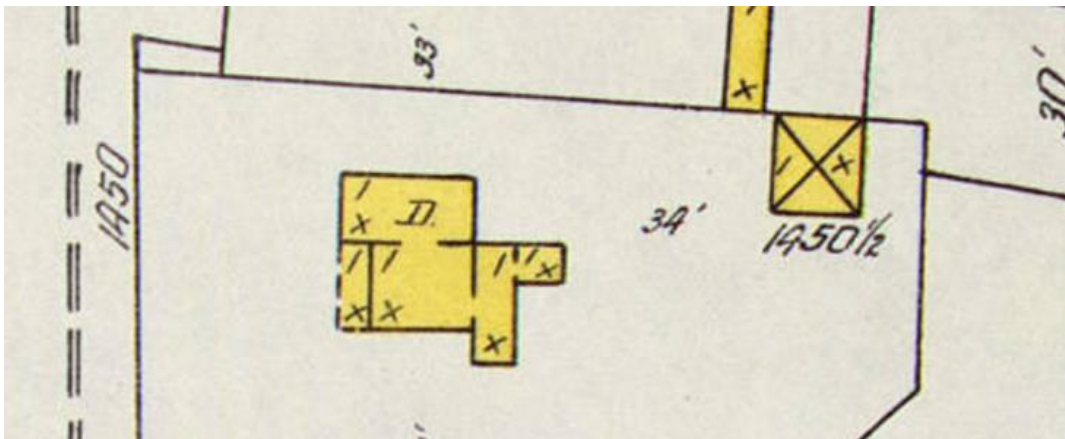
*Staff finds that these criteria are applicable.*

*The applicant has considered restoring the house at its present location; however, doing so would limit the separation from new construction and would limit the number of new affordable housing units constructed on the site. The applicant is not proposing to relocate the building on a new site,*

but, rather, relocate it on its present site in the same orientation to the street. The applicant will stabilize the historic building form and retain it at its present site. Finally, the historic house will be incorporated into a new development on the existing site.

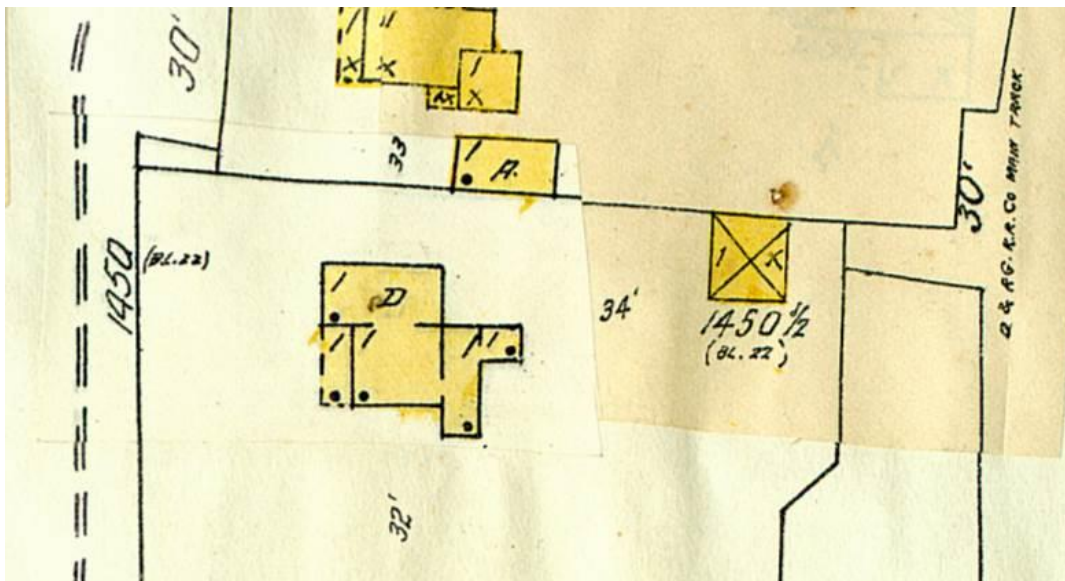
### Analysis 2: Material Deconstruction

The house was originally constructed c.1904 as a cross-wing or “L-shape” cottage. The structure does not appear until the 1907 Sanborn Fire Insurance map, due to its date of construction and location in town. It appears that the house consisted of the original L-shape cottage, front porch, and then an L-shape one (1)-story wing off of the rear (east) addition.



1907 Sanborn Fire Insurance Map

During the next twenty years, the property changed very little. As depicted by the 1927 Sanborn Fire Insurance Map, the house retained its L-shape form with the one (1)-story L-shaped wing off of the rear (east) elevation.



1927 Sanborn Fire Insurance Map

As described in the Physical Conditions Report, a number of modifications occurred to the house following 1927. The one (1)-story L-shaped rear addition depicted in the Sanborn Maps was either removed and replaced with the kitchen addition we see today, or its form was severely modified as it was incorporated into the existing addition. The root cellar is likely original; however, it would have historically been a stand-alone structure with exterior stair access. It is unclear when the root cellar was connected to the house. The Physical Conditions Report states that the northeast gable on the east elevation was an addition likely added in the early 1920s; however, it is not shown in the Sanborn Fire Insurance maps and likely dates post-1930. Finally, the small bathroom gable and shed extensions on the southeast side of the east elevation were added in the 1930s, 1940s, and 1950s.



*This photograph, taken c. 1938 shows the original porch and wood siding. The awning above the window would have been added in the 1920s-1930s, and hides the original window configuration of the front gable.*

Besides the additions to the original house that occurred between 1904 and the 1950s, a number of material changes also affected the house. The historic porch was removed after 1930 and replaced with a new aluminum awning and aluminum porch posts. Window openings were modified and new windows were installed on all elevations as part of the renovations that occurred between the 1940s-1950s; these windows were then largely replaced by aluminum windows in the 1970s-1980s. Further, Masonite and then asbestos siding was used as cladding on the exterior walls.



*This c. 1958 photograph shows the new kitchen addition, which exists today. It also shows the new asbestos siding, metal porch, and the modifications to the window openings on the front façade.*

The applicant is proposing to restore the structure's original c.1904 cross-wing form. Given the number of alterations and the additions that were haphazardly constructed on the rear (east) elevation outside of the historic period (1930s-1950s), staff finds that it is appropriate to remove these additions which do not contribute to the historical significance of the original cross-wing structure and restore the building's original L-shape form. The extensive number of additions to the house and the change to its setting has made this site ineligible for listing on the National Register of Historic Places. The site is currently designated as "Significant" on the City's HSI.

The existing structure is substandard. As described in further detail below, the existing roof structure, as it currently exists, is grossly undersized and there is little structural integrity that can be preserved. The construction of later additions on the original cross-wing form has caused additional strain and stress to the existing roofing members. The single-wall construction of the exterior walls does not meet wind, seismic, or gravity loads. Further, the floor structure is loosely supported on pieces of wood, rock, or stone; the majority of it sits directly on the dirt as there is only a limited rubble stone and concrete foundation. The floor framing will be rebuilt by *sistering*<sup>1</sup> new structural supports to the existing members and with the construction of a new foundation. Existing utilities and mechanical equipment are all inadequate and will be replaced as part of this renovation.

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<sup>1</sup> In construction, "sistering" refers to strengthening existing beams by fastening a second beam alongside it.



The following work is proposed as part of this renovation and requires HPB review:

1. SITE DESIGN

As noted in the Physical Conditions Report completed by architect Sandy Hatch, the landscaping is not historic. Most of the existing vegetation is comprised of voluntary trees and shrubs. The landscaping is significantly overgrown. The report also notes that the mature hollyhocks in the front yard are not original and the lilac bushes shown in the tax photograph still exist.

The applicant intends to remove all of the landscaping as part of the relocation of the historic houses at 1450 and 1460 Park Avenue. Due to the amount of construction that will occur on this site, existing trees and shrubs will likely be damaged by the construction of footings and foundations near root balls.

That said, staff finds that it is important that the character of the site is not diminished because of the loss of these plantings, such as the mature hollyhocks and lilac bushes. Condition of Approval #2 states that the applicant is responsible for providing an updated landscape plan as part of the building permit application; any significant vegetation that needs to be removed shall be replaced in-kind or a multiple of trees of the same caliper shall be provided to match the diameter of the existing tree. Further, staff has stipulated that the applicant incorporate fruit trees and lilac bushes, consistent with the current vegetation that exists on site and, if possible, the applicant will preserve the lilac bushes.

There are also several existing non-historic retaining walls and fences on the site. Along the south property line, shared with 1460 Park Avenue, there is a new railroad tie retaining wall along with a new six foot (6') tall wood fence. There is also a chain-link fence on the northeast corner of the lot. None of these is historic and will be removed as part of the development of the site.

Staff finds that these landscaping additions to the historic site are non-contributory to the historic integrity or the historical significance of the site, and, thus, can be removed so long as any new landscaping meets Condition of Approval #2. A survey of the property, depicting the existing landscaping is included as Exhibit D.

2. ADDITIONS

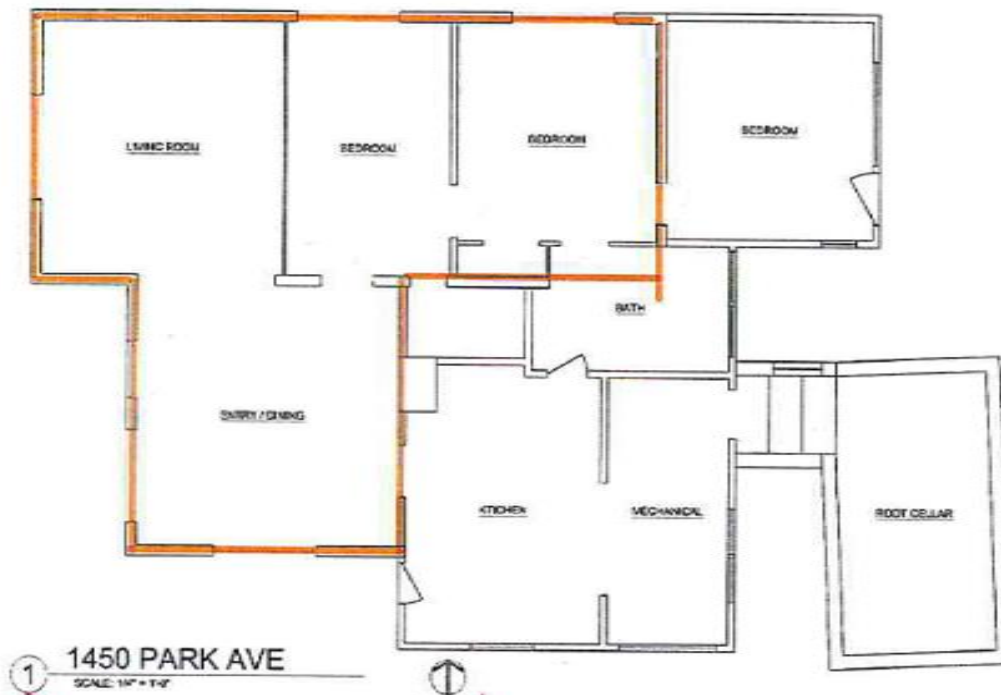
As previously discussed in the Background section of this staff report, several additions were built on to this house after its initial construction c.1904. Based on staff's Sanborn analysis and the Physical Conditions Report, staff finds that only the west-east and north-south gables forming the original cross-wing form of the house are original. These other additions were constructed outside of the historic period, post-1930. The haphazard construction of these later additions is causing significant strain on the existing structural system of the historic house, as described in more detail below.

The applicant intends to remove the multiple additions constructed at the rear of the house in order to build a new addition that will largely replace the footprint of the

existing kitchen addition. This new addition will mimic the look of the existing shed-roof kitchen addition from the primary public right-of-way (Park Avenue) and improve the appearance of the house from its rear elevation.

As noted in the Design Guidelines, changes may or may not contribute to the historic character of the site and should be evaluated as the project is being planned (page 5). Staff finds that these post-1930 alterations to the site are non-contributory. The multitude of additions made to the rear of the structure and the reconfiguration of the interior floor plan has detracted from the original cross-wing form of the c.1904 historic house. These additions largely obscure the original historic form and make the developmental history of the site nearly indiscernible. Staff finds that the removal of these additions to accommodate a smaller shed-roof addition is appropriate.

Staff finds that the removal of these additions is required for the rehabilitation of the historic structure. These proposed exterior changes do not destroy the exterior architectural features which are compatible with the character of the historic site. The proposed work also mitigates any impact that will occur to the visual character of the neighborhood by replacing the existing kitchen addition with a new addition of similar appearance. Further, the removal of these non-contributory additions will not impact the historical significance of the structures nor impact their architectural integrity. The following depicts the areas to remain:



### 3. ROOF

As noted in the c.2010 Physical Conditions Report and the CTS Engineering report, the original roof structure was covered by 1x6 wood sheathing, covered by original

wood shingles. A three (3)-tab asphalt shingle roof was added c.1954, and metal flashing has been added to some of the eaves for additional water-proofing. Because of how the rear additions were constructed, the weight of these structures have caused the original cross-wing roof structure to settle at uneven rates, evident by the bump and waviness of the roof at the intersection of the original cross-wings.

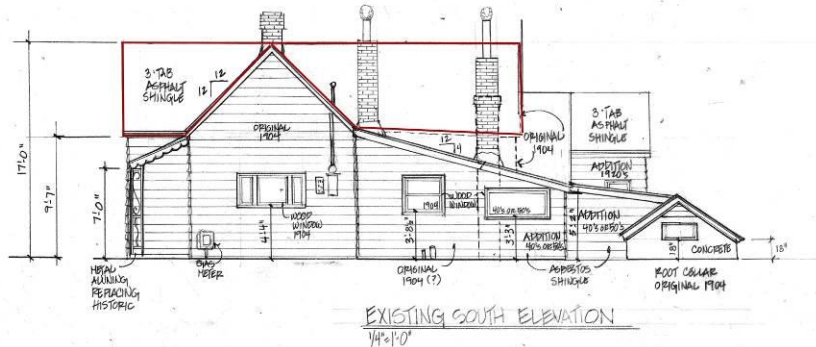
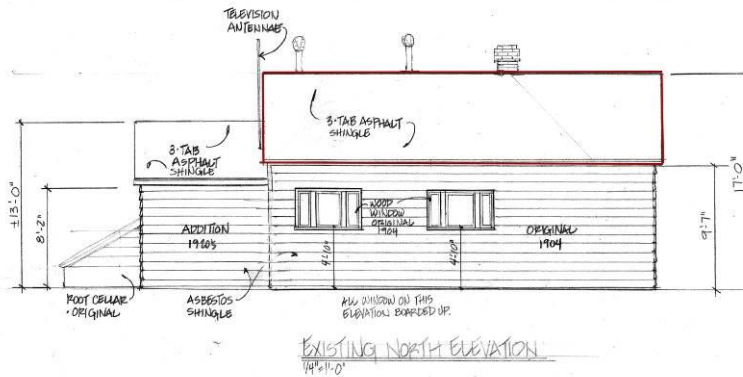
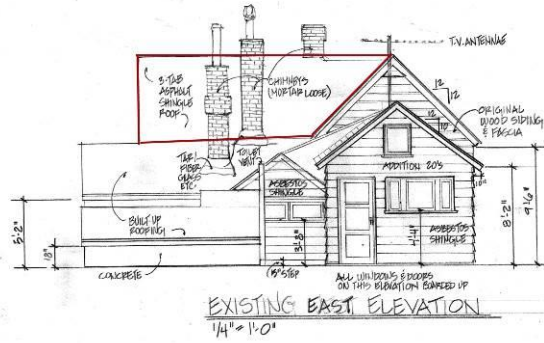
In typical roof structure, the roof sheathing acts as a diaphragm to transfer lateral wind and seismic loads across the structure; however, the historic roof construction on the cross-wing form has no diaphragm capacity. As it currently exists, the historic roof is grossly undersized and there is little structural integrity that can be preserved.

The applicant is proposing to improve the structural integrity as part of this rehabilitation. The asphalt shingles, wood shingles, and roof sheathing will be removed and replaced with new plywood and OSB sheathing. New roofing material will be added atop the new roof sheathing. On the interior, the existing roof rafters will be sistered with new members parallel to the existing ones. Ridge beams and posts will be installed to carry the load.

Staff finds that the proposed scope of work is necessary for the rehabilitation of the historic building. The proposed exterior changes—removing the roof sheathing and improving the structural stability of the existing roof structure—will not damage or destroy the exterior architectural features of the subject property as this method will ensure that the original roof pitch and dimensions are maintained. Further, the proposed scope of work mitigates any impacts that will occur to the architectural integrity of the building and will improve, rather than compromise, the structural stability of the historic building.

The following diagrams outline the locations of these alterations:





#### 4. CHIMNEY

There are three (3) existing chimneys on the historic house, as depicted on the following diagrams:

- Chimney #1 is the only original chimney and is located on north-south stem of the c.1904 cross-wing. The chimney is constructed of varied blond brick. The brick is loose, particularly near the top. Further, there is no evidence of the chimney on the interior as it stops in the attic and is supported on a framed platform. Due to the number of alterations that have been made to the interior of the structure, it is unclear where and how this chimney was used.
- Chimneys #2 and #3 are located behind the front façade and are not visible from the primary public right-of-way (Park Avenue). It is likely that these were constructed at the same time of these rear additions, after 1930. These

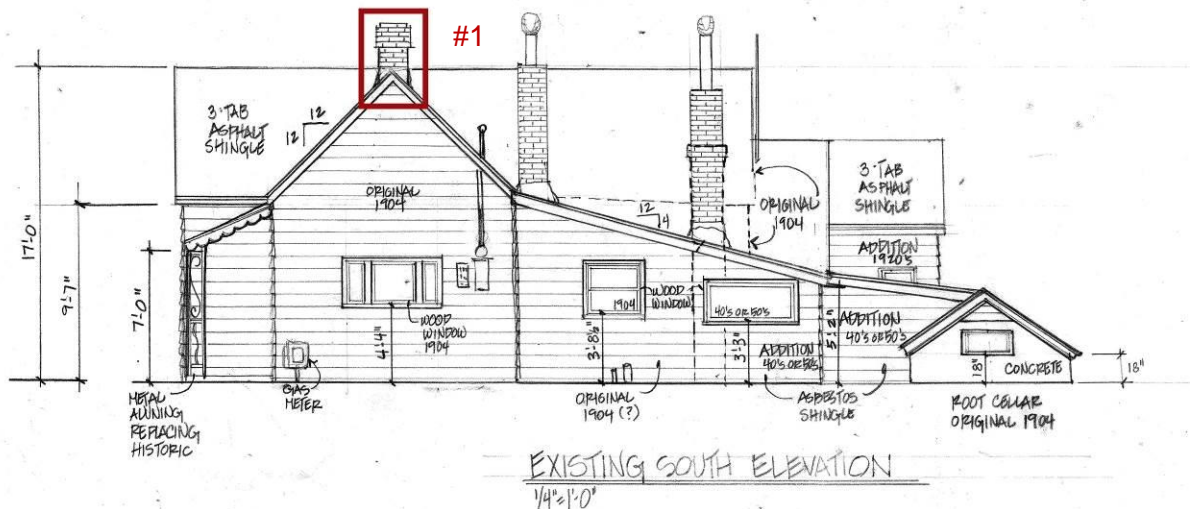
chimneys extend through the interior and sit on 2x4 platforms at the floor level. Both chimneys are in severe disrepair—missing mortar, structural issues, and inadequate flashing.

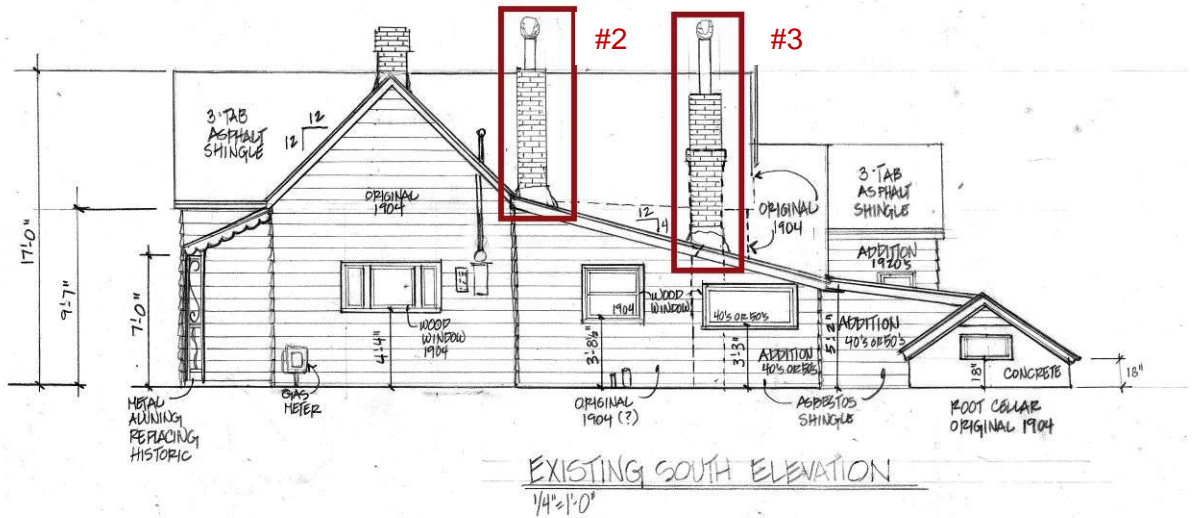
In their October 2015 report, CTS Engineering found that, “the chimneys are appurtenances that pose a significant risk of collapse, detachment or dislodgement under service loads, wind or seismic.” Staff finds that Chimneys #2 and #3 are not visible from the primary public right-of-way and do not contribute to the historical significance of the structure; however, Chimney #1 is a character-defining feature of the historic structure that should be preserved, even if it is not functional. The applicant intends to systematically deconstruct, reengineer, and rebuild Chimney #1 in accordance with historic photographs; it will be structurally attached to the new roof joists and center beam as a purely historic feature.

Staff finds that the scope of work to restore Chimney #1 which is required for its restoration, is necessary as part of the rehabilitation of the building. Further, the proposed scope of work for this chimney’s restoration will mitigate any impacts that will occur to the architectural integrity of the object. Rather than compromise the structural stability of the chimney, the scope of work will improve its structural stability and reduce its threat of collapse.

Further, staff finds that the demolition of Chimneys #2 and #3 is acceptable as any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site may be removed.

The following diagrams outline the locations of the chimneys in question:





## 5. EXTERIOR WALLS

As previously noted, this is a single-wall structure. As existing, the historic walls are not strong enough to support wind, seismic, or gravity loads. The applicant intends to stabilize these walls by constructing new stud-wall framing on the interior that will be tied to the new roof and floor framing. These modifications will bring the structure into compliance with the International Building Code (IBC).

On the exterior, the original wood lap siding has been covered by Masonite and asbestos shingle siding. Masonite and asbestos shingle siding is not historic, nor is it contributing to the historical significance of the c.1904 cross-wing structure. As part of the restoration work, the applicant proposes to remove the Masonite and asbestos shingle siding in order to expose the original wood siding. The historic wood siding will also be uncovered by the removal of the rear additions. The siding will be restored, to the greatest extent possible. In accordance with Condition of Approval #3, where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish after the applicant has demonstrated to the Historic Preservation Planner that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.

Staff finds that the Masonite and asbestos shingle siding does not contribute to the historic integrity or the historical significance of the structure and may be removed.

The following photograph illustrates the layers of material found on the historic cross-wing form:



## 6. FOUNDATION

As noted in the Physical Conditions Report, there is currently a limited stone rubble foundation with no foundation in some areas. Interior demolition has detected that the existing floor joists sit directly on the dirt. There is evidence of a limited concrete foundation wall on the rear east elevations, but it is unclear as to the extent of footings or the depth of the foundation. Very little of the stone rubble foundation is visible on the exterior.

The applicant proposes to pour a new, code-compliant concrete foundation that will raise the historic house approximately one foot (1') from its existing elevation. No basement addition is proposed, solely a concrete foundation.

Staff finds that the demolition of the existing limited foundation is necessary in order to rehabilitate the building, improve its structural stability, and preserve the floor structure into the future. The proposed exterior change will not damage the exterior architectural features of the subject property which are compatible with the character of the historic site as the new foundation will have limited visibility from the primary public right-of-way.

## 7. PORCH

As described in the Physical Conditions Report, the only evidence of the historic porch is in the historic tax photo, likely taken c. 1938. The historic wood porch was likely replaced by the existing porch—consisting of the metal awning, metal posts, and concrete slab—in the 1940s or 1950s. This contemporary addition was constructed in the same location of the photographed wood porch, and the metal

awning roof attaches beneath the north-south gable in the same way as the historic porch's roof. The metal awning roof is beginning to fail; however, the metal posts are in good condition. The concrete slab is cracked and damaged.

The applicant proposes to remove this non-contributory metal porch addition and reconstruct the historic wood porch based on the photographic evidence. Staff finds this is acceptable as any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site may be removed.

The following diagrams shows the porch to be removed.



## 8. DOORS

There are only two (2) exterior doors on the existing house—the historic front door and the kitchen door on the non-contributory addition. As noted in the Physical Conditions Report, the front door features c. 1904 Victorian detailing and is in good condition and can be restored. The kitchen door is on the non-contributory addition to be removed and replaced by the new addition.

The applicant intends to remove the existing door, relocate it to the rear façade, and expand the existing door opening on the façade in order to install a new, ADA-compliant front door; the historic door will be restored and reinstalled on the rear elevation. The applicant argues that the front façade is the best location for the new ADA accessible door because of its proximity to the driveway and Park Avenue.

Staff finds that this proposal does not meet the Design Guidelines. According to the Specific Design Guidelines N. ADA Compliance (page 41), in the case of historic buildings, the goal is to provide the highest level of accessibility with the lowest impact on the historic structure. In discussing the location of the ADA access with the Building Department, staff has found that the house only needs to provide one (1) ADA-accessible entrance. The ADA accessible doorway could be relocated to the rear elevation where it will not diminish the historic integrity of the c.1904 cross-



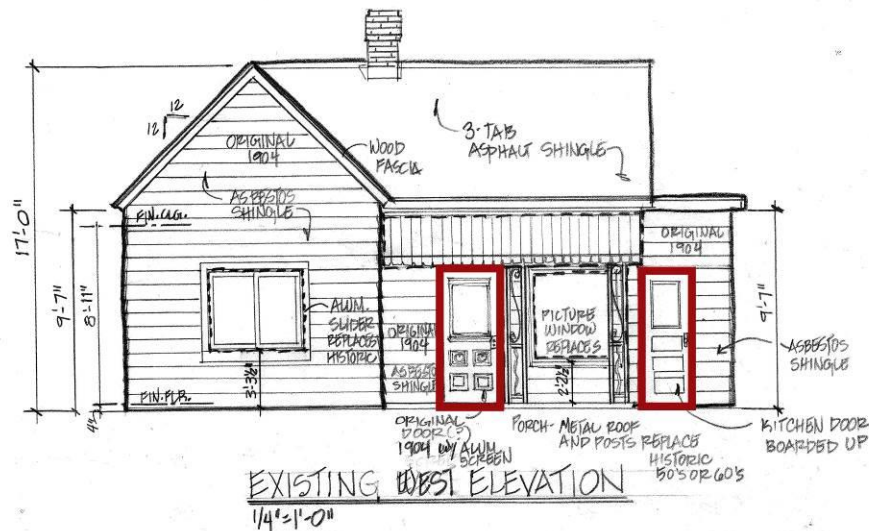
wing. Specific Guideline N.1 says that barrier-free access should be provided...., while preserving the character-defining features of the historic building. Staff finds that the size and proportion of the front door is a character-defining feature and the expansion of the door opening will have a negative impact on the appearance of the historic door. Staff finds that the more attractive alternative is to incorporate the ADA-accessible door on the rear elevation where it will not impact the historic character of the house and will not be visible from the primary public right-of-way.

Staff finds that the relocation of the existing historic door to the rear elevation and the expansion of the historic front door opening is unacceptable because ADA-access can be provided on the rear façade and still comply with the IBC. Staff has added Condition of Approval #4 requiring that the applicant maintain the historic door opening, door, and door surround in its existing location on the front (west) façade.

Staff finds that the removal of the existing kitchen door is acceptable as any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site may be removed. The kitchen door will be removed as part of the demolition of the non-contributory rear additions.

**Does the HPB agree maintaining the historic front door and putting the ADA door in the rear will provide the highest level of accessibility with the lowest impact on the historic structure?**

The following diagrams shows the doors proposed to be removed:



**9. WINDOWS**

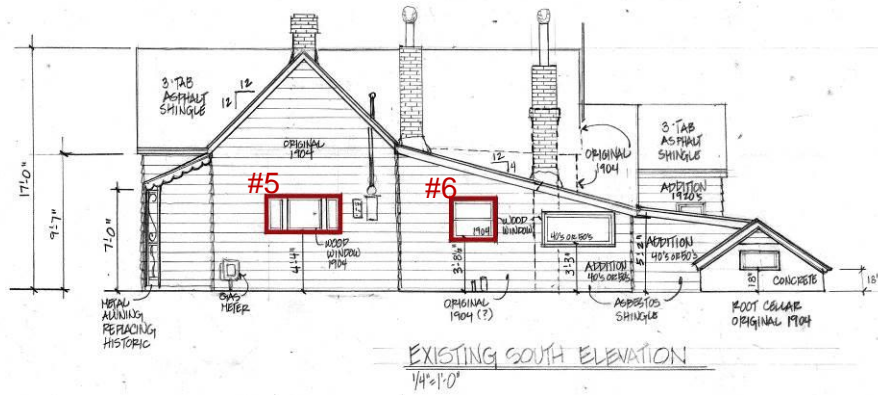
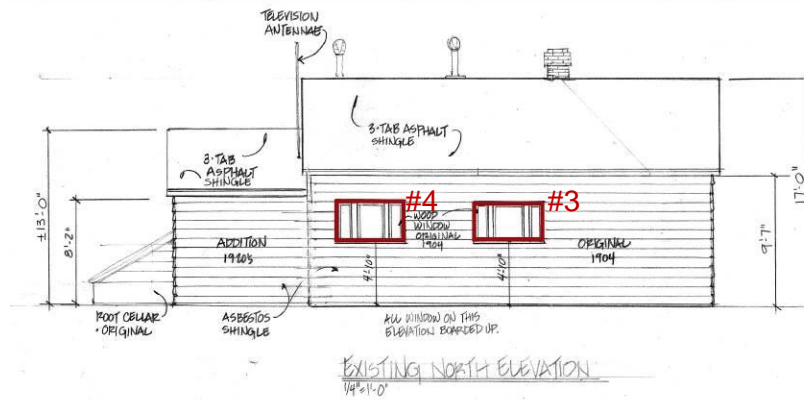
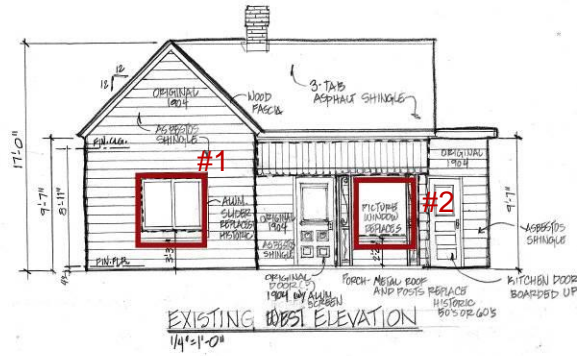
There are no historic windows remaining on the house. Following the removal of the non-contributory additions, only five (5) windows will remain:

- Window #1: Interior exploratory demolition discovered that the window opening on the front gable has changed several times since 1904. Originally, there would have been two (2) side-by-side double-hung windows in this opening. During the 1950s-1960s, the window opening was modified, reducing the height of the opening and raising the window sill by six inches (6"); a fixed-pane glass window was likely added during this alteration. Then, during the 1970s-1980s, the fixed-glass window was replaced by the aluminum slider present today.
- Window #2: The window adjacent to the front door shows a similar history. The opening was originally larger and featured two (2) side-by-side double-hung windows. These windows were then replaced with the existing fixed-pane window in the 1970s-1980s.
- Window #3 and #4. The Physical Conditions Report finds that the two (2) picture windows on the north elevation may be original windows; however, staff believes that these windows were likely added in the 1920s-1930s as they are more reflective of the horizontal-orientation of Craftsman-Era windows than the vertical-orientation typically found during the Victorian Era.
- Window #5. The existing window beneath the north-south gable on the south elevation is identical to those windows on the north elevation. Again, staff finds that this is not an original window and was likely added as part of a remodel in the 1920s-1930s.
- Window #6. This window is on the non-historic kitchen addition that is proposed to be removed.

The applicant is proposing to restore the original window openings and window configuration on the front (west) façade based on physical and photographic evidence. On the north and south elevations, the windows will be removed and the replaced with new operable windows. Staff finds this proposed work is acceptable as these windows are non-contributory and detract from the historic c.1904 form. Further, window trim will be replaced and repaired as necessary to restore the window openings.

Staff finds that the proposed scope of work for the windows is acceptable as these proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site. Further, non-contributory features, such as the incompatible 1920s windows on the north and south elevation, may be removed and original c.1904 window opening will be restored.

The following diagrams shows the windows to be removed:



**Recommendation:**

Staff recommends the Historic Preservation Board review and discuss the application, conduct a public hearing, and approve the relocation of the historic house and material deconstruction of non-historic materials at 1450 Park Avenue pursuant to the following findings of fact, conclusions of law, and conditions of approval.

**Finding of Fact:**

1. The property is located at 1450 Park Avenue, Lot 2 of the Retreat at the Park Subdivision.
2. The historic house is listed as Significant on the Historic Sites Inventory.
3. The house was originally constructed c. 1904, per the Historic Site Inventory (HSI) Form, as a cross-wing. Following its initial construction, several additions were

constructed on the rear elevation of the original cross-wing form. Material alterations, such as the asbestos siding, aluminum windows, and metal porch, were added starting in the 1940s.

4. On December 8, 2015, the Planning Department received a Historic District Design Review (HDDR) application for the renovation of the historic house at 1450 Park Avenue; the application was deemed complete on December 17, 2015. The HDDR application is still under review by the Planning Department.
5. The applicant proposes to relocate the existing historic house 8'6" to the west, towards Park Avenue, as part of this renovation in order to construct three (3) new affordable-housing cottages behind the historic house.
6. The proposal to relocate complies with LMC 15-11-13 Relocation and/or Reorientation of a Historic Building or Historic Structure. There are unique conditions that warrant the relocation of the historic house on its site as the context of the building's setting has been so radically altered that its present setting does not appropriately convey its history and the relocation will enhance the ability to interpret the historic character of the site; the integrity and significance of the historic building will not be diminished by relocation and/or reorientation; and all other alternatives to relocation have been reasonably considered prior to determining the relocation of the building.
7. The applicant intends to remove all of the landscaping as part of the relocation of the historic houses at 1450 and 1460 Park Avenue as well as a non-historic retaining wall, wood fence, and chain-link fence. These landscaping additions to the historic site are non-contributory to the historic integrity or the historical significance of the site, and, thus, can be removed
8. Following the initial construction of the cross-wing c. 1904, several additions were made to the original form. These additions are non-contributory as they largely obscure the original historic form and make the developmental history of the site nearly indiscernible. The removal of these additions is required for the rehabilitation of the historic structure; these proposed exterior changes do not destroy the exterior architectural features which are compatible with the character of the historic site; the proposed work mitigates any impact that will occur to the visual character of the neighborhood; and the removal of these non-contributory additions will not impact the historical significance of the structures nor impact their architectural integrity.
9. The applicant is proposing to improve the structural integrity of the existing roof form by removing the existing asphalt shingles, wood shingles, and roof sheathing. New plywood and OSB sheathing will be applied and the existing roof rafters will be sistered with new members to improve its structural strength. The proposed scope of work is necessary for the rehabilitation of the historic building; the proposed exterior changes will not damage or destroy the exterior architectural features of the subject property; and the proposed scope of work mitigates any impacts that will occur to the architectural integrity of the building and will improve the structural stability of the historic building.
10. The applicant will temporarily dismantle the original chimney, located on the north-south stem of the c.1904 cross-wing for restoration purposes. This is a necessary as part of the rehabilitation of the building and the proposed scope of work for this chimney's restoration will mitigate any impacts that will occur to the architectural integrity of the object.

11. The applicant will remove the two (2) remaining chimneys on the rear additions that are not visible from the primary public right-of-way (Park Avenue). These later additions to the Historic Building are non-contributory to the historic integrity or historical significance of the structure or site and may be removed.  
On the exterior, the original wood lap siding has been covered by Masonite and asbestos shingle siding. This material will be removed in order to restore the original wood lap siding. The Masonite and asbestos shingle siding does not contribute to the historic integrity or the historical significance of the structure and may be removed.
12. The applicant proposes to replace the existing, limited stone rubble and concrete foundation with a new code-compliant concrete foundation. The work is necessary in order to rehabilitate the building, improve its structural stability, and preserve the floor structure into the future. The proposed exterior change will not damage the exterior architectural features of the subject property which are compatible with the character of the historic site as the new foundation will have limited visibility from the primary public right-of-way.
13. The historic wood porch was likely replaced by the existing porch—consisting of the metal awning, metal posts, and concrete slab—in the 1940s or 1950s. The existing porch is non-contributory to the historic integrity or historical significance of the structure or site and may be removed.
14. The applicant proposes to remove the existing kitchen door, as part of the larger demolition of the non-contributory rear additions. This is acceptable as any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site may be removed.
15. The applicant will remove the existing 1970s-1980s aluminum windows on the front (west) façade in order to restore the original window openings and window configuration. The existing windows are non-contributory and may be removed.
16. The wood windows on the north and south elevations of the historic c.1904 structure are not original to the building as they are horizontal-oriented rather than vertically-oriented. They likely date from the 1920s or 1930s and are not contributory to the original building form. The removal of these windows shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and these windows may be removed.

### **Conclusions of Law:**

1. The proposal complies with the Land Management Code requirements pursuant to the HR-M District and regarding historic structure deconstruction and reconstruction.
2. The proposal meets the criteria for relocation pursuant to LMC 15-11-13. **Relocation and/or Reorientation of a Historic Building or Historic Structure**

### **Conditions of Approval:**

1. Final building plans and construction details shall reflect substantial compliance with the HDDR proposal stamped in on November 23, 2015. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for providing an updated landscape plan as part of the building permit application. Any significant vegetation that needs to be removed

shall be replaced in-kind or a multiple of trees of the same caliper shall be provided to match the diameter of the existing tree. The updated landscape plan shall incorporate fruit trees and lilac bushes, consistent with the current vegetation that exists on site. If possible, the applicant will preserve the lilac bushes.

3. Where the historic exterior materials cannot be repaired, they will be replaced with materials that match the original in all respects: scale, dimension, texture, profile, material and finish. Prior to replacement, the applicant shall demonstrate to the Historic Preservation Planner that the materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.
4. The applicant shall maintain the historic front door opening, front door, and door surround in its existing location on the front (west) façade.

**Exhibits:**

Exhibit A – HPB Checklist for Material Deconstruction

Exhibit B – Historic Sites Inventory Form

Exhibit C – Physical Conditions Report

Exhibit D – Survey

Exhibit E – Proposed Site Plan

Exhibit F – Public Comment regarding the relocation of the historic house

## Exhibit A

### **Historic Preservation Board Material Deconstruction Review Checklist:**

1. Routine Maintenance (including repair or replacement where there is no change in the design, materials, or general appearance of the elements of the structure or grounds) does not require Historic Preservation Board Review (HPBR).
2. The material deconstruction is required for the renovation, restoration, or rehabilitation of the building, structure, or object.
3. Proposed exterior changes shall not damage or destroy the exterior architectural features of the subject property which are compatible with the character of the historic site and are not included in the proposed scope of work.
4. The proposed scope of work mitigates any impacts that will occur to the visual character of the neighborhood where material deconstruction is proposed to occur; any impacts that will occur to the historical significance of the buildings, structures, or objects located on the property; any impact that will occur to the architectural integrity of the buildings, structures, or objects located on the property; and any impact that will compromise the structural stability of the historic building.
5. The proposed scope of work mitigates to the greatest extent practical any impact to the historical importance of other structures located on the property and on adjacent parcels.
6. Any addition to a Historic Building, Site, or Structure has been found to be non-contributory to the historic integrity or historical significance of the structure or site.

# HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

## 1 IDENTIFICATION

Name of Property:

Address: 1450 Park Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: RPS-2

Current Owner Name: Lindy Point Properties, LLC

Parent Parcel(s): SA-240 & SA-241

Current Owner Address: c/o VSN Properties, 1567 SW Chandler, Ste 101, Bend, OR 97702

Legal Description (include acreage): 0.21 acres; LOT 2 THE RETREAT AT THE PARK SUBDIVISION.

## 2 STATUS/USE

### Property Category

- building(s), main  
 building(s), attached  
 building(s), detached  
 building(s), public  
 building(s), accessory  
 structure(s)

### Evaluation\*

- Landmark Site  
 Significant Site  
 Not Historic

### Reconstruction

- Date:  
 Permit #:  
 Full  Partial

### Use

- Original Use: Residential  
 Current Use: Residential

- \*National Register of Historic Places:  ineligible  eligible  
 listed (date: )

## 3 DOCUMENTATION

### Photos: Dates

- tax photo:  
 prints:  
 historic: c.

### Drawings and Plans

- measured floor plans  
 site sketch map  
 Historic American Bldg. Survey  
 original plans:  
 other:

### Research Sources (check all sources consulted, whether useful or not)

- abstract of title  
 tax card  
 original building permit  
 sewer permit  
 Sanborn Maps  
 obituary index  
 city directories/gazetteers  
 census records  
 biographical encyclopedias  
 newspapers  
 city/county histories  
 personal interviews  
 Utah Hist. Research Center  
 USHS Preservation Files  
 USHS Architects File  
 LDS Family History Library  
 Park City Hist. Soc/Museum  
 university library(ies):  
 other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah:

University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

## 4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" Cottage or "T" Cottage

No. Stories: 1

Additions:  none  minor  major (describe below) Alterations:  none  minor  major (describe below)

Number of associated outbuildings and/or structures:  accessory building(s), # \_\_\_\_\_;  structure(s), # \_\_\_\_\_.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November, 08



- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

**Materials** (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Not visible and therefore its material cannot be verified

Walls: Aluminum siding, with porch roofing and supports of aluminum material as well

Roof: Asphalt shingle

Windows/Doors: Aluminum sliding windows, and aluminum screen door

Essential Historical Form:  Retains  Does Not Retain, due to:

Location:  Original Location  Moved (date \_\_\_\_\_) Original Location:

**Design** (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Form retains its essential character to the earliest tax photo, with the most noticeable changes being in the evolution of materials used. Decorative shingle patterns, porch details, drop-novelty wood siding, and window awning evident in the earliest tax photo have all been altered in material or physical presence by the "unknown date" photo (likely within the mid-20th century) and changes are still evident in later photographs provided. Sheathing and replacement of structure materials by aluminum and metal applications have compromised the character of the original, but still leave hints of essential form. Small side addition to the rear and right of front elevation view is first evident in the "date unknown" photo.

**Setting** (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Small building lot on fairly flat terrain, with the structure recessed at least 20-30 feet from the city roadway. Mature trees and shrubs encase the landscape. Most recent photo (2006) shows an unkempt yard with weeds and overgrown grass, and the beginnings of disrepair to the structure, mainly seen in the loose shingles and chimney cap bricks, and chipped aluminum siding. Lillac bush to the left of the front elevation view is also visible in earliest tax photo.

**Workmanship** (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Thought the distinctive elements that define the typical Park City mining era home- simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes- have been altered, the building retains its essential historical form.

**Feeling** (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

**Association** (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

## 5 SIGNIFICANCE

Architect:  Not Known  Known: (source: )

Date of Construction: c. 1904<sup>1</sup>

Builder:  Not Known  Known: (source: )

<sup>1</sup> Summit County Tax Assessor.

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.<sup>2</sup>

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

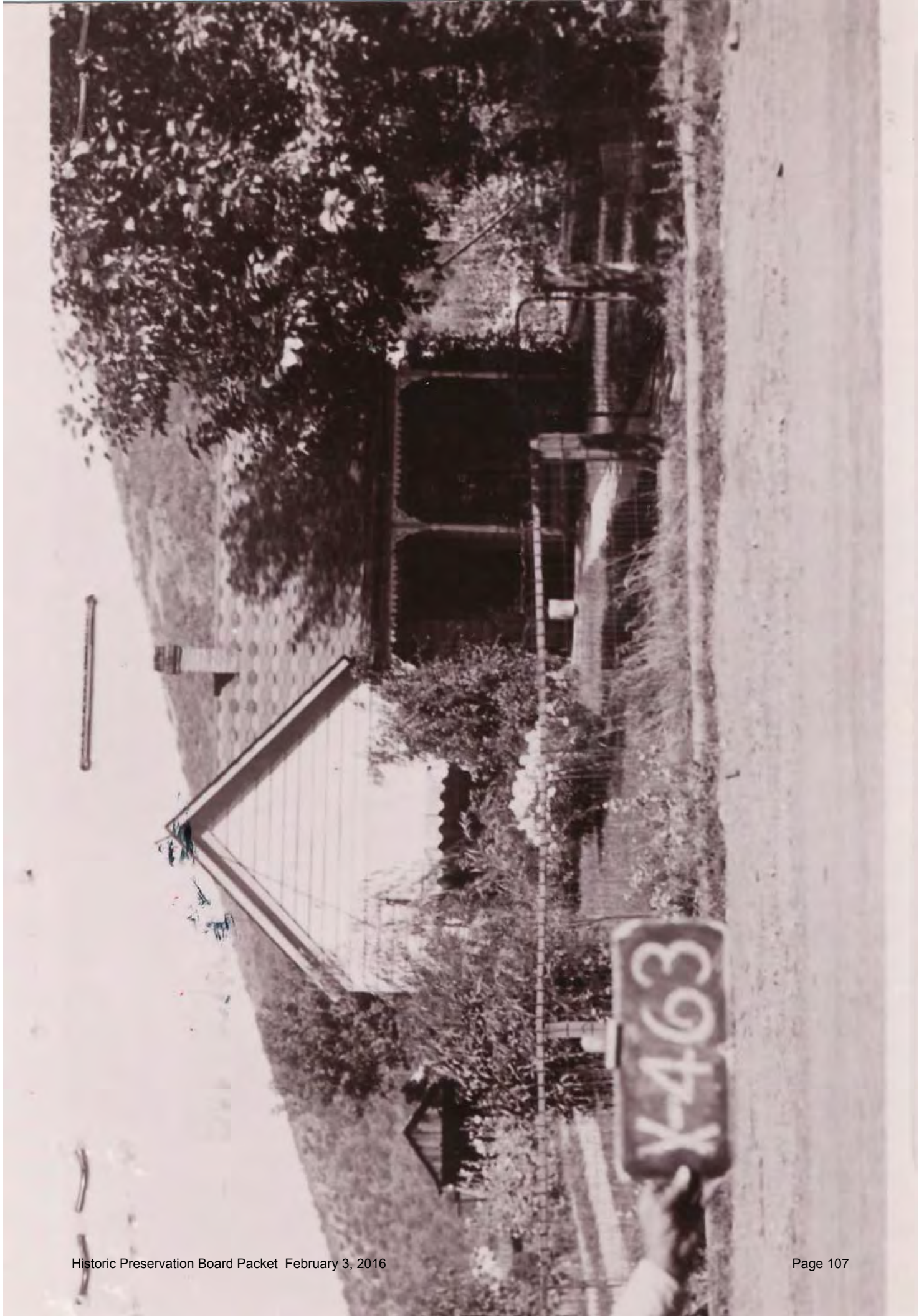
3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

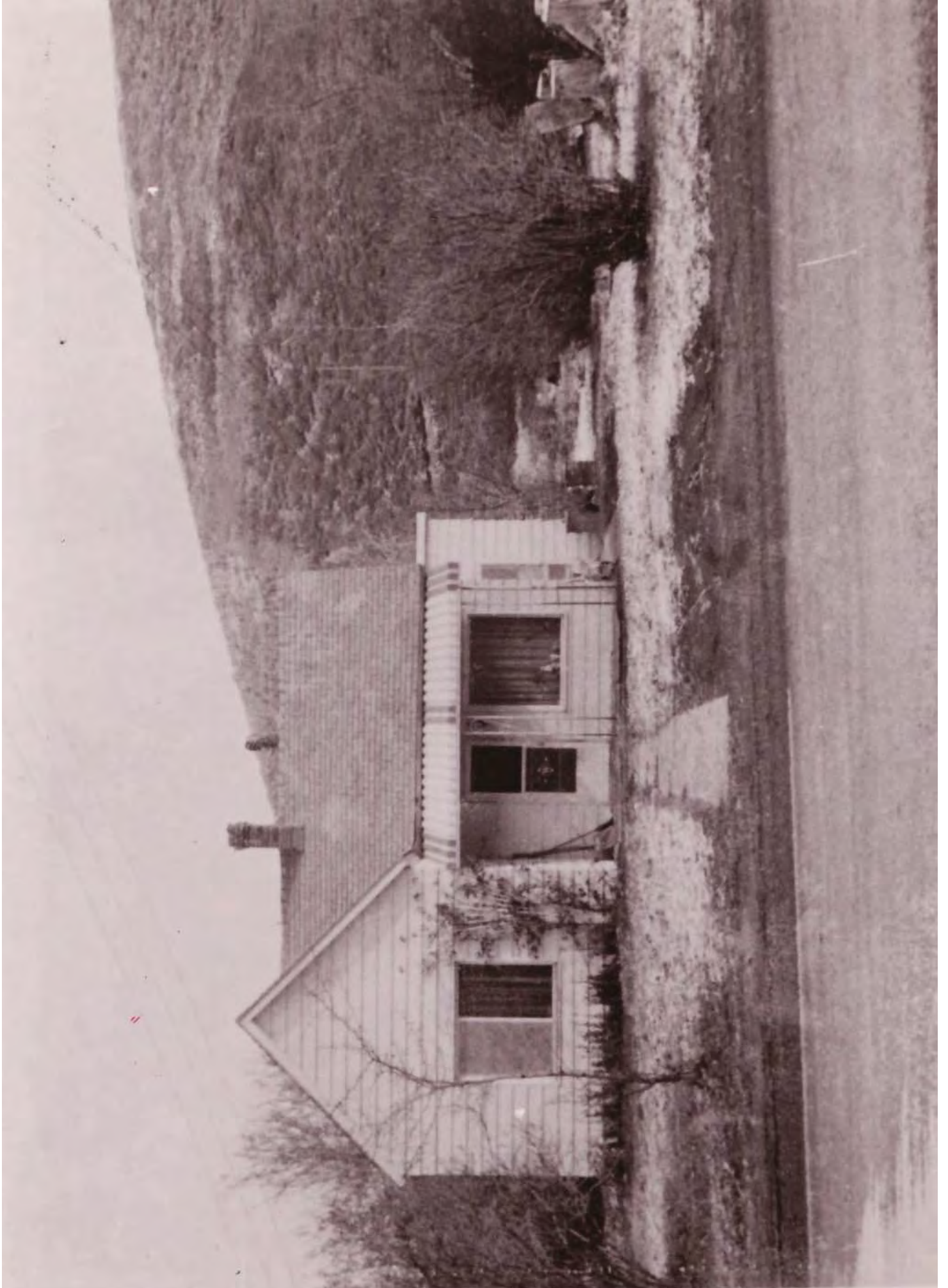
## 6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

- Photo No. 1:** West elevation (primary façade). Camera facing east, 2006.
- Photo No. 2:** West elevation (primary façade). Camera facing east, 1995.
- Photo No. 3:** West elevation (primary façade). Camera facing east, date unknown.
- Photo No. 4:** West elevation (primary façade). Camera facing east, tax photo.

<sup>2</sup> From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.











# PHYSICAL CONDITIONS REPORT

For Use with the *Historic District Design Review (HDDR)* Application

For Official Use Only

PLANNER: \_\_\_\_\_ APPLICATION #: \_\_\_\_\_  
DATE RECEIVED: \_\_\_\_\_

### PROJECT INFORMATION

NAME: 1450-1460 Park Avenue  
ADDRESS: 1450 Park Avenue  
Park City, Utah 84060  
TAX ID: RPS-2 OR  
SUBDIVISION: \_\_\_\_\_ OR  
SURVEY: \_\_\_\_\_ LOT #: \_\_\_\_\_ BLOCK #: \_\_\_\_\_  
HISTORIC DESIGNATION:  LANDMARK  SIGNIFICANT  NOT HISTORIC

### APPLICANT INFORMATION

NAME: Rhoda Stauffer  
MAILING ADDRESS: PO Box 1480  
445 Marsac avenue  
Park City, UT 84060  
PHONE #: (435 ) 615 - 5152 FAX #: (435 ) 658 - 9019  
EMAIL: rhoda.stauffer@parkcity.org

### APPLICANT'S REPRESENTATIVE INFORMATION

NAME: same  
PHONE #: ( ) -  
EMAIL: \_\_\_\_\_

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org) Updated 10/2014.



**ACKNOWLEDGMENT OF RESPONSIBILITY**

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: \_\_\_\_\_

Name of Applicant: Park City Municipal Corporation

Mailing Address: PO Box 1480

445 Marsac Avenue

Park City, UT

Phone #: (435 ) 615 - 5152 Fax #: (435 ) 658 - 9019

Email: rhoda.stauffer@parkcity.org

Type of Application: Historic District Design Review

**AFFIRMATION OF SUFFICIENT INTEREST**

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: Same

Mailing Address: \_\_\_\_\_

\_\_\_\_\_

Street Address/ Legal \_\_\_\_\_

Description of Subject Property: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5000 or visit us online at [www.parkcity.org](http://www.parkcity.org) Updated 10/2014





# PHYSICAL CONDITIONS REPORT

**Detailed Description of Existing Conditions.** Use this page to describe all existing conditions. Number items consecutively to describe all conditions, including building exterior, additions, site work, landscaping, and new construction. Provide supplemental pages of descriptions as necessary for those items not specifically outlined below.

## 1. Site Design

This section should address landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use as many boxes as necessary to describe the physical features of the site. Supplemental pages should be used to describe additional elements and features.

Element/Feature: \_\_\_\_\_

This involves:  An original part of the building  
 A later addition

Estimated date of construction: \_\_\_\_\_

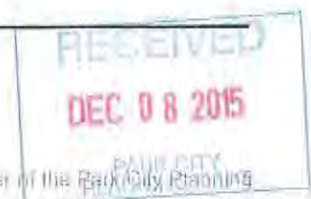
Describe existing feature:

This is to update a Physical Conditions Report completed in 2010 on this property. It is attached. We are updating it with a structural report submitted by Joe Crilly of CTS Engineering - a licensed structural engineer.

Please refer to the attached report.

Describe any deficiencies: Existing Condition:  Excellent  Good  Fair  Poor

Photo Numbers: \_\_\_\_\_ Illustration Numbers: \_\_\_\_\_



If you have questions regarding the requirements for this application or process please contact a member of the Park City Planning Staff at (435) 619-5060 or visit us online at [www.parkcity.org](http://www.parkcity.org). Updated 10/2014



4652 South 2300 West, Suite 105, Holladay, UT 84117  
 Phone 801-274-2831 Fax 801-274-2832  
 joe@ctsengineering.net  
 www.ctsengineering.net

**E N G I N E E R I N G** COMMITMENT TO ENGINEERING EXCELLENCE AND SERVICE

**Project Name:** Park City Historic Home **Location:** 1460 and 1450 Park Ave. Park City, Utah  
**Report Date:** October 2, 2015

Site Visit Report

Date September 29, 2015  
 Weather Sunny cool

Time of arrival: 1 pm  
 Time of departure: 4:30 pm

Present at meeting: Name                      Company  
    Joe Crilly                             CTS Engineering

**Observations:**

This is a preliminary report on the structural conditions of the two homes located at 1450 and 1460 Park Avenue. The investigation involved entering the attic area where possible, and removing "wall board" on the interior to determine the wall structure.

It is believed the structures were constructed in the 1800's with additions to the east end of each structure since that time. The original structures foot print is outlined in orange highlighter on the attached drawings. Attached is a description of the structural systems.

The roof structure on Building 1460 has been severely damage by a fire. This occurred sometime prior to the lower slope roof

Distributed to:	Name	&	Company
	Steve Brown		
	Rhoda Stauffer		Park City
	Hans Cerny		Caddis Architecture
	Matthew Schexnyder		Caddis Architecture

**Summary of findings and recommendations:**

The structures at 1460 and 1450 were constructed over several time periods. Based on the uniformity, layout roof framing and fire damage which didn't damage the newer framing, the original structures were L shaped with two gable roofs lines intersecting on the west side of the structures.

Due to the fire damage in 1460, and the lack of sheathing, below capacity (snow loads) roof system, appurtenances (masonry chimneys, lack of any functional structural wall system, and floor framing bearing on pieces of wood and stone, ) I consider both these structures to meet the dangerous criteria of the IBC chapter. The fire damaged in 1460 definitely raises the structural condition of the roof in that structure to dangerous, the masonry chimneys and roof framing in 1450 raises that structure to be considered dangerous.

The safest way to preserve the historical portions of the buildings is to disassemble the structure and preserve the clapboard wall siding to rebuild identical structures, that meet the exact dimensions of these two structures. Disassembly should be completed as soon as possible to avoid another season of snow loads on the buildings, that are now unheated and therefore experiencing larger snow loads.

Pictures from the site visit are on the following pages:

*Per update submitted on 1.11.16 panelization is no longer recommended.*

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ENGINEERING COMMITMENT TO ENGINEERING EXCELLENCE AND SERVICE

4652 South 2300 West, Suite 105, Holladay, UT 84117  
Phone 801-274-2831 Fax 801-274-2832  
joe@ctsengineering.net  
www.ctsengineering.net

Project Name: Park City Historic Home Location: 1460 and 1450 Park Ave. Park City, Utah  
Report Date: October 2, 2015

View Of: Overall fire damage looking south in the attic.

Comments and Required Action:

Fire damaged framing will have to be removed and replaced.

(1460 Park only)



View Of: Close up of fire damage

(1460 Park)

Comments and Required Action:

Fire damaged framing will have to be removed and replaced



View Of: Close up of fire damage

(1460 Park)

Comments and Required Action:

Fire damaged framing will have to be removed and replaced



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Report Date: October 2, 2015

**View Of :**

Framing over initial shingles.

Old shingles will need to be removed. New sheathing required beneath shingles.

(1450 Park)



**View Of:** Building 1450 Attic

**Observation :**

2x4 framing @ 24" + o.c.



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Report Date: October 2, 2015

View Of: Building 1460 South elevation

Note low slope roof facing east, this area was over-framed after the fire which caused the damage indicated in the attic, based on the over-framing not being charred.



Structural Description:

Roof structure:

Chimneys there are multiple brick chimneys extending through the roof that pose a serious collapse hazard since they are supported on a wood frame in the attic. There is no seismic bracing or resistance in this construction and the chimneys would collapse on to the wood roof in a seismic event. the chimneys are not functioning and the must be removed.

The roof sheathing is 1 x 6 sheathing with large gaps between boards. In typical wood construction the wood roof sheathing is used as a diaphragm to transfer lateral wind and seismic loads across the structure. This type of construction has no diaphragm capacity and would have to be overlaid with new 1/2" or thicker sheathing.

Roof framing: The roof framing is with nominal 2x4s either to ridge board, butted to the opposite member, or in some cases not even reaching the ridge and a scabbed on 2x4 extends up to the ridge board. Despite having survived all these years the roof framing is grossly undersized and the entire system would have to be supplemented with new members parallel to the existing ones. The roof sags in certain areas and so framing would have to be added after the deflections were removed. A ridge beam and posts would have to be added. The post will have to extend down to the foundation or an intermediate beam.

Walls:

Several exterior walls are framed with 1 x 8 flat. All exterior walls would have to be rebuild and connected properly to the new roof structure. Since the new roof framing will be deeper than the existing 2x4 framing LVLs may have to be specified to be able notch the members to meet the existing wall plate height. This connection will require additional investigation. Required new wall studs would be 2x6 @ 16" o.c or 24" o.c.

Floor Framing:

The existing floor framing is 2x4 nominal framing at 24 or 16" o.c, supported every so often on a piece of wood, (the sizes vary) down to a rock or stone. Like the roof framing, the floor framing system would have to be completely rebuilt with parallel framing members, and a beam line.

Foundation system:

There is no foundation.

Chimneys only exist on 1450 Park, not on 1460 Park Avenue. Character-defining feature. Applicant committed to preserving per 1.11.16

exterior walls not required to be panelized - new structural system to be constructed on interior.





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 Fax: 801-274-2832  
 4625 S. 2300 E., STE 105  
 HOLLADAY, UT 84117  
 jee@ctsengineering.net

OWNER INFORMATION  
**PARK CITY MUNICIPAL CORP**  
 P.O. BOX 1480  
 445 MARSAC AVE  
 PARK CITY, UTAH  
 84060

PROJECT  
**FORMER MINER'S RESIDENCE**  
 1450 & 1460 PARK AVE  
 PARK CITY, UTAH  
 84060

SHEET NAME:

REVISIONS

#	DATE	DESCRIPTION

ISSUE DATA  
 PROJECT NUMBER: 15073  
 ISSUE DATE: 10/02/2015  
 DRAWN BY: K. FARRELL  
 CHECKED BY: J. CRILLY  
 SHEET NUMBER:

**S101**



**1** SCALE: 1/8" = 1'-0"



**2** SCALE: 1/8" = 1'-0"

FIRE DAMAGE ABOVE THIS AREA

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ENGINEERING COMMITMENT TO ENGINEERING EXCELLENCE AND SERVICE

October 9, 2015

Sheet 1 of 1

Rhoda Stauffer  
Housing Specialist  
Park City Building Department,  
Park City, Utah

Ref: 1460 and 1450 Park Ave  
Park City, Utah  
Structural Review

Dear Rhoda;

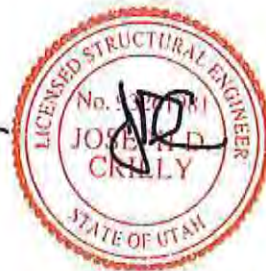
Please find the attached site report. I have found both the buildings to be considered dangerous. This is based on three elements meeting the definition of dangerous in the 2012 IBC chapter 1.

1. The chimneys are appurtenances that pose a significant risk of collapse, detachment or dislodgement under service loads, wind or seismic.
2. ~~The fire damage has caused half the roof on 1460 to pose a significant danger of collapse due to loss of member size.~~
3. The roofs as constructed and analyzed with 60% of design snow loads exceed all allowable loads elements are engineered to carry.

If there are any additional questions please do not hesitate to call or contact me at the address above.

Sincerely,

Joseph D. Crilly, PE, SE  
President,  
CTS Engineering, P.C.



10/10/2015



PARK CITY MUNICIPAL CORPORATION  
PLANNING DEPARTMENT  
445 MARSAC AVE ° PO BOX 1480  
PARK CITY, UT 84060  
(435) 615-5060 ° (435) 615-4906 FAX



*(c. 2010 Phys. Conditions Report (Prepared by Sandy Hatch))*

**PHYSICAL CONDITION REPORT**  
For use with the *Historic District/Site Design Review Application*

*For Office Use Only*

PROJECT PLANNER \_\_\_\_\_ APPLICATION # \_\_\_\_\_  
DATE RECEIVED \_\_\_\_\_

**PROJECT INFORMATION**

HISTORIC SITE?  NO  YES:  LANDMARK  SIGNIFICANT DISTRICT: \_\_\_\_\_  
NAME: Doe Residence  
ADDRESS: 1450 Park Ave.  
Park City, Utah 84040  
TAX ID #: RPS-2 OR  
SUBDIVISION: \_\_\_\_\_ OR  
SURVEY: \_\_\_\_\_ LOT #: \_\_\_\_\_ BLOCK #: \_\_\_\_\_

**CONTACT INFORMATION**

NAME: Jack and Jane Doe  
PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

**Instructions for Completing the PHYSICAL CONDITION REPORT**

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

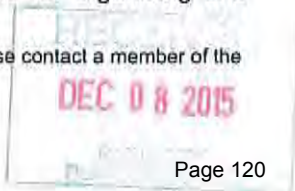
**WRITTEN DESCRIPTION**

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). If your descriptions require additional space, please attach a continuation sheet OR you may create a separate document by restating each numbered item followed by your full response. Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

**PHOTOGRAPHS**

Digital photographs must be included with this report. Specifications and a template for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





## SITE FEATURES

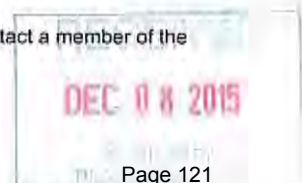
**A.1. TOPOGRAPHY** - Describe the topography of the site, including any unusual conditions. Describe the existing feature(s) and condition:

The topography is basically flat. Changes in topography run north to south. On the north side the topography begins at 6872. There is a one foot, or 6873, change that runs towards the front door on the west elevation and then appears midpoint on the northeast gable addition. The finished floor elevation is designated to be 6873.4. There is a circular area on the southwest corner of the root cellar that is 6874. This increase in elevation appears to be due to an accumulation of debris and fill. There is a 5" elevation change in between the root cellar and the northeast gable on the east elevation.

**A.2. LANDSCAPING** - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates. Describe existing feature(s) and condition:

The majority of the landscaping is not historic. The trees and scrubs all appear to be volunteers. There are some nice hollyhocks under the front, west elevation window however it is very unlikely that they originally were part of the landscape. The tax photographs show a couple of lilac bushes on either side of the front façade close to the street(1) (2). The two bushes are still part of the landscape.(3) The front porch is concrete and is elevated 3" above grade. This concrete slab is not original to the house and was probably poured when the metal awning was added in the late 40's early 50's. The slab is cracked and deteriorating. There is no evidence what the original material might have been.

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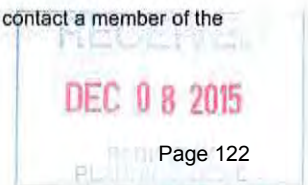


Park City Historic Photo 1



Park City Historic Photo 2

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



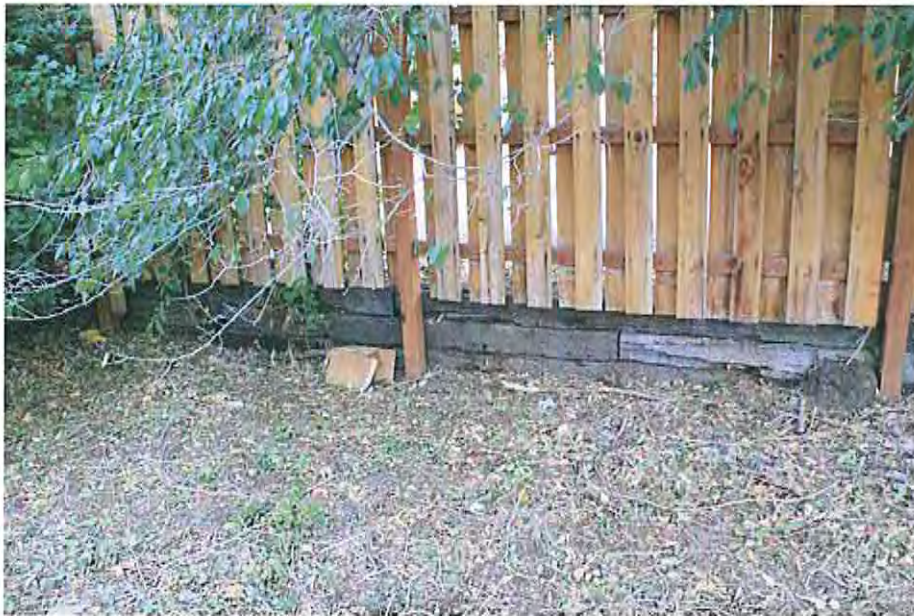


3.Lilac bushes

**A.3. RETAINING WALL(S)** - Describe any functional or decorative walls on the site, including approximate dates of construction.

Describe the existing feature(s) and condition:

New railroad tie retaining wall on the south property line in the west front yard.(1)



1.Railroad tie retaining wall

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



---

**A.4. EXTERIOR STEPS** - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

Not applicable

---

**A.5. FENCE(S)** - Describe any fences on the property including location, dimensions, materials, and approximate dates of construction.

Describe the existing feature(s) and condition:

New 6'-0" wood fence along the south property line.(1)

Chain link fence in the rear northeast corner of the lot.(2)



1.South property line wood fence



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



2. Chain link fence rear northeast

**A.6. OTHER SITE FEATURES (SPECIFY):** \_\_\_\_\_

Describe the existing feature(s) and condition:

There are no unique site features. Excavation in the rear yard may unearth evidence of a variety of outbuildings. There is an old utility pole in the middle of a volunteer tree just east of the root cellar. (1)(2)



1. Utility pole 1



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



2.Utility pole 2

## MAIN BUILDING

**B.1. ROOF** - Describe the existing roof materials, roof framing, pitch and elements such as skylights, vents or chimneys along with the approximate dates of the features.

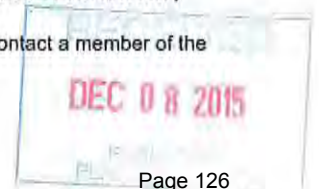
Describe the existing feature(s) and condition:

The roof is the feature that most clearly describes the progression of additions on the house.

The original (1904) east/west gable and cross north/south gable roofs both with a 12/12 pitch is in the best shape. Materials are determined by looking at the ends. Wood shingles were most likely the original roofing material.(1) The roof was originally sheathed with 1X6 wood. (2) Some metal panels have been added to the eaves particularly noted on the north elevation. Finally, there is a 3-tab asphalt shingle roof (1954). At the ridge on the north side there is a bump and some waviness where the cross gables intersect. This indicates that there probably was no new sheathing applied to the roof when the 3-tab asphalt was installed. The roof of the metal porch awning comes in under the original north/south gable. It can be assumed that the original porch intersected in a similar way.(3) There is one chimney in this original section at the top of this area at the intersection of the two gables. The chimney is varied/blond brick and steps out midpoint. The brick is loose particularly near the top. There is no evidence of this chimney on the interior. After further investigation it was discovered that this chimney stops in the attic and is supported on a framed platform. Without further investigation it is unclear where and how this chimney was used. The chimney is poorly flashed at the roof level but of all the chimneys it is flashed the best.(4)

The first addition appears to be the northeast gabled addition. Interior investigation and the partial exposure of the east/west gable on the east side show the original exterior wall.(5) The roof on this addition is 10/12; slightly less than the original roofs. The similar roofing materials indicate that this was an early addition perhaps 20's or 30's. Most of this roof is in fair condition however,

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① the section of overbuilt roofing is patchy and bad. There is a lot of slapped on tar and generally unprofessional leak control.(6)

Part of the kitchen addition could have occurred around the same time as the northeast gable. The entry area may be part of the original house. The chimney located between the dining room and the kitchen is similar to the chimney in the center of the original house. Depending on excavation some part of the kitchen may have been part of the original house. The kitchen addition appears in both tax photos. The roof pitch is 4/12. The roofing from the intersection of the kitchen and the original roofs is really deteriorated with excessive patching and decay from water damage. All the interior spaces from the east wall of the kitchen, the mechanical space, the bathroom, the covered stairs to the root cellar, and the root cellar have significant moisture damage and mold. The soffits and fascias in these areas are rotted and moldy.(7) There is a variety of roofing materials, metal panels and tar piled on in an attempt to stop leaking.(8)

The only roof penetrations on this house are the three chimneys. The one vent pipe seen in the above photo is from the root cellar. The two chimneys: one between the dining room and the kitchen and the other between the kitchen and the mechanical space are in disrepair. There is missing mortar, structural issues, and sloppy, inadequate flashing.(9) Both of the rear chimneys extend through the interior and sit on a 2X4 platform at the floor level.



1.Original wood shingle

① Jan. 11, 2015 Report from structural engineer found that roof needs to be overbuilt due to structural instability.

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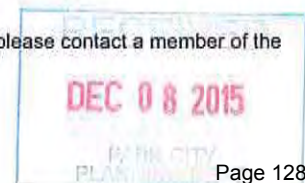


2.Soffit detail northwest corner



3.Original south gable roof and porch roof intersection

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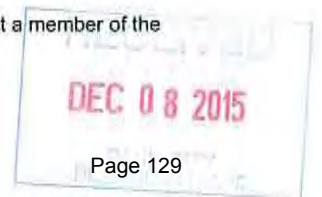


4. Original roof valley and chimney



5. East elevation original gable

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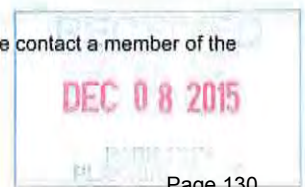


6. East elevation overbuild at bathroom



7. Fascia at southeast corner

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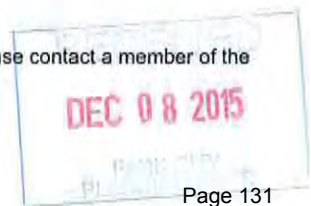


8. East elevation roof condition and chimneys



9. Chimneys

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



**B.2. EXTERIOR WALL - PRIMARY FAÇADE** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The primary façade, front façade, faces to the west. This is the documented façade in the historic tax photos. The house built in 1904 was comprised of the two cross gable structures and a shed porch with decorative columns. All these elements are present on this primary façade although the original porch has been replaced with a metal awning and metal columns.(1)(2) The west facing gable is 13 feet wide and 17 feet high at the ridge. The walls are 9'-7" high. There is one centered aluminum slider window, 5'-0"W X 4'-0" H. (windows will be dealt with separately). This gable projects 4'-11" further west than the cross gable.(3) The porch occupies the space created by this projection. The cross gable which faces south is 12'-10" approx. across facing west; is also 17'-0" high at the ridge and the walls are 9'-7" high. This face includes a beautiful 32"W X 6'-9"H front door (doors will be dealt with separately) and a 4'-4"W X 4'-6"H wood frame picture window.(4) There is a 4'-5" projection 13'-0" east of the southeast corner of the porch. There is an entry door into the kitchen. The wall is 9'-7" high. This projection appears in both historic tax photos and it is possible this is part of the original house. Further demolition would need to be done to determine the date of construction.(5) Modifications have occurred over time 30's, 40's, 50's, and 60's. The wall construction varies throughout the house but the exterior materials in this original section are pretty consistent. The original wood 1X7 lap siding is under a layer of ¾" masonite and ¼" X 73/4" asbestos shingle. In the excavation on the south corner of the west gable does not show any building paper. The condition of the original wood siding looks precarious at this point but appears better in other areas. A complete demolition of the asbestos shingle (hazardous material) and masonite is the only way to really ascertain the condition of the original wood.(6)



1.Park City historic photo 1



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



2.Park City historic photo 2



3.Original west gable

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





4. West elevation



5. West kitchen door

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





6.Siding detail

**B.3. EXTERIOR WALL - SECONDARY FAÇADE 1** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction. Describe the existing feature(s) and condition:

The original part of the north elevation extends 30'-4" west to east. The wall height is 9'-7" at the northwest corner and 9'-6" at the intersection with the northeast addition. The ridge is 17'-0" high. (1) There are two windows on the façade. Both are 4'-10" off the ground and are 4'-11"W and 2'-8"H (windows dealt with separately). The exterior wall materials the same as on the primary façade.(2) The siding extends to the ground with little or no signs of the stone foundation. Only complete demolition of the asbestos shingle and masonite will expose the nature of the original siding material. The soffit and fascia are in fair condition. The 1X4 trim is incomplete in sections and the paint is peeling.(3) There is a 10'-2" addition on the northeast end of the north elevation. This addition intersects with the original north section of this façade.(4)(5) The wall height is 8'-2" high and the ridge is at approximately 13'-0".(6) The overhang is larger (10") and the roof framing is larger. This is further evidence that is an addition of not part of the original house.

The corner of the root cellar is visible on the north elevation (root cellar described on the east and south elevation).(7)



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



1. North elevation (chimney and roof of project to the south seen)



2. Siding detail northwest corner



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





3.Fascia north elevation



4.Soffit and fascia north elevation intersection original and addition



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5.Soffit and fascia northwest corner



6.Fascia detail northeast corner

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7. Northeast elevation of root cellar

**B.4. EXTERIOR WALL - SECONDARY FAÇADE 2** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The south elevation is difficult to photograph in totality since it is too close to the property line, a fence, and a sizable new residential building. A drawing of this elevation gives a better look at the entire elevation.

The porch and the 4'-11" projection of the main original west gable are on the southwest corner of the south façade. The metal awning sheds from 9'-0" to 7'-0" east to west. The porch awning replaced the original porch in the 1950's or 1960's.(1) The south gable is part of the original house. It is 13'-0" wide and 17'-0" to the ridge. The wall height on the west and east sides of this gable section is 9'-7". There is a 10" overhang and the soffit and fascia are in fair condition. These elements are very simple 1X wood trim. There is quite bit of raw wood.(2) The siding is the same as has been described previously. There is one centered window on this gable end.(3) There are similar windows on the north elevation. (window details will be described separately). The gas meter is on the west corner. The electrical service drop occurs of the east end of the gable. (electrical will be described separately).

At the east end of the south gable there is a 9'-7" high X 4'-5" wide projection which extends further to the south. This forms the west corner of a shed roofed area that extends 16'-0" to the east. The wall height at the west corner is 9'-7" and the wall height at the east end is 5'-4". Interior evidence as well as the location of the chimneys gives some evidence that the first 9'-8" of this area might have been original. Complete demolition of the exterior layers of siding and demolition of layers of interior finishes should provide some conclusive evidence regarding the age of this area. There are two windows: one double hung window over the kitchen sink and one long fixed window in the mechanical room.(4) The fascia is a simple 1X4 that gets progressively more

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

damaged west to east. There is significant evidence of the poorly repaired roof in this area. Tar and fiberglass patching material drip over the edges of the fascia.(5)

There is a 4'-7" wide gap between the 5'-2" high east end of the mechanical room and the root cellar. Approximately 9'-8" north of the mechanical room corner is shed connection that internalizes the steps to the root cellar. This area is poorly constructed and the roof is layered with poorly executed patching.(6) While the root cellar is probably original to the house. It was an outbuilding and the connection a much later addition.

The root cellar is 8'-8" wide. It is built of concrete.(7) The side wall height is 1'-6" and ridge is 5'-0" high. There is a small center window. The root cellar will be dealt with later.

All the roofs and there relationship to each other are visible when looking at this south façade. All three chimneys are also visible.



1.Original porch intersection-southwest corner

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



2. South gable end



3. South original gable with electrical drop and gas meter



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



4. South kitchen window elevation

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





5. Southeast corner mechanical room



6. South elevation space between mechanical and root cellar. Covered stairs to root cellar to north.

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7. South elevation root cellar

**B.5. EXTERIOR WALL - REAR FAÇADE** - Describe the exterior facade including materials, dimensions, finishes and approximate dates of construction.

Describe the existing feature(s) and condition:

The rear façade faces east. The heights of the walls on this façade are low so the entire progression of roof systems is visible from the east. The above section on the roofs indicates the extent of the roofing issues visible from this elevation.(1) For the sake of clarity the root cellar and the covered stair to the root cellar will be eliminated from the description of the east elevation and will be dealt with separately.

The southeast corner is 5'-2" high and is the end of a long, 16'-1" shed roof.(2) The wall extends north approx. 13'-0" with the last 5'-0" being intersected by the stair cover. There is a long casement window that has been boarded up 30" north of the southeast corner. The wall is covered with the 73/4" asbestos shingle. The shingle is poorly applied; sagging and gaping across the wall. There doesn't appear to be any building paper. This has significant water damage. Just north of the covered stair is a small gable structure that forms the bathroom.(3) The exterior dimension of this little gable is 5'-5" however the roof extends over the shed roof to the south. The wall height at the south end is 5'-4" and 5'-7" at the north end. The ridge is 8'-0" high. There is an odd shed roof extension from the ridge of the small gable to the larger gable to the north.(4) There is a boarded up casement window centered on this small gabled structure. The toilet is vented on the outside. This will be dealt with in the plumbing section. The asbestos shingle is in better condition and the moisture issues aren't quite as pronounced as they are on the surfaces to the south. There is a northeast gable structure that projects 6'-6 1/2" to the east of the small bathroom gable. There is a window facing south in this projected area. This northeast gable is 11'-0" wide. The wall height varies from 7'-11" on the south corner to 8'-2" on the north corner. The ridge of the approximately 10/12 pitch is 13'-0".(5) There is a slight built up area between the northeast gable and the root cellar which accounts for the wall height variation. There is a 30"X6'-8" door (boarded) on the south corner, a window similar to the windows on the north elevation (boarded), and a boarded vent or window in the upper gable. This structure has more in common with the original house; the pitched roof has seen less moisture damage and the siding materials and fascia are in similar

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condition.(6) This supports the thinking that the northeast gable is an early addition. The east gable end of the original east/west gable structure is visible above this northeast gable structure. It is the best indication of original siding and fascia detail on the whole house.(7) The television antennae is visible on the northeast gable roof.

The progression of additions on the east elevation seems to be (conjecture without demolition of historic materials) northeast gable, small bathroom gable, mechanical addition to the kitchen shed and the covered stair to the root cellar.



1. East elevation



2. East elevation mechanical room shed

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3. East elevation-small bathroom gable



4. East elevation-extension overbuild to northeast gable from small gable



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5. Northeast gable-north façade



6. Siding detail-northwest gable north elevation



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7. East elevation- original east/west gable

**B.6. FOUNDATION** - Describe the existing foundation noting the current materials, evidence of previous upgrades as well as evidence and probable cause of failure or deterioration and approximate dates of construction.

Describe the existing feature(s) and condition:

Excavation and investigation of the foundation occurred on the north exterior side of the house and on the corresponding interior space. Another exterior excavation was done on the south side of the house by the kitchen window. The foundation in both of these locations is stone rubble.(1) There is very little stone exposed on the exterior and it only extends about 12 " below the ground. On the interior the exposed floor joists sit directly on the dirt.(2). There is some concrete foundation wall on the rear east additions.(3) Without excavation the extent of the footing/foundation is unclear. A thorough investigation of the foundations will further substantiate the construction history of the house.



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1.Foundation rubble-north elevation



1.Look at interior excavation north wall



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2. East elevation-concrete

**B.7. PORCH(ES)** - Describe the current porch(es) including materials, finishes, dimensions, evidence of changes and the approximate date of construction.

Describe the existing feature(s) and condition:

The only evidence of a historic porch is the historic tax photo.(1). The existing metal awning porch cover and metal posts have been in place for a long time. It was probably added in the 40's or 50's. The concrete pad 4'-7"X12'-10" was added at the same time. The metal roof is beginning to fail but the posts are in good shape. The 3" concrete is cracked and damaged.(2)(3)(4)

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1. Park City historic photo 1



2. Porch-west elevation



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3. Porch- south elevation



4. Porch roof



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**B.8. DORMER(S) / BAY(S)** - Describe any projecting dormers or bays noting the location, materials, finishes, dimensions and approximate date of construction.

Describe the existing feature(s) and condition:

Not applicable

**B.9. ADDITION(S)** - Describe any additions to the original building in a chronological order of development (if known) and include information on the construction methods, materials, finishes, dimensions, condition and approximate dates of each addition. For Historic Sites, this description should correspond to the measured as-built drawings of the buildings/structures.

Describe the existing feature(s) and condition:

Additions and their material finishes and dimensions have been described in the elevation sections. To summarize: The west/east gable structure and the north/south cross gable form the primary elements of the 1904 original house. The kitchen shed east of the north/south gable may have also been part of the original house. The root cellar was probably original and was a stand alone structure with an exterior stair. The northeast gable on the east elevation was an early addition possibly as early as the 1920's. The small bathroom gable and the shed extensions on the southeast side of the east elevation were probably added later in the 30's, 40's and 50's. This later area has significant water damage.

## B.10. MECHANICAL SYSTEM

Describe the existing mechanical system and condition:

Heating is provided by a forced air furnace. There are no working fireplaces. The furnace is located next to the chimney in the mechanical room. It is vented through this chimney.(1)(2) The water damage and mold is significant in this room. This type of exposure and the general poor construction makes the heating system unusable. There is nothing historic about the heating system. The return air is located just on the other side of the wall from the furnace which is not the optimal location. The duct work is smashed into areas dug out under the floor joist and sits directly on the ground.(3) There are registers located in most of the rooms. The Honeywell thermostat is located on the east wall of the dining room. This heating system did more damage than good to the historic materials in this house.

The plumbing is equally as disfunctional. The water heater is located next to the furnace. In its present condition and location it is also unusable. The gas connection is questionable. There is no evidence of venting. There are washer and dryer hookups on the east wall of the mechanical room. The plywood floor in the mechanical room is moldy,warped and probably sitting on the ground.

The other two plumbed areas are the kitchen sink and the bathroom. The kitchen sink is a combination of galvanized and pvc piping. The kitchen sink is a metal combination sink and cabinet. It is a 1940's or 50's piece and is in fairly nice and repairable condition.(4) The venting for the sink is located just above the ground outside.(5) The water turnoff for the house is located outside in this same area.(6)

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

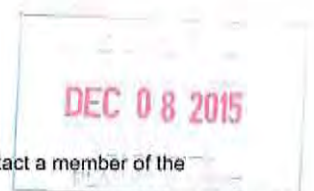
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The bathroom fixtures; a sink, a toilet, and a missing but plumbed tub are all plumbed using galvanized piping. There may also be some lead piping. None of the fixtures are properly vented. The toilet is vented outside through a 4" PVC pipe.(7)

The total lack of venting indicates that plumbing was all added to this house in the 40's, 50's. and never done to meet any building codes.



1.Mechanical room-furnace and water heater



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2. Chimney-furnace vent



3. Duct work in foreground under floor joist



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4. Metal kitchen sink and cabinet unit



5. Sink venting



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



6. Water turnoff



7. Toilet plumbing vent.

---

### B.11. ELECTRICAL SYSTEM

Describe the existing electrical system and condition:

The electrical service is 110 and the panel is located on the exterior of the house next to the electrical drop.(1)(2). There is no power to the house at this time so it was not possible to determine whether individual switches or lights were working. Most of the electrical wiring was covered however, it is assumed that there is a lot of combinations of wiring spanning the lifespan of the house. There are no smoke alarms. The ceilings in the east portions of the house are

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significantly water and mold damaged. None of the wiring in this area should be considered safe. Refer to the as-built reflected ceiling plan for existing locations of lights, switches, and outlets.



1. Electrical service



2. Closeup electrical service

## B.12. STRUCTURAL SYSTEM

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

Describe the existing structural system, including the foundation, floors, walls, and roof structure. Park City will allow very limited and non-structural disassembly of a structure to investigate these conditions.

Describe the existing structural system and condition:

Since there was limited demolition of the existing structure there have been educated assumptions made about the structural framing members.

For most of the structural members on the framing plans are specified as the percentage of the members capacity to meet current building code requirements-2006 International Building Code (2006 IBC). This gives a good indication of the strength of the existing framing materials. This building is a historic building and based on the historic building code if the framing member has more than 50% of capacity of what the 2006 IBC requires than the member is considered okay.

1. The existing building does not have any footings. There is some rubble stone under the exterior walls. There are some concrete foundations on the rear additions. See section on foundations for photos.
2. The existing floor is 2-1/8"X6" Douglas Fir @ 24"o.c. The analysis shows this framing to be at 52.7% capacity and according to the historic code this meets the structural criteria.
3. The exterior wall construction varies in the house. There are areas where there is only 1X12 vertical planks and siding material.(1) Most of the walls are 2X2 Douglas Fir#2@16" o.c. with the 1x12 vertical planks and siding. These walls are not strong enough for wind, seismic, or gravity loads.
4. The existing headers are inadequate.
5. The east/west front gable roof is framed with 2X4's @ 28"o.c. The roof framing for the north/south gable is 2X10's @ 48" o.c. The rest of the house is 2X4 framing @ 24"o.c. Only the roof framing for the north/south gable meets the 50% capacity of the code.
6. The existing roof sheathing is 1X6 wood planks installed perpendicular to the existing joists. It does not have any capacity for shear diaphragm value.

The framing members in the original areas, with high pitched roofs, are dry and intact (from what is visible). The roof framing particularly in the rear shed area is water saturated and failing. A 2X8 beam in the existing kitchen is completely bowed. In time this structure will completely fail.

\* Per. 1.11.16 memo, structural engineer has found that the roof + floor joists do not meet code and will need to be reconstructed.

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1. 1X12 wall construction. 2 1/8"X6" floor joist.

**B.13. HAZARDOUS MATERIALS**

Provide a statement regarding the presence of hazardous materials including, but not limited to, lead-based paint, asbestos and mold. Describe the materials' location on the site, the test methods used to verify the hazardous material, and the extent of the problem:

The exterior siding is an asbestos shingle. Asbestos in this application is pretty encapsulated, there isn't much airborne asbestos. The siding will need to be removed using approved techniques for hazardous materials removal. Testing for asbestos needs to be done before the demolition of the roofing materials. There is such a build up of materials particularly on the east elevations, the rear of the house that it should be assumed that there are some potentially hazardous materials.

All the old painted surfaces in the house probably contain lead paint. This is particularly true of the wood exterior siding. There may also be some lead piping in the house. This piping may not be in use but may be buried under the floor system. Proper care needs to be taken to remove and dispose of these materials.

Mold is a significant issue in this house. The smell of mold is strong. When it rains the roof over the east section of the kitchen, the mechanical room, and the stair to the root cellar leaks. The ceiling and roof joist in this area are water logged. The ceiling is collapsing and black mold is every where. These areas are not salvagable and should be removed. The bathroom ceiling is also collapsing and there is some mold. There is carpeting in every room. It should be removed immediately if any part of this house is going to be saved. This carpeting retains moisture and in the areas mentioned above it is contributing to the type of damage in the floor seen in the ceiling.

*1.11.16 Memo describes need to remove hazardous materials.*

**B.14. OTHER (SPECIFY):** \_\_\_\_\_

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





Describe the existing feature(s) and condition:

## MAIN BUILDING - DETAILS

**C.1. WINDOWS** - Describe the number of windows, dimensions, configuration of panes, types, whether the windows are original to the building (if known) and approximate dates.

Describe the existing feature(s) and condition:



The front, west elevation is an aluminum slider. It is 3'-31/2" off the ground and is 5'-0"W X 4'-0" H. This window replaced historic windows. The frame has also been altered. Interior investigation shows that there was originally two windows and the windows were 6" taller, closer to the ground. The evidence is a sawed off 6" wood piece at the sill. There is an awning over the window in the older tax photograph so it is hard to tell if the windows were intact at that time. The second historic tax photograph shows that the window has been altered although the sill hasn't been raised. The change from double wood window to aluminum slider took place in the 50's or 60's. The present window was added in the 70's or early 80's.

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The west elevation picture window is under the porch adjacent to the front door. There is the same evidence as the front window that this was originally two windows. These would have been original windows. This window is a single fixed pane 2'-21/2" off the porch floor and 4'-41/2"W X 4'-6" H. The paint on the wood frame is peeling. The detailing of the frame matches that of other windows in the house.



Typical wood frame details.



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Typical window frame details.



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South facing window in north/south cross gable. Three fixed panes of glass 4'-4" off the ground 4'-11" W X 2'-3" H. The side windows might have originally opened although there is no present evidence. The small side panes of glass are 11" wide and the divider between the window is 5" wide. The larger center pane of glass is 2'-3" wide.



Interior of window detail.

This style of window appears on the north side of the house and in the northeast gable on the east rear elevation. There are a total of 4 similar windows. These may be original windows. The south window is the only window that isn't boarded up. Without interior light photos are hard to get.



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The kitchen window is a wood, single-pane, double hung window. This window is 3'-8 1/2" off the ground and is 3'-0"W X 2'-8"H. The paint is peeling and there is some raw wood. The window detail is similar to above.



Interior of kitchen window with surrounding cabinets. Note ceiling damage.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.





There is a large fixed single pane window in the mechanical room. It is 3'-3" off the ground and 4'-8" W X 2'-2" H. It has similar jamb and sill detail shown above.



This is a double hinged, single pane window manual casement window on the east side of the mechanical room. It is 2'-10" off the ground and is 4'-6" W (2@ 2'-3" each) X 1'-5"H. There is a similar window in the small east bathroom gable.

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This window 3'-8" off the ground and is 5'-0"W (2@ 2'-5" ea.) X 13"H



Window at stair to root cellar.

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These two small windows are opposite each other in the space between the root cellar stairs and the northeast gable. The window in the root cellar stair area is a fixed window 3'-1" off the ground and 2'-4"W X 13"H. The window in the northeast gable structure faces south and is 3'-10" off the ground and is 1'-8"W X 2'-1"H. This window appears to swing open. All these windows are single pane and have same exterior jamb and sill detail.

**C.2. DOORS-** Describe the number of doors, dimensions, types, and whether they are original to the building and approximate dates.

Describe the existing feature(s) and condition:

There are three doors on the house. The front west entry door. The west kitchen entry door. And a door in the northeast gable on the rear, east elevation.

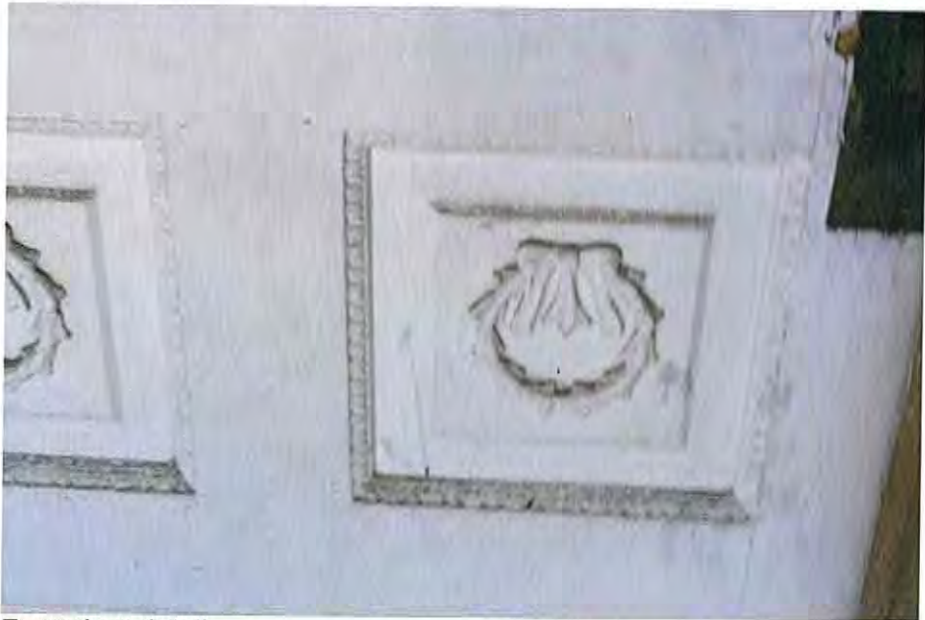
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The west facing, wood front door is one of the nicest features on this house. It is 32"W X 6'-9"H. It has Victorian detailing typically found in the 1904. It has a 34"H single pane glass panel in the upper section of the door. There is an aluminum screen. The door hardware is missing and a new deadbolt locks the door. This door's detail is in good condition and could be restored.



Front door detail.

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Front door detail.



Kitchen door



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The kitchen door is 2'-4"W X 6'-8"H. It is a wood, 3 recessed panel, and 1/3 single pane glass window. It is a door that might have been found in a 1904 house. There is new hardware. The wood is pretty chewed up. This is not a remarkable door.



This wood door is the northeast gable in the east rear elevation. It is 30"W X 6'-8" H. It is an unremarkable door and appears to be a later addition to this elevation. It is sandwiched tightly against the window and the window casing forms the casing of the door.

**C.3. TRIM** - Describe the trim (window and door, eaves and soffits, corner boards, pilasters, etc.) including location, dimensions, and approximate dates.

Describe the existing feature(s) and condition:

The trim on this house is very simple and functional. The structure is expressed and straight forward. Locations, dimensions, and dates are dealt with in other areas of this report.

**C.4. ARCHITECTURAL ORNAMENTATION** - Describe the architectural ornamentation that is applied or integrated into the exterior facades including the location, dimensions, materials and approximate dates.

Describe the existing feature(s) and condition:

No ornamentation other than the front door.

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**C.5. OTHER (SPECIFY):** \_\_\_\_\_

Describe the existing feature(s) and condition:

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**ACCESSORY BUILDING(S)**

**D.1. ACCESSORY BUILDING(S)** - Mark all the boxes below that apply to your property. Describe each accessory building including location on the site (should correspond to the existing site plan), materials, and approximate dates.

Type(s):  Garage     Root Cellar     Shed     Other (specify):

Describe existing accessory building(s) and condition:

The root cellar is located in the rear yard on the east side of the house. The walls are concrete and the roof is 2X4 wood framing. The side walls are 18" off the ground. There is a small boarded window centered on the south elevation. This structure was probably original to the property and the stairs were outside and not internalized. The roofing is a mess and there is water damage. The ceiling height inside is about 6'-6". There is a dirt floor.



South elevation-root cellar

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If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



Root cellar roof in foreground.

**STRUCTURE(S)**

**E.1. STRUCTURE(S)** - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

**Type(s):**  Tram Tower     Animal Enclosure     Other (specify):

Describe existing structure(s) and condition:

Not applicable

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Applicant: \_\_\_\_\_



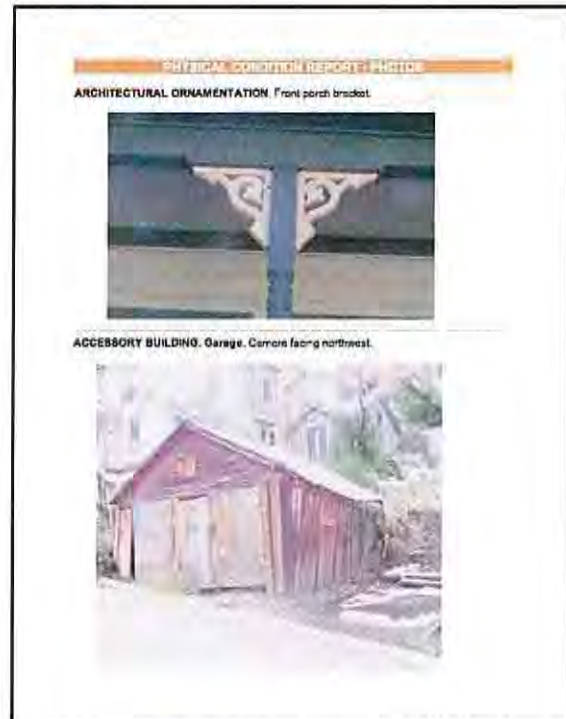
If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

## PHYSICAL CONDITION REPORT - PHOTOS

### CONTACT SHEETS (sample shown at right)

Digital photographs illustrating the descriptions provided in this report must be presented on contact sheets that accommodate two photos with captions per page. A template of the contact sheet is provided on the following page.

- Each feature described in this report must include *at least* one corresponding photograph. More than one photograph per description is encouraged.
- Contact sheets should be printed in color on high-quality paper (photo paper is preferred).
- To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the contact sheets.
  - Microsoft offers a free download of Image Resizer for Windows XP at [www.microsoft.com](http://www.microsoft.com).
  - iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
  - Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at [www.vso-software.fr](http://www.vso-software.fr)
- The photograph contact sheets should be organized in the same order as the written descriptions above; beginning with TOPOGRAPHY, LANDSCAPING, RETAINING WALLS, continuing with each of the features listed and finally ending with STRUCTURES.



### IMAGES ON DISC

Digital copies of photographs used in the contact sheets that accompany this report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

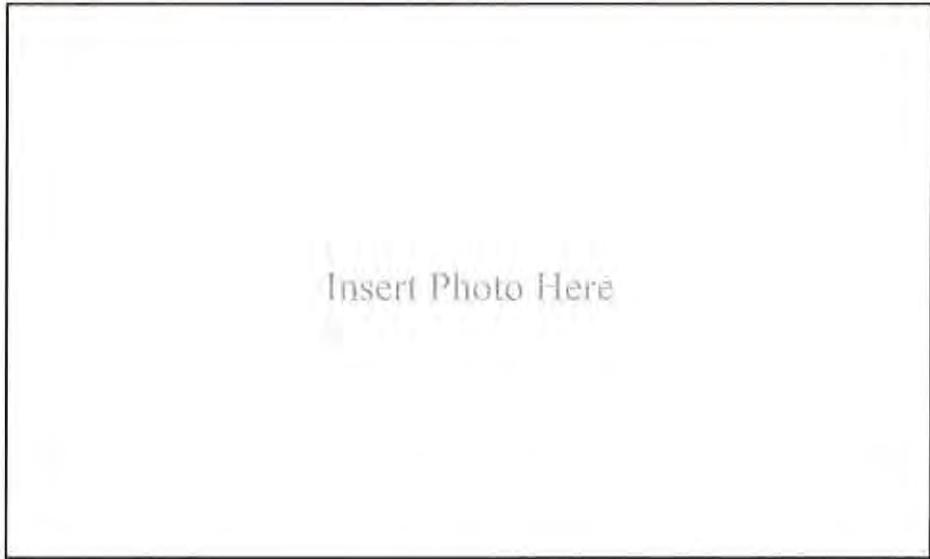
- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: **PCR Form "Property Address" "Date"**.

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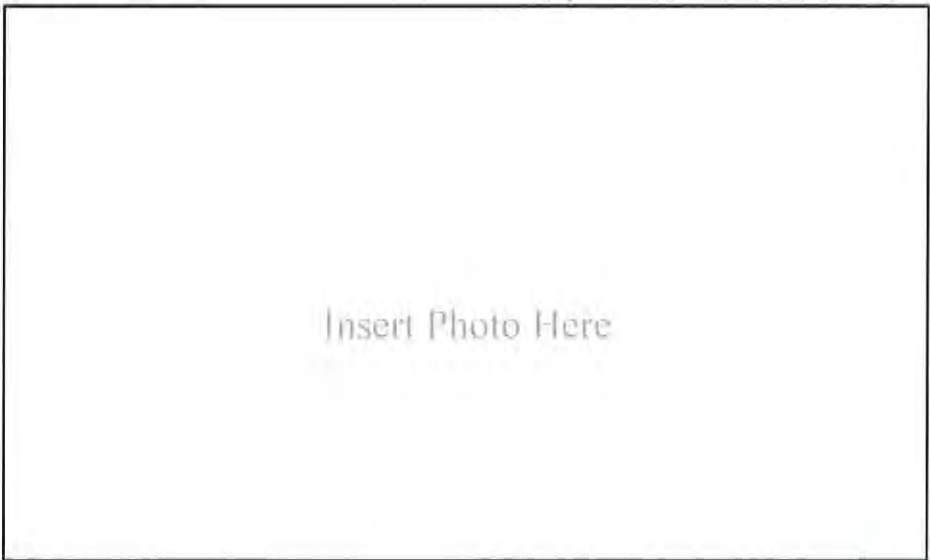
If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

**PHYSICAL CONDITION REPORT - PHOTOS**

<FEATURE NAME>

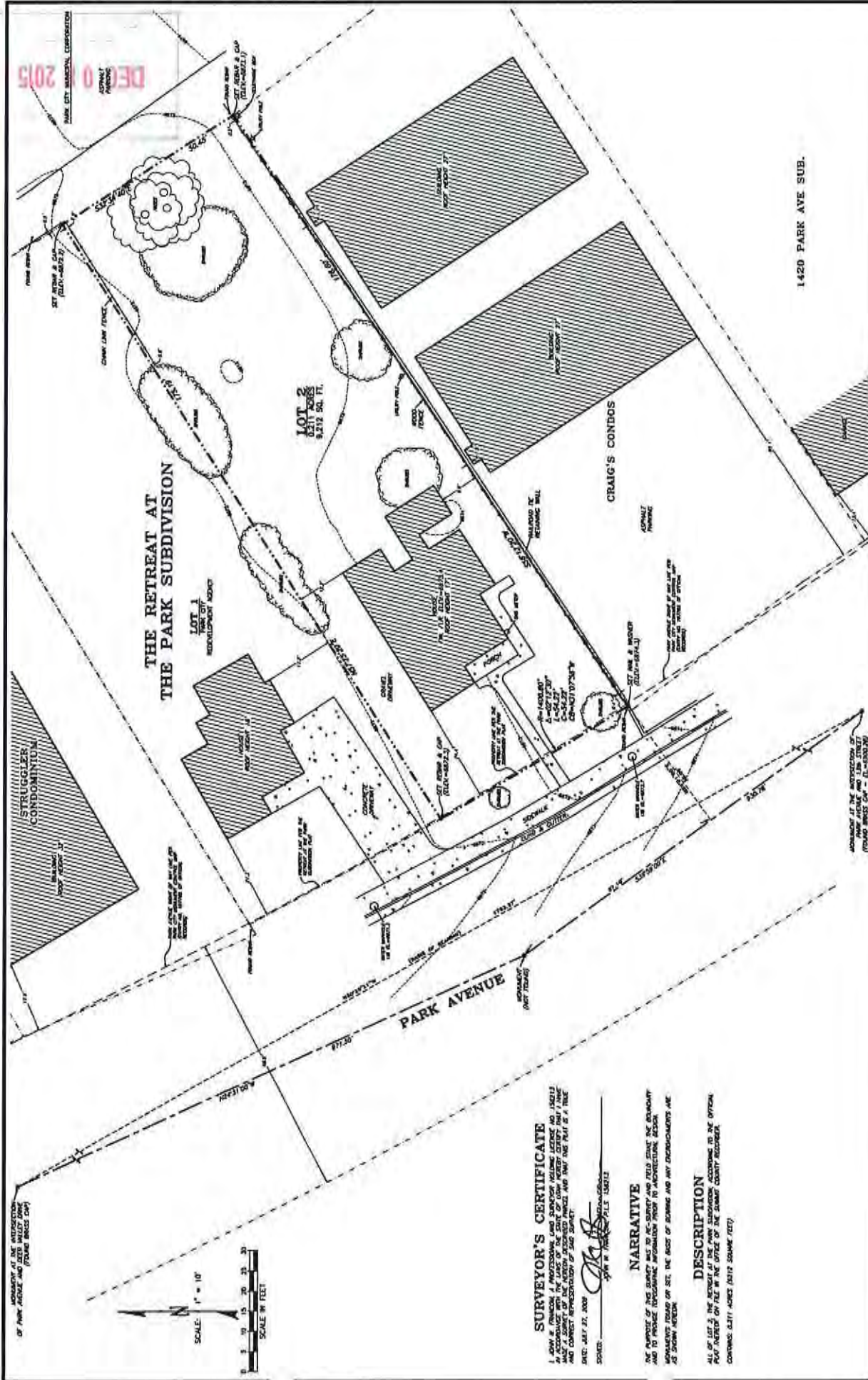


<FEATURE NAME>



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If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



	<b>JOHN W. FRANCOM &amp; ASSOCIATES</b> LAND SURVEYORS BOUNDARY, TOPOGRAPHIC & CONSTRUCTION SURVEYS 505 SOUTH MAIN STREET, SUITE 200, PARK CITY, UTAH 84301 (435) 734-1234	PROJECT NO. <b>1</b> OF <b>ONE</b>
	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b>	DRAWN BY: JAW CHECKED BY: JAW DATE: 7/27/16 JOB NO.: 04-015
SURVEYED BY: MCL/JAW CALCULATED BY: MCL DATE: DATA COLLECTION	SURVEYED BY: MCL/JAW CALCULATED BY: MCL DATE: DATA COLLECTION	PROJECT DESCRIPTION <b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b>
SANDRA S. HATCH, ARCHITECT <b>PARK CITY REDEVELOPMENT AGENCY</b> 1420 PARK AVENUE PARK CITY, UTAH	NETWORKS	
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 3 NORTH, RANGE 11 EAST, 34th JUNE, 1863 & 6TH APRIL 1869		

**SURVEYOR'S CERTIFICATE**  
 I, JOHN W. FRANCOM, A PROFESSIONAL LAND SURVEYOR, HOLDING LICENSE NO. 174213, DO HEREBY CERTIFY THAT I HAVE PERSONALLY CONDUCTED THIS SURVEY AND TOOK ALL NECESSARY PRECAUTIONS TO INSURE ACCURACY AND TO PROVIDE NECESSARY INFORMATION TO THE CLIENT.  
 DATE: JULY 27, 2016  
 SIGNED: *[Signature]*  
 JOHN W. FRANCOM, LICENSE NO. 174213

**NARRATIVE**  
 THE PURPOSE OF THIS SURVEY WAS TO RE-SURVEY AND FIELD CHECK THE BOUNDARY AND TO PROVIDE TOPOGRAPHIC INFORMATION TO THE CLIENT FOR ARCHITECTURAL ACTION.  
 ADJACENT TOWNSHIP OF SEC. 3, THE BOUNDARY OF THE SURVEY AND ANY ENCROACHMENTS ARE AS SHOWN HEREON.

**DESCRIPTION**  
 ALL OF THE LOTS OF THE PARK SUBDIVISION ACCORDING TO THE OFFICIAL PLAT RECORDS OF FILE IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, CORRECTED CITY ACRES (RATY SOME FEET).

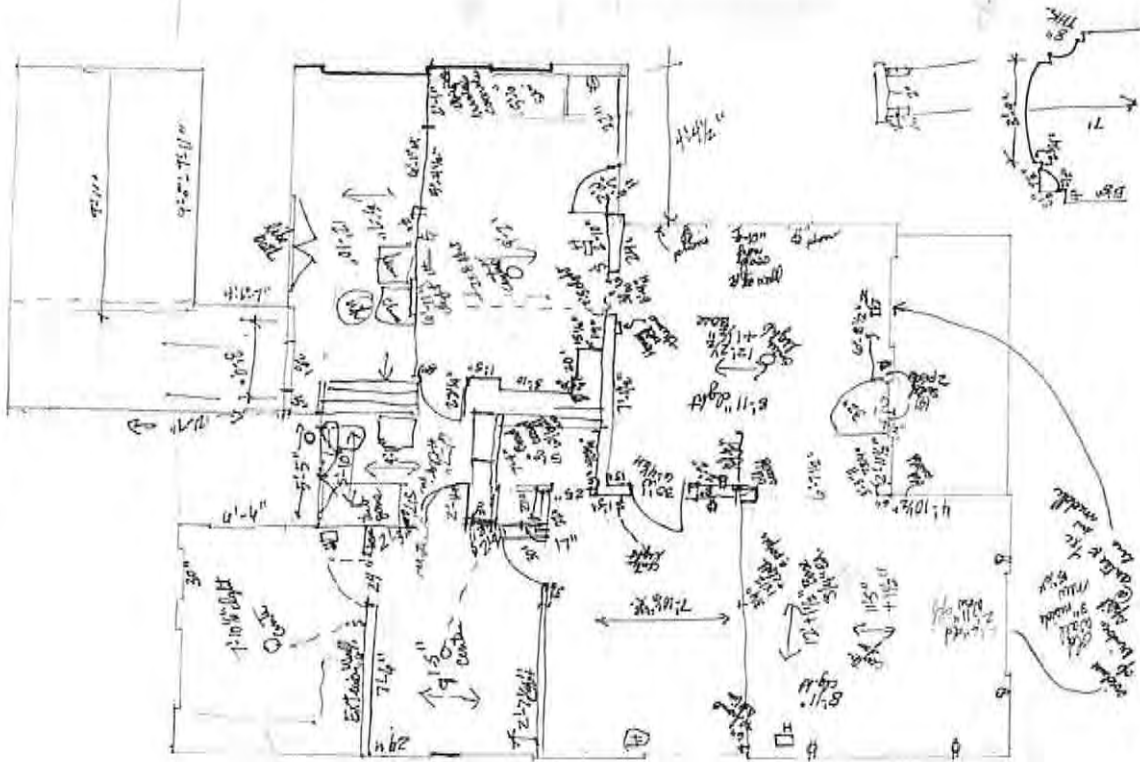


AS-BUILT FIELD NOTES

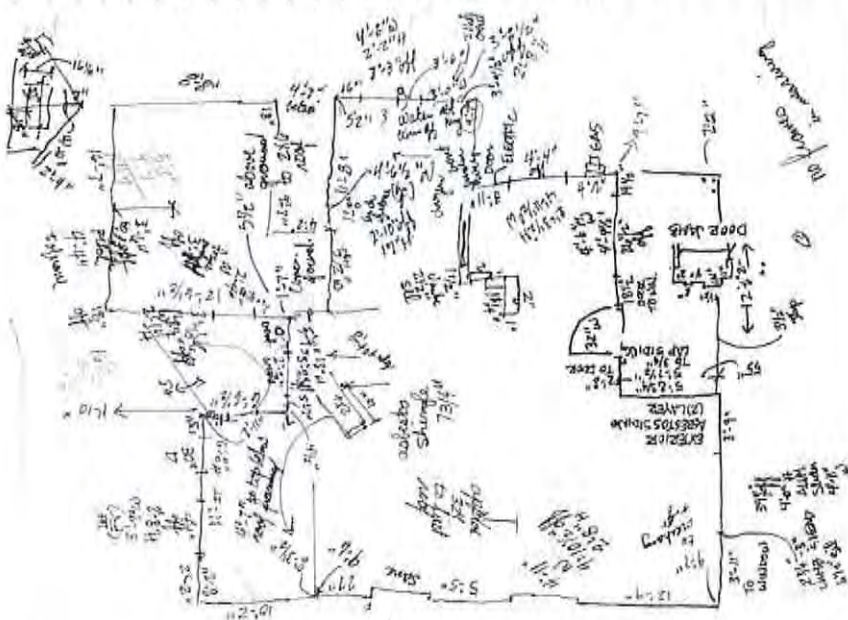
AS-BUILT DRAWINGS FOR  
DOE RESIDENCE  
1450 PARK AVE.  
PARK CITY, UTAH  
84140

PREPARED BY  
MICHAEL MATHIAS

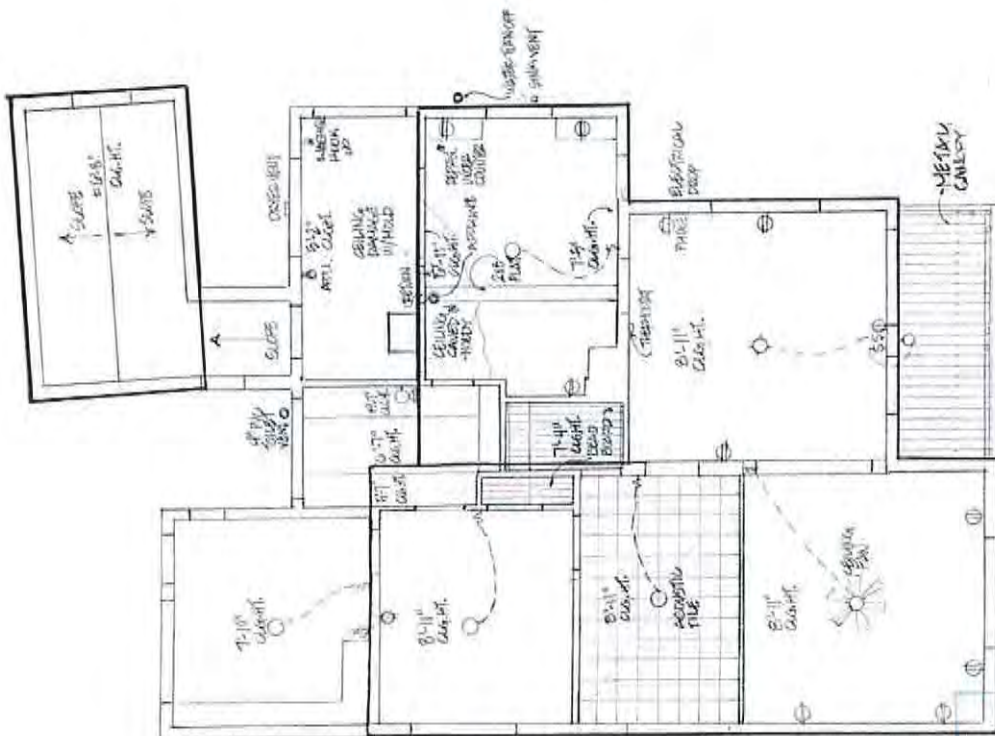
8



NOTE:  
FIELD NOTES HAVE PROVIDED SEVERAL MEASUREMENTS  
VERIFICATIONS TO COMPLETE AS-BUILTS.



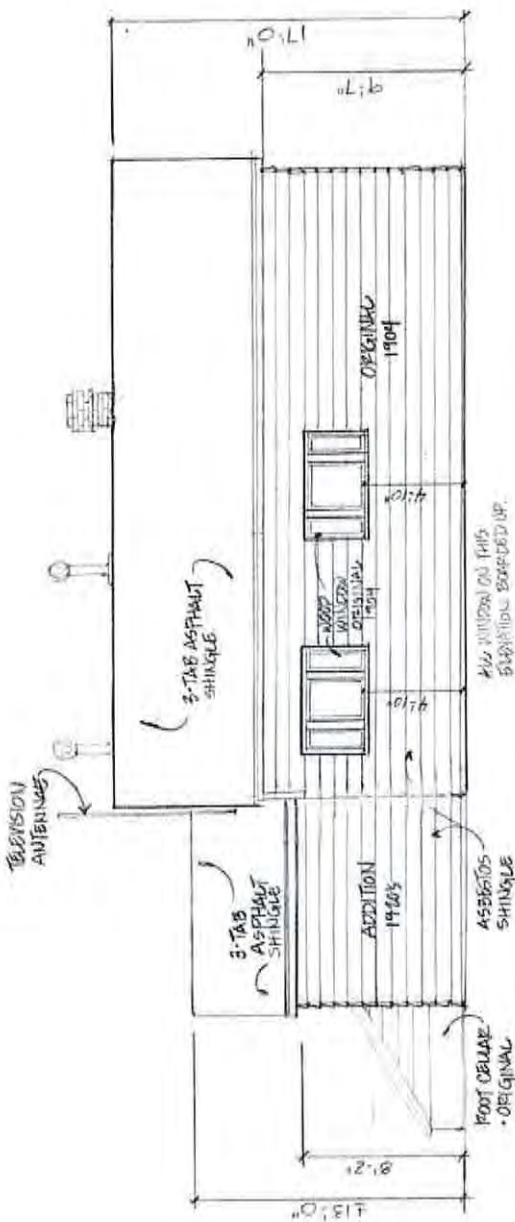
	<p style="text-align: center;"><u>EXISTING REPECTED CEILING</u> <u>&amp; ELECTRICAL PLAN</u></p>	<p>APRIL 1904 FOR THE RESIDENCE 1450 PARK AVE. PHOENIX, ARIZ. SIGNED S.M.P.H.</p>	<p>PREPARED BY LICENSED ARCHITECT</p>	<p>7</p>
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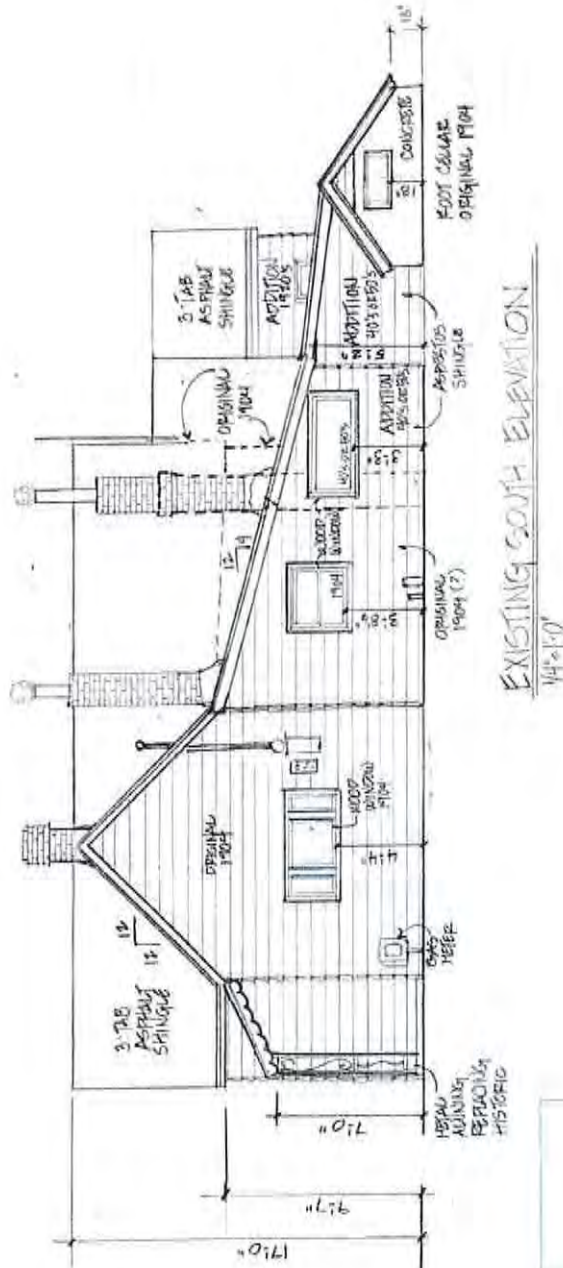
EXISTING REPECTED CEILING/ELECTRICAL PLAN  
1/4" = 1'-0"

— DARK LINE INDICATES ORIGINAL 1904

DEC 08 2015



EXISTING NORTH ELEVATION  
1/4"=1'-0"



EXISTING SOUTH ELEVATION  
1/4"=1'-0"

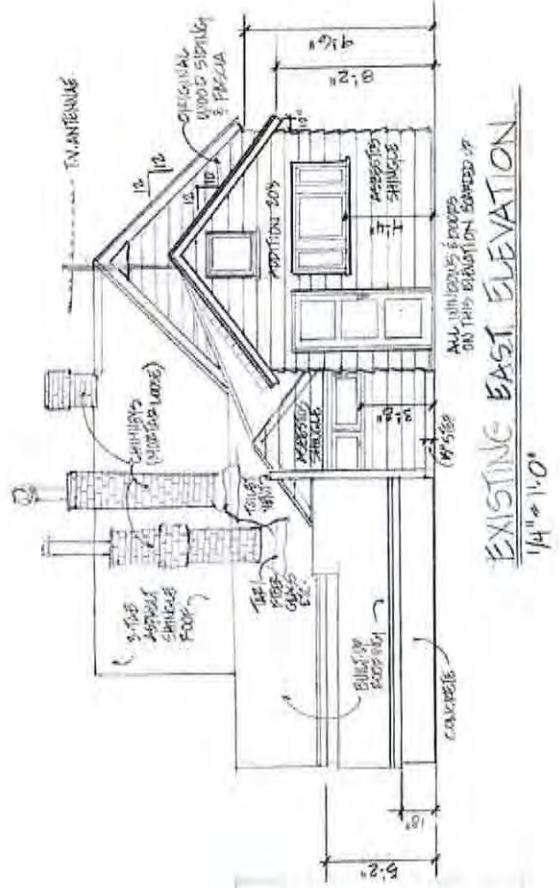
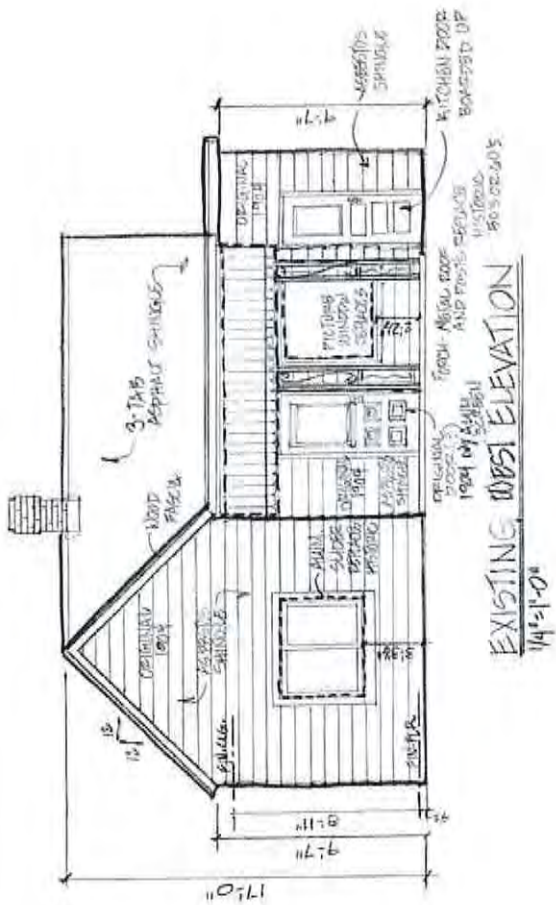
EXISTING  
ELEVATIONS

PREPARED BY  
EXHIBITS IDENTICAL

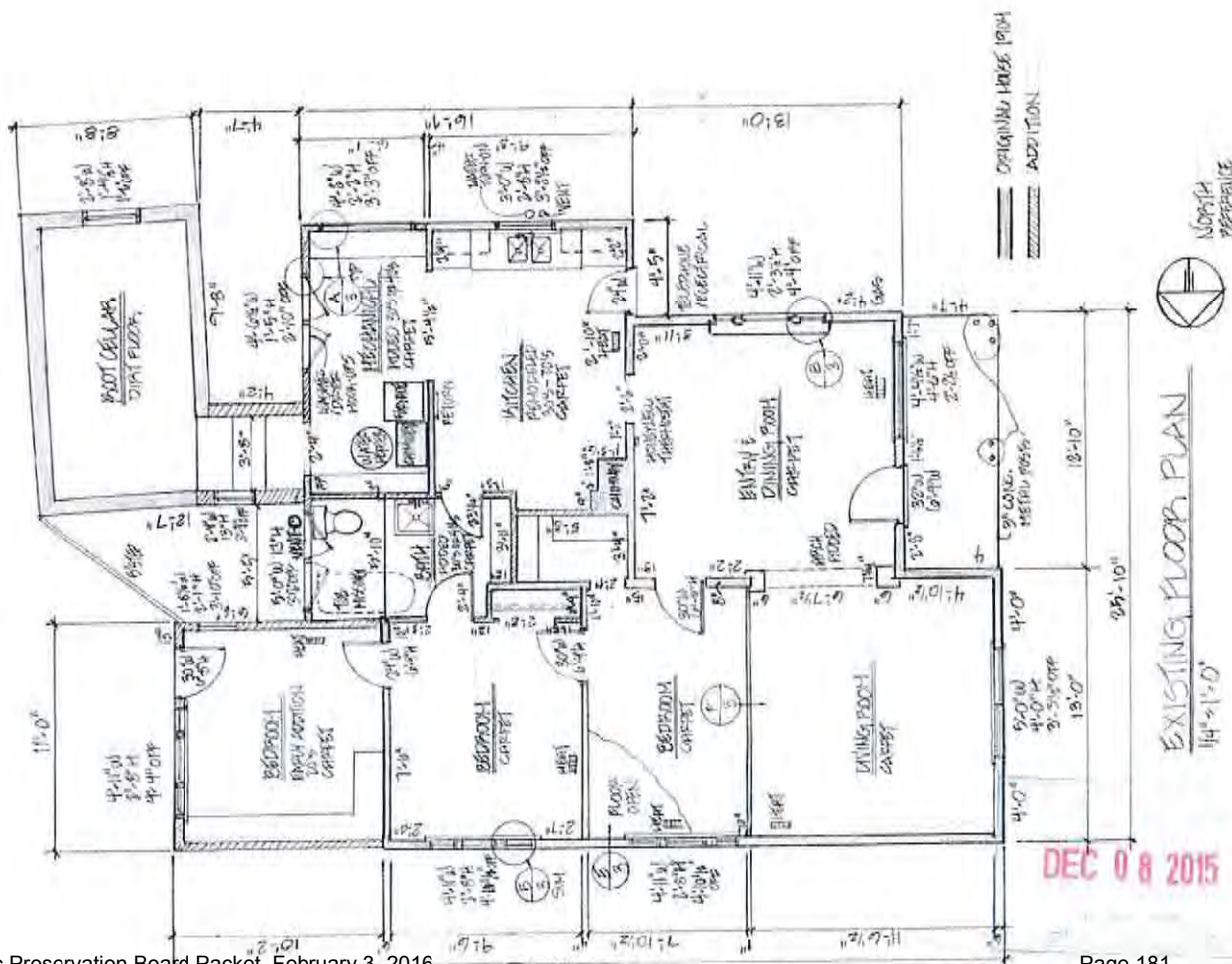
PREPARED BY  
EXHIBITS IDENTICAL

6

DEC 08 2015



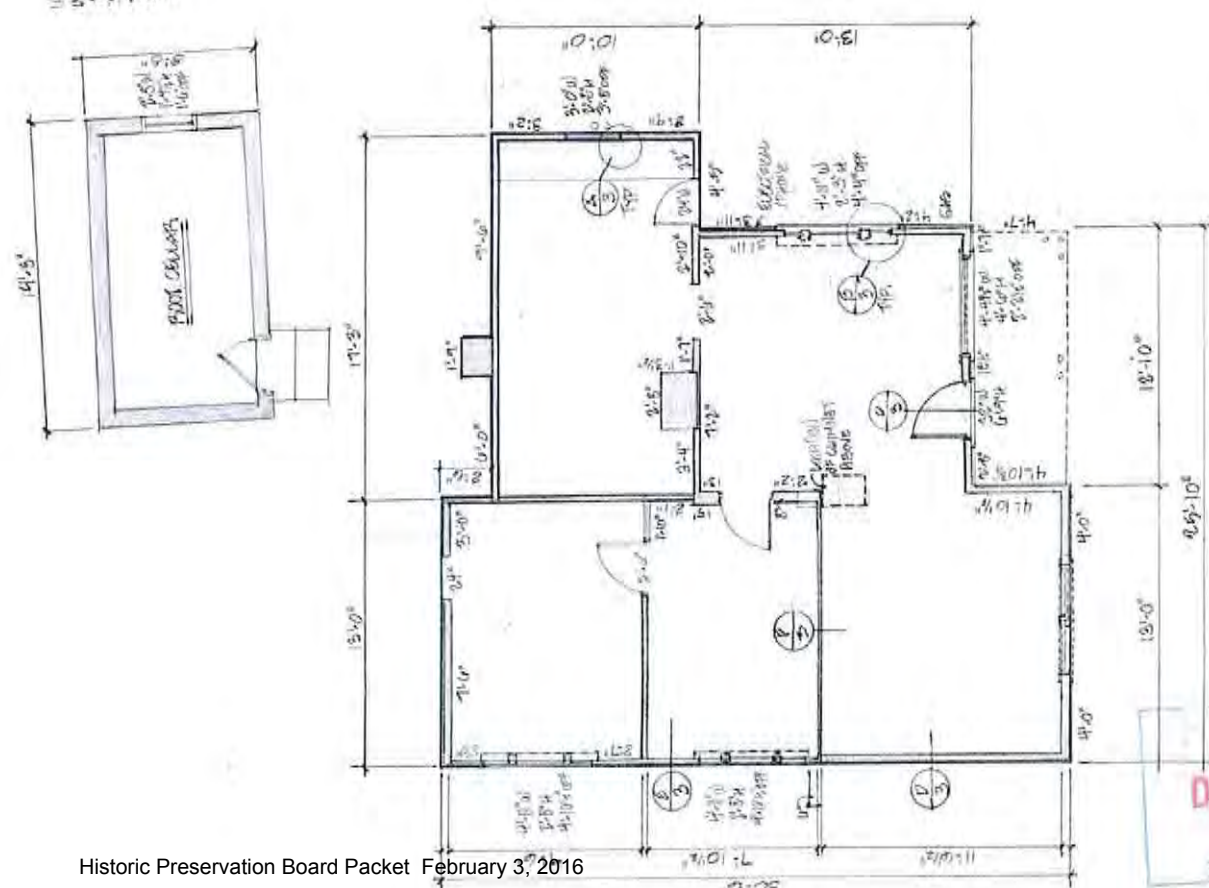
DEC 08 2015



EXISTING 1904 FLOOR PLAN & DETAILS

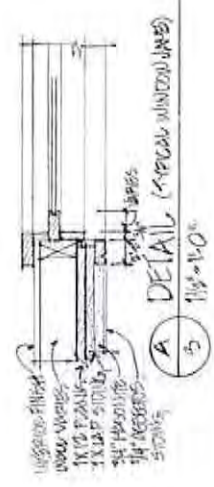
AS-BUILT DRAWINGS FOR DOE RESTORES 1450 PAPER AVE. BUREAU CITY, IOWA 50002  
 PREPARED BY UNDESIGNED ARCHITECT

3

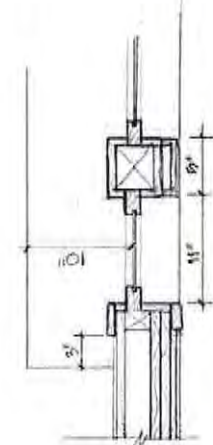


EXISTING 1904 FLOOR PLAN  
 1/4" = 1'-0"

DEC 08 2015



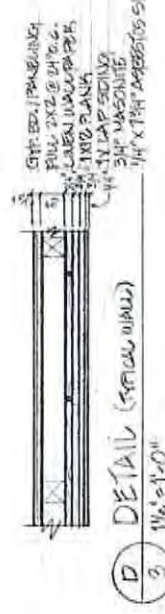
A 1 1/2" x 1'-0"



B 1 1/2" x 1'-0"



C 1 1/2" x 1'-0"



D 1 1/2" x 1'-0"



E 1 1/2" x 1'-0"



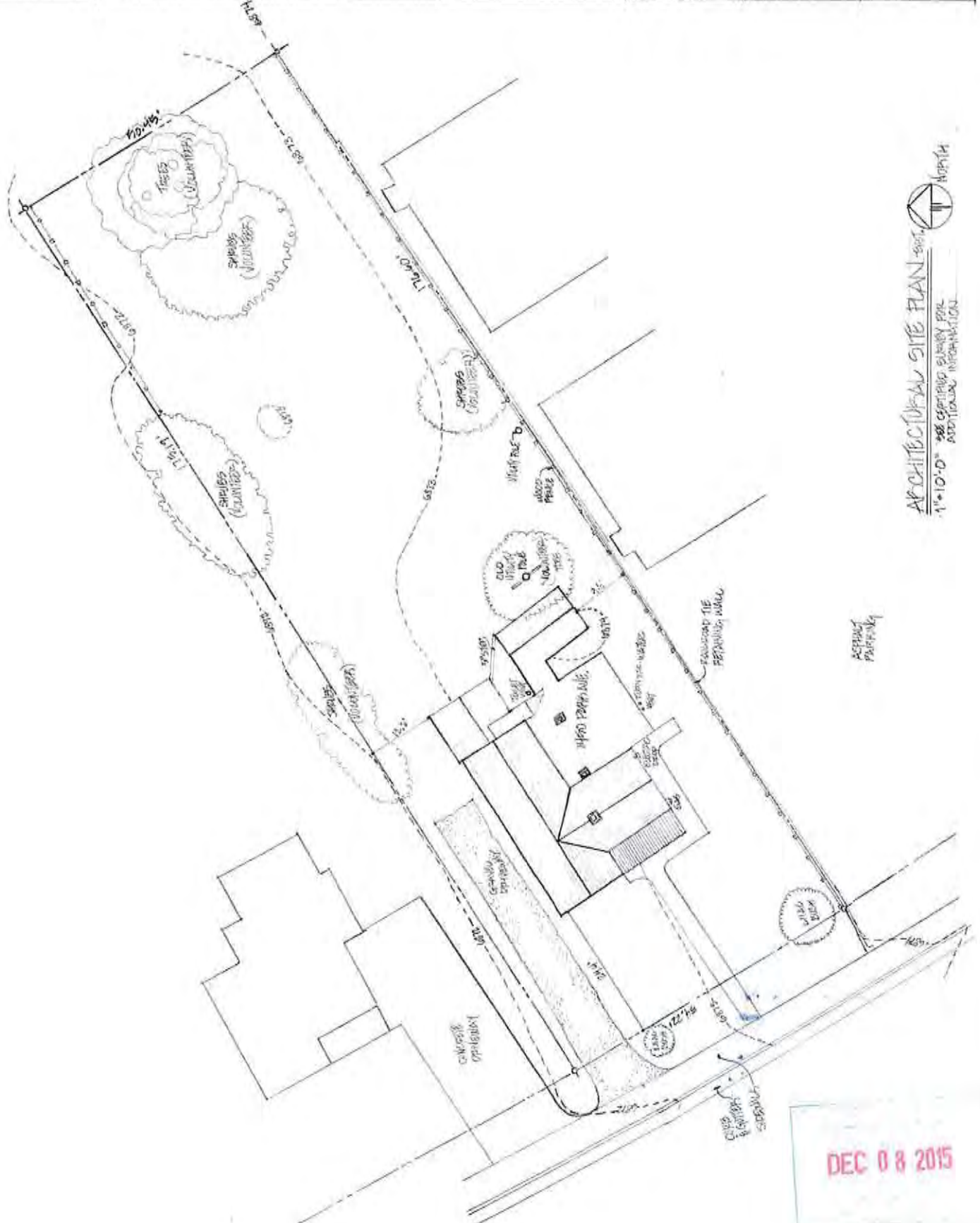
F 1 1/2" x 1'-0"



EXISTING STREETSCAPE  
 1/8" SCALE - SEE CERTIFIED SURVEY FOR ADDITIONAL INFORMATION

	<u>EXISTING STREETSCAPE</u>	AS-BUILT DRAWINGS FOR THE RESIDENCE 1450 PARK AVE. PARK CITY, UTAH 84310	PREPARED BY LICENSED ARCHITECT	2
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DEC 08 2015



ARCHITECTURAL SITE PLAN - EXIST.  
 1"=10'-0" SEE COMMENTS SHEET FOR  
 ADDITIONAL INFORMATION

NORTH

DEC 08 2015

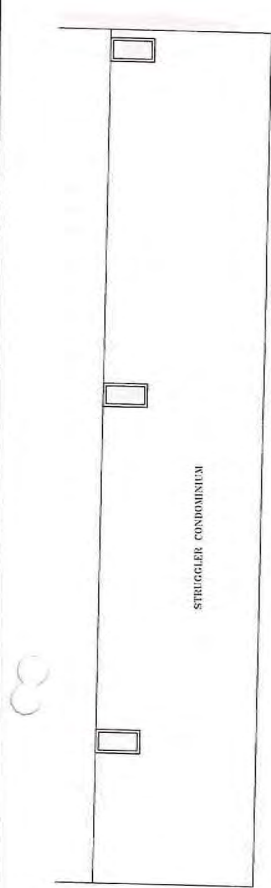


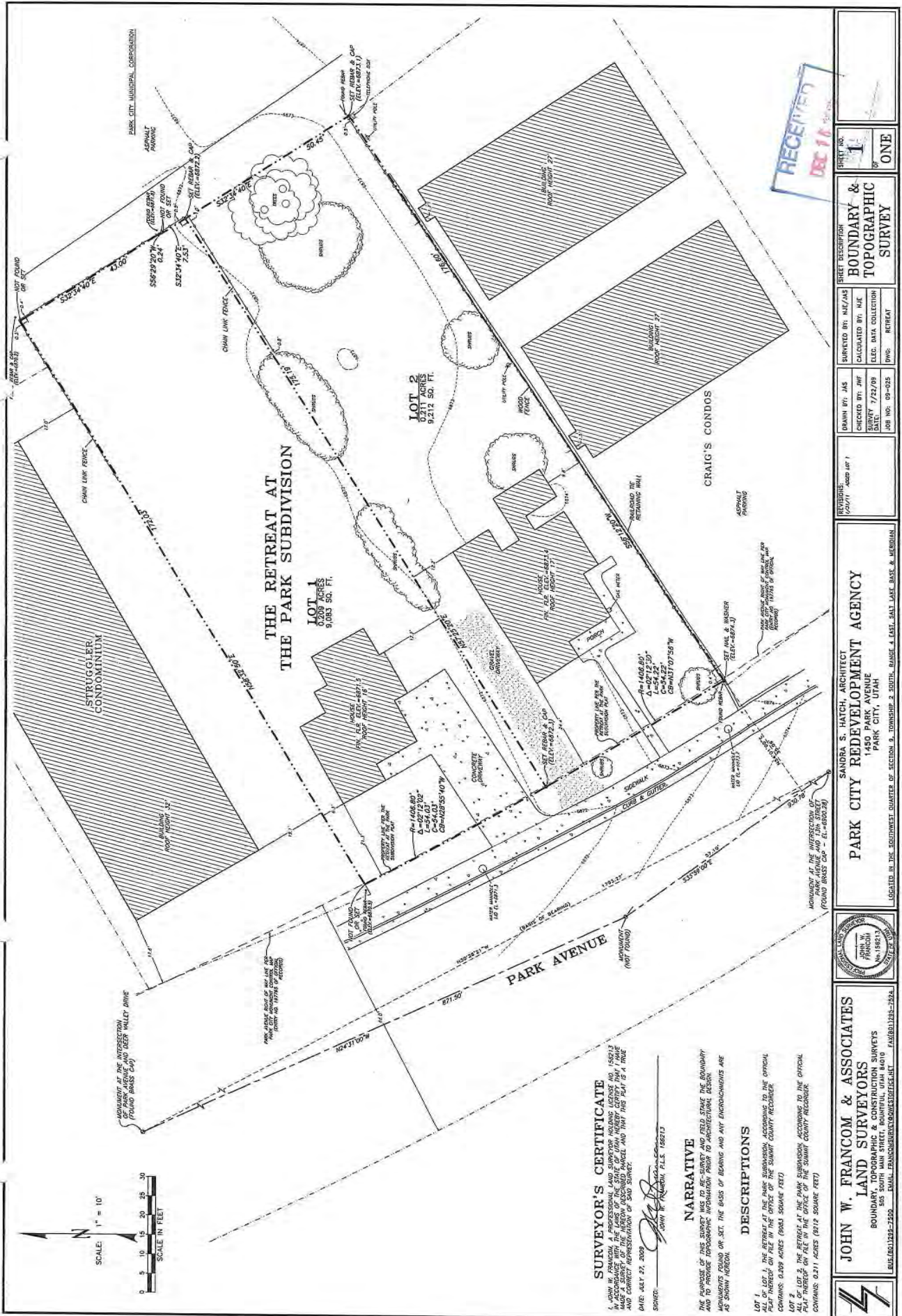
**Caddis**  
 Caddis Architecture, pc.  
**PARK CITY MUNICIPAL CORPORATION**  
**1450/1460 PARK AVE.**  
**AFFORDABLE HOUSING**

HISTORIC STRUCTURES  
 NEW CONSTRUCTION

RECEIVED  
 DEC 08 2015  
 PLANNING DEPARTMENT

**HDDR-3**  
**PROPOSED ROOF PLAN**  
 1/8" = 1'-0"  
 12.08.2015  
 PROJECT # 1521  
**CADDIS PC**





RECEIVED  
DEC 16 2009

SHEET NO. 1 OF ONE

**BOUNDARY & TOPOGRAPHIC SURVEY**

PROJECTED BY: JAC/JAS  
CALCULATED BY: JHE  
ELEC. DATA COLLECTION DATE: 7/27/09  
PWS: RECREAT

DRAWN BY: JMS  
CHECKED BY: JMF  
DATE: 7/27/09  
JOB NO: 09-025

REVISIONS:  
12/21/01 Add lot 1

SANDRA S. HATCH, ARCHITECT  
**PARK CITY REDEVELOPMENT AGENCY**  
1450 PARK AVENUE  
PARK CITY, UTAH

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE & MERIDIAN



**JOHN W. FRANCOM & ASSOCIATES**  
**LAND SURVEYORS**  
BOUNDARY, TOPOGRAPHIC & CONSTRUCTION SURVEYS  
85 SOUTH MAIN STREET, BOUNTIFUL, UTAH 84010  
PHONE: (801) 282-3390 FAX: (801) 282-3362

**SURVEYOR'S CERTIFICATE**

I, JOHN W. FRANCOM, A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NO. 188213 IN ACCORDANCE WITH THE LAWS OF THE STATE OF UTAH, HEREBY CERTIFY THAT I MADE AND CORRECT REPRESENTATION OF SAID SURVEY.

DATE: JULY 27, 2009

SIGNED: *John W. Francom*

**NARRATIVE**

THE PURPOSE OF THIS SURVEY WAS TO DEFINE THE BOUNDARY AND TO PROVIDE TOPOGRAPHIC INFORMATION PRIOR TO ARCHITECTURAL DESIGN. MONUMENTS FOUND OR SET, THE BASIS OF BEARINGS AND ANY ENCROACHMENTS ARE AS SHOWN HEREON.

**DESCRIPTIONS**

LOT 1, THE RETREAT AT THE PARK SUBDIVISION, ACCORDING TO THE ORIGINAL PLAT THEREON ON FILE IN THE OFFICE OF THE SUMMIT COUNTY RECORDER, CONTAINS 0.209 ACRES (9043 SQUARE FEET).

LOT 2, THE RETREAT AT THE PARK SUBDIVISION, ACCORDING TO THE ORIGINAL PLAT THEREON ON FILE IN THE OFFICE OF THE SUMMIT COUNTY RECORDER, CONTAINS 0.211 ACRES (9212 SQUARE FEET).

Park City Planning Commission,  
Anya Grahn, and Francisco Astorga,

My name is Clark Baron. I am one of the condo owners in the Struggler condominiums located at 1470 Park Avenue. We have addressed previous issues regarding the development of the two historic homes next to our property. I just wanted to go on record as having some concerns regarding the 1450/1460 Park Avenue affordable housing project. We do feel that the latest proposal is a major move in the right direction. Since the request before the commission currently deals only with the two historic homes, I will comment on just this portion of the project.

I have a concern regarding the possible height of the remodeled historic structures. The proposed plans appear to show that the historic structures are being raised at least one foot higher than the present grade. There is no mention of the actual finished height. We would ask that the Homes remain as close to the present grade as possible. We ask that any new construction and remodeled Historic structures be placed close to the original grade to help minimize the impact on the neighborhood.

I also have a question regarding the plan to move the historic homes closer toward Park Ave. The homes currently appear to be placed at the exact distance from the street as some other homes in the area including our building right next door. Moving the structures forward will have a negative impact on value of the homes and place them closer to the street than their neighbors. Unlike many historic homes, these two homes actually have moderate front yards. We ask you to maintain this unique feature and give the new home owners the front yard that these homes originally had. Moving the homes toward busy Park Avenue decreases their value and desirability.

We applaud the effort to rebuild these historic homes. We ask that they be placed as close as possible to their present height and location.

Thank you for registering our concerns,

Clark and Joyce Baron  
January 4, 2016  
801-372-0171  
[baronsbest@comcast.net](mailto:baronsbest@comcast.net)



