

**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
CITY COUNCIL CHAMBERS
March 4, 2014**



AGENDA

MEETING CALLED TO ORDER AT 5:00PM

ROLL CALL

ADOPTION OF MINUTES OF January 7, 2015

PUBLIC COMMUNICATIONS – *Items not scheduled on the regular agenda*

STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

REGULAR AGENDA – *Discussion, public hearing, and possible action as outlined below*

<p>264 Ontario Avenue – Historic District Grant <i>Public hearing and possible action</i></p>	<p>PL-14-02418 53 <i>Planner Whetstone</i></p>
<p>943 Park Avenue – Historic District Grant <i>Public hearing and possible action</i></p>	<p>PL-15-02682 125 <i>Planner Grahn</i></p>
<p>Memo to HPB <i>Discussion Only</i></p>	<p><i>Planner</i> 203 <i>Grahn</i></p>
<p>581 Park Avenue – Determination of Significance (DOS) <i>Public hearing and possible final action by the HPB</i></p>	<p>PL-14-02551 207 <i>Planner Turpen</i></p>
<p>1108 Park Avenue – Determination of Significance (DOS) <i>Public hearing and possible final action by the HPB</i></p>	<p>PL-14-02553 225 <i>Planner Turpen</i></p>
<p>135 Sampson Avenue – Determination of Significance (DOS) <i>Public hearing and possible final action by the HPB</i></p>	<p>PL-14-02557 245 <i>Planner Grahn</i></p>
<p>316 Woodside Avenue – Determination of Significance (DOS) <i>Public hearing and possible final action by the HPB</i></p>	<p>PL-14-02555 261 <i>Planner Grahn</i></p>

WORK SESSION

<p>Temporary Winter Balcony Enclosures <i>Work Session Only</i></p>	<p><i>Planner Grahn</i> 283</p>
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ADJOURN

A majority of Planning Commission members may meet socially after the meeting. If so, the location will be announced by the Chair person. City business will not be conducted.

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Park City Planning Department at (435) 615-5060 24 hours prior to the meeting.

PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD
MINUTES OF JANUARY 7, 2015

BOARD MEMBERS IN ATTENDANCE: Chair John Kenworthy, Lola Beatlebrox, Marian Crosby, Cheryl Hewett, Puggy Holmgren, Hope Melville, David White

EX OFFICIO: Planning Director, Thomas Eddington; Anya Grahn, Planner; Christy Alexander, Planner; Francisco Astorga, Planner; Polly Samuels McLean

ROLL CALL

Chair Kenworthy called the meeting to order at 5:03 p.m. and noted that all Board Members were present.

APPROVAL OF MINUTES

November 5, 2014

MOTION: Board Member Holmgren moved to APPROVE the minutes of November 4, 2014 as written. Board Member Crosby seconded the motion.

December 3, 2014

Board Member Melville referred to page 27 of the Staff report, the first full paragraph, and corrected "...stabilizing the Silver King water tanks" to read, **Silver Queen** water tanks.

MOTION: Board Member Beatlebrox moved to APPROVE the minutes of December 3, 2014 as corrected. Board Member Melville seconded the motion.

VOTE: The motion passed unanimously.

PUBLIC INPUT

There were no comments.

STAFF/BOARD COMMUNICATIONS AND DISCLOSURES

Regarding the winter balcony enclosures discussion on the agenda this evening, Board Member Holmgren disclosed that she sits on the Historic Park City Alliance Board and the Board of Directors. That Board had a discussion about winter balconies and she had recused herself from any decision on that regard.

Board Member Crosby disclosed that she would be recusing herself when the River Horse makes their presentation regarding the winter balcony enclosures, due to a past business relationship with River Horse.

Chair Kenworthy disclosed that he has had relationships with and against the law firms involved with the appeal this evening. He did not believe his relationship would affect his ability to fairly participate in the appeal hearing.

Director Eddington believed the Planning Department would schedule a work session with the HPB next month to begin discussing the Design Guidelines. Planner Grahn stated that the Staff has talked about holding a public open house near Valentine's Day along the lines of "I Love the Historic District". The Board would be notified of the dates once the work session and the open house are scheduled.

Planner Grahn reported that the Rio Grande was schedule to be moved back to its location on Tuesday, but she was unsure of the time.

Director Eddington remarked that the Staff would come back to the HPB within the next couple of months to work on selecting the next artist for the Historic Preservation Award.

Board Member Melville asked if they were moving ahead with a compatible new construction award category. Director Eddington replied that they would be discussing that award at the same time.

REGULAR AGENDA – Discussion, Public Hearing and Possible Action.

360 & 336 Daly Avenue – Determination of Significance of an Accessory Structure/Garage (Application PL-14-02481)

Planner Christy Alexander reported that the applicant, Sharon Stout, would like to build on her property at 360 Daly Avenue. She had submitted an HDDR pre-application to show a number of designs. The Staff determined that an accessory structure encroaches on to her property. If the structure is not determined to be Significant the applicant would have to demolish it in order to accommodate the footprint of the home she would like to build. Ms. Stout had submitted an application for a Determination of Significance, which was before the HPB this evening.

Planner Alexander stated that on the 2009 Historic Sites Inventory it was found that the cabin to the south of the accessory structure in question was listed as Significant on the HSI. It noted the accessory structure as an accessory structure but it did not specifically call it out as Significant. Planner Alexander remarked that the cabin itself was shown on the 1900 Sanborn maps. However, the accessory structure garage did not show up until the 1907 map, which would indicate that it was constructed sometime between 1900 and 1907. It was also

constructed using the same materials as the cabin. The garage is a wood construction, simple gable roof accessory structure indicative of the outbuildings that were typically constructed by untrained property owners rather than skilled craftsmen. The scrap lumber that was used is characteristic of the outbuildings that were built during the Mature Mining Era period, which is between 1894 to 1930. Planner Alexander commented on a minimal addition on the north side to add more room for storage. Other alterations have occurred which included adding scrap metal on the north side and on the rear. She remarked that these alterations are typical of other historic properties throughout the City. No scrap metal was added to the front, which is the view from the street.

The Staff conducted an analysis and found that the structure is at least 50 years old and it has retained its essential historical form with minor additions. The structure is important in local or regional history because it is associated with the Mature Mining Era. The Staff did not believe the accessory structure complies with the criteria listed for Landmark Structures, but it did meet the criteria for a Significant designation.

Planner Alexander stated that due to the fact that it is an accessory structure, it sits primarily on the City's property and the City would be the owner. However, because it encroaches on to the applicant's property the Staff thought it would be appropriate to entertain relocating the structure further on to the City's property. If the HPB finds the structure to be Significant, the applicant could request a relocation and the City would research whether money would be available to relocate it within the next few month. Planner Alexander clarified that the Planning Director and the Chief Building Official would have to determine whether or not there were unique circumstances to allow relocating the structure.

The Staff recommended that the HPB determine that the accessory structure be listed as Significant. The applicant had a different opinion and had prepared a short presentation for the Board. Planner Alexander noted that this item was scheduled for a public hearing.

Sharon Stout, the applicant, stated that the property is actually owned by her LLC. She recently sold her home in Park City and she was currently living in Salt Lake. Ms. Stout provided the Board members with a packet of the materials contained in her presentation.

Ms. Stout stated that at first blush the two structures, as noted by Planner Alexander, appear to be very similar. However, she looked deeper at the historic structures that were on the two lots. She looked at all the numbers that were associated with the properties in this little region of Daly Avenue. Ms. Stout pointed out that it used to be called Empire Canyon and it was later called Daly Avenue. She looked at 360, 344, 340, 332, 336 and 330 Daly Avenue, which encompasses four or five structures that were historically on this property.

Ms. Stout started her presentation with a description of the structures, as well as maps and surveys. The first segment was Lot 360, which is the current name of the lot that Park City now owns. She noted that historically that area was referred to as 340 and 344 Daly Avenue. Ms. Stout remarked that two cabins were constructed around 1900. She presented, Exhibit A, a site inventory from Park City that designates the small cabin structure on 360 Daly as a historic site. She also looked researched the historic nature of the properties on the six street addresses she previously mentioned. Ms. Stout also reviewed the Historic Sites Inventory Form from Utah. She noted that in looking at the site inventory and the 1907 Sanborn map, they would see several properties on that map. One of the properties was 332 Daly, which had a historic home that was demolished in 1984. Half of the foundation from that structure is still on her property. Ms. Stout stated that the home that was on two parcels at 330 and 336 Daly Avenue was constructed in 1896. It is shown on the Sanborn map of 1907. The Tax Records from 1949 through 1968 describes a garage in great detail. The dimensions were show as 13 x 18 in some records and 13'x19' in other records. Ms. Stout referred to her survey, which was also included in the packet, showing a historic foundation, the garage, an outbuilding and a stone retaining wall. She noted that the stone retaining wall on her property is inches from the garage.

Based on the fact that the garage is not referenced anywhere else on these properties, Ms. Stout thought there was strong evidence that the garage in question is definitely associated with 332 Daly Avenue. She noted that there was a spot in the tax records that states that the garage was constructed in 1926. She stated that the first time the garage actually shows up is in the Sanborn Fire Map of 1941. Ms. Stout believed the garage was built sometime between 1926 and 1940; and it was definitely part of the structure of the house that was demolished.

Ms. Stout agreed that a first look at the cabin and garage it would appear that they are both made of similar materials. However, she showed a photo of the cabin on 360 Daly Avenue, formerly known as 340 Daly. The cabin was built around 1900 per the Historic Site Inventory and the Sanborn maps. It was a single cell wood plank siding, no foundation, built on a dirt floor with one window and a door. Ms. Stout remarked that the demolished home on 332 Daly Avenue, where half the foundation sits on her lot, was built in 1886 and torn town down in 1984. The house on 332 Daly Avenue had brick and siding exterior, a tin roof, and a wraparound porch. It was built on a concrete foundation, concrete steps, retaining wall and interior amenities. The home was 32' deep by 40' wide. The garage was 13' x 19' and was constructed between 1926 and 1940.

Ms. Stout clarified that her reason for mentioning those structures is that the home that was demolished on 332 Daly Avenue was constructed later than the cabin and the materials and aesthetics were superior to the cabin.

Ms. Stout noted that the topographical map and the survey that she had done of her home in July of 2014 showed the close proximity to the home and the retaining wall as she had outlined in yellow. He indicated the historic steps and noted that the steps were still in place, as well as the foundation and the retaining wall. She pointed out that the garage is also still in place.

Ms. Stout reviewed photos of the garage and pointed out the areas where the structure is deteriorating and its instability. When the garage was first built it was wood plank and timber construction with wood plank siding. There was no foundation and it was built on a dirt floor. There was one set of hinged doors for a single car and one smaller entry door to shed. The structure was completely enclosed from the elements. She then outlined the structure as it currently exists. The sidewalls have timber construction. There are assorted attached metal on three side and the roof. The garage doors no longer open and close. The Shed is no longer a function shed. Two sides open to the elements. The entry is obstructed and a door is missing. The garage is filled with various unwanted items.

Ms. Stout spoke about the concept of historical significance based on information she received from the Park City Historic Building Code, and the criteria for determining whether a site is historic. Ms. Stout referred to the structures on her property and noted that the house was demolished in 1984. Permission was granted from Park City Mines to tear down the garage in 1984 and again in 1996 and 1997 because it was confirmed to be an insignificant piece of Park City history. The lot was then subdivided into a two-lot subdivision in 1997. At the same time, 10-feet off of what would have been her property was annexed into the City for a snow plow and garbage truck turn around at the end of the street. The lot she hoped to build on would be the last house at the end of the street. The property on the uphill is owned by Park City and there is a 35-foot setback between her and the cabin designated as permanent open space. Ms. Stout believed Park City would have never allowed a scenario to be created where a two-lot subdivision would take 10 feet off the buildable portion of Lot 336, and at the same time leave a structure that was not allowed to be demolished.

Ms. Stout had submitted letters to Planner Alexander from 1984 and 1997 showing that permission was given to demolish the garage. Ms. Stout stated that she was always under the impression that she had permission to demolish the garage as soon as she started building on her lot. She still had that impression when she began working with the Design Review Team. Ms. Stout reiterated her belief that the City would not have created a two-lot subdivision if there was any intention for keeping the garage structure on the property.

Ms. Stout referred that the Sanborn Fire Map of 1907 identifies the home on 332A Daly Avenue without a garage because the garage had not yet been built.

The map also illustrated two smaller structures labeled as 344 and 340. The house size for 332 Daly is 32' x 40'. Numbers on the map designated the size of each structure. The future garage was 13' x 19' which is half the size of the house. Ms. Stout pointed out from the map that 340 Daly was much smaller. She noted that the structure shown on the map at 344 Daly is not shown on later maps. Ms. Stout noted discrepancies on other maps which led her to believe that the garage was built between 1926 and 1940. She remarked that the Sanborn map of 1941 shows the house, the garage and the cabin on 340, which is now lot 360.

Ms. Stout stated that the garage on 336 Daly Avenue is over 50 years. It is not associated with events or lives of important people in the past. The home it was built for was demolished. The garage was a one-car garage used for personal use. Ms. Stout noted that she was directed by Staff to research all the owners who have ever owned this property. She had obtained a large title report and conveyances of many deeds, which indicates that not one single person has been associated with this property throughout its history. No tax records were available on the cabin on Lot 360. The only record is the Historic Sites Inventory and that it was on the Sanborn fire maps.

Ms. Stout stated that the garage does not embody distinctive characteristics of type, a period or construction method, nor is it the work of a notable architect or craftsman. It was a lower budget garage and deemed of no value on the tax records. Ms. Stout pointed out that the owner of the garage used the garage as income after the house was demolished by renting it to a neighbor for a 30 month period. The contract stated that the neighbor was to demolish the garage at the end of the term, but that obviously never occurred. In 1987 the City deemed the garage non-significant and permission was given to demolish it. Ms. Stout remarked that the quality of construction did not indicate age. She believed the garage looked as old and derelict as the cabin because of the time it was built in American history, as well as the materials that were used. The cabin and the house were built four years apart but have vastly different features and amenities. The older home was better built.

Ms. Stout stated that in most cases sites are designated historic in Park City because they provide an understanding of the culture and life style of the areas mining activity and early skiing industry. The garage does not provide an understanding of the culture or lifestyle of the areas mining activity or early ski industry. It was only a place to park the car for a family home. The home that it served this function for no longer exists. The garage is not an outbuilding to the cabin at 360.

Ms. Stout stated that originally there were two small structures at 340 and 344. Only one of those, a single cell uninhabitable log cabin built around 1900, is still standing. The outbuilding mentioned in the historic description for 360 may still

not be standing. A garage and an outbuilding were mentioned on tax records for 332. Ms. Stout understood that Park City can designate something of significance because it is in Park City and specific to the region. She would not argue that the cabin has historic significance; however, she found no evidence that this garage has any bearing or reference to the cabin on 360 Daly.

Ms. Stout summarized the chain of properties. 340 Daly became 360, a lot owned by Park City Mines. The structure at 344 Daly was demolished over time. 332 Daly Avenue was subdivided into 330 and 336 Daly to become a viable and buildable two-lot subdivision, Lots A and B. The City annexed 10-feet off of the front of that property and then approved it as a viable and buildable subdivision with no building restrictions. A permit was issued to remove an inconsequential garage. The property has a steep slope and limited buildable area. The garage on the property would make it prohibitive and very expensive to build. Ms. Stout pointed out that she purchased a lot that she believed was 37 feet wide and later found out that it was 34 feet wide. If the structure continues to encroach on her property and she is required to build five feet away from it, it becomes a 20 foot wide lot. Ms. Stout stated that 336 is currently owned by Silver Queen Gunslinger LLC. She chose that name because she loves being part of a historic mining town and she cares about the history of Park City. Her intent is to build a beautiful home on this property.

Ms. Stout read a quote from the National Parks Service regarding historic integrity. She stated that the physical integrity of the quote is that generally the majority of the structure's materials, structural system, architectural details and ornamental features, as well as the overall mass and form must be intact in order for a building to retain its integrity. When she looks at the garage she only sees the skeleton of the original structure. The structures exterior is coated in various types of scrap metal used to repair the holes created by rotting wood. The roof is also patched. The front is the only portion of the garage that still has the original wood intact. The shed portion has fallen down on itself and the door is damaged and no longer works. The shed portion on her lot also has large holes on the side and there is just a hole where the door used to be. The garage also has added water pipes and electrical wiring on the exterior. Ms. Stout believed very little of the original structure was still intact.

Ms. Stout outlined the criteria for historical integrity. She stated that visiting the garage on Daly Avenue without the house it was connected to did not give an accurate portrayal of what life was like in the mining era. Even if the house were intact it would still not speak of the mining days because the garage was built after that era. It would only speak to the progression of the automobile and the need to house a car. In terms of being a ski town, while the garage was in existence during this time, nothing is known about the people who lived in this home beyond names on tax records. She noted that the Park City Museum pulled every document they had on all of the properties in question. Ms. Stout

could not see how a garage without a home attached to it would have any historical significance beyond recognizing it as a time when the technology of cars became part of everyday life in Park City. Ms. Stout remarked that it was a misrepresentation and distortion of historical fact to associate a cabin built in the early 1900s with a garage that was built many years later by different people with a different purpose and on a different property.

Board Member Melville asked when Ms. Stout acquired the property. Ms. Stout replied that it was either in 2008 or 2010. Ms. Melville asked if Ms. Stout had done a survey of the property at that time. Ms. Stout stated that she was given a survey of the property; however, she did not have a new survey done until July 2014 when she was ready to start building. Ms. Melville assumed Ms. Stout was aware that the building encroached. Ms. Stout answered yes, but she also had letters that were provided as part of the sale giving permission to demolish the garage when she started building.

Planner Alexander noted that the letters had a condition that the approval to demolish would expire if the garage was not demolished.

Board Member Holmgren asked when the public was noticed on this public hearing. Planner Alexander replied that it was noticed a week earlier. She clarified that notice was posted on the property but courtesy letters were not mailed out. It was also legally noticed in the Park Record.

Chair Kenworthy opened the public hearing.

Ruth Meintsma, a resident at 305 Woodside, referred to Exhibit B in the Staff report and noted that the language refers to a shed or a garage. At one point it states that it was used as a garage, so they could assume that it was initially built as a shed. Ms. Meintsma found in her research that a lot of these sheds were built during the mining era as part of the community.

Ms. Stout asked if Ms. Meintsma was saying that the garage in question may have been a building that was built on property that nobody owned. She would dispute that because the tax records clearly state that this property was owned by someone.

Chair Kenworthy asked Ms. Stout to hold her questions until after the public hearing.

Ms. Meintsma believed there was a possibility that the shed could have been part of the community. Reading back in history, Daly Avenue was a unique street in that it was cottage industries up and down the street. She commented on one situation where a chicken coop was taken out and created a controversy because that person grew raised and provided chickens for his community.

There were also a lot of blacksmiths or iron workers on Daly Avenue. Ms. Meintsma remarked that this shed may have been from the cottage industry because it is where the Daly Mine workers walked home every day. Daly Avenue was a viable street. Ms. Meintsma suggested that the shed may also have been a type of living structure because people want to live within walking distance from where they work. Ms. Meintsma pointed out significant features of the structure. She noted that the beams are 12 x 12 which indicates the possibility of another era and potential historic significance. Ms. Meintsma stated that Sanborn maps were not necessarily designed to only include significant structures. She had asked SHPO what was indicated on the maps. She was told that anything that was combustible and insured were included on the maps. Therefore, outbuildings would be included if they were combustible and insured. Ms. Meintsma remarked that even if the shed was built in 1926 it would still be within the significant mining era. 1940 would be the waning mining era and still within a historic time period. Ms. Meintsma pointed out that two lots should leave sufficient room to build. She believed the real issue is that the applicant did not want the structure on her property. In her opinion the structure needs to be wanted and it needs to be taken care of and re-addressed. Ms. Meintsma outlined the unique circumstances that would need to occur in order for the structure to be moved off of the applicant's property and on to the Park City property. She believed the use of the structure would be difficult because it sits on two different properties. Therefore, because the structure straddles two properties with two different owners, that would create a unique circumstance. Ms. Meintsma thought it should be moved to the Park City property where it could be taken care of and used.

Chair Kenworthy closed the public hearing.

Chair Kenworthy clarified that within the purview of the HPB the Board should focus on the designation of significance and not the issue of moving the structure.

Board Member Melville asked whether the applicant had standing to make this application for a designation of significance. She had read from LMC Chapter 15-11-10, which states that the people who can make an application are the property owner or the Planning Department. It does not specify an adjacent landowner.

Assistant City Attorney McLean understood that the Planning Staff wanted clarification as well. It is on the HSI with the cabin, and the Staff wanted to see whether the garage was significant by itself. Director Eddington stated that because the garage encroaches by 5+ feet and there is record that the previous property owner had permission to demolish the structure, the Staff wanted to make sure that full transparency was given to the applicant.

Board Member Melville stated that in her reading of the Historic Sites Inventory, the garage is already listed on the HSI. She cited language and photographs to support her opinion. Planner Alexander replied that it was still vague and the Planning Department wanted to call out the garage specifically.

Ms. Stout stated that when she spoke with the Park City Museum about 360 Daly and that the cabin was listed as a significant piece of Park City History, the only thing they were able to tell her was that there was an outbuilding but it did not specify the garage. Ms. Stout pointed out that nothing on the Park City Historic Sites Inventory specifies that the garage is the outbuilding. She believed when the photo was taken it was taken in that direction. Ms. Stout stated that in looking at the survey of her property there is an outbuilding in the same direction and directly behind the garage. She would argue that there is an outbuilding that is in ruins; but that the garage has no association with the cabin nor was it designated as a significant part of Park City history.

Board Member Melville did not believe the Park City Museum would agree with Ms. Stout's assessment. Ms. Stout clarified that she had obtained her information from Lucy at the Park City Museum. Ms. Melville was certain that Sandra Morrison with the Museum would not agree.

Board Member Crosby referred to page 66 of the Staff report, Exhibit C, and asked how much of the structure encroached on Ms. Stout's lot. Ms. Stout replied that the structure encroached within her building envelope. She is allowed to build within three feet of the property line; however she would have to build five feet away from the garage structure which would reduce her building space by 11 feet.

Board Member Beatlebrox noted that the criteria Ms. Stout reviewed in her presentation was the criteria for Landmark significance. However, she understood that the HPB was looking at the building for Significant designation. To be clear, Mr. Beatlebrox reviewed the criteria for a Significant site designation. The building is at least 50 years old, which applies in this situation because the building was constructed between 1900 and 1907. Ms. Stout was unsure why Ms. Beatlebrox believed the building was constructed during that time period when the information she presented this evening clearly indicates that the building was not built until 1926 at the earliest and possibly as late as 1940. Ms. Stout suggested that Ms. Beatlebrox was making an assumption that was not substantiated by the facts.

Board Member Beatlebrox referred to an exhibit in the packet. Planner Alexander confirmed that the garage was shown on the 1907 Sanborn map. Ms. Stout disagreed and explained why she believed that neither the 1907 nor the 1929 Sanborn maps showed the garage. The garage did not show up until the 1941 Sanborn map. Planner Alexander pointed out the structure on the 1907

map that the Staff believed was the accessory garage. Ms. Stout remarked that Lot 360 became Lot 340, and on the 1941 Sanborn map Lot 344 no longer exists, so it could not possibly be the cabin with the garage. Ms. Stout reviewed the survey she had done of her property and the 1941 Sanborn Fire Map, which showed that Lot 344 no longer exists. She stated that process of elimination would put the cabin on Lot 360. Ms. Stout reiterated that based on the information presented, the garage structure was not built between 1900 and 1907.

Director Eddington pointed out that either way, the garage would still be older than 50 years old. Mr. Stout agreed that the structure was over 50 years old, but her point was that it was not an outbuilding to the cabin on Lot 340. It was built as a garage and was shown as having no value for tax purposes.

Board Member Beatlebrox continued reviewing the remaining criteria for a Significant designation. It retains the essential historical form, meaning there were no major alterations. Ms. Stout believed there were major alterations to the structure. Ms. Beatlebrox did not believe that the right-hand side of the shed looked like a major alteration. Ms. Stout noted that the original material was gone. The outside shell was originally constructed of wood and it is now metal on three sides and attached metal on the roof. The doors do not work and one door is completely caved in. A large chunk is missing out of the shed on the right side. Ms. Stout did not believe the shed had the integrity of a historic structure. In her opinion, the only historic material were the stacked beams. Ms. Beatlebrox remarked that many historic buildings have siding and when the structure is restored the siding is removed. She asked if Ms. Stout was contending that the garage structure could not be restored to its original form. Ms. Stout stated that it is her contention that this building and the historic cabin have been on Park City property for a very long time. She understood that the cabin has been identified as a ruin and she believed the garage was very near a ruin. Ms. Stout stated that if Park City had any interest in restoring this cabin, she was unsure where the money would come from or when it would be done. Since the cabin has been designated as a historical Significant site, she assumed the City would want to restore that structure first. She predicted that the cabin would most likely fall down after a few more harsh winters.

Board Member Beatlebrox noted that another criteria is that the structure has an important local or regional history associated with the following: 1) an era of historic importance to the community; 2) the mature mining era of 1894-1930. Ms. Beatlebrox had gone by the property and she felt that both of the buildings look like they belong to the mining history. It is something that the HPB is tasked with preserving and an important reason why they were here this evening.

Board Member Melville asked about the age of the additions to the accessory garage. Planner Alexander replied that she was unable to find any information

on when the additions were done. Ms. Melville thought it looked older than 50 years. Planner Alexander agreed.

Board Member Crosby asked if it was the addition that encroached on Ms. Stout's property. Ms. Stout replied that it was the addition, but also the large timbers were on her property. Planner Alexander noted that Ms. Stout would still have to build five feet from the structure, which would impose more than the three foot setback from the property line.

Board Member Holmgren recalled a similar situation several years ago when there was a "save our sheds" campaign to save structures that were slipping through the cracks. Ms. Holmgren felt strongly about saving those structures at that time and she still feels the same way. She personally believes those buildings are significant.

Board Member White stated that in his opinion the garage was a significant structure and he would like to see it preserved. The fact that it straddles a property line and it is deemed Significant makes it an easier fix than if it were a Landmark structure. Board Member White understood that the HPB did not have the purview to resolve the property line issue.

Assistant City Attorney McLean agreed that the property line issue was outside of the purview of the HPB. She suggested that it might be helpful if the Board would comment on the structure as well as the addition to the structure to provide clarity in terms of whether or not the addition is Significant as well.

Board Member Holmgren stated that if there were no facts to support the age of the addition, she would not be able to comment on that portion. However, she considers the structure itself to be Significant. Planner Alexander stated that based on the type and look of the materials, she believed the addition was added within a few years of the original structure.

Board Member White stated that he has seen the garage many times and he believes the entire structure is worth preserving.

Board Member Crosby agreed with Board Member White. She had been driving by that structure since the late 1960's and it is part of the whole environment of why she wanted to move to Park City. In her opinion, when people drive by that structure and others on Daly Avenue, it represents remnants of the mature mining era. She believes the entire structure meets the criteria for being Significant. Ms. Crosby encouraged the City and the HPB to support preserving this structure.

Board Member Melville believed that it met all the criteria. She was unaware that it was owned by the City until this meeting. Knowing that information, Ms.

Melville thought the City has the same obligation under the Code to stabilize historic structures. She asked about process. Director Eddington stated that if the structure is deemed Significant by the HPB, the Staff would work with the City Council as the owners of that building to discuss a remedy for stabilizing the structure. Ms. Melville agreed that these old accessory structures represent the mature mining era and that preserving them is important.

Board Member Beatlebrox concurred that the structure is Significant and it should be preserved. Board Member Hewett believed the structure was Significant. Chair Kenworthy agreed.

Director Eddington clarified that the majority of the Board members felt that the addition was in period. Chair Kenworthy replied that this was correct. Assistant City Attorney McLean recommended that the Board include that as part of their motion.

Ms. Stout vehemently disagreed with the Board's opinion. She understood that everyone loves this building and wants to preserve it as part of Park City's history and she appreciated their sentiment. However, she questioned where the funds would come from to stabilize this building or the one next to it. If Park City does not act she could see the structures as two pillars within the next few years. If she is not able to build on her property, she would be unhappy if Park City allows the cabin and the shed to fall down. Ms. Stout thought the HPB should not arbitrarily rule the structure as Significant and then do nothing to preserve the building. She wanted a guarantee that the HPB would do something to back up their decision.

Chair Kenworthy informed Ms. Stout that the HPB was not in a position to make any type of guarantee. He pointed out that many of the Board members were surprised to hear that it was owned by the City; but the HPB was acting on their passion of preserving their history through this forum. He assured Ms. Stout that the Board would do whatever they could to follow through, but they could not make any guarantees beyond their purview.

Board Member Melville referred to Finding #6 and suggested that the last sentence needed to be removed. Director Eddington removed the last sentence from Finding #4, believing that the last sentence in Findings 6 and 4 were Staff editorial comments that were somehow incorporated into the text. Director Eddington also recommended removing the wording (size) in both places in Finding #2 since they were also editorial comments.

MOTION: Board Member Melville moved to find that the accessory structure garage at 360 Daly Avenue is Significant on the Park City Historic Sites Inventory as a stand-alone structure based on the Findings of Fact and Conclusions of Law found in the Staff report. Board Member Holmgren seconded the motion.

VOTE: The motion passed unanimously.

Board Member Melville remarked that since the City has a prescriptive easement she believed this would be the appropriate time to take legal action to acquire title.

Board Member Holmgren stated that the City has become stricter about demolition by neglect and the people who allow their properties to deteriorate. She thought the City should be held to the same standard. Ms. Melville believed the City had funds to stabilize the structure. Director Eddington offered to pass on their comments to the City Council.

Findings of Fact – 360 & 336 Daly Avenue

1. The accessory structure/garage at 360 Daly Avenue is within the Historic Residential 1 (HR-1) zoning district.
2. There is a historic cabin and a wood-frame gabled-roof accessory structure/garage located at 360 Daly Avenue.
3. The existing accessory structure/garage has been in existence at 360 Daly Avenue since between 1900 and 1907. The structure appears in the 1907 Sanborn Fire Insurance maps.
4. The accessory structure/garage was built between 1900 and 1907 during the Mature Mining Era (1894-1930).
5. The accessory structure/garage is constructed of dimensional lumber. The two (2) hinged garage doors on the east façade as well as the roof are made of thick vertical wood planks typical of the period it was built. The sides are made of the same horizontal wood planks. These materials would have been readily available during the Mature Mining Era.
6. The accessory structure/garage is a single-cell plan and typical of the accessory structures built during the Mature Mining Era. A minor addition to the north side of the structure was added on using the same material.
7. The site meets the following criteria as Significant on the City's Historic Sites Inventory.
8. Built sometime between 1900 and 1907, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
9. The structure has retained its Essential Historical Form.

10. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era (1894-1930).

Conclusions of Law – 360 & 336 Daly Avenue

1. The existing accessory structure/garage located at 360 Daly Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community (built between 1900-1907); and

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

(i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, (no changes to the roof have occurred) or

(ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance (no such change has occurred), or

(iii) Moving it from its original location to a Dissimilar Location (no such change has occurred), or

(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way (no such change has occurred).

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

(i) An era of Historic importance to the community (Mature Mining Era (1894-1930)), or

(ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

491 Echo Spur – Appeal of a Historic District Design Review. (Application PL-14-02481)

Planner Astorga stated that the Planning Department was recommending that the Historic Preservation Board review the submitted appeal of the Staff Determination approving the Historic District Design Review at 491 Echo Spur.

The Staff had prepared Findings of Fact and Conclusions of Law affirming the determination of compliance.

Planner Astorga reported that the appellants were Dan and Paul Riordan, being represented by Scott DuBois. The property owner was Leeto Tlou, being represented by Karen O'Brien. Planner Astorga stated that the property at 491 Echo Spur was formerly known as McHenry Avenue. However, prior to the plat amendment the City Council changed the name to Echo Spur. Planner Astorga noted that the site is currently vacant.

Planner Astorga remarked that the site originally consisted of three Old Town lots of record. The plat amendment was approved in October 2013. Planner Astorga clarified that the plat amendment was not part of the HPB discussion this evening.

Planner Astorga reported that the Planning Commission approved the Steep Slope Conditional Use Permit in April 2014. Later in the year the Staff began working on the final application submitted by the applicant prior to obtaining a building permit to build a single family dwelling.

Planner Astorga stated that on October 31st the Planning Department received an appeal of the Historic District Design Review, which was approved by the City on October 21, 2014. Planner Astorga explained that the Riordan's own a home behind the property at 491 Echo Spur. He commented on the exhibits that were provided and noted that the first exhibit was not part of the original appeal submittal, and he was seeing it for the first time this evening. It was an analysis of home comparisons. Assistant City Attorney noted that the Board should receive exhibits and other information in advance of the meeting so it can be reviewed. She stated that the Board could evaluate the new exhibit and give it whatever weight they felt was appropriate.

Planner Astorga commented on other exhibits that were included in the Staff report. He referred to the analysis on Page 79 of the Staff report. The language highlighted in blue was the exact wording written by the appellant that he had cut and pasted into the exhibit. The language focused on Guidelines 6 and 7 and how it relates to the plat amendment. Planner Astorga stated that the Staff finds that the proposed massing and architectural design components are compatible with the volume and massing of single family dwellings. Planner Astorga noted that when the City Council approved the plat amendment they made a finding that it provided an excellent opportunity to transition from the larger lots and buildings east of the property up to the Ontario neighborhood. Planner Astorga reported that the Planning Commission had originally forwarded a negative recommendation to the City Council. However, plat amendments are first reviewed by the Planning Commission and reviewed again by the City Council. Ultimately, the City Council has the final decision and in this case they made

findings for approving the plat amendment based on compliance with applicable Codes. Planner Astorga noted that the appellant failed to mention in their submittals that this was an approved plat.

Chair Kenworthy clarified that the plat amendment was outside of the purview of the HPB and he did not want to spend time talking about the plat amendment. Assistant City Attorney McLean explained that for this appeal the HPB only has jurisdiction over the Historic District Design Review. The Board should look at it de Novo, but the discussions and presentations should only focus on the HDDR.

Planner Astorga referred to page 84 of the Staff report and the specific guidelines. Guideline B.1.6 – Windows and balconies and decks should be located in order to respect the existing conditions of neighboring properties. The next page was a version of the site plan showing the exact area being reviewed this evening. Planner Astorga noted that the architect was able to place the approximate location of the existing structure of the Riordan house. The rear wall was approximately 16 feet from the property line. The property owner for 491 Echo Spur has requested to build a deck on the north side of the property, which meets the 10-foot setback. Per the LMC, the deck is allowed as long as it meets the 10-foot setback. Planner Astorga pointed out that the middle of the structure becomes an at-grade patio. The zoning ordinance in the HR-1 District indicates that a property owner can build an at-grade patio as long as it provides a one-foot setback. Planner Astorga noted that the at-grade patio proposed is clearly set back three feet from the property line. Therefore, the patio is 3 feet to the property line and approximately 16 feet to the house. Given the setbacks and the fact that both property owners have the ability to build up to a 6' fence between their properties, the Staff could find that the location of the patio or the deck would affect the neighboring structure and, therefore, met Guideline B.1.6.

Board Member Crosby asked if the patio was at ground level. Planner Astorga answered yes. He explained that “at ground level” as currently defined in the Code is no more than 30-inches above defined grade.

Board Member Melville asked Planner Astorga to identify the two properties being discussed as shown on pages 81 and 82. Planner Astorga noted that the red identified the three lots that were combined with the plat amendment.

Board Member Beatlebrox could not find steps going from the deck to the patio. Planner Astorga replied that the site is very challenged. Therefore, the architect followed the contours of the site. The site is not flat which is why they could accommodate a deck above and an at-grade patio on the other side. He explained that it is one horizontal plane going from the patio to the deck due to the topography of the site and the slope. Planner Astorga remarked that the City has a provision that construction on a slope of 30% or grader must be approved by the Planning Commission.

Planner Astorga commented on the next Guideline. Guideline B.1.8 Guideline B.1.8: Buildings constructed on lots greater than 25 feet wide should be designed so that the facades visible from the primary public right-of-way reinforce the rhythm along the street in terms of traditional building width, building depth, and patterns within the facade. He presented the Staff Exhibits that were provided to the Planning Commission during the plat amendment process. He reviewed the site plan on page 161 of the Staff report which showed the elevations and the roof line, as well as the existing retaining wall that was built to accommodate proper draining and other technical aspects for a road, while at the same time ensuring the safety of property owners. He noted that the retaining wall was designed and built without knowledge of this specific house. Planner Astorga pointed out that it is challenging to find an appropriate rhythm on a lot that doesn't have full frontage on what would be considered the front property line.

Board Member Beatlebrox asked if the retaining wall was at the end of the road. Planner Astorga answered yes. Director Eddington clarified that the retaining walls were part of the dead-end portion of Echo Spur. The walls were constructed with the overall development of the road.

Planner Astorga noted that the property is on the corner of Echo Spur and platted Fifth Street. When the plat amendment was approved the City allowed the property owner to combine the lots but requested that he not provide access to the lots from platted Fifth Street, which would otherwise be his right. Planner Astorga pointed out that the road was built in a way to barely access the third lot down from that specific corner. He noted that finding the rhythm or pattern of the lot is more challenging due to the fact that the applicant would probably not have a neighbor on the other side of Norfolk. On the other side of platted Fifth Street is the Roundabout Subdivision which has much larger lots and development plans to build.

Planner Astorga remarked that in the clarification provided by the appellant, they talk about the large concrete retaining wall. He believed there was some confusion because you cannot appeal something that has already been built, and the wall has nothing to do with Mr. Tlou proposal. Planner Astorga remarked that the infrastructure for the road, which also includes the retaining wall, has already been reviewed and inspected by the City Engineer. On his recommendation it was also accepted by the City.

Planner Astorga referred to page 88 of the Staff report and noted that the appellant had focused more on the General Plan in terms of goals and objectives. He pointed out that the General Plan does not have standards for development. It is simply a guiding document for the LMC and the Design Guidelines. However, if something does not reflect the value of the General Plan, the LMC or the Design Guidelines are the law. If it does not coincide, the

Planning Department has the responsibility to research and analyze the project through the proper channels of review to reflect the specific goal that should be reflected in the zoning ordinances. Planner Astorga stated that they could not apply a statement regarding the General Plan to specific development parameters such as the Design Guidelines. The purpose of the Design Guidelines is to be able to achieve the goal of compatibility in the General Plan.

The Staff had created Findings of Fact and Conclusions of Law that indicate that the Staff did not make an error in their determination of compliance with the Historic District Design Guidelines. If there had been an error, the appellant has the responsibility to show where the Staff specifically erred.

Scott DuBois, representing the appellants, Paula and Dan Riordan, stated that due to a death in their family Mr. and Mrs. Riordan were unable to attend the meeting this evening. Mr. DuBois had submitted a letter earlier that day explaining the circumstances. He remarked that the Riordan's had requested that Mr. Tlou and his attorney consider a two week extension, but their request was refused. In light of the circumstances Mr. DuBois asked the HPB to excuse their absence and not interpret their lack of presence as disinterest on their part. The Riordan's had filed this appeal because they believe this to be a very serious issue.

Mr. DuBois stated that before addressing the merits of the appeal and the arguments that were raised by Mr. Tlou and the City, he wanted to clarify that the appeal was filed on October 31st. Mr. Tlou and the City had more than 70 days to file a response to the appeal; however, he did not receive a response from the City until January 2nd. He did not receive Mr. Tlou's response until Monday of this week. For that reason he had not had the opportunity to review every new argument raised in both of those submissions. Mr. DuBois intended to do his best to respond, but in fairness, if there were new issues that required more time for a response he respectfully requested the opportunity to provide additional written materials that would be helpful in making their decision.

In terms of the merits of the appeal, Mr. DuBois appreciated that Planner Astorga had spent a significant amount of time working with Mr. Tlou to move this project forward. However, the project being proposed by Mr. Tlou does not meet the Historic District guidelines and his application should be rejected. Mr. DuBois stated that the Riordan's filed this appeal as concerned property owners. They have owned a home on Ontario Avenue for over ten years. When they purchased their home there were a number of smaller homes on smaller lots.

Mr. DuBois stated that the Riordan's were bringing this appeal because the home proposed by Mr. Tlou represents a significant departure from the size of the homes that exist in this neighborhood. The appeal is about choices and precedent. He asked if the Board wanted to encourage the combination of

multiple lots in this neighborhood and homes over 5,000 square feet; or whether they wanted to send a message that the Historic District should be maintained and the homes should be consistent in size with the existing homes.

Mr. DuBois remarked that the City, the Riordan's and Mr. Tlou agreed on one thing, and that was the standard of review. The standard of review is de Novo which means they start fresh. They should not give deference to the conclusions of the Planning Department. The Board should look at all the information being presented and determine whether or not the application should be rejected or accepted.

Mr. DuBois stated that the approach taken by Planner Astorga in response to many of the points raised in the appeal could be reduced to one basic point. Planner Astorga argues that the City Council approved this three lot combination, but then they argue that Mr. Tlou is only required to adhere to the restrictions on the size of the house based on the lot size. Mr. DuBois stated that if that was the analysis there would be no reason for the HPB to exist and there would be no reason for a Historic Design Review. It would come down to a mathematical calculation of how large the house could be given the lot size, which is what Mr. Tlou did. He combined three lots and designed the largest house he was allowed to build on those three lots. Mr. DuBois suggested that the analytical framework advanced by the City was incorrect. He remarked that house size based on lot size is only the first step of the analysis. The second step is whether the proposed structure is compatible with the Historic District Guidelines, the General Plan and other provisions of the Land Management Code.

Mr. DuBois conceded that the City Council approved the three lot combination and it was not an issue for discussion. He stated that the primary issue before the HPB this evening was whether the home being proposed by Mr. Tlou is consistent with the Design Guidelines and the General Plan for the Historic District. He felt it was important for the Board to get a sense of the historic neighborhood they were talking about. He presented a map he had created describing the lot size and the amount of livable square footage. In looking at the neighborhood most of the lots range between 1800 square feet to 3900 square feet. The square footage for the homes on Echo Spur is approximately 2800 square feet. The average home in the neighborhood is approximately 1800 square feet.

Mr. DuBois commented on the analytical framework for the de Novo review. He noted that the Riordan's were challenging several specific findings of fact and conclusions of law. The first Finding being appealed is that the application meets the Universal Guidelines for new construction. He referred to Guideline #6 which states that the scale and height of new structures should follow the predominant pattern of the neighborhood with substantial consideration given to historic sites. Guideline #7 states that the size and mass of the structure should be compatible

with the size of the property so that lot coverage, building bulk and mass is compatible with historical sites in the neighborhood. Mr. DuBois stated that a typical lot on Block 58 and in this neighborhood is 75' x 25'. Given that lot size, a property owner would be limited to a footprint of 844 feet, which is representative of the predominant pattern of the neighborhood. Mr. DuBois remarked that in contrast the Tlou property is 75' x 75'. For that lot size, the maximum building footprint is 2,050 square feet. The footprint being proposed for this structure is 2,049 feet. He pointed out that Mr. Tlou used the maximum square footage and maximized the building footprint. As a result, Mr. Tlou was seeking approval for a structure that exceeds 5,100 square feet of living space, which doubles and triples the size of the homes on Block 58 and in the neighborhood. Mr. DuBois stated that the incompatibility of the proposed structure was also illustrated on the architectural design that was submitted. The homes on Ontario are small and narrow. The proposed house would tower and loom over the smaller homes. Mr. DuBois did not believe the proposed structure meets Universal Guidelines #6 and #7 because it is inconsistent with the historic nature of the neighborhood.

Mr. DuBois remarked that the structure proposed by Mr. Tlou has a building height that reaches 27 feet. While that technically complies with the LMC, the General Plan reads, "Building heights up to 27 feet in a residential area exceeds the height of the majority of historic mining homes, rendering it incompatible with other historic structures as contemplated by the General Plan". He stated that the sole response Planner Astorga gave to this point was that the City Council approved the plat and it meets the Historic Design Guidelines as long as the house is consistent with the maximum size allowed for the lot. Mr. DuBois disputed that reasoning because the structure should be looked at from the standpoint of whether it meets Universal Guidelines 6 and 7. That issue was raised in the appeal and the appellant did not hear a response.

Mr. DuBois also challenged Finding #24, "The application as conditioned meets the specific Guidelines for site plan, primary structures, off-street parking areas, exterior lighting and sustainability". The specific Guideline being challenged states that the character of the neighborhood and the district should not be diminished by significantly reducing a proportion of built or paved area to open space. Mr. DuBois pointed out that after the three lots were combined, Mr. Tlou could have proposed a structure that is compatible with the size of the surrounding homes, and left open space or created a larger yard. Instead he chose a structure that maximizes the building footprint and leaves very little space between the home and the setbacks.

Mr. DuBois stated that the next Guideline being contested is that the windows, balconies and decks should be located in order to respect the existing conditions of neighboring properties. He reviewed an exhibit showing a deck and a patio that goes 7 feet into the setback and three feet from the property line. Mr. DuBois indicated a 12 foot drop from the patio being proposed to the rear of the

property. Therefore, while standing on the patio you could look down on to the Riordan's deck, which would significantly impact the Riordan's privacy and enjoyment of their property. In addition, the Tlou deck as elevated would be right on the setback and would allow anyone to look straight into the second story of the Riordan's home. Even with a 6' fence it would be easy to peer down on to the Riordan's deck. For that reason the design does not respect the existing conditions of the neighboring properties.

Mr. DuBois also contested Guideline B.1.8., previously read by Planner Astorga when discussing the retaining wall. He remarked that the issue is more than just the retaining wall. The width of the structure is the primary issue because the lot is 75' wide instead of 25' wide and doubles or triples the width of any other lot on the street. For that reason the width is inconsistent with the rhythm of Echo Spur and Block 58. Mr. DuBois recognized that there was some confusion regarding the retaining wall mentioned in the appeal. In looking at the artistic rendering it appeared that the retaining wall would be new. He has since realized that the retaining wall already exists.

Mr. DuBois remarked that the appellants were also appealing several conclusions of law. The first Conclusion is that the proposed dwelling complies with the Park City Historic Design Guidelines as conditioned. He heard from Planner Astorga that the General Plan has no application and there was no reason for the HPB to consider it in their analysis. Mr. DuBois did not believe that was the right approach. He referred to a specific statement in the Design Guidelines that says the Design Guidelines are designed to carry out the policy directives in the Park City General Plan. Mr. DuBois further noted that the General Plan states that the Design Guidelines are an effective tool to maintain the character of the Historic District, and designed and adopted to ensure that the Historic District is not overwhelmed by new development and the historic character of the place is preserved. Mr. Dubois stated that the two Guidelines and the General Plan work hand in hand to ensure that the character of the historic neighborhood is preserved.

Mr. DuBois stated that the General Plan also says that given the current real estate demands, including the combination of Old Town lots to accommodate large residential structures threatens the current historic fabric of Park City and are causing increased adverse effects on the historic pattern and aesthetics of Old Town neighborhoods. It specifically attributes the adverse effects being experienced with lot combinations which accommodate uniquely large residential structures. Mr. DuBois clarified that the appeal was not attacking lot combinations, but it is important to look carefully at the size of the structure to ensure that it is consistent with the Design Guidelines to protect the historic nature of the neighborhood.

Mr. DuBois commented on discussions about the Planning Commission and whether they agreed that the Tlou structure complies with the General Plan. He noted that in 2013 the Planning Commission found that the requested lot combination was not consistent with the General Plan because the size of the structure that could be built on the combined three lots was not consistent with the General Plan. He referred to a discussion by the Planning Commission indicating that the purpose statements of the HR-1 zone were not met and that the size of the structure would not be consistent or compatible with preserving the historic neighborhood. Mr. DuBois indicated a comment by Commissioner Strachan where he had read directly from the General Plan and noted that this structure was not consistent with the General Plan due to its massive size.

Mr. DuBois disputed Conclusion of Law #2, the proposed dwelling complies with the Land Management Code requirements pursuant to the historical density in the District. He stated that the Guidelines are also designed to carry out the directives of the Land Management Code. Mr. DuBois noted that the purpose of the Historic Residential HR-1 District is to preserve present land uses and the character of the historic residential areas of Park City and to encourage construction of historically compatible structures that contribute to the character and scale of the historic district and maintains existing residential neighborhoods. He reiterated that the Tlou residence is double the size of the houses in the neighborhood and it is incompatible with the existing structures on Block 58. For that reason the application should be denied.

Mr. DuBois stated that Mr. Tlou's Counsel in their submission suggested that the Riordan's filed this appeal due to a boundary dispute between the parties. Mr. DuBois remarked that the representation by Mr. Tlou's Counsel indicating that the Riordan's offered an ultimatum to get a free easement is simply not true. For clarification, Mr. DuBois explained that a rock wall was built on the rear portion of the Riordan's property that abuts the Tlou property. The wall was built approximately 20 years ago and there was no issue with the rock wall. Mr. Tlou apparently learned that there may have been a small encroachment of a portion of the wall and he had approached the Riordan's.

Chair Kenworthy informed Mr. DuBois that the HPB was aware of that situation but it was not within their purview and would have no bearing on their consideration this evening. Mr. DuBois understood their position.

Mr. DuBois stated that in analyzing the potential boundary issue the Riordan's obtained copies of the plans for the Tlou property and they were shocked by its size and the fact that it had been approved by the City. They were surprised to see a patio three feet from their property line. That was their sole reason for filing this appeal. It is a policy issue and the Board should recognize the precedent they would be setting if they allow the Tlou home to be built as proposed.

Katie O'Brien, representing Mr. Tlou, stated that the burden of proof is on the appellant to prove that the Staff erred in approving this HDDR application; however, she had not heard where that has been proven. Her client has complied with the LMC and with the provisions of the HR-1 District, and he has worked diligently with the City for full compliance on everything.

Ms. O'Brien noted that the appellant was disturbed by the fact that the appeal was submitted on October 31st, which was the 10 day mark from the October 21st approval of the HDDR application. They also agreed with the Staff to hold this hearing on January 7th. Mr. DuBois' claim that he was shocked to learn that this hearing would be held on January 7th is a thin argument. Ms. O'Brien recognized that it has been 60 days, which is beyond the 45 day limit, but having this appeal hearing today was not out of order.

Ms. O'Brien stated that the Staff followed the typical protocol of distributing documentation the Friday before the hearing on Wednesday. Mr. DuBois understood the timeline and he had six days to review the documentation. The materials were posted to the website on Friday and Mr. DuBois received a copy on Monday. Ms. O'Brien did not believe there was anything out of the ordinary in terms of how the documentation was treated.

With respect to the merits of the case, Ms. O'Brien had little to respond because she did not believe Mr. DuBois had proven his case. However, she was prepared to present additional facts. Ms. O'Brien responded to each item in the appeal.

The first Finding of Fact in dispute was the application of the Universal Guidelines for new construction. Ms. O'Brien stated that the owners have worked very hard with the City for more than two years to ensure that the designed plan for this particular house meets the criteria of both the LMC and the HR-1 District. There have been several iterations of this plan. They worked tirelessly to create a beautiful structure, but one that complies with the Old Town feel and charm and does not tower over neighboring properties. Ms. O'Brien stated that the result shown on page 177 of the Staff report is with the lot combination and she could not see where it loomed over anything. She sees it working with the land to present an attractive house that serves as a transitional gateway between Ontario and McHenry and the larger estates on the other side of the property. Ms. O'Brien noted that page 169 showed the structure from another angle and she thought it looked conservative and miner-like. Page 172 showed how they worked with the topography to create something beautiful that works with the neighborhood and adds to its attractiveness.

Ms. O'Brien commented on the size of the home. She noted that the footprint is 2,049 square feet. The gross residential floor area is approximately 2,800 square

feet. She presented comparables of other lots in the area to show how the Tlou home is compatible with the other homes in size and lot width. Ms. O'Brien presented comparables of the entire Ontario/McHenry area to show that the house proposed by Mr. Tlou is compatible with the entire area. She pointed out that the Tlou house is not the largest house on the block. The difference is that the Tlou house goes into the side of the sloping hillside and becomes part of a pretty area that is sustainable; and serves as a gateway from McHenry/Ontario to the Gateway Estates re-plat subdivision which is also in the HR-1 District and has lots ranging from 9700 to 12,500 square feet. In comparison, the average size of the three lots combined by Mr. Tlou is 10,689 square feet.

Ms. O'Brien explained various elements of the house that were specifically designed to blend in with both the historic and contemporary surroundings. The stepping volumes for the home allow it to follow the contours of the site. It maintains the 27' height restriction as it cascades down the property. Ms. O'Brien stated that everything has been built to Code. The LMC is specific when it says that a certain amount of house is allowed on a certain amount of property. The fact that the three lots are combined echoes one of the precepts of the HR-1 District that the appellant actually stated in the appeal. The LMC 15-2.2.1, states that the fourth purpose of the HR-1 District is to encourage single-family development in combinations of 25' x 75' historic lots. She pointed out that Mr. Tlou had done exactly that when he combined the lots.

Ms. O'Brien summarized that her clients followed every guideline and they worked with the City to make it beautiful. The character of the neighborhood has been followed and it serves as a transition. The house is not larger than other homes in the area and it is much smaller than the homes in the adjoining area.

Regarding the appearance of the house, Ms. O'Brien noted that the architect went to great lengths to ensure compatibility with the Riordan's house. The rendering showed similarities in terms of the façade.

Ms. O'Brien referred to Finding of Fact #24 as referenced by Mr. DuBois. She pointed out that Lots 17, 18 and 19 were always designated for development. To say that building on those lots would decrease the open space is a difficult argument for the appellant to make. Ms. O'Brien remarked that the recorded plat documents were available to the appellant when they purchased their house and they know those lots would be built upon. Therefore, combining the three lots into one avoids having three paved driveways, three different houses, additional traffic and more density. It enhances the area beautifully in a conscious manner that blends into the natural scope. It echoes the mining style, as well as the elegant motif of the adjoining neighborhoods. Ms. O'Brien clarified that building the house would not diminish the open space.

Ms. O'Brien believed the Staff had already sufficiently addressed the issue regarding B.1.6, windows, balconies, and decks should be located in order to respect the existing conditions in neighboring properties. She explained how the house was designed to respect the privacy of the neighboring property.

Ms. O'Brien addressed the appellant's concerns about constructing on lots greater than 25 feet wide and that the facades should be visible from the primary public right-of-way. She stated that the street is a limited access street, and the Tlou house is right in line with the other houses that were already built or were currently being built along the road in terms of size, façade and design.

Ms. O'Brien referred to Conclusion of Law #1 and noted that the first few paragraphs of the section speaks to the plat amendment, which was not a topic for discussion this evening. Regarding the regulation that new construction in the Historic District should be compatible, Ms. O'Brien noted that the General Plan, which was an issue raised by the appellant, sets forth that design reviews are necessary to preserve the neighborhood's overall historic integrity, character and composition. She remarked that her client has been doing exactly that over the past 2-1/2 years by working diligently with the architects and the City to make sure the architectural plans create a home that is compatible with this neighborhood and the surrounding neighborhoods.

Ms. O'Brien stated that the proposed design complies with the Land Management Code requirements pursuant to historical density and the HR-1 District. Ms. O'Brien read the purpose statements of the HR-1 District. She was surprised that the appellants have disputed this in their appeal because the purpose statements speak exactly to what the applicants have done with the help of their architects. The present land use of that area is residential and the character of the neighborhood surrounding the residential area are preserved as well as beautified by the addition of this home; building this home threatens no existing structures; the residential neighborhood is maintained; and the proposed structure is in line with the character and scale of the transition area of this neighborhood. Ms. O'Brien noted that the applicant had received a conditional use permit for development on steep slopes and, therefore, they were in compliance with that criteria as well.

Ms. O'Brien summarized the points she had made as to why the proposed structure was compliant with all of the City Codes and Guidelines. She believed her comments supported the Staff's determination and she could find nothing to indicate that the Staff had erred in their decision. For that reason she urged the HPB to uphold the Staff approval and to deny the appeal.

Mr. Tlou, the owner of 491 Echo Spur, stated that over two years ago they asked their architect to design a family home. It was intended to be their primary residence and that is still their intention. Mr. Tlou remarked that the architects

worked hard to achieve a design to fit the general landscape, the culture and the general feel of the neighborhood. They worked even harder with the Planning Department to make the design fit within the LMC. He noted that with a three lot combination he was allowed to build a 6,000 square foot structure. Per the calculations presented this evening, he believed the livable space would be 4517 square feet. Mr. Tlou remarked that the design fits within all the requirements and criteria, which is why he received all of the necessary approvals. Compared to the surrounding properties, he could not see a significant difference between those houses and the house he would like to build. The intention was to fit into the neighborhood and to make his home a transition into the larger homes in the community. He believed they had accomplished that intent.

Chair Kenworthy opened the public hearing.

Shawn Kelleher, a resident at 2472 Sunny Knoll Court, stated that he owns the seven undeveloped lots on Echo Spur Court and he has three HDDR approvals. Mr. Kelleher noted that the chart which showed his properties was inaccurate because it was missing three homes. Mr. Kelleher stated that in looking at the chart, it was clear that there not many 25'x 75' lots. On an overall average scale, Mr. Tlou's lot is the largest but it is still within the contact of what was occurring on the street. Mr. Kelleher pointed out that he had gone through three HDDRs without issue. The Riordan's had never expressed concern with what he was building. He remarked that the homes that have been approved range from 3,100 to 4,000 square feet. He believed Mr. Tlou's proposed is in the context of the street. Mr. Kelleher stated that if you do a 360 in Mr. Tlou's driveway and gauge the neighborhood, the homes immediately to the east are much larger than anything on Echo Spur and the homes immediately to the south are very large and very high. He believed that fact was missing from the chart. Mr. Kelleher stated that he considers his neighborhood is whatever is visible from Echo Spur Court. Mr. Kelleher remarked that the HDDR process is very intense. A lot of work is done and there is a lot of give and take throughout the process. There are many discussions about compatibility, materials, and structure size and scale. If people have issues with what is allowed by the LMC then consideration should be given to changing the LMC. However, given the current standing, Mr. Kelleher could not find anything with this project that goes against the LMC.

Chair Kenworthy closed the public hearing.

Board Member Hewett was curious about the correct square footage because she had heard three different square footage numbers. She wanted to know what square footage would be listed on an MLS. Ms. O'Brien explained the reason for the different numbers. She stated that one number is the gross square footage, which is the lower number, because it is calculated by taking the livable space minus the basement, minus decks, minus a garage. That number

calculates to 2,822 square feet. Ms. O'Brien stated that the footprint is 2,049 square feet.

Mr. Tlou believed they were talking about two different things. He stated that the footprint is the area that the house can be built on. In talking about square footage in terms of the LMC, that is the 2,800 square feet number, minus the garage, the decks and the basement. Ms. O'Brien remarked that the livable square footage per Code would be approximately 4,000 square feet. Mr. Tlou explained that the bottom portion is under grade, and that was intentional so the structure would not have a high profile.

Mr. DuBois stated that in listing the square footage on the MLS, he had comps showing that the square footage was nowhere near the square footage of the Tlou lot. The square footage on the MLS is listed as the approximate total finished square footage.

Planner Astorga clarified that he was not prepared to go in-depth on MLS numbers. However, the plat restricted the gross floor area to 3600 square feet. As reviewed by Staff, the proposal met that limitation. Planner Astorga stated that the reason for the requirement was to maintain compatibility with structures in the neighborhood. He pointed out that the gross floor area does not count below grade square footage.

Board Member Melville asked what was planned for the below grade basement. Mr. Tlou replied that it would be bedrooms and mechanical.

Assistant City Attorney McLean stated that the LMC defines gross floor area as above grade. Board Member Melville understood that the basement bedrooms would not be included in the gross square foot calculation of 2800 square feet.

Chair Kenworthy asked Board Member White to provide some clarification from the standpoint of an architect. Mr. White stated that the most important aspects are the total footprint, including the garage; and, the height of the structure above grade, which is a maximum of 27'. There is also a measurement taken from the lowest floor to the plate height of the roof, which is 35 feet. If all of those aspects are met, the project meets Code. Mr. White stated that in his opinion the square footage is irrelevant.

Board Member Holmgren noted that square footage was important during the plat amendment process. She read, "During the plat amendment the review Staff recommended that limiting the gross residential floor area to the homes lot to a maximum of 3603 square feet. The approximate maximum floor area is 1-1/2 Old Town lots, the predominant lot size within the vicinity of the subject site". She pointed out that the project complies if the lowest level is not counted.

Board Member Crosby explained that if a property is listed for sale and all of the lower level basement is finished, the MLS can list the total square footage that is finished. However, that was not within the purview of the HPB this evening.

Mr. DuBois clarified that the appellant was not contending that Mr. Tlou exceeded the Code on the square footage. He only included the square footage for comparison with other surrounding properties to reference incompatibility with the pattern of the neighborhood in terms of scale and type of structure.

Chair Kenworthy clarified that Planner Astorga found compatibility as long as the project met the 3,603 square feet restriction. Planner Astorga replied that the plat note limits 3,603 to the gross floor area. Board Member Melville asked if Mr. DuBois agreed with that position. Mr. DuBois remarked that their position is that meeting the Code is only the first step. The second step is looking at the specific design pattern. Board Member Melville understood that the appellant was not contesting the plat amendment requirement of a 3,603 maximum square footage. Mr. DuBois agreed. However, in looking at the gross square footage, excluding the basement, the gross numbers for all of the surrounding properties would be a fraction of what was listed; based on the assumption that the basements of the other properties would also be excluded.

Board Member Hewett asked if the HPB had the purview to be involved with any type of compromise. Chair Kenworthy answered no. Assistant City Attorney clarified that their purview is to determine whether or not the proposal meets the Guidelines.

Board Member Beatlebrox read from Guideline B.1.4, "Taller portions of buildings should be constructed so as to minimize obstruction of sunlight to adjacent yards and rooms". She noted that the structure would present a large mass on the side that faces the Riordan's and she wanted to know if the impacts regarding sunlight had been considered.

Planner Astorga thought the picture shown was slightly inaccurate. He explained the inaccuracies and showed how the impacts were addressed through specific setbacks. He noted that the front of the house is on the east side of the lot with a 10' setback on the front and another 10' setback on the rear. Therefore, the Staff did not find that impacts for sunlight or air needed to be impacted. Planner Astorga pointed out that the setback on the north property line exceeded the LMC requirement. Planner Astorga and the Board discussed setbacks. Ms. Beatlebrox understood that the eastern sun would be blocked but not the southern sun. Planner Astorga reviewed a drawing to show that the eastern sun would not be affected. He pointed out that the advantage of combining the lots is that a larger lot requires larger setbacks. Therefore, the houses are further apart and create lesser impacts for sunlight.

Board Member Melville was still confused on the square footage. She asked where the LMC talks about not including the basement level. Assistant City Attorney McLean read from the LMC definition section. "The area of a building including all unenclosed areas, unenclosed porches, balconies, patios and decks, and courts are not counted toward the residential floor area. Garages up to a maximum area of 600 square feet, or 400 for the historic district, are not considered floor area. Basement and crawl space areas below final grade are not considered floor area". Ms. McLean stated that from a legal perspective the HPB should consider the overall view of whether the structure is compatible. She cautioned the Board not to get too involved with the square footage because even on an MLS, it is not always clear what square footage is being listed. When the Staff does comparisons they refer to the tax records. She explained that it is more of a ballpark number in conjunction with what area they consider as the neighborhood.

Planner Astorga pointed out that only the portion of the lower level that is below grade is not counted. The portion that is exposed would be counted in the gross square footage.

Board Member Melville read the definition of a basement level in the LMC as written in the Staff report. Planner Astorga stated that he had received his measurement from the architect, which slices the basement into below and above grade areas.

Board Member Hewett explained her reason for asking the question about square footage. If the house is built on a steep hill it would look larger, even if the square footage is not extreme.

Board Member Melville clarified that the proposal meets the plat amendment requirement of 3,603 square feet and that the appellant did not dispute that fact. Planner Astorga answered yes.

Board Member Crosby used the Park Meadow, West Ridge, and Fairway Hills Estates as examples to help put the issue into perspective. Those subdivisions were approved with a maximum square footage on the plat. However, the rule was to burying 80% of the lower level into the hill and 20% could be exposed, but the entire lower level was not counted in the square footage. Listing one of the homes on the MLS could result in a home that was approved on the plat for 3600 square feet, and that home could have 5500 square feet of finished square footage. Ms. Crosby noted that this type of situation occurs consistently and it was not an exception to Mr. Tlou's property.

Board Member Crosby asked Mr. Kelleher's if his eleven Echo Spur lots 21 through 32 were combined into seven lots. Mr. Kelleher replied that 12 lots were combined into seven lots. Ms. Crosby understood that the average square

footage for the homes would be approximately 3400 to 3600 square feet. Mr. Kelleher recalled that the total square footage including the garage for five lots range from 2700 to 3100 square feet and the other two lots are 4,000 square feet plus the garage. He pointed out that none of the square footage is below grade like Mr. Tlou was proposing with his design. Ms. Crosby was familiar with Mr. Kelleher's subdivision and she could not see any difference in terms of compatibility between what Mr. Tlou was proposing and what is planned to be developed on Echo Street. Both projects are contiguous with the historic nature of the neighborhood as it transitions from smaller homes to larger homes. She remarked that all the homes on Echo Spur will look similar when viewed from the back. They will be larger homes built on lot combinations and stepping up a hill. She pointed out that every lot on the street except for Lot 20 is a combined lot. Ms. Crosby definitely sided with the Staff's findings.

Board Member White noted that the diagram presented only showed a portion of the neighborhood. From Echo Spur to the left is downhill and he thought most of the smaller homes would be looking primarily at roofs. However, on the right side of Echo Spur are large structures. Echo Spur eventually stops but continuing up in the same direction are some very large lots and very large homes. Mr. White believed the Tlou home is on the border line of seeing larger homes and larger lots. He did not have a problem with the proposal.

Board Member Holmgren was curious as to why the HPB was not provided with a perspective built model, since this was obviously a controversial issue. Planner Astorga stated that the industry has changed from physical models to computer models. Ms. Holmgren remarked that computer models do not provide a good enough perspective. The computer model does not show the houses in the surrounding properties or other important details. Ms. Holmgren thought a situation as contentious as this one should require a physical model.

Board Member Beatlebrox asked if she was correct in assuming that Mr. Kelleher's lots were smaller than Mr. Tlou's lot. Planner Astorga replied that she was correct. Ms. Beatlebrox clarified that the homes developed along Echo Spur would be smaller and more in concert with what exists in the neighborhood. Planner Astorga stated that in terms of lot size she was correct. Ms. Beatlebrox understood that none of the existing homes on Echo Spur were on the HSI, but eight homes on Ontario were listed on the HSI. Planner Astorga did not believe there were eight homes and he offered to find the exact number. Board Member Beatlebrox stated that her point is that historic homes on the HSI were not near the proposed structure, but they were still talking about historic homes of the same size and basic lot mass being near the structure. She could understand why the appellants were concerned because it would be the first very large house to be built, comparatively speaking.

Ms. O'Brien disagreed with Board Member Beatlebrox. She referred to the comparable structures on Ontario Avenue that are neighbors to the Riordan's, and noted that some of the structures are very large homes. In contrast, the Tlou home would not loom over any of the smaller homes. Ms. DuBois had the comparables Ms. O'Brien referenced and he had responded to each one. He noted that none of the comparables were on this block. One was much further south, another comp was on the top of Rossi Hill, and another comp was a four-plex at the bottom of Ontario at the roundabout.

Ms. O'Brien clarified that those were the comparable she had to use because she could only deal with square footage of homes on the MLS. She was not able to visit the houses on Ontario and ask the owners for their square footage. Ms. O'Brien emphasized that there are very large homes on the same street as the Riordan's. Mr. DuBois clarified that he had used the tax records to determine the square footage of the homes on the street in order to do a comparative analysis of the pattern of the block and the neighborhood. Mr. DuBois submitted the comparables and his comparative analysis into the record and he provided copies to each of the Board members.

Planner Astorga commented on the question regarding the historic structures. He stated that the green house at 422 Ontario was the only historic structure on that side of Ontario. It is listed on the HSI as a Significant structure. He believed there were more historic homes on the other side. Planner Astorga used the computer to "drive" down Ontario to show the relationship of the Riordan's property and the location of Mr. Tlou house.

Chair Kenworthy called for closing arguments.

Ms. O'Brien stated that the HPB was charged with deciding whether or not the Staff erred. She would submit that the appellant has not provided sufficient proof that the Staff has erred. Ms. O'Brien "drove" from the top of Ontario down. She pointed out that there had been a picking and choosing of houses in the chart. She also believed there had been a picking and choosing of statements by the Planning Commission that were not applicable to these proceedings. With respect to the Tlou residence, it complies with the LMC and the HR-1 District regulations. She did not believe the opposing Counsel had put forth any evidence to support non-compliance. It transitions between smaller homes and larger homes on Ontario and McHenry, it is compatible with what is being built on the street, and the design is a nice addition to the neighborhood. Ms. O'Brien noted that the setbacks were put in place are larger than if three homes on three separate lots were built; and it results in less traffic and less pavement. Ms. O'Brien indicated the Riordan's house and noted that the neighbor directly down the street at 502 Ontario was left off of the chart. It is listed by the Park City Board of Realtors as a single-family home. She estimated the lot square footage to be approximately 5,663 square feet and the finished area to be 3,348 square

feet. Ms. O'Brien stated that this neighboring house to the Riordan's is a very large home; and it is not nearly as attractive or compatible with Old Town as the one proposed by Mr. Tlou. Ms. O'Brien reiterated her position that the appellant has not demonstrated that the Staff erred in their determination. However, she did hear Mr. DuBois agree that the Tlou residence has complied with all of the requirements in the Code. Ms. O'Brien stated that she and Mr. Tlou have been upfront and above board in showing the facts; and she asked the HPB to take that into consideration.

Mr. DuBois explained that he had not included 502 Ontario in his comparative analysis because he understood that the Historic District cuts off before that home. He apologized if he made that assumption in error. Mr. DuBois stated that the fact remains that the total square footage is 3400 square feet; whereas the Tlou home would be an additional 1500 square feet larger. Mr. DuBois remarked that Ms. O'Brien indicated that he had not demonstrated that the Planning Staff was in error. He pointed out that proving error was not his burden. The purpose of the appeal is for the Board to review the record de Novo and to decide whether the home meets the Historic Design Guidelines. He has heard over and over that the structure complies with Code; however, that is only the first part of the analysis. The second part is to look at the design review guidelines in the General Plan. Mr. DuBois believed they had talked about most of those specifically. He contends that in looking at the Guidelines and the General Plan, the scale and height of the new structure should follow the predominant pattern of the neighborhood with special consideration. His handout showed the neighborhood and the predominant pattern, which are smaller houses. The houses are all consistent with the other side of Ontario and with Block 58, except for one, which is twice as large as the rest of the homes and the pattern of this historic neighborhood. Ms. DuBois remarked that the decision comes down to what the Board thinks this neighborhood should look like. If they want lot combinations and 5,000 square foot homes in this area, then they should approve the application. If they desire smaller homes, then the application should be denied.

Chair Kenworthy agreed with Mr. DuBois regarding this de Novo hearing and he assured him that the HPB would judge it on its own merits.

Assistant City Attorney McLean clarified that according to the Code, the HPB was acting in a quasi-judicial manner. The appellant has the burden of proving that the Land Use Authority, being the Planning Staff, erred. She stated that the Board's scope of review is the same as the scope of review by Staff. The HPB shall review the factual matters de Novo, which is new, and the correctness of the decision and the Staff's interpretation of the application.

Board Member Holmgren had mixed feelings about the size and the mass. She believed the Staff did what they were supposed to do. She recalled when the

City tried to reduce the population in Old Town by allowing larger houses, which skewed the proportion. Ms. Holmgren felt the Planning Department is the best they have ever been and she has been here long enough to know that.

Board Member White had no problems with the application.

Board Member Crosby understood Ms. Holmgren's mixed feelings; however, since the 1990s she has seen where they have maxed out lots and where the intent has been to create smaller lots that would generate smaller homes. Guidelines were put in place to prevent maximum square footage a street level. In the case of subdivisions she has been involved with over the past 25 years, people have found ways around that with the underground basements that are not counted in the square footage. Ms. Crosby believed it was something that would continue to occur as part of hillside development. She could not find any problems with this application as approved.

Board Member Melville thought the problem was created earlier by combining three lots into one, which allowed the larger house. She would have preferred that the parties could have worked out the deck issue to keep the Tlou's from having a deck that looms over the downhill neighbor. Ms. Melville believed the square footage was more like 1-1/2 Old Town lots as opposed to three lots.

Board Member Beatlebrox stated that this is in the HR-1 District, which is a historic residential area, and she thought they should be following the Guidelines. Ms. Beatlebrox felt the scale and height of the new structure did not follow the predominant pattern of the neighborhood. She had concerns with the mass and scale. Ms. Beatlebrox also had concerns regarding privacy because the setbacks are not as much as they should be to be neighborly. For that reason she did not support the application.

Board Member Hewett stated that she favored the application and had no problems with it.

Chair Kenworthy also favored the application.

Board Member Holmgren clarified that the HPB would be voting on whether or not the Staff did their job and made the right decision based on the Guidelines. Chair Kenworthy answered yes.

MOTION: Board Member Hewett moved to UPHOLD the HDDR as approved by Staff and to Deny the Appeal, according to the Findings of Fact, Conclusions of Law and the Order. Board Member White seconded the motion.

VOTE: The motion passed 6-1. Board Member Beatlebrox voted against the motion.

Findings of Fact – 491 Echo Spur

1. The property is located at 491 Echo Spur.
2. The property is located in the HR-1 District.
3. The property is Lot A of Lot 17, 18, & 19 Echo Spur Development Re-Plat.
4. The site is currently vacant.
5. The site consists of three (3) Old Town lots that were combined by the City in October 2013.
6. In April 2014 the Planning Commission approved a Steep Slope Conditional Use Permit for the construction of a single-family dwelling on this lot of record.
7. In June 4, 2014 the Planning Department received complete plans for a HDDR application.
8. On October 31, 2014, the City received an appeal of a Historic District Design Review (HDDR) application approved by the Planning Department on October 21, 2014 at 491 Echo Spur.
9. This appeal was submitted by Scott Dubois with Wrona Gordon DuBois, a Park City law firm, representing Dan and Paula Riordan.
10. The Riordan's own the site directly west of the subject site, behind 491 Echo Spur, located at 490 Ontario Avenue.
11. Pursuant to LMC § 15-1-18 (D) Standing to Appeal, the Riordans have standing to appeal the HDDR final action because they are the owners of property within three hundred feet (300') of the boundary of the subject site.
12. Prior to the Historic District Design Review, this site had extensive Plat Amendment review by the Planning Commission and City Council.
13. The Plat Amendment request was reviewed by the Planning Commission in December 2012, July 2013, September 2013, and June 2013.
14. In June 2013, the Planning Commission made a motion to forward a negative recommendation to the City Council for the Plat Amendment.

15. In October 2013, the City Council reviewed the Plat Amendment and approved it, as conditioned.

16. The approved Plat Amendment is not being appealed as that appeal period has passed and no appeals were submitted during that time frame

17. In April 2014 the Planning Commission approved the submitted Steep Slope Conditional Use Permit (SSCUP).

18. The approved SSCUP is not being appealed as that appeal period has passed and no appeals were submitted during that time frame.

19. Staff does not find that the proposed Tlou Residence fails to meet Universal Guidelines 6 and 7. Staff does not find it to be inconsistent with the historic nature of the neighborhood in which it is located.

20. The proposed single-family dwelling meets all setbacks and has increased setbacks from the minimum towards the north side yard area.

21. The driveway is placed on southeast corner, the only logical place due to the retaining walls for the Echo Spur road. The driveway leads vehicles to the west directly to the garage. The proposed driveway is placed over gentler slopes found on site which reduces the grading of the existing topography.

22. The size of the lot allows the design to not offend the natural character of the site as seen on the submitted model.

23. The proposed structure is both horizontally and vertically articulated and broken into compatible massing components. The design includes setback variations and lower building heights for portions of the structure.

24. The proposed massing and architectural design components are compatible with both the volume and massing of single-family dwellings and mitigates differences in scale between proposed structure and existing structures in the neighborhood.

25. The appellant brings forward the Plat Amendment Planning Commission negative recommendation and fails to reiterate the fact that the City Council indeed did approve the requested Plat Amendment.

26. The City Council approved the requested Plat Amendment as it found that it met applicable codes.

27. During the Plat Amendment review staff recommended adding a note on the plat limiting the gross residential floor area of the proposed lot to a maximum of

3,603 square feet, the approximate maximum floor area of a 1½ Old Town lot, the prominent lot size within the vicinity of the subject site, (maximum footprint of a 1½ Old Town lot is 1,201 square feet).

28. Staff, and ultimately the City Council, found that the compatibility would be better maintained and consistency is achieved by this gross floor area limitation.

29. The proposed Tlou residence does not contain any roof forms or features above the maximum height of twenty-seven feet (27') as indicated in the LMC.

30. The LMC is the City's zoning ordinance, which is part of the City's Municipal Code.

31. While the General Plan consists of comprehensive goals, objectives, etc., the restricting standard regarding development, specifically regarding building height, is the LMC.

32. Staff does not find that the proposed plan will substantially diminish the character of the neighborhood and will significantly reduce the proportion of built/paved area to open space.

33. Due to the lot combination allowed by the LMC, the side yard setback areas are increased to further separate the possible structure with adjacent buildings.

34. The approved plat amendment increased the north side yard setback area to further control for erosion, allow for increased landscaping/buffers, and further limit the amount of impervious surface.

35. The approved plans propose a deck extending from north to south along the west, rear, portion of the house, at approximately half the width of the house.

36. The deck meets the minimum setback of ten feet (10'), as indicated on the copied floor plan below.

37. The deck turns into an at-grade patio about the middle of the house which then encroaches onto this rear yard setback area.

38. The LMC indicates under section 15-2.2-3(G)(10) that patios, decks, pathways, steps, or similar structures not more than thirty inches (30") above final grade, located at least one foot (1') from the rear lot line, may encroach onto the rear setback area.

39. The proposed patio encroaches approximately seven feet (7') onto the rear setback area, leaving approximately three feet (3') patio setback.

40.The location of the Riordan's house is approximately sixteen feet (16') towards the west, towards the front of their lot.

41.Due to the location of the house, as well as the regulation that would also apply to Riordan's, staff does not find that the location of the patio needs to be mitigated by the property owner,

42.Both property owners may enjoy their back yards by also building an at-grade patio one foot (1') from the shared property line.

43.Both property owners have the right to build a six foot (6') fence should they find that they need privacy.

44.This retaining wall feature is currently built. It was built in 2007/2008 when the road was built.

45.This retaining wall feature is part of the public improvement of the road which has been accepted by the City Council and it was reviewed by the City Engineer for compliance with technical infrastructure improvements.

46.Due to the topography of the site and the placement of the built road, Staff did not find any issues with the width of the lot and the width of the proposed house.

47.The road was built to barely make it to the south end of the lot of record as the most of the mass of the house is placed past the built retaining wall towards the north.

48.The appellant focuses on the General Plan, specifically regarding Old Town lot combinations.

49.The LMC contains subdivision/lot combination regulations.

50.A HDDR does not deal with subdivision/lot combination (Plat Amendment) regulations.

51.The approved Plat Amendment is not being appealed as that appeal period already took place and no appeals were submitted during that time frame.

52.The appellant outlines the General Plan regarding new construction compatibility and claims that the Tlou residence is simply not compatible with the historic nature and characteristics of the neighborhood similar to the General Plan subdivision/lot combination regulation objections.

53.Pursuant to LMC 15-1-18(G), the HPB shall act in a quasi-judicial manner and the appellant has the burden of proving that the land use authority (Planning

Staff) erred.

54.The appellant fails to specifically indicate how staff erred.

55.Staff found that both LMC standards and Historic District Design Guidelines for Historic Districts were met.

56.The appellant outlines the purpose statement of the HR-1 District.

57.The purpose statement serves as a preamble of the following LMC regulations as they do not mention any specific standards.

58.Staff does not find that the proposed use does not preserve present land uses or the character of the historic residential areas.

59.The proposed structure is not near any historic structures and does not discourage the preservation of historic structures.

60.Given the location of the site, the size of the structures provides a transition from the area east of echo spur towards Ontario Avenue.

61.The Plat Amendment combined single family development on combination of 25' x 75' historic lots.

62.The Planning Commission found that the proposed structure was properly mitigated for new development on steep slopes which mitigate impacts to mass and scale and the environment.

Conclusions of Law – 491 Echo Spur

1. The HDDR application complies with the Park City Design Guidelines for Historic Districts and Historic Sites.
2. The proposal complies with the Land Management Code requirements pursuant to the Historic Residential (HR-1).

Order

1. The appeal is denied and Staff's determination is upheld.

WORK SESSION

The Board revised the agenda and moved Temporary Winter Balcony Enclosures as the first item on the Work Session.

Temporary Winter Balcony Enclosures

Board Member Crosby recused herself from this discussion and left the room.

The Staff recommended that the Historic Preservation Board review the Staff's analysis of the proposed balcony enclosures over the Main Street right-of-way during the winter months, November through April, as well as proposed Design Guidelines. The HPB was being asked to make recommendations to City Council.

Planner Anya Grahn reported that the Staff's professional opinion is that the balcony enclosures are a threat to the look and feel of the historic character. Per the definition, a balcony provides coverage when entering from the ground level; and it is also a transitional space between exterior and interior and outdoors and indoors.

Planner Grahn understood that balcony enclosures were only temporary and the plan is to only keep them up for six months during the winter months. However, she was concerned that enclosing the balconies would alter the look and feel of Main Street and take away from the western appearance that exists. It alters the architectural design, the light and shade created by the design of the building, and the rhythm and pattern on the streetscape. Planner Grahn stated that a balcony overall contributes to the visual qualities of the building design. Enclosing the balcony changes the overall form and shape of the building. She was very concerned about enclosing balconies on historic structures because the seasonal removal and construction of the balcony enclosure could damage historic building materials.

Planner Grahn pointed out that the Riverhorse was proposing to enclose the balcony on the new portion of the building; however, their request would result in a program that would encompass all the restaurants on Main Street.

Another issue is that any new balconies would have to go before the City Council for approval. In some instances, if a building were to put on a new balcony, Planner Grahn was unsure whether the Staff would support changing the door and window configurations on the second level so the balcony could be enclosed during the winter season.

Planner Grahn reported that for historic structures the Guidelines are very specific about keeping new additions being subordinate and not being visible in the public right-of-way. Enclosing the balcony changes the form of the building and adds an addition to the front, which is something that would normally not be approved. Planner Grahn remarked that even a roof top addition on a historic building needs to be shielded and not visible. She noted that the Staff report contained a chart showing which balconies were historic and which were not.

Most of the balconies on Main Street are not historic and were added to the historic structure at a later time.

Planner Grahn asked if the HPB was interested in pursuing this program.

Seth Adams from Riverhorse on Main stated that the balcony enclosure they were suggesting would not be on a historic building and it would not connect to any historic buildings. He noted that they have looked at drainage, snow removal and other aspects associated with adding the balcony enclosure. Mr. Adams remarked that it was simply a matter of trying to make the most out of the winter season. The surrounding restaurants have that capability in the summer and he was looking to do that in the winter time. Mr. Adams thought 180 days was a generous time frame because winter is not that long and he specifically wants the balcony for the winter season. He would like the balcony to add to the historical integrity of people being out there in the summer, but adding the balcony for winter use allows people to perceive the historic nature in a way they have never experienced before. Mr. Adams remarked that they waited a long time for this to come before the HPB, and they were looking forward to a favorable opinion in order to compete in a seasonal town. Mr. Adams believed the process would address wind load, fire and other safety aspects and any issues could be worked through with the Fire Marshall and the Building Department.

Mr. Adams presented drawings and photos. He referred to comments about the balcony blocking the view of the Museum. Mr. Adams stated that he works closely with the Museum and he had asked Sandra Morrison to attend this meeting because she was in favor of their proposal. Mr. Adams expressed a willingness to work with any recommendations from the HPB that would allow them to move forward.

Chair Kenworthy pointed out that the Riverhorse has done this in the past. Mr. Adams replied that they are allowed to put up a tent for a two week period up to five times per year, but the tent does not hold up to the weather elements. A semi-permanent structure would give them the ability to ensure that their guests are warm and comfortable on the patio year-round.

Chair Kenworthy understood that the Staff was not looking for a final answer. The question was whether or not the Board thought it was something that should be pursued as policy. Planner Grahn answered yes. If the HPB is interested in pursuing it, it would be looked at as a possible change to the LMC and the Design Guidelines so if this program moves forward the Staff would have a mechanism to evaluate the structures.

Chair Kenworthy asked if the businesses who construct the temporary tents need to obtain approval each time. Director Eddington replied that approval for any tents must be obtained from the Planning and Building Departments.

Chair Kenworthy called for public input.

John Lundell stated that he has been an owner in Park City since 1997 and he has lived in Park City full-time for 12 years. Mr. Lundell was in favor of this proposal for several reasons. According to the Mountain Accord data, Summit County is the second fastest growing county in the Country and like it or not they can expect a lot of growth. Main Street is a particular problem because the businesses on Main Street cannot go up beyond 27' and they cannot go wide because there is no space. Mr. Lundell thought this proposal was a minimally invasive way to allow existing businesses some growth opportunities. A second reason is that outdoor dining has already been approved during the summer months, which is more disruptive to the historic look and feel. An enclosed balcony would be less intrusive. Mr. Lundell stated that by not allowing people to use their decks in the winter penalizes those without a ground floor. From the drawings he saw, it would not be intrusive to the historic atmosphere they were trying to maintain.

Ruth Meintsma, a resident at 305 Woodside, referred to the comments that a balcony tent would be something similar to the summer dining decks. She disagreed with that comment because the summer dining decks engage people with the historic character of the street. An enclosed tent would do the opposite and actually shut off humanity from the street. Ms. Meintsma remarked that summer dining also engages the people on the street with the humanity dining. During the discussions about summer dining, she recalled comments from the City Council about intrusive umbrellas on the street that could compare with the tent. Ms. Meintsma also disagreed with that comment because umbrellas are over people's head while the people are sitting in the open air; whereas the tents would be enclosed. Ms. Meintsma thought the images shown did not give any indication of the feel of what the enclosed balcony would do. She agreed with an earlier comment by Board Member Holmgren that computer images do not show what you need to see. Ms. Meintsma stated that the reasons for enclosing the deck when it is cold outside could be the same argument for summer. Park City has cold nights and there are times when it rains or even snows in July. She was also concerned about setting a precedent for a proliferation of balconies. Ms. Meintsma found it interesting that the historic buildings on each side of the Riverhorse building are slightly proud. She wondered if when that structure was approved some of the Planners had the forethought of setting the building slightly back to show off those historic buildings. She noted that a tent would eliminate that effect where the historic buildings are proud and show themselves off.

Planner Grahn clarified that even though the Riverhorse was the first to bring this forward, the program would be for balcony enclosures up and down Main Street.

Casey Adams stated that Ms. Meintsma was right in saying that the balconies would not be the same as in the summer because it is a winter program. It is also a short timeframe. Ms. Adams thought it would benefit more people than just the Riverhorse because although they all agree that historic Main Street needs to be preserved, people who come to Park City to spend money would be benefitted as well. The Riverhorse was looking out for the people who come to support this town. Ms. Adams remarked that the architects have worked very hard on snow removal and other issues and concerns that have been presented.

Chair Kenworthy closed public input.

Planner Grahn reiterated that the question for the Board was whether or not they supported pursuing this program.

Board Member Melville understood that the City Council was asking the HPB for their recommendation. She wanted to know what criteria the Board should use to base their recommendation.

Assistant City Attorney McLean stated that it was actually a policy issue that would require amendments to the LMC and the Guidelines. These discussions were a kick-off from a policy standpoint of whether or not the program was something to consider. Ms. McLean recommended that they look for consistency with the General Plan and their thoughts of the Historic District. Currently, the proposal would not meet the Guidelines or the Code, so they could not use those to aid in their decision.

Mr. Adams stated that he is allowed to have temporary structures on the patio for 70 days a year. However, he could not remove it for one day and put it back up the next day to make it comfortable for his guests. He clarified that he was requesting an amendment to the Land Management Code, and he would follow whatever number of days the City would allow it to stay up if he could create a better atmosphere for his guests than a vinyl tent.

Board Member Melville asked Planner Grahn to show the renderings on Exhibit C. Ms. Melville referred to the picture of the open deck which has a western look. She pointed out that the picture of the enclosed deck eliminates the western look of the street. Ms. Melville remarked that the deck shown is not what the deck currently looks like. She asked Mr. Adams why he would not just build out to the property line to gain more square footage. Mr. Adams explained that it would affect the entrance to the Riverhorse and impact what they do at the top of the stairs. Obtaining this requested approval would change the master plan and the flow of the interior of the restaurant. They would still make the improvements shown, but it would make the cost worthwhile for making those improvements. Ms. Melville asked if the photo with the enclosure was showing exactly what the enclosure would look like. She was concerned about snow loading on the top.

Mr. Adams replied that they have talked about heat trays and guttering the water underneath the sidewalk. Ms. Melville clarified that Mr. Adams would have to do a lot more to create the permanent structure that was shown. She asked if there would need to be pillars on the sidewalk to support the extra weight. Mr. Adams answered no. Board Member Melville understood that in order to make this a permanent structure, they would have to build out more than what was being shown. Mr. Adams reiterated that they would have to have heating and air and gutters, but no additional support would be required.

Board Member Hewett clarified that the enclosure would only be temporary. Mr. Adams answered yes. He explained that it would be a tongue and groove type with aluminum poles and plexiglass windows.

Board Member Melville remarked that it could come off, but the visitors on Main Street during the winter would see it as a permanent structure rather than a temporary structure. If someone came in requesting a new building, she questioned whether the City would allow them to build a permanent structure out over the sidewalk because it would change the view of Main Street significantly. Planner Grahn stated that if the structure was proposed to be permanent it would not be approved because it is built over the City right-of-way and because of the form of the building.

Board Member Melville Ms. Melville stated that her concern is that an open deck has a western mining town look. Enclose the deck and that look is lost. Having that up and down Main Street would create a different look. She asked if the Board was willing to go with a different look for Main Street. Ms. Melville was concerned about setting a precedent. She named the buildings that already have decks and the ones that could build decks. Ms. Melville believed these were different from dining decks. Dining decks are clearly temporary because you can see through them and around them. Ms. Melville stated that because the Building Department would require a dining deck that is enclosed for six months to be built to permanent standards, it will look like the permanent way the building was designed.

Board Member Holmgren stated that she is a strong proponent of the dining decks during the summer, but there was controversy to allow those. She still hears people complain as she walks up and down the street. Ms. Holmgren believed this was another step in the right direction. She thought it was fabulous, particularly the fact that it is all tongue and groove and they have addressed snow removal and other issues. It would only be up for 180 days. She would not care if a visitor thought it was permanent because she knows that by Spring she would be sitting on an outdoor deck.

Board Member Hewett concurred with Board Member Holmgren. She thought it was a good idea and she believed people would look at it as a way to make

something historic current. Ms. Hewett thought people would be able to interpret the difference.

Board Member Holmgren stated that if someone wants to do something that is safe and good looking they should be allowed do it. She pointed out that all decks go through a design review and they have to be approved. She was not opposed to having more decks. Ms. Holmgren remarked that this was one of the best innovations she has seen in a long time that was good for Main Street.

Chair Kenworthy expressed his appreciation for the independence and the diversity of this Board. It opens his eyes and he hoped it benefits the Staff.

Board Member Beatlebrox did not have a definite opinion either way, but she could see no harm in looking into it further.

Chair Kenworthy disclosed that he is a restaurant owner with a dining deck and for that reason he would decline to make comment.

Board Member White asked if the roof of the temporary structure was glass or plexiglass. Mr. Adams stated that it was designed to be see-through plexiglass or some type of polyurethane. Mr. White stated that if it is see-through glass or plexiglass it would have very little or no snowload. It would have moisture but gutters and downspouts would take care of it. Mr. White stated that if it is metal and glass and they would no longer have to look at the vinyl tents, he favored pursuing it.

Assistant City Attorney McLean stated that because this matter is legislative, Chair Kenworthy could participate. Chair Kenworthy preferred to abstain. Ms. McLean encouraged his comments.

Chair Kenworthy thought it would open up a can of worms that could be looked into down the road. He did not want to be a hypocrite because this type of policy could work to his benefit. Chair Kenworthy understood that during the winter months the establishments are full to capacity and many people are turned away. As long as it is temporary and it looks better than what they are currently allowed to do, he thought it was worth pursuing. Chair Kenworthy thought it would be a slippery slope through the process, but he admires people who come in with different ideas.

Planner Grahn stated that since the majority of the Board were in favor of pursuing it further, they needed to review the changes that should be made and create guidelines for balcony enclosure throughout Main Street.

Board Member Melville understood that the majority rules, but she wanted it clear that she was adamantly against moving forward because it would change the

look of the architecture. She asked if they had consulted with the Historical Consultant to see if it would affect their designation as a Historic District. Planner Grahn stated that she spoke with Corey Jensen and the State Historic Preservation Office and he told her that if it is temporary it would not impact the National Register. Ms. Melville stated that temporary was one thing in terms of the Building Code definition of less than six months. However, temporary in terms of built upon standards and the majority of the visitors who come in the winter seeing a permanent structure attached to the outside of buildings changing the look of the architecture is a different issue. She pointed out that if the structures were permanent it would jeopardize the National Register; therefore it is an architectural change.

Chair Kenworthy personally preferred something closer to 120 days rather than 180 days.

Board Member Holmgren stated that when the City discussed outdoor dining decks guidelines were written on how they should be built. Ms. Holmgren was excited about the decks and she was excited about this next step. She remarked that Park City is historic but they also needed to be realistic.

Board Member Hewett liked the fact that the ceilings would be clear. She thought the timing was good and she had no concerns.

Given the late hour, Planner Grahn suggested that the discussion regarding changes to the LMC and the Design Guidelines for temporary winter balconies enclosures be continued to another meeting. The Board concurred.

Historic District Grant Program – Policy Review

Board Member Crosby returned to the meeting.

Planner Grahn stated that the goal for establishing guidelines is to give the HPB some criteria as a basis for deciding whether a project qualifies for going from Significant to a Landmark status. She reminded the Board that Landmark means the site is National Register eligible and it must be pristine.

Planner Grahn reviewed each guideline.

1. The building shall not have been reconstructed, panelized, relocated, or re-oriented.

In speaking with Ms. Meintsma this evening, Planner Grahn believed there were unique circumstances such as High West where this works and it can remain National Register eligible. However, in the majority of cases it is very rare for a structure to remain on the National Register if it is reconstructed or relocated.

Board Member Melville asked Ms. Meintsma and Board Member White for their suggestions based on their research and experience. She was unsure if the proposed guidelines would work when put into practice.

Ms. Meintsma noted that there was a footnote in the packet that explained the high West situation. It was unique because it was panelized, but they went to great lengths to keep the historic material and the interior, which the National Register is particularly interested in.

Board Member Melville understood that a site would not have to meet the National Register in order to go back to Landmark status. Planner Grahn replied that Landmark is a local designation. However, one of the criteria for being Landmark is eligibility for the National Register. It is a current criteria and that would not change.

Board Member White pointed out that restoration does not necessarily mean that the interior floor plan has to be historic. Planner Grahn stated that from the standpoint of the Planning Department they could not monitor interiors. However, a site that they believe is Landmark Status could be reviewed by Utah State History and they could say that because the interior was changed the site would not be eligible. She could not be able to make that determination but the State could. Mr. White stated that in all of the historic homes he worked on, they never worried about the interior.

Board Member Melville pointed out that there are Landmark structures on the HSI that she assumed had altered interiors. Planner Grahn stated that there are situations where a site could be eligible for the National Register because the exterior contributes to a district as a whole; or it could be eligible because individually the site is in pristine condition. She noted that the surveyors do not look at the interiors but they do look at the form of the building and how the interior has been altered. For example, if a structure was historically a hall-parlor and the walls were removed to make one room, it is no longer a hall-parlor design and it would not be eligible for the National Register.

Director Eddington clarified that the local criteria for a Landmark designation are looser than the National criteria. He believed they were equal to the National criteria for exteriors, but the criteria differs for interiors and that is where a structure designated Landmark by Park City could lose its National Register eligibility when reviewed by the State.

Board Member Melville recalled that the Board has looked at giving incentives for those who take their buildings from Significant to Landmark. Ms. Meintsma commented on two specific applicants to help put the criteria into perspective. She believed the limitations for reconstruction were clear because there is no

historic material. Panelization does not seem to work because too much material is lost. However, High West went to such extremes to save the materials and the interior in the process of panelization that they remained on the list. Ms. Meintsma did not believe an owner should be given the 10% for panelization, but it could be considered on a case by case basis for situations where extreme measures are taken. She liked the notation on the panelization and suggested that it should also apply to relocation.

The Board was comfortable with reviewing unique circumstances on a case by case basis.

2. If a new basement addition is constructed, no more than six inches (6") of the new foundation should be visible from the public right-of-way. If a historic foundation previously existed, then any new foundation shall match the historic in material, texture, composition, and color. The height of the original foundation above Existing Grade shall be retained—the new foundation shall not be shorter or taller above Finished Grade than what previously existed. No new underground garages are permitted.

Planner Grahn noted that currently basement additions are allowed to be raised two feet. The problem is when too much of the foundation is visible. She presented two scenarios. One showed a basement addition that was low to the ground and less visible. The second had added a basement but it was easy to see how much it was significantly raised and how much of the foundation was visible.

The Board was comfortable with Criteria 2 as proposed.

3. The transitional element used to connect the historic house to the new addition shall not consume more than twenty-five percent (25%) of the length of the historic wall. The length of the transitional element shall be fifty percent (50%) of the length of the two (2) sides of the historic building.

Planner Grahn stated that the Preservation Brief that talks about what additions to National Register listed buildings are, talks about making a clear transition and keeping the new addition subordinate. Planner Grahn remarked that the Staff suggests that instead of losing the entire rear wall, the transitional element should be limited to 25% of the length of the historic wall. That would allow more of the historic material to remain intact. Planner Grahn referred to the length of the transitional elements and provided an example to support the Staff suggestion for the criteria.

Board Member White stated that the transitional element needs to be visible and separate. He concurred with the Staff.

Ms. Meintsma liked the concept of the guidelines but she suggested removing the wording “of the length” and just say, “...25% of the historic wall.” If it is a two-story building they could make it a half-story and the entire connecting feature would be 25% total and not just the length. She also changed the wording from “historic wall” to “connecting wall”, because if the sidewalls and the façade are all historic but the back wall is new, the language “historic wall” would not work.

Planner Grahn stated that her concern is that sometimes the materials of the historic wall has changed and she would not want there to be any confusion as to when the rule should be followed.

Board Member Crosby used the Kimball Arts Center as an example and the plans of the previous drawings. She noted that the connector was relative small. However, now there is an empty lot with a new developer. If they propose to develop the plaza and lot adjacent to the historic portion on the corner, she asked if 75% of that wall would be undevelopable due to the connector. Planner Grahn replied that it would only be applied to grant applications. Ms. Crosby clarified that the criteria would not be part of the HDDR. Planner Grahn stated that it is only if an applicant wants the extra 10% boost. The reason for being so strict is to make sure the 10% is only given to those who make the extra effort to preserve the historic material.

The Board was comfortable with the language as written by Staff. For clarification, Planner Grahn suggested changing the language to read, “...the historic connecting wall”.

4. The footprint of the addition should not exceed fifty percent (50%) of the historic footprint.

Planner Grahn clarified that only the grant applicants who want the 10% boost would have to meet this criteria. It only addressed footprint and not height. It is an effort to keep the addition smaller and more subordinate. It would only apply to the footprint of the addition. Ms. Meintsma pointed out that the structure could be three or four stories and it could also have a basement

Board Member White thought 75% was more reasonable. Planner Grahn pointed out that if someone came in with a grant application, they could deny giving the extra 10% if they thought the mass and scale had been maximized.

The Board was comfortable increasing the percentage to 75%.

5. The addition should not be visible from the primary right-of-way unless the property is a corner lot.

Planner Grahn suggested changing the language to read, "The visibility of the addition should be minimized from the primary public right-of-way." Side additions could be reviewed on a case by case basis. The Board concurred.

6. Any later additions to the roof form such as dormers, sky lights, or changes to roof pitch must be removed and the historic roof form restored.

The Board concurred with the criteria as written.

7. Porch posts, railings, and materials shall be restored based on sufficient documentation.

The Board concurred with the criteria as written.

8. Window and door openings and configurations on primary and secondary facades shall be restored based on sufficient documentation.

The Board concurred with the criteria as written.

9. The existing grade shall be substantially unchanged following the project.

The Board concurred with the criteria as written.

10. Following completion of the project and issuance of a Certificate of Occupancy, but prior to grant payout, staff will return to the Historic Preservation Board with a Determination of Significance to ensure that the project meets the criteria in which to be designated a Landmark Structure

The Board concurred with the criteria as written.

Board Member Melville noted that 1063 Norfolk was one of the last houses that received a grant. She walked by the house the other day and notice a very modern front door and a very modern garage door. The retaining wall is metal rather than stone. She believed the owners had done the house correctly, but these visibly modern elements distract from the historic and they should not have been approved under the grant application. Ms. Melville asked Planner Grahn to look at the structure. If those elements are acceptable, she suggested that the Board should review what they were allowing with historic grants.

The meeting adjourned at 9:55 p.m.

Approved by _____

Historic Preservation Board Staff Report



Subject: 264 Ontario Avenue
Author: Kirsten Whetstone, Sr. Planner
Date: March 4, 2015
Type of Item: Historic District Grant
Project Number: PL-14-02418

Summary Recommendations

Staff recommends that the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the restoration of 264 Ontario Avenue.

Description

Applicant: Patricia and David Constable, owners
Location: 264 Ontario Avenue – Landmark Site
Proposal: Historic Grant
Zoning: Historic Residential Low Density (HRL) District
Adjacent Land Uses: Single-family dwellings
Redevelopment Area: Main Street RDA

Background

The house at 264 Ontario is a landmark structure built circa 1890. According to the 2009 Park City Historic Sites Inventory (HSI), the house is a one (1)-story frame T/L-shaped cottage with a gable roof. According to the HSI form it is a T/L-shaped cottage because of a cross-wing added to an existing hall and parlor structure. The T/L-shaped style of house is one of the earliest and one of the three most common house types built in Park City during the mining era. The cross-wing addition appears to have been constructed early in the historic period (prior to 1900) and according to the 1984 Site Form this type of addition was a “common method of expansion” and the structure “maintains its integrity as a T/L cottage by addition”.

This site was nominated to the National Register of Historic Places in 1984 as part of the Park City Mining Boom Era Residences Thematic District, but was not listed because of the owner’s objections, according to the HSI form. The site has seen minor alterations, including the addition of extra porch posts (three to six), a small “lean-to” addition of plastic (green house type of material) on the south side, and a shed addition on the east side (rear). These additions are proposed to be removed as part of the restoration. A three-story addition is proposed to the rear of the house with a one story connector element attaching the addition to the historic house. Due to the steep slope of the lot and large setback from Ontario Avenue, the historic house is prominent when viewed from Ontario Avenue. The historic house has retained its Essential Historic Form.

Design. The one-story frame structure remains largely unchanged from the description provided in the 1984 National Register nomination form. Subsequent alterations include the addition of extra porch posts since the tax photo date. Otherwise the alterations are minor and the structure retains its original character. Windows and doors are in their original locations, however, it appears upon closer review that the actual windows and one door are not original; these were likely replaced circa 1960's or 70's. Original trim elements will be retained.

Setting. The setting of the historic structure remains unchanged from what is described in the Historic Sites Inventory form; however a significant addition has been proposed to the rear of the building. The addition is proposed to be connected to the historic house with a single story connector element. The house sits above paved Ontario Avenue and below paved McHenry. Access to the site is via stone steps on grade leading from Ontario Avenue to the front door. Landscaping is informal and includes a low stone wall in front of the house that will remain.

Workmanship. The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling. The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association. The T/L-shaped cross wing cottage is one of the earliest and most common house types constructed in Park City during the mining era. The site retains its historic integrity and is considered eligible for the National Register of Historic Places. The site was nominated to the National Register in 1984 as part of the Park City Mining Boom Era Residences Thematic District. The site was designated as a Landmark Site as it meets criteria set forth in LMC Chapter 15-11 for such designation. The owners could seek state preservation tax credits as part of this rehabilitation, however they would not be eligible for federal preservation tax credits unless the property was income producing.

Analysis

General eligible improvements for historic district grants include, but are not limited to:

- Cladding Repair
- Siding
- Masonry Repair
- Cornice Repair
- Architectural Ornamentation
- Restoration/Repair
- Exterior Trim Repair
- Restoration of Historic Retaining Walls
- Restoration of Historic Windows and Doors
- Weatherization of Historic Windows and Doors
- Porch Repair/Restoration
- Foundation Repair/Restoration

- Structural Stabilization
- Abatement of Hazardous Materials
- Stabilization/Preservation of Industrial Mine Sites
- Physical Conditions Report
- Historic Preservation Plan

The purpose of the grant program is to incentivize property owners to maintain and preserve historic commercial and residential structures in Park City. In 1987, the Park City Historic District Commission and City Council identified the preservation of Park City's historic resources as one of their highest priorities. The grant program has operated continuously since that time with the full support of subsequent City Councils and Preservation Boards.

On January 8, 2015, City Council approved changes (summarized below) to the Historic District Grant Program that would incentivize primary residents and provide up to 10% increased funding for those renovation projects that improved a site's designation from "significant" to "landmark." See Exhibit F- Park City Historic Grant Policy.

The purpose of the grant program is to assist in offsetting the costs of rehabilitation work. Funds are awarded to projects that provide a community benefit of preserving and enhancing the City's historic architecture. Grants are to be used toward specific rehabilitation projects. Primary residents (either the homeowner or a full time renter) may be awarded up to fifty percent (50%) of total eligible construction costs, while homes which are used as a secondary-home or nightly rental may be awarded up to forty percent (40%) of total eligible construction costs. Commercial property owners are eligible for up to fifty percent (50%) total eligible construction costs. The Historic Preservation Board may award grants up to \$25,000. Grants exceeding \$25,000 will require the Historic Preservation Board to forward a positive recommendation to City Council. City Council will then review the grant application as part of their consent agenda.

According to the HSI, the building is in "good" condition. The applicant submitted a Historic District Design Review (HDDR) application on May 31, 2013. The HDDR application was deemed complete July 5, 2013. The applicant proposes to renovate the 1890 one (1) story house, reconfiguring the interior and addressing much needed upgrades. The proposed work was approved as part of a Historic District Design Review (HDDR) on August 16, 2013. A financial guarantee of \$169,362.00 was required at the time of the building permit. On August 11, 2014, an encumbrance and agreement for historic preservation for 264 Ontario Avenue was recorded at Summit County along with a Lien Agreement Trust Deed and Trust Deed note.

A building permit for the proposed work was issued on August 13, 2014, due to expiration date of the HDDR and work has begun. Due to the delay in resolving the grant policy and procedure and the approaching winter season, the applicant was approved to begin construction in order to lift the house, pour the foundation, and reset

the house on the foundation before the winter set in. This work has been accomplished, as well as excavation for the addition.

On June 25, 2014, the applicant submitted a Historic District Grant application which was put on hold by the Planning Department to allow the Council to approve a revised historic grant policy due to changes in funding options. The applicant has requested grant funds for the following improvements to the historic structure:

Foundation. The applicant's Physical Conditions Report notes that the existing foundation is wood and "totally rotten". There are stones around the porch and base of house and portions of the house are supported on concrete blocks, however, there is no evidence of any concrete foundation. The applicant is proposing to raise the house intact, excavate for footings and foundation, and pour a concrete foundation meeting current building codes. Only the foundation for the historic portion of the house is included in the cost estimates for the grant. No basement is proposed.

Structural Stabilization. The walls are comprised of two 1" by 12" pine boards. The layers run perpendicular to each other. The entire building has been furred on the inside to facilitate the addition of insulation, wiring, and sheetrock over time. The rear (east) wall, where it was not replaced by the newer shed addition, is in good condition. The east wall of the shed addition is in poor condition due to the steep bank of earth that partially covers it. This wall has severe weather damage. Wood joists (2" by 4") that sit on or slightly above the dirt, support the main floor. Most of the joists are partially rotted and deteriorated due to exposure to the elements. The existing floor is not level. The floor has many layers and it appears that portions of the original floor still exist. The roof is supported by 2" by 4" trusses at 24" on center (oc) with 1" by 8" sheathing above. The current roofing is asphalt shingles. The applicant is proposing to upgrade and replace, as necessary, the entire structural system of the house in order to meet the International Building Code (IBC). The roof is proposed to be structurally enhanced by adding new supports between the existing trusses

Windows. The Physical Condition Report notes that there are two wood double hung windows on the west gable and three wood casement windows on the west side of the porch. The north gable has a small wood fixed window. There are no windows on the east side and the south side has one wood fixed window with two horizontal mullions. According to photographs and inspection these windows appear to be in their original locations, however, the windows appear to have been replaced and are not historic. The windows are not in good condition. The applicant is proposing to replace these windows with wood windows that meet current energy code.

Doors. There are two existing doors. One is an historic wood door with large glazed opening above the three lower panels on the west elevation of the porch. The owner plans to restore this door. The other door is a wood door on the porch

that faces north. This door is not historic and the owner plans to replace this door with a wood door that matches the historic door. Trim surrounding the windows and door openings will be retained and repaired where necessary.

Siding, roofing, and painting. Included in the cost estimate are line items for siding to replace damaged siding and to patch the elevations when non-historic additions are removed, to re-roof with asphalt shingles after structurally stabilizing the roof, and for exterior painting of the repaired siding, trim, soffits, etc.

The following table shows a breakdown of the rehabilitation expenses related only to the historic structure. The home has been a primary residence in the past. It has not been a nightly rental property. Currently the home is unoccupied due to construction. The owners of the home intend it to be their primary residence once construction is complete.

Scope of Work	Owner's Portion (total owner portion- possible grant plus siding, roofing, painting)	City's Portion (excluding siding, roofing, painting) is 50% due to primary residence status	Estimated Total Cost – (excludes profit /overhead and roofing, paint)
<u>New Foundation</u>			
Excavation	\$ 5,767	\$ 5,767	\$11,534
Backfill/Drain/gravel	\$ 2,450	\$ 2,450	\$ 4,900
House Lifting	\$ 6,750	\$ 6,750	\$13,500
Demo addition, brace for lifting, shore up	\$ 4,505	\$ 4,505	\$ 9,010
Footings and Foundation	\$ 6,830	\$ 6,830	\$13,660
<u>Structural Work</u>			
Framing and structural stabilization of floor assembly, walls, roof including materials and labor	\$12,224.5	\$12,224.5	\$24,449
<u>Siding Repair materials and labor*</u>	\$1600	\$1600	\$ 3,200
<u>Historic Porch Restoration</u>	\$1,175	\$1,175	\$ 2,350
<u>Window & Door Restoration/Replacement</u>	\$2,443	\$2,443	\$ 4,886
<u>Roofing *</u>	\$4,700	\$0	(\$ 4,700)

Exterior Painting*	\$1,800	\$0	(\$ 1,800)
Total	\$51,844.5	\$43,744.5 (50% of \$87,489)	\$87,489 excludes (paint and roofing) (\$93,989 is total including paint and roofing and 50% is \$46,994.5)

***Staff does not recommend these items be included in the total and requests discussion from the HPB as outlined in this report.**

The Historic District Grant Program states that “funds shall be awarded to projects that provide a community benefit of preserving and enhancing the historic architecture of Park City.” Restoring the historic structure and providing a new foundation will extend the longevity of the structure.

Since the applicant is not proposing a full basement, Staff supports funding the costs of excavation (under the historic house), raising the structure to facilitate excavation, and constructing the new footings and foundation, including installation of a French drain to ensure that the structure is protected from future degradation.

Staff recommends discussion regarding the requested grant amount. Total estimated cost of the proposed work is \$103,388 according to the Gardner Boswell Construction cost estimate provided by the applicant. This total includes \$9,399 for profit and overhead. The estimate for total eligible work is \$93,989. As the program is a matching grant program, half (1/2) of the total cost is eligible to be granted; however, staff finds that the costs for new siding (materials and labor), roofing, and painting should not be included. The significant restoration work for this structure is the new foundation, structural work, and restoration of the porch. The siding, roofing, and painting are typical maintenance items. Due to the large amount of grant requested, Staff finds that the focus of this grant should be for the foundation, structural work, and porch restoration. Staff finds that the total cost of the restoration work is \$87,489 (excluding new roofing and exterior paint). The Board should discuss whether to include the cost of roofing and exterior paint. The total cost with these items would be \$93,989.

Staff recommends the Board consider granting the applicant one half (1/2) of the proposed cost of the eligible preservation work (minus roofing and paint) in the amount of \$43,744.5 (see table above). The owners have stated that the house will be a

primary residence. They are therefore eligible for 50% of eligible preservation work. If the total were to include the roofing and exterior paint then the 50% amount would be \$46,994.5.

This project is in the Main Street RDA. The direction provided by City Council is that Historic Preservation Grants are a high priority for the City and the RDA. As part of the FY2015 budget, Council approved funding within the Main Street RDA at \$30,000 per year. It was recommended that total annual expenditures within the RDA's could exceed the budgeted amount only after approval by City Council. Any adjusted budgeted amount within the RDA would be approved as part of the year-end budget adjustment process. If the total amount of the awards (within the 3 GL codes) goes over the Council-approved allocated budget then it needs to go back to Council for approval. Normally, we adjust the budget at the end of the fiscal year where we provide a public hearing.

Staff is supportive of the restoration of this site. Staff finds that the rehabilitation of this site will greatly contribute to the historic character of the neighborhood and continue the use of this property. In the past, the Main Street RDA neighborhood has received the greatest number of grants; however, in the past year, there have been three (3) grant requests for the Park Avenue RDA. Awarding a grant in this neighborhood continues to increase awareness of the Historic District Grant program and promotes greater historic preservation efforts.

The largest grant awarded by the Historic District Grant Program was in the amount of \$50,000 to 1280 Park Avenue in 2003; the second largest grant was awarded to 1049 Park Avenue in August 2013, totaling \$42,114.92. At \$43,744.5, this grant request would become the second largest grant request received by this matching grant program. In 2013, the HPB provided grants to 343 Park Avenue in the amount of \$30,000 and 1063 Norfolk in the amount of \$28,621. The grant program was on hold from the summer of 2014 through January 2015 due to changes to the program.

Staff recommends that the HPB consider awarding a portion of the amount based on the estimated breakdown for proposed work to restore the historic structure, up to \$43,744.5. According to the revised Grant Program, a grant of this amount will require a separate review and approval from the City Council.

Recommendation

Staff recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the total costs up to a maximum of \$43,744.5 for restoration work and a new foundation for the existing historic structure located at 264 Ontario Avenue.

Alternatively, the HPB may:

1. Award the applicant the amount of \$43,744.5.
2. Award the applicant a portion of the amount to be determined by the HPB upon review of the grant request.

3. Award nothing.
4. Continue the item for further discussion.

Exhibits

- Exhibit A – Grant proposal
- Exhibit B – Artist rendering of proposed addition
- Exhibit C – HDDR Approval letter
- Exhibit D – Preservation Plan
- Exhibit E – HDDR Approved plans
- Exhibit F – Grant Policy

PARK CITY MUNICIPAL CORPORATION
 PLANNING DEPARTMENT
 445 MARSAC AVE ° PO BOX 1480
 PARK CITY, UT 84060
 (435) 615-5060



HISTORIC DISTRICT GRANT APPLICATION

For Office Use Only

HISTORIC PRESERVATION BOARD	PROJECT PLANNER	APPLICATION #
APPROVED _____	Mrs. Kirsten Whetstone	PL-14-02418
AMOUNT _____		DATE RECEIVED
DENIED _____		6/25/14
		EXPIRATION _____
		BLDG PERMIT _____

PROJECT INFORMATION

NAME: DAVID & PATRICIA CONSTABLE

ADDRESS: 264 ONTARIO AVE, PARK CITY, UT

TAX ID: _____ OR

SUBDIVISION: 264 ONTARIO AVENUE SUBDIVISION OR

SURVEY: RECORDED # 966131 LOT #: _____ BLOCK #: _____

APPLICANT INFORMATION

NAME: DAVID & PATRICIA CONSTABLE

MAILING ADDRESS: P.O. Box 864, PARK CITY, UT, 84060

PHONE #: (435) 487-1024 FAX #: () -

EMAIL: decptc49@msn.com

APPLICANT REPRESENTATIVE INFORMATION

NAME: DAVID WHITE

PHONE #: (435) 649-8379

EMAIL: dgwarch@xmission.com

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



Application#:

Applicant Name:

Property Address:

BREAKDOWN OF ESTIMATED COSTS

SCOPE OF WORK	OWNER'S PORTION	CITY'S PORTION	ESTMATED TOTAL COST
---------------	-----------------	----------------	---------------------

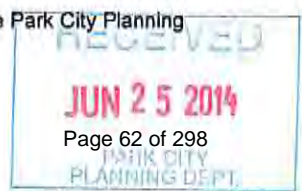
SEE ATTACHED COST ESTIMATE SHEET

SCOPE OF WORK	OWNER'S PORTION	CITY'S PORTION	ESTMATED TOTAL COST
---------------	-----------------	----------------	---------------------

<i>Excavation</i>	<i>500</i>	<i>500</i>	<i>1000</i>
<i>Doors (Exterior)</i>	<i>425</i>	<i>425</i>	<i>850</i>
<i>Windows</i>	<i>1000</i>	<i>1000</i>	<i>2000</i>
<i>Siding</i>	<i>1500</i>	<i>1500</i>	<i>3000</i>
<i>Total Cost</i>	<i>3425</i>	<i>3425</i>	<i>6850</i>

EXAMPLE

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



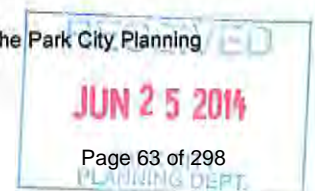
SUBMITTAL REQUIREMENTS – All of the following items must be included in order for the Planning Department to take the application.

- ✓ 1. Completed and signed application form.
- ✓ 2. Written project description describing the proposed scope of work and specifications. Include a detailed scope of work as well as the anticipated start date and completion date.
- ✓ 3. Submittal of a cost estimate for the proposed work.
- ✓ 4. Completed Breakdown of Estimated Costs of the proposed eligible improvements (page 2). *See separate*
- ✓ 5. Schematic, conceptual drawings as they apply to the proposed project. This will include site plans, elevations, and floor plans.
HARD PLANS
NOTE: your project will require the submittal of a Design Review application and approval by the Park City Planning Department prior to building permit issuance. At the time of application for the building permit, detailed construction plans prepared by a licensed architect, engineer, and/or building contractor will be required.
- ✓ 6. Color photographs of existing conditions. Include a general view of the building and setting; the front; perspective view showing front facade and one side, and rear facade and one side; detailed view of affected work area.

We intend to restore the landmark HISTORIC house at 264 Ontario Ave and add on an additional living area and garage spaces. The restored historic area will be approximately 600 sq ft after removal of a non-historic addition. The new living area will be approximately 2770 sq ft with another 690 sq ft of garage. A complete set of plans is currently with the Park City Planning Dept. Our anticipated start date is late August or Sept. 2014.

HISTORIC pictures are at back of plans w/pictures of entry doors to save & replace
See also Historic Preservation Plan attached

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: David Constable Patricia Constable
Name of Applicant: DAVID CONSTABLE / PATRICIA CONSTABLE
Mailing Address: PO BOX 864, PARK CITY, UT 84060
Phone: 435-487-1024 Fax: _____
Email: decpcjc49@msn.com
Type of Application: HISTORIC GRANT

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: _____
PRINTED

Mailing Address: _____

Street Address/ Legal Description of Subject Property: _____

Signature: _____ Date: _____

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.
4. If a Home Owner's Association is the applicant then the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



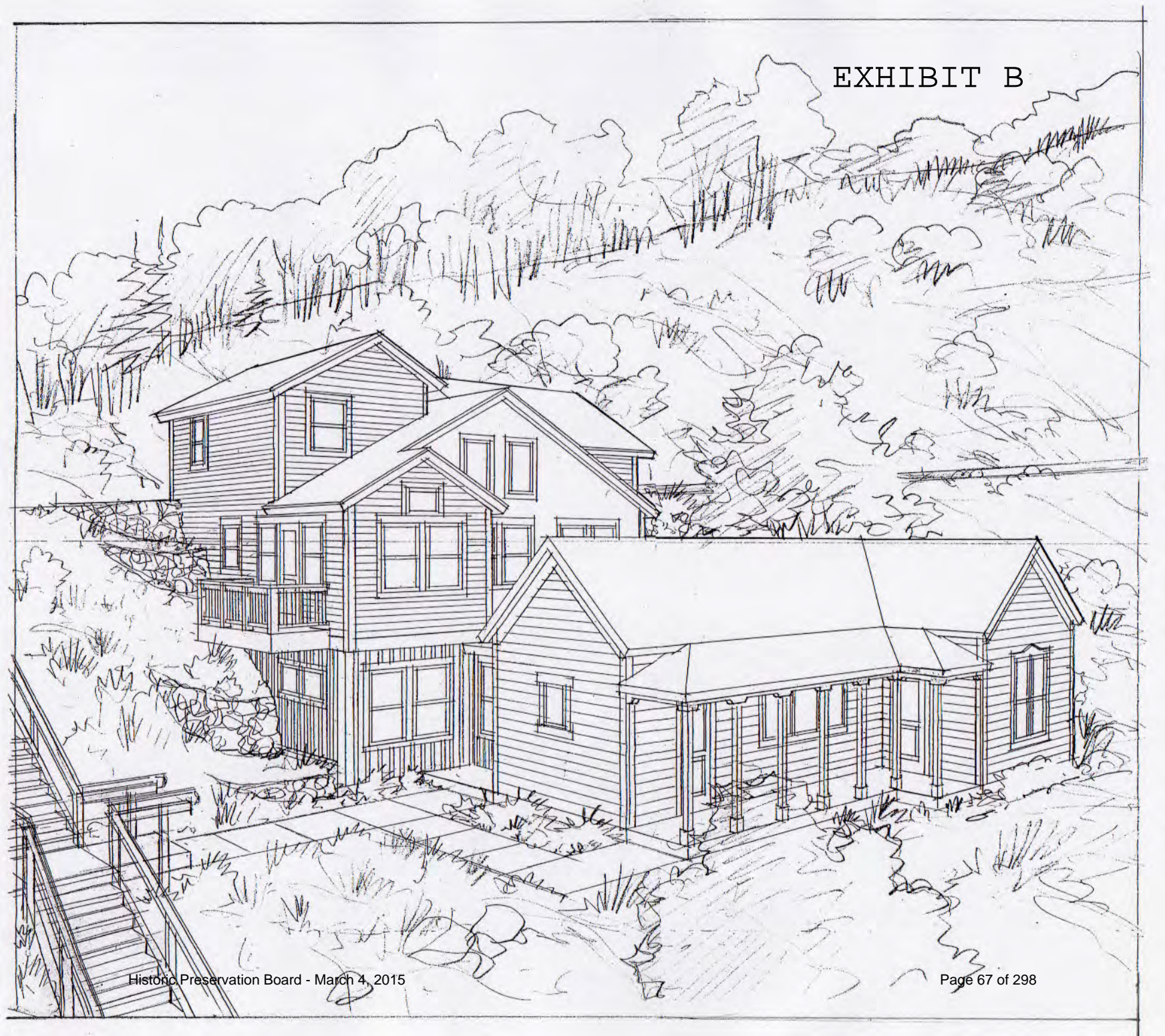
GARDNER & BOSWELL CONST.
P.O. BOX 307
PARK CITY, UT 84060
COST ESTIMATE
6/23/14

ATTN: David and Patricia Constable
RE: Break Down For Historic Grant
ADDRESS: 264 Ontario Ave.

Code	Item	Remarks	Amount
01.0.	General Conditions	House Lifting	13,500.00
03.b.	Excavation	For New Footings and Foundation.	11,534.00
03.c.	Backfill		4,000.00
03.g.	French Drain & Or Gravel		900.00
04.a.	Footings Labor and Materials		3,270.00
04.b.	Foundation Wall Labor and Materials		6,560.00
04.f.	Rebar		2,420.00
04.h.	Concrete Pump		1,410.00
08.0	Rough Lumber	New Floor, Walls, and Roof Framing Materials.	11,489.00
09.0	Rough Framing Labor	New Floor, Walls, and Roof Framing Labor.	12,960.00
09.b	Demolition Labor & Materials	Labor and Materials to remove non historic additions, shore, brace and prepare historic structure to lift.	9,010.00
10.0.	Window Package	New Wood/Wood Windows to replace Existing.	2,846.00
11.a.	Exterior Doors Labor & Materials	Rehabilitation and or Replacement	2,040.00
12.c.	Decks & Rails Labor	Historic Front Porch.	1,400.00
12.d.	Decks & Rails Materials	Historic Front Porch	950.00
15.0.	Roofing		4,700.00
18.b.	Exterior Painting		1,800.00
21.a.	Siding Materials		2,400.00
21.b.	Siding Labor		800.00
31.0.	Profit & Overhead		9,399.00
TOTAL			103,388.00



EXHIBIT B





PCMC Planning Department, PO Box 1480, Park City, UT 84060

August 16, 2013

David and Patricia Constable
375 Deer Valley Drive
Park City, UT 84060

David White, Architect
PO Box 1313
Park City, UT 84060

NOTICE OF PLANNING STAFF ADMINISTRATIVE ACTION

Project Address: 264 Ontario Avenue
Project Description: This is a request for a Design Review for an addition to an historic house.
Date of Action: August 16, 2013
Project Number: PL-12-01711
Project Planner: Kirsten A Whetstone, MS, AICP, Senior Planner

Summary of Staff Action

Staff reviewed this project for compliance with the Historic District Design Guidelines; specifically with 1) Universal Guidelines for Historic Sites and 2) Specific Guidelines for Historic Sites as follows:

A. Site Design- including maintaining setbacks, retaining walls, fences and handrails and landscape features and providing final grading to manage storm drainage on subject lot. Final Site Plan, including Landscape Plan, Grading Plan and Drainage plan to be submitted with Building Permit application consistent with the approved HDDR Site Plan.

B. Primary Structures- including maintaining the original roof form and primary historic façade, avoiding the removal and obscuring of significant historic elements, maintaining new foundation within 2' of historic location, maintain historic window and door openings, and using paints that are opaque rather than transparent;

C. Parking Areas- regarding new garages including providing elements to reduce the visual impact of garages and new driveways to not exceed 12' in width;

D. Additions to Historic Structures- including not obscuring or causing a loss of significant historic elements or materials, complementing the visual and physical qualities of the historic house, using components that are in scale with historic, using clear transitional elements between old and new, minimize the vertical wall area of basement addition that is visible from the primarily public ROW, locate window wells so they are not visible from the public ROW, re-grade site to be approximately as it was prior to construction, and use garage doors that don't exceed 9' wide by 9' in height;

F. Disassembly/Reassembly- a panelization of part of the Historic Structure is

not proposed;

J. Exterior lighting to be provided with the building plan set and shall comply with the City's lighting ordinances and policies; and

L. Sustainability including conditions to recycle removed materials and if solar panels are proposed they will be located on the roof towards the rear of the house.

Staff finds that as conditioned the proposed design complies with all applicable Guidelines for construction on a Historic Site. This letter serves as the final action letter and approval for the Historic District Design Review for the addition and remodel of an historic structure located at 264 Ontario Avenue per the HDDR plans redlined and dated May 31, 2013, with certain sheets revised on July 11, 2013 and August 12, 2013 and stamped approved on August 16, 2013. The HDDR approval is subject to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. The property is located at 264 Ontario Avenue.
2. The property is located in the Historic Residential Low Density (HRL) District.
3. There is an historic house located on the property that is listed as a "Landmark" site on the Park City Historic Sites Inventory. The house was constructed at the turn of the century during Park City's mining era. The small existing rear addition was constructed post mining era and was determined during the Sites Inventory to be out of period and does not contribute to the buildings association with the past.
4. The property consists of Lot 1 of the 264 Ontario Avenue Subdivision recorded on March 22, 2013.
5. The lot contains 0.13 acres (5662 sf). The minimum lot size in the HRL District is 3,750 sf.
6. The existing lot is 75' in width and 69.8' in depth.
7. Minimum front and rear setbacks for a lot of this depth are ten (10') feet. Minimum side yard setbacks for a lot of this width are five (5') feet with a combined total minimum of eighteen feet (18')
8. The existing historic structure encroaches over the front lot line onto platted Ontario Avenue. An encroachment agreement with the City was recorded at Summit County prior to recordation of the plat.
9. The proposed building footprint is 2002 square feet, and includes removal of non-significant additions and construction of a new rear addition. The LMC allows a building footprint of 2045.6 sf for a lot of this size.
10. All new construction will meet current LMC required setbacks and new non-complying setbacks will result from the new addition.
11. The proposed plans indicate a building height of 27' or less from existing grade for all roof ridges and the flat roof connector element. The plans indicate no change in final grade around the perimeter of the house exceeds four (4') feet. The third story steps more than 10' back from the front façade. All final heights will be verified at the time of the Building Permit application.
12. Historic door and window openings will be maintained, and/or taken back to the historic openings/locations. The proposed garage doors do not exceed 9' wide by 9' in height. The proposed driveways do not exceed 12' in width.
13. A portion of the lot where construction is proposed exceeds 30% slope for the required 15' of distance. Therefore a Steep Slope CUP is required prior to issuance of a building permit.

14. Changes to the existing grading and landscaping are documented on the preliminary landscape plan. A final grading and landscape plan, consistent with the preliminary plat, will be submitted with the building permit application
15. The landscape plan indicates a significant clump of oak shrubs on the property behind the historic house to the south, will remain.
16. The proposed design complies with the Universal Guidelines for Construction on Historic Sites.
17. The proposed design complies with the Specific Guidelines for Construction on Historic Sites.
18. The proposed addition complements the historic structure and follows the predominant pattern of buildings along the street, maintaining traditional setbacks, orientation, alignment, and simplicity of architectural detailing. Lot coverage, site grading, and steep slope issues are also compatible with neighboring sites. The size and mass of the addition is compatible with surrounding sites, as are details such as the foundation, roofing, materials, windows, and door openings.
19. On November 30, 2012, a pre-HDDR application meeting with the Design Review Team was held and the applicant was provided with information regarding applicable guidelines and LMC requirements to take into consideration when preparing the Historic Design Review application.
20. On May 31, 2013, a HDDR application was submitted to the Planning Department. The application was deemed complete on July 5, 2013.
21. On July 5, 2013, the Planning Staff posted the property and sent out notice letters to affected property owners, per the requirements of the LMC.
22. Upon final review of the plans the Planning Staff determined that the proposed project complies with the Historic District Guidelines and on August 16, 2013 Staff posted the property and provided written notice to the neighborhood regarding Staff's approval of the final HDDR plans.

Conclusions of Law

1. The proposal complies with the 2009 Park City Design Guidelines for Historic Districts and Historic Sites as conditioned.
2. The proposal complies with the Land Management Code requirements pursuant to the HRL District.
3. The proposal complies with the Non-complying Structure standards listed in Section 15-9-6(A), in that the existing structure is historic and extends into the front yard setbacks.
4. The proposed construction will not create any new non-compliance with the HRL requirements.
5. The proposed new construction complies with the Land Management Code requirements pursuant to the HRL zoning district.
6. The proposed work is consistent with Park City General Plan.

Conditions of Approval

1. Receipt and approval of a Construction Mitigation Plan (CMP) by the Building Department is a condition precedent to the issuance of any building permits for this property. The CMP shall consider and mitigate impacts to the existing historic home, adjacent structures, and existing infrastructure/streets from the construction. All anticipated road closures shall be described and permitted in advance by the City.

2. Final building plans and construction details shall reflect substantial compliance with the drawings stamped in on May 31, 2013, with certain sheets modified on July 11 and August 12, 2013 and stamped approved on August 16, 2013.
3. Any changes, modifications, or deviations from the approved design shall be reviewed and approved by the Planning Director prior to construction. Any changes, modifications, or deviations from the approved design that have not been approved by the Planning and Building Departments may result in a stop work order.
4. The designer and/or applicant shall be responsible for coordinating the approved architectural drawings/documents with the approved construction drawings/documents. The overall aesthetics of the approved architectural drawings/documents shall take precedence. Any discrepancies found among these documents that would cause a change in appearance to the approved architectural drawings/documents shall be reviewed and approved prior to construction.
5. All standard conditions of approval shall apply (see attached).
6. If a building permit has not been obtained by August 16, 2014, then this HDDR approval will expire, unless an extension is requested in writing prior to the expiration date and an extension is granted by the Planning Department, with notice given according to the Land Management Code
7. Any area disturbed during construction shall be brought back to its original state or landscaped according to an approved Landscape Plan, prior to issuance of a Certificate of Occupancy.
8. A final Landscape Plan shall be submitted with the building permit submittal and shall be reviewed in conjunction with the building permit and shall include irrigation details for the new landscape area, plantings and mulch materials, and materials and locations and materials proposed for all hard surfaced areas and retaining walls.
9. Construction waste should be diverted from the landfill and recycled when possible. Any proposed roof mounted solar panels shall be shown on the plans submitted for building permit review.
10. Lighting fixture details have not been submitted, included or reviewed as part of this application. All exterior lighting cut sheets and locations shall be submitted to the Planning Department for review and approval prior to installation. All exterior lighting shall meet Park City's lighting ordinance and be downward directed and shielded.
11. City Engineer review and approval of all grading, utility installation, public improvements, drainage plans, and flood plain issues, for compliance with City and Federal standards, is a condition precedent to building permit issuance.
12. All electrical service equipment and sub-panels and all mechanical equipment, except those owned and maintained by public utility companies and solar panels, shall be painted to match the surrounding wall color or painted and screened to blend with the surrounding natural terrain. Roof mounted equipment and vents shall be painted to match the roof and/or adjacent wall color and shall be screened or integrated into the design of the structure.
13. As noted on the plans, exterior wood surfaces shall be solid-stained and must have an opaque rather than transparent finish. Provide a weather protective finish to wood surfaces that were not historically painted. Low VOC paints and paints are recommended to be used.

14. The proposed porch posts, railings, trim, siding, soffits, etc. including dimensions, shall be shown on the final building permit application plans, consistent with the HDDR plans.
15. Historic doors and windows shall be salvaged, repaired, and restored whenever possible. Planning Department approval shall be granted prior to replacement of historic windows and doors, based on inspection of the existing condition and review by the Design Review Team.
16. All exterior materials shall be identified on the final building plan set, consistent with the approved HDDR plans.
17. Approval of this HDDR was noticed on August 16, 2013 and is subject to a 10 day appeal period.
18. A preservation guarantee shall be calculated by the Chief Building Official and all paper work and documentation regarding the preservation guarantee shall be executed and recorded at Summit County recorder's office prior to issuance of any building permits for construction on this property.
19. If you have any questions about this approval, please do not hesitate to contact me. I can be reached at (435) 615-5066, or via e-mail at Kirsten@parkcity.org

Exhibit A

STANDARD PROJECT CONDITIONS

1. The applicant is responsible for compliance with all conditions of approval.
2. The proposed project is approved as indicated on the final approved plans, except as modified by additional conditions imposed by the Planning Commission at the time of the hearing. The proposed project shall be in accordance with all adopted codes and ordinances; including, but not necessarily limited to: the Land Management Code (including Chapter 5, Architectural Review); International Building, Fire and related Codes (including ADA compliance); the Park City Design Standards, Construction Specifications, and Standard Drawings (including any required snow storage easements); and any other standards and regulations adopted by the City Engineer and all boards, commissions, agencies, and officials of the City of Park City.
3. A building permit shall be secured for any new construction or modifications to structures, including interior modifications, authorized by this permit.
4. All construction shall be completed according to the approved plans on which building permits are issued. Approved plans include all site improvements shown on the approved site plan. Site improvements shall include all roads, sidewalks, curbs, gutters, drains, drainage works, grading, walls, landscaping, lighting, planting, paving, paths, trails, public necessity signs (such as required stop signs), and similar improvements, as shown on the set of plans on which final approval and building permits are based.
5. All modifications to plans as specified by conditions of approval and all final design details, such as materials, colors, windows, doors, trim dimensions, and exterior lighting shall be submitted to and approved by the Planning Department, Planning Commission, or Historic Preservation Board prior to issuance of any building permits. Any modifications to approved plans after the issuance of a building permit must be specifically requested and approved by the Planning Department, Planning Commission and/or Historic Preservation Board in writing prior to execution.
6. Final grading, drainage, utility, erosion control and re-vegetation plans shall be reviewed and approved by the City Engineer prior to commencing construction. Limits of disturbance boundaries and fencing shall be reviewed and approved by the Planning, Building, and Engineering Departments. Limits of disturbance fencing shall be installed, inspected, and approved prior to building permit issuance.
7. An existing conditions survey identifying existing grade shall be conducted by the applicant and submitted to the Planning and Building Departments prior

to issuance of a footing and foundation permit. This survey shall be used to assist the Planning Department in determining existing grade for measurement of building heights, as defined by the Land Management Code.

8. A Construction Mitigation Plan (CMP), submitted to and approved by the Planning, Building, and Engineering Departments, is required prior to any construction. A CMP shall address the following, including but not necessarily limited to: construction staging, phasing, storage of materials, circulation, parking, lights, signs, dust, noise, hours of operation, re-vegetation of disturbed areas, service and delivery, trash pick-up, re-use of construction materials, and disposal of excavated materials. Construction staging areas shall be clearly defined and placed so as to minimize site disturbance. The CMP shall include a landscape plan for re-vegetation of all areas disturbed during construction, including but not limited to: identification of existing vegetation and replacement of significant vegetation or trees removed during construction.
9. Any removal of existing building materials or features on historic buildings shall be approved and coordinated by the Planning Department according to the LMC, prior to removal.
10. The applicant and/or contractor shall field verify all existing conditions on historic buildings and match replacement elements and materials according to the approved plans. Any discrepancies found between approved plans, replacement features and existing elements must be reported to the Planning Department for further direction, prior to construction.
11. Final landscape plans, when required, shall be reviewed and approved by the Planning Department prior to issuance of building permits. Landscaping shall be completely installed prior to occupancy, or an acceptable guarantee, in accordance with the Land Management Code, shall be posted in lieu thereof. A landscaping agreement or covenant may be required to ensure landscaping is maintained as per the approved plans.
12. All proposed public improvements, such as streets, curb and gutter, sidewalks, utilities, lighting, trails, etc. are subject to review and approval by the City Engineer in accordance with current Park City Design Standards, Construction Specifications and Standard Drawings. All improvements shall be installed or sufficient guarantees, as determined by the City Engineer, posted prior to occupancy.
13. The Snyderville Basin Water Reclamation District shall review and approve the sewer plans, prior to issuance of any building plans. A Line Extension Agreement with the Snyderville Basin Water Reclamation District shall be signed and executed prior to building permit issuance. Evidence of compliance with the District's fee requirements shall be presented at the time of building permit issuance.

14. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
15. When applicable, access on state highways shall be reviewed and approved by the State Highway Permits Officer. This does not imply that project access locations can be changed without Planning Commission approval.
16. Vesting of all permits and approvals terminates upon the expiration of the approval as defined in the Land Management Code, or upon termination of the permit.
17. No signs, permanent or temporary, may be constructed on a site or building without a sign permit, approved by the Planning and Building Departments. All multi-tenant buildings require an approved Master Sign Plan prior to submitting individual sign permits.
18. All exterior lights must be in conformance with the applicable Lighting section of the Land Management Code. Prior to purchase and installation, it is recommended that exterior lights be reviewed by the Planning Department.
19. All projects located within the Soils Ordinance Boundary require a Soil Mitigation Plan to be submitted and approved by the Building and Planning departments prior to the issuance of a Building permit.

September 2012

PARK CITY MUNICIPAL CORPORATION
 PLANNING DEPARTMENT
 445 MARSAC AVE ° PO BOX 1480
 PARK CITY, UT 84060
 (435) 615-5060



HISTORIC PRESERVATION PLAN
 For use with the *Historic District/Site Design Review Application*



PROJECT INFORMATION

LANDMARK SITE SIGNIFICANT SITE DISTRICT: _____

NAME: HISTORIC REHAB & ADDITION

ADDRESS: 264 ONTARIO AVE
PARK CITY, UT 84060

TAX ID #: _____ OR

SUBDIVISION: 264 ONTARIO AVE. SUBDIVISION OR

SURVEY: _____ LOT #: _____ BLOCK #: _____

APPLICANT INFORMATION

NAME: DAVID & PATRICIA CONSTABLE

PHONE #: 435 640 0597 FAX #: _____

EMAIL: decpj049@msn.com

Instructions for Completing the HISTORIC PRESERVATION PLAN

The purpose of the HISTORIC PRESERVATION PLAN is to provide a detailed description of the proposed project, including the scope of work, methods/techniques being considered, and the potential impacts and/or benefits to Park City's historic resources. The Planning Department is authorized to require a Historic Preservation Plan as a condition of approving an application for a building project that affects a historic structure, site or object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

Your Historic Preservation Plan must include this cover page and the information noted below:

- Prior to you Pre-Application Conference with the Design Review Team, complete only section 1. PROJECT DESCRIPTION.
- To accompany your HISTORIC DISTRICT/SITE DESIGN REVIEW application, complete all sections of the form.

If you have questions regarding the requirements for completing the HISTORIC PRESERVATION PLAN, please contact a member of the Park City Planning Staff at (435) 615-5060.



SEE ATTACHED -

HISTORIC PRESERVATION PLAN

Instructions: When preparing your Historic Preservation Plan, please reply to each section in the order listed. Please restate each section in full followed by your response.

1. PROJECT DESCRIPTION (This section must be completed prior to your Pre-Application Conference).

Summarize the intent of the proposed project and describe the anticipated scope of work. For projects involving Historic Sites, the description should make known any intentions to remove, relocate, reorient, raise, disassemble/reassemble, and/or reconstruct all or part of the Historic Site.

2. DESIGN ISSUES

Summarize the impacts the proposed project will have on the site's character-defining features. If the project proposes a negative impact on any character-defining feature, explain why it is unavoidable and what measures are proposed to mitigate the adverse affects.

Summarize the design of proposed elements (additions, materials, etc...). Address compatibility with existing character-defining features and historic materials.

Summarize the location and placement of proposed elements (additions, materials, etc...). Address visibility from the primary public right-of-way, impact on historic building/structure, and impact on historic materials.

For projects involving ADA compliance, explain how the proposed design solution minimizes adverse impacts on the original materials and design.

3. CONSTRUCTION ISSUES

Following the format of the Physical Condition Report, summarize the work being proposed for each feature. Provide reference to or excerpts from the Physical Condition Report if needed to supplement the work summaries. Address the treatments being considered and the methods and techniques being proposed. (See Page 6 of the *Design Guidelines for Historic Districts and Historic Sites* for a list of the four treatments for historic sites).

SITE FEATURES: Describe the proposed scope of work to be performed.

- A.1. Topography -
- A.2. Landscaping -
- A.3. Retaining Wall(s) -
- A.4. Exterior Steps -
- A.5. Fence(s) -
- A.6. Other -

MAIN BUILDING: Describe the proposed scope of work to be performed.

- B.1. Roof -
- B.2. - B.5. Exterior Walls -
- B.6. Foundation -
- B.7. Porch(es) -
- B.8. Dormer(s)/Bay(s) -
- B.9. Additions -
- B.10. Mechanical System -
- B.11. Electrical System -
- B.12. Structural System -
- B.13. Hazardous Materials -
- B.14. Other -

If you have questions regarding the requirements for completing the PRESERVATION PLAN, please contact a member of the Park City Planning Staff at (435) 615-5060.

MAIN BUILDING - DETAILS: Describe the proposed scope of work to be performed.

- C.1. Windows - REPLACE W/ ENERGY EFF. + MATCH EXIST. - WOOD
 - C.2. Doors - " " " "
 - C.3. Trim - EXIST. - REUSE " "
 - C.4. Architectural Ornamentation - NONE
 - C.5. Other -
- upon review by the ART. team*

ACCESSORY BUILDINGS(S): Describe the proposed scope of work to be performed.

D.1 NONE

STRUCTURE(S): Describe the proposed scope of work to be performed.

E.1 SEE ATTACHED,

4. PROJECT TEAM

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

DAVID G. WHITE, ARCHITECT

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

DAVID G. WHITE, ARCHITECT

5. SITE HISTORY

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

6. FINANCIAL GUARANTEE

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

7. ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant: Patricia Constable Date: 6-13-13
 Name of Applicant: DAVID & PATRICIA CONSTABLE

If you have questions regarding the requirements for completing the PRESERVATION PLAN, please contact a member of the Park City Planning Staff at (435) 615-5060.

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060



(08-09)

PHYSICAL CONDITION REPORT

For use with the *Historic District/Site Design Review Application*

PROJECT PLANNER: DAVID J. CONSTABLE APPLICATION: HR L
DATE RECEIVED: 5/31/13

PROJECT INFORMATION

HISTORIC SITE? NO YES: LANDMARK SIGNIFICANT DISTRICT: HR L
NAME: HISTORIC REHAB & ADDITION
ADDRESS: 204 ONTARIO AVE
PARK CITY, UTAH 84060
TAX ID #: _____ OR
SUBDIVISION: 204 ONTARIO AVE. SUBDIVISION OR
SURVEY: _____ LOT #: _____ BLOCK #: _____

CONTACT INFORMATION

NAME: DAVID & PATRICIA CONSTABLE
PHONE #: 435 640 0597 FAX #: _____
EMAIL: decpc49@msn.com

Instructions for Completing the PHYSICAL CONDITION REPORT

The purpose of the PHYSICAL CONDITION REPORT is to document the existing conditions of the site, its buildings and structures. All sites, historic or otherwise, that are the subject of a Historic District/Site Design Review application are required to complete a PHYSICAL CONDITION REPORT. This form should be completed and submitted to the Planning Department prior to your Pre-Application Conference.

WRITTEN DESCRIPTION

The features listed below, if extant on your site, must be described in full. If the scope of your project is limited (window replacement, porch rehabilitation, etc.) describe only those elements directly impacted by your proposal and write "not applicable" in other sections. Descriptions should be concise and detailed and should include materials, dimensions, present condition, and approximate date (if known). If your descriptions require additional space, please attach a continuation sheet OR you may create a separate document by restating each numbered item followed by your full response. Documentation from a licensed professional must be submitted to support claims regarding severely deteriorated or defective conditions.

PHOTOGRAPHS

Digital photographs must be included with this report. Specifications and a template for organizing and labeling photographs are provided on the last page of this report.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.



SEE ATTACHED

SITE FEATURES

A.1. TOPOGRAPHY - Describe the topography of the site, including any unusual conditions. Describe the existing feature(s) and condition:

A.2. LANDSCAPING - Describe the natural and/or planted materials, paths, decks, patios or other elements that are part of the existing landscaping scheme, including approximate dates. Describe existing feature(s) and condition:

A.3. RETAINING WALL(S) - Describe any functional or decorative walls on the site, including approximate dates of construction. Describe the existing feature(s) and condition:

A.4. EXTERIOR STEPS - Describe any exterior steps on the property including location, dimensions, materials, and approximate dates of construction. Describe the existing feature(s) and condition:

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

STRUCTURE(S)

E.1. STRUCTURE(S) - Mark all the boxes below that apply to your property. Describe each structure including location on the site (should correspond to the existing site plan), materials and approximate dates.

Type(s): Tram Tower Animal Enclosure Other (specify):

Describe existing structure(s) and condition:

ACKNOWLEDGEMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The documents and/or information I have submitted are true and correct to the best of my knowledge.

Signature of Applicant: Patricia Constable Date: 6-13-13
 Name of Applicant: PATRICIA E. DAVID CONSTABLE

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

PHYSICAL CONDITION REPORT - PHOTOS

CONTACT SHEETS (sample shown at right)

Digital photographs illustrating the descriptions provided in this report must be presented on contact sheets that accommodate two photos with captions per page. A template of the contact sheet is provided on the following page.

- Each feature described in this report must include *at least one* corresponding photograph. More than one photograph per description is encouraged.
- Contact sheets should be printed in color on high-quality paper (photo paper is preferred).
- To avoid creating a large and unmanageable file, it is recommended that you use an image file compressor when importing images into the contact sheets.
 - Microsoft offers a free download of Image Resizer for Windows XP at www.microsoft.com.
 - iPhoto provides the option to resize an image (while maintaining the aspect ratio) when the image is exported from the photo library.
 - Other resizing options are available in Adobe Photoshop or in a free download from VSO Software at www.vso-software.fr
- The photograph contact sheets should be organized in the same order as the written descriptions above; beginning with TOPOGRAPHY, LANDSCAPING, RETAINING WALLS, continuing with each of the features listed and finally ending with STRUCTURES.



IMAGES ON DISC

Digital copies of photographs used in the contact sheets that accompany this report should be saved separately on a CD-R and submitted to the Planning Staff with the report. Do not submit a disc with original images. Materials submitted with the form will not be returned to the applicant.

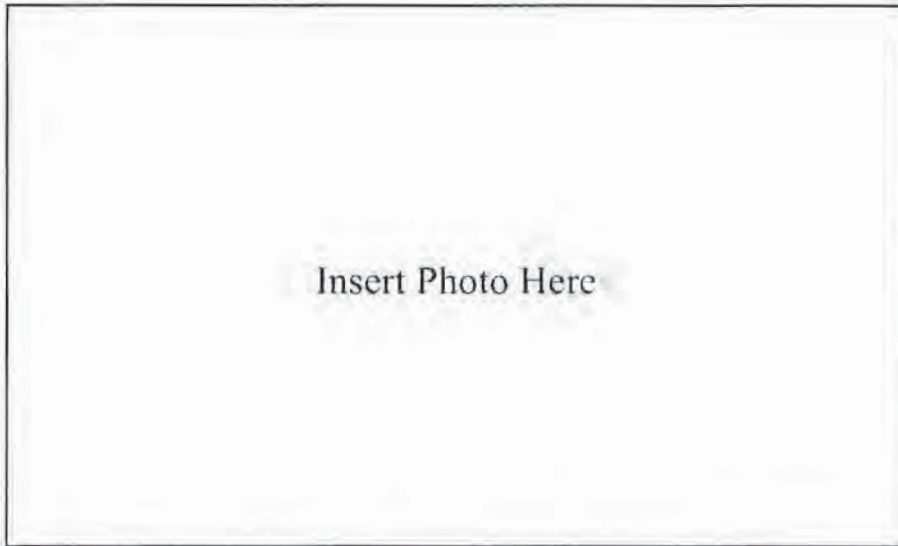
- The image size should be at least 3,000 x 2,000 pixels at 300 ppi (pixels per inch) or larger (if possible).
- It is recommended that digital images be saved in 8-bit (or larger) format.
- TIFF images are preferred, but JPEG images will be accepted.
- The CD-R should be labeled as follows: **PCR Form "Property Address" "Date"**.

If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

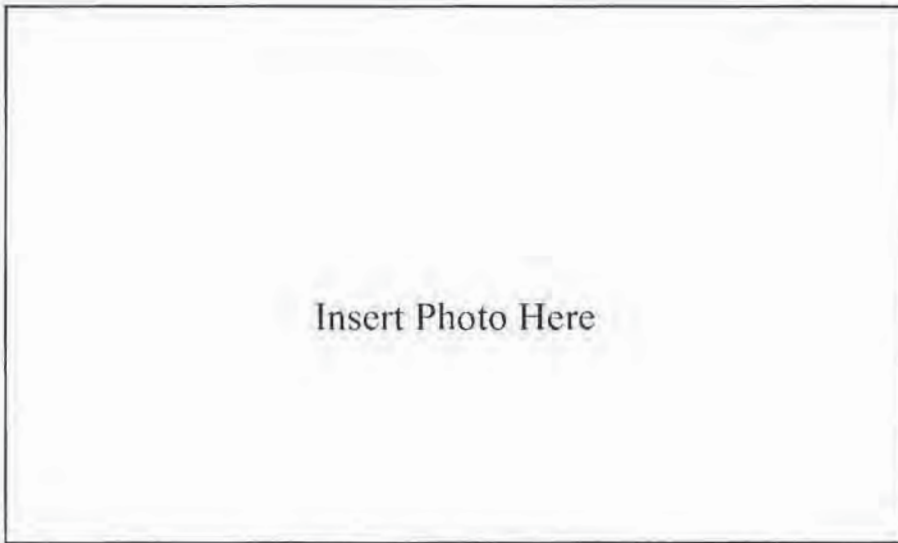
See separate Photos

PHYSICAL CONDITION REPORT - PHOTOS

<FEATURE NAME>



<FEATURE NAME>



If you have questions regarding the requirements for completing the PHYSICAL CONDITION REPORT, please contact a member of the Park City Planning Staff at (435) 615-5060.

PHISICAL CONDITIONS REPORT

264 Ontario Ave

SITE FEATURES

TOPOGRAPHY

The Site is situated on the East side of Ontario Ave. The Site rises from the East curb of Ontario Ave. at a slope of approximately 44%. This steep rise goes through the platted Ontario Ave. R.O.W., which is not used. Actual Ontario Ave. is just west of its R.O.W. The property at 264 Ontario has gone through a Plat Amendment which combined three lots. The lot now is approximately 75' x 75'. See the accompanying Plat Amendment and Site Plan for precise dimensions. The Northwest corner of the of the lot is 47' East of the Ontario Ave curb and the Southwest corner of the lot is 60' East of the Ontario Ave. curb. The East lot line is bordered by McHenry Ave. The North lot line is bordered by the Third Street R.O.W. which is 30' wide and contains a City owned stairway in the center. The South lot line is a common property line between 264 and another private lot. At the center of the West property line exists a Historic home that has deemed this property a "Landmark" site. The structure encroaches to the West over the property line by as much as 8'-6. See the Survey and Site Plans. From the West Property line, the Site slopes up moderately to the East property line at McHenry Ave. At the rear of the House, there exists man-made dug-out approximately 15' x13' with stone rip-rap retaining on three sides. This area was probably used for coal storage. Besides this described dug-out, the topography is pretty consistent across the site North to South and East to West. Access to the Site at the present time is accomplished from both Ontario Ave. and McHenry Ave. via the City stairway.

LANDSCAPING

There is no existing formal landscaping. There presently exists behind the existing historic house a mature stand of oak brush approximately 20 feet in diameter. The balance of the site is covered with over grown natural vegetation.

RETAINING WALLS

The only retaining existing on the site at this time is an old open dugout area behind the house that was probably used for coal storage.

EXTRIOR STEPS

There are existing stone steps on grade that are situated to lead from the street (Ontario Ave) up to the front porch and the front door of the house. Adjacent to the property on the North side, there exists the Third Street right-of-way with a City built stairway. This stairway connects Ontario Ave. on the West with McHenry Ave. on the East.



FENCES

There are no existing fences on this site.

OTHER SITE FEATURES

None

MAIN BUILDING

ROOF

The plan of the existing house is a "T" shaped cottage. There is a main gable running East and West. The remaining portion of the "T" is gabled on the North and runs South to the ridge of the main gable running East and West. There is a front porch on the West side of the house facing Ontario Ave. The roof over the porch slopes toward the street with a very shallow slope. The existing roof covering on the main roof is non-historic asphalt shingles. The main roof structure consists of 2"x4" trusses at 24" oc. Above the joists is 1"x8" skip sheathing running perpendicular to the joists. Through the years someone has installed an OSB sheathing layer above the skip sheathing on South side only, probably to give the building a little stability and to help with the installation of the asphalt shingles. There is an addition approximately 6'-6" x 24'-6" on the back side of the house which is not visible from the street. It has a shallow shed roof which slopes to the East. This roof is also covered with asphalt shingles.

EXTERIOR WALL- PRIMARY FAÇADE 1

This façade, facing West, is wood siding. It is 1"x7" pine drop siding in fairly good condition. The trim at the building corners and around the windows and front door is 1"x4" pine. The fascia at the roof is 1"x7" pine. All gable ends have under the soffit a 1"x10" freeze board. The condition of these trim materials is in fairly good condition. I think a good portion of it can be re-habilitated and re-used. The wall structure is of the typical historic construction seen in Park City. It consists of two layers of 1"x12" pine boards. The layers run perpendicular to each other. The entire building, however, has been furred on the inside to facilitate the addition of insulation, electrical wiring and sheetrock.

EXTERIOR WALL- SECONDARY FAÇADE 2

The North and South facades are also of 1"x7" pine drop siding. The trim around the windows are of the same 1"x4" pine as the front façade. There is a trim board just below the soffit along the rake of the roof. This trim consists of 1"x8" pine with a 3" crown mold. The soffits are 9" wide and are 1" pine painted and recessed ½". The condition of the material is fair. The wall structure is the same as described in Primary Façade 1. The siding on the addition is also a 1"x7" drop siding but does not match the main part of the house. It is a different profile and you can tell where the addition begins by the existence of a piece of vertical trim. (See photo of the North elevation)

EXTERIOR WALL- REAR FAÇADE

This façade is mainly covered up by the addition. It is in very poor condition because a steep bank of earth comes right down to it. Its proximity to the earth and many winters or deep snow against it has rotted much of the material. This wall is scheduled to be removed because it has been judged to be part of a non-contributory addition. The East wall of the original house is intact and can be seen from inside the addition and is in fairly good shape.

FOUNDATION

The building's existing foundation is of wood on earth and is totally rotten. The existing foundation is a non-issue because of stabilization requirements, the house will receive a new concrete foundation.

PORCH(ES)

The existing front porch is 4'-6" wide and extends across the front façade to the main gable running East and West. The surface of the porch is 1"x4" wood planks on 2'X4" framing below. The roof above the porch is supported by shaped wood columns that look to be historic and will be rehabilitated and reused.

DORMERS

None

ADDITIONS

The Sanborn maps of 1900 and 1907 show that the original building had no additions. The existing building does have a rear addition that is not related to the Sanborn maps. The addition is about 6'-6" in depth and extends across the rear of the building terminating where it meets the main gable running East and West. The construction of this addition is totally different from that of the main building. The walls are of 2"x4" studs at 24"oc with tar paper on the outside and wood siding over. See photos provided for this area.

MECHANICAL SYSTEM

There is presently a minimal forced air system.

ELECTRICAL SYSTEM

The house has some newer wiring in the furred walls and old knob and tube wiring in the attic space.

STRUCTURAL SYSTEM

The structure above ground seems to be on fair shape. The exterior walls are typical wood construction used in Park City historically. This construction is described above in the Exterior wall- Primary Façade section.

The existing roof structure is 2"x4" trusses at 24" oc with 1"x8" skip sheathing above.

The foundation is wood on dirt. There are some portions that are supported on conc. block but the house will receive a new reinf. concrete foundation.

The existing floor has many layers, and in spots, the original floor is still present. The original is 1"x4" fir. The structure below the floor surface is 2"x4" joists that either sit on dirt or rest slightly above the dirt. Most of the joists are experiencing rot. The floor is very much out of level.

HAZARDOUS MATERIAL

The paint on the existing siding is probably lead based.

MAIN BUILDING DETAILS

WINDOWS

West Gable- 2 windows 2- 24" w x 66" h wood double hung, single pull.

3 windows at porch 32" w x 40" h wood casement .

North Gable- 1 window 1- 25" w x 28" h wood, fixed .

East Side- None

South Side- 1- 28" w x 56 ¾" h wood fixed with two horiz. mullions.

DOORS

South Side- None

East Side- None.

West Side- 1 door 30" x 6'-6 1/2" two panel wood.

Main Gable North Side at porch- 28" x 6'-6 1/2" two panel wood.

TRIM

All of the exterior trim around the doors and windows and building corners are very simple 1"x4" pine and void of any ornamentation. Everything is square cut and painted. There are window sills at all operating windows. The building corners at the addition are 1"x6".

Porch Soffit: The existing porch soffit is 2 ¼" v-board. This layer seems to be original.

House Soffit: 1"x10" rough cut fir.

All trim is judged to be in fair condition, possible for rehabilitation and reuse.

ARCHITECTURAL ORNAMENTATION

The only ornamentation that exists is the 3" crown molding at the top of the fascia board all around and a 3" crown molding at the top of the trim band just below the fascia all around.

OTHER

None

ACCESSORY BUILDINGS

None

STRUCTURES

None







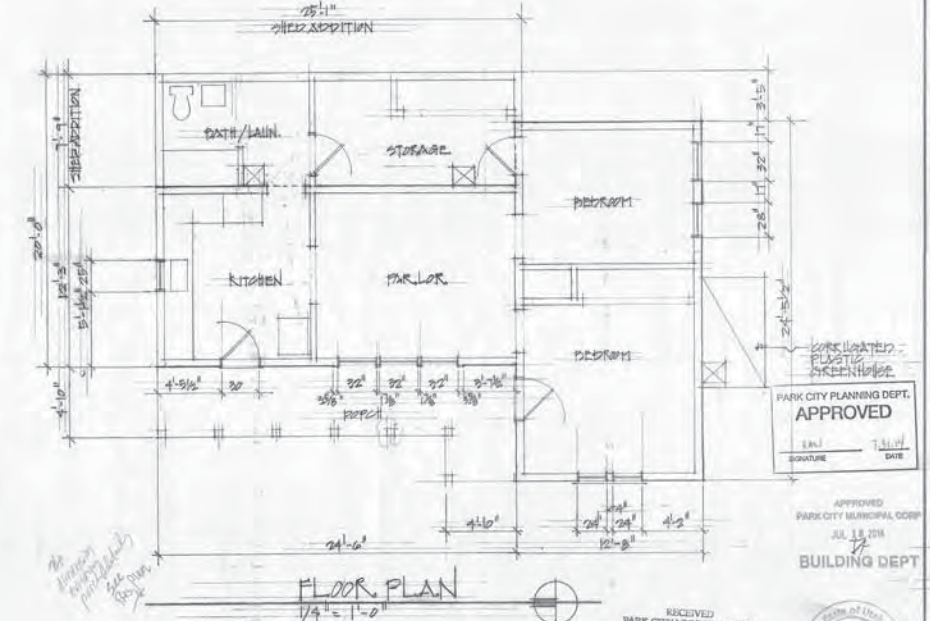
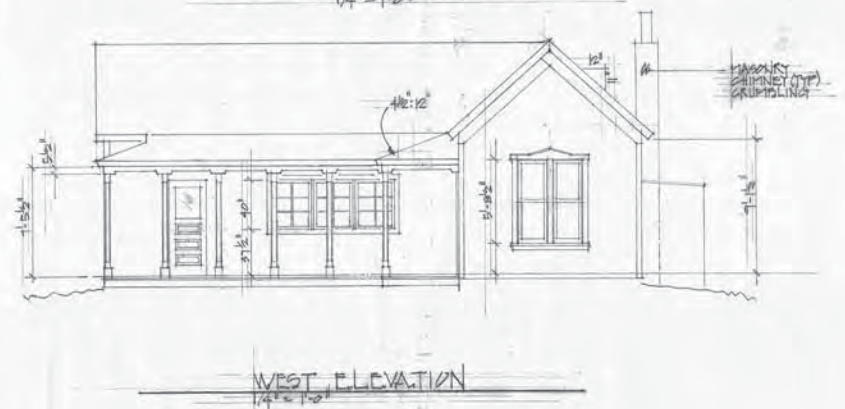
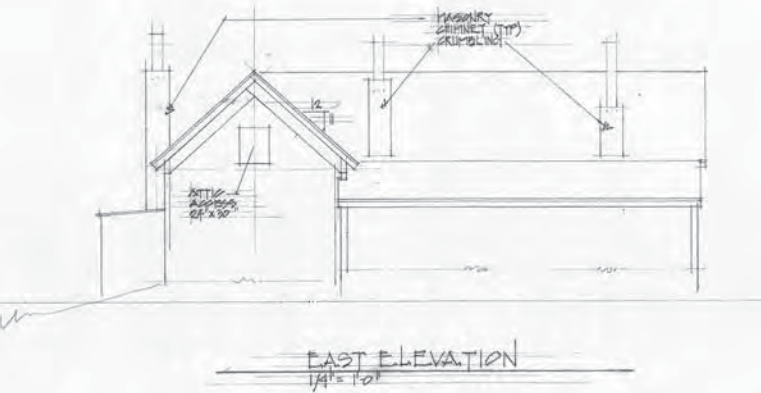
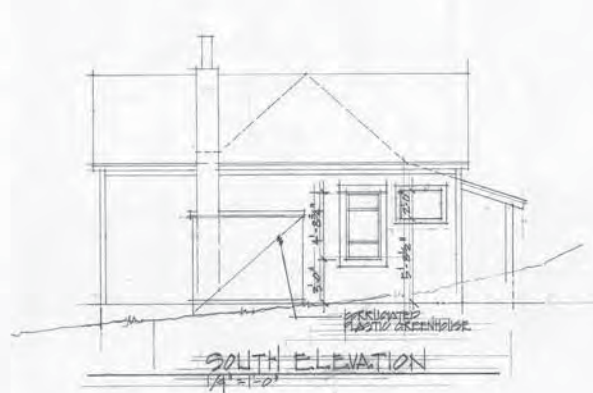






REVISIONS	BY

DAVID G. WHITE, ARCHITECT
 P.O. BOX 1313 • 2702 SPATES DRIVE
 PARK CITY, UTAH 84302
 (435) 644-0379 FAX (435) 625-8845
 EMAIL: dwhite@whitearc.com



PARK CITY PLANNING DEPT.
APPROVED
E.N.J.
7.31.14
DATE

APPROVED
PARK CITY MUNICIPAL CORP.
JUL 18 2014
14
BUILDING DEPT

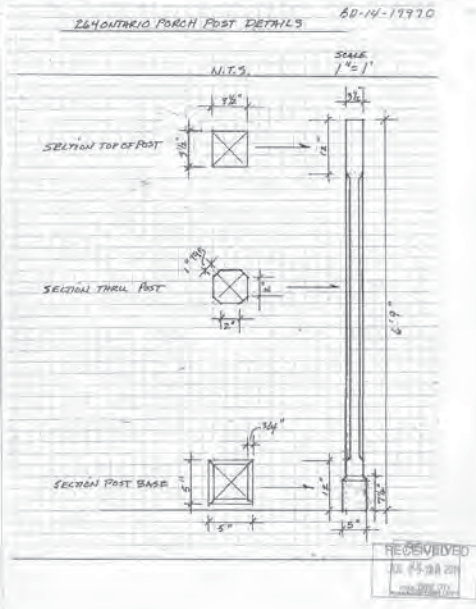
RECEIVED
PARK CITY MUNICIPAL CORP
JUN 18 2014
BUILDING DEPT

SEAL OF UTAH
BY
DATE
3/24/14

EXISTING CONDITIONS - HISTORIC BUILDING

Date: 3-13-14

Sheet:	
Drawn:	
Jan 2014 - PHT/AB	
Sheet:	DS-3
BY:	



system. The old system is resting on dirt and is rotted. When the new foundation and floor system are in place, the house will be lowered back to its original position and elevation.

Porch: The existing Historic house porch will remain the same. The porch will be rebuilt with wood structure and surfaced with 1" x 4" hardwood. The porch roof system will be cleaned and resurfaced.

Other - None

WINDOWS - The windows in the main Historic house are of historic size, shape and location. We plan not to change any of the sizes or locations. These existing windows are old, have many layers of paint and are not energy efficient. The plan is to replace these windows with new wood framed energy efficient windows exactly the same size and type and detail. See sheet A-11 for the generic detail of new wood windows and trim for the Historic House. The actual sizes of the existing windows and trim are shown on the Existing Conditions Documentation drawings Sheet DS-3. All new windows will be built to these exact sizes.

DOORS - There are two Historic Doors in the existing House. See sheet DS-3. These Doors are in fairly good condition and will be rehabilitated and re-used. The glass in the doors will be replaced with double pane energy efficient glass of the same size and shape. Both doors will receive new weather stripping and new oak thresholds.

TRIM - The existing trim around all doors and windows, building corners and rake fascia boards is in fairly good condition and looks to be very historic in style, shape and detail. This trim can be rehabilitated and reused. If any trim piece is found to be damaged or rotted, a new piece shall be milled to be exactly the same size and shape from pine. See sheet DS-3 for various trim types and location on the house.

NOTE - All new window elevations and details and new trim pieces for the Historic house shall be submitted to the Architect for approval by the window manufacturer before manufacturing begins.

INSTRUCTIONS FOR RAISING HISTORIC HOUSE

The raising and stabilization of the existing Historic Structure at 264 Ontario in Park City shall be accomplished by using a licensed Contractor who specializes in the moving, raising and stabilizing of existing structures. This Contractor shall prepare, in coordination with the Architect, Structural Engineer and Excavator, a plan identifying all horizontal and vertical supports to be used and sequence of the operation. This information shall be submitted to the Park City Building Dept. for approval prior to the commencement of the work.

INSTRUCTIONS FOR REMOVAL OF NON-HISTORIC AND NON-CONTRIBUTORY ADDITIONS

The Additions to be removed have been identified in the Historic Preservation Plan. These Additions are an old roof cellar that is mostly buried except for its roof on the west end of the house and two non-historic additions with wood decks on the North. The rear cellar addition was deemed non-contributory and the two porch additions were deemed non-historic, all in the HDOR process.

When the additions are removed, the Contractor shall immediately fill the voids left in the existing structure with temporary walls and roof as required. These temporary structures shall consist of min. 2" x 4" studs @ 16" oc with 1/2" sheathing 4 mil sheet plastic on the exterior to protect the existing structure from wind, rain and snow. The voids shall also be temporarily braced as recommended by the Structural Engineer to preserve the stabilization of the existing structure. The approval narrative above shall be approved by the Park City Building Dept. before the commencement of the work.

HISTORIC PRESERVATION PLAN
264 Ontario Ave.

PROJECT DESCRIPTION

The existing Historic House is judged a Landmark structure. It is presently in fairly good condition. The project proposal is to completely maintain the existing structure and its exterior presence to its original early 20th century presence. The rotting foundation will be replaced with a new concrete foundation. The final placement and orientation of the house on the site will remain the same as existing. The first floor elevation will also remain the same. The existing house will have to be structurally braced and raised in fact in order to facilitate the construction of the new foundation stabilization. Upon completion of the new footing and foundation and new main floor structure, the house will be set back down to its original position.

A new addition is proposed behind the existing historic house. The footprint of the new addition will be 1400.5 sf. The new footprint including the existing historic house will be 2008.13 sf. The allowable footprint as per the Park City LMC is 2045.4 sf. There will be a proper transition between the new and historic structures. The floor elevation of the historic house will extend back under the new addition making the addition a total of three stories. The lot for this project is located up the hill across City property from Ontario Ave. on the West, and extends up to McKinley Ave. on the East.

Adjacent to the property to the North there exists the Third Street right-of-way with a City Parkway that extends from Ontario Ave. to McKinley Ave. I feel that this is a great space buffer between this project and the neighboring property to the North. The Parkway provides great access to both properties from both Ontario and McKinley Aves.

DESIGN ISSUES - Historic Sites

The existing Historic house is in good shape and will be maintained in its present condition. The house will be proposed to be raised in place to facilitate a new footing and foundation, new floor and new energy efficient wood windows to match the existing. There are a few siding boards that need to be replaced with new. The new boards will be milled to fit the exact size and profile of the existing.

I believe the placement and height of the proposed new addition in the rear will have no negative impact on the street or the Historic District. The Historic House sits about 18 to 20 feet above and 45 feet back from the edge of Ontario Ave. The front yard consists of a steep bank of native shrubs before it flattens to a gentler slope to the front porch. If a person stands in front of the house on the street (Ontario Ave.), the rear addition cannot be seen. The new addition will only be seen slightly by walking up or down the street from the North or South. At McKinley Ave., the addition is only one story. This is the Garage level of the project.

I believe the proposed project will have no negative impacts on the surrounding district. The distance from the new construction to the existing house to the South is 33 ft. with open space between. The new rear Addition will be constructed of proper materials with rooftop and staining to complement the existing Historic structures in the District.

CONSTRUCTION ISSUES

Site Features

Topography - The main construction issue affecting the topography of the Site will be the driveway from McKinley Ave. to the garage area. The driveway area accesses two single wide garages separated by an entry area. One garage runs east and west and the other garage runs north and south. See Site Plan. There will be an area of fill of 8'-0" at the garage back to 0'-0" at the street. This is a distance of 24'-0". To the south of the driveway there are two staggered short hand stacked retaining walls separated by about 3'-0". The walls are 3'-0" max in height.

Landscaping - There is presently no formal landscaping on the Site. There exists behind the historic house a mature stand of oak brush. It is planned to maintain this stand and have it complement a new patio area on the south side of the house. The property will basically be unchanged and will be cleared of the weeds and tangled shrubs. A few sapling trees will be planted along the North and South sides. See the new proposed Site Plan for areas of, flowers and ground cover.

Retaining walls - There will be retaining for landscaping and to return small cuts back to grade, however, every wall will be hand stacked stone 2 to 4 feet in height max. See the new proposed Site Plan for wall locations.

Exterior Steps - There will be a short set of wooden steps on the south side of the house leading from the Master ext to the deck off the living room.

Fences - There will be no fences.

Other - None

Main Building

Roof - The roof massing of the existing Historic house will remain unchanged. The existing roof structure does not meet code and when the interior of the house was gutted a few years ago, the structure was further compromised. The roof will be restuctured, re-sheathed, waterproofed and resurfaced with new asphalt shingles. Many of the existing roof joists will remain and be sistered with new joists. The roof height, slopes and massing will remain the same. Proper insulation will be added to the roof system.

Exterior walls - The exterior walls will be raised and will form the correct heights, lengths, window and door sizes and locations for the rehabilitated house. A good portion of the existing siding and trim can be reused. There are some boards close to the ground that are rotten and warped and will have to be replaced. Any new siding will be milled to the exact profile of the existing. All exterior walls will be straightened and plumbed and will be re-structured from the inside with 2" x 4" studs at 16" oc and plywood sheathing. The existing Historic wall will be attached to the interior stud wall and proper insulation and air barrier will be added to the system.

Foundation - The project is proposing a new reinf. conc. footing and foundation under the Historic house. The house will have to be raised above its present location in order to facilitate the excavation, forming and pouring of the new concrete foundation. The main floor of the house will also receive a new floor.

RECEIVED
PARK CITY MUNICIPAL CORP
JUL 31 2014
BUILDING DEPT

APPROVED
PARK CITY MUNICIPAL CORP
JUL 31 2014
BUILDING DEPT

PARK CITY PLANNING DEPT
APPROVED
DATE: 7/31/14

State of Utah
David G. White
No. 215780-020
7/31/14
COUNTY CLERK

REVISIONS

NO.	DESCRIPTION	DATE

DAVID G. WHITE, ARCHITECT
P.O. BOX 1313 • 2703 ESTATED DRIVE
PARK CITY, UTAH 84302
PHONE: 435-633-8008
FAX: 435-655-6005
EMAIL: david@dwwhite.com

Historic Preservation Plan

Date: 7-31-14
Scale:
Drawn:
App'd: DAVID G. WHITE
Sheet: HPP-1
Of: 1 Sheets



SOUTH ELEV.

REMOVE PLASTIC GREENHOUSE
& BRICK CHIMNEY

EAST ELEV.

REMOVE THIS ADDITION & CHIMNEY
NON CONTRIBUTORY
NOT SHOWN IN SUBMITTED HSP

NORTH-WEST ELEV.

PARK CITY PLANNING DEPT.
APPROVED

SIGNATURE DATE

APPROVED
PARK CITY MUNICIPAL CORP.
JUN 18 2014
BUILDING DEPT

RECEIVED
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JUN 18 2014
BUILDING DEPT



REVISIONS	BY

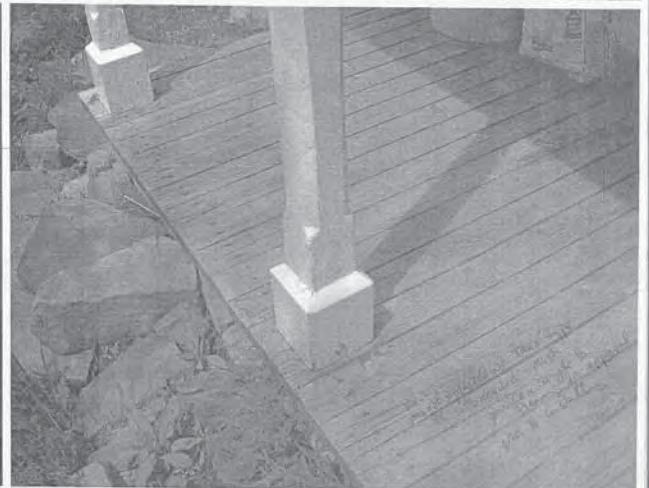
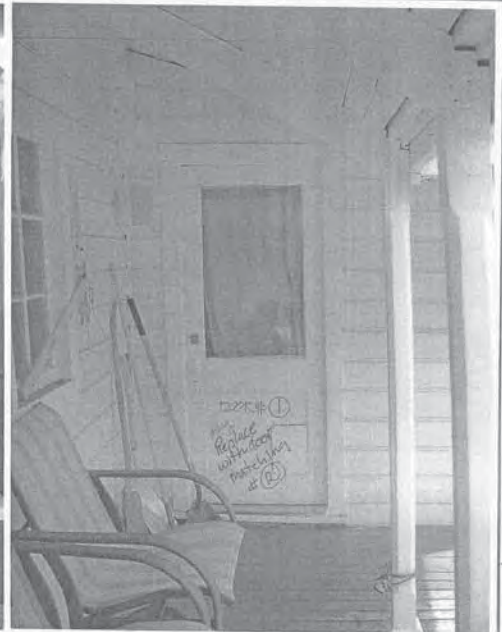
DAVID G. WHITE, ARCHITECT
P.O. BOX 1313 - 2703 STATED DRIVE
PARK CITY, UTAH 84302
PHONE: 435-633-0000 FAX: 435-633-0005
EMAIL: david@dgwhite.com

HISTORIC PRESERVATION PLAN - PHOTOS

Date 5-13-14
Scale
Drawn
Jas ZOHANTSKO
Sheet HPP-2
Of 2



REMOVE THIS WINDOW



TAP

REPAIR POSTS & REINFORCE

BASE

PARK CITY PLANNING DEPT. APPROVED
JUL 18 2014
BUILDING DEPT

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PARK CITY MUNICIPAL CORP
JUL 18 2014
BUILDING DEPT

RECEIVED
PARK CITY MUNICIPAL CORP
JUN 18 2014
BUILDING DEPT



REVISIONS	BY

DAVID G. WHITE, ARCHITECT
P.O. BOX 1313 - 2703 EDVATE DRIVE
PARK CITY, UTAH 84002
PHONE (435) 635-8000
FAX (435) 635-8001
EMAIL dwhite@dmwhite.com

HISTORIC PRESERVATION PLAN - PHOTOS

Site 2-15-14
Scale
Drawn
Job 2014-212AR10
Sheet HPP-5
Of Sheets

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **Vincent A. Smith House**

Address: 264 ONTARIO AVE

AKA:

City, County: Park City, Summit County, Utah

Tax Number: PC-502

Current Owner Name: CONSTABLE DAVID E & PATRICIA J H/W (JT) Parent Parcel(s):

Current Owner Address: PO BOX 864, PARK CITY, UT 84060-0864

Legal Description (include acreage): LOTS 14 & 15 BLK 60 PARK CITY SURVEY, 0.09 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

- Original Use: Residential
- Current Use: Residential

- *National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo: c. 1940
- prints: 1983 & 2006
- historic: c.

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers

- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.

Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.

Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.

Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: T/L cottage / vernacular style

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # ____; structure(s), # ____.

General Condition of Exterior Materials:

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: Dec. 2008

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: Because the house is raised significantly from the finished road grade, there are stone steps leading to the entry porch from the north.

Foundation: The full foundation is not visible in the 2006 photographs, but the porch appears to have been upgraded from the typical wooden sills to cinderblock. The extent to which the foundation has been upgraded is not clear.

Walls: The exterior walls are clad in a non-beveled (drop-novelty) wood siding, painted a pale yellow, with white corner boards. A rear shed extension is clad in sheet siding. The front porch is an L tucked into the L plan of the house with a dropped hip roof and square porch posts.

Roof: The roof is a cross-wing form sheathed with asphalt shingles and is penetrated by several vents. A brick chimney projects through the eave on the south side of the gable bay. Also, the rear extension has a shed roof form.

Windows/Doors: Windows include single and paired double-hung sash units and single square casement units. The windows appear to be original and have simple trim casing. The paired double-hung windows on the gable end have a pediment header. The door is a panel-and-frame wooden door.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The house remains largely unchanged from the description provided in the 1984 National Register nomination form (see Utah State Historical Society, Structure/Site Form, 1984.)

Subsequent alterations include the addition of extra porch posts--the tax photo indicates three posts along the span of the porch, but photographs taken since then show six. Otherwise, the alterations have been minimal and the structure retains its original character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The house sits on approximately 0.09 acres. The building pad is narrow and sits up quite a distance from the finished road grade. The site itself rises sharply from the road to a ridge at the rear of the house. The site is informally landscaped with lawn and shrubs. The tax photograph shows a dry-stacked stone wall in front of the house, but the overgrowth of vegetation makes it impossible to verify if it still exists. If it is present, it should be preserved as it is an important site feature. Like many of the historic houses in Park City, this home is surrounded by homes of similar scale and size. Also similar to so many historic houses in Park City, the challenging topography of the site dictates where the house is situated.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The distinctive elements that define this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era.

This site was nominated to the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*, but was not listed because of the owner's objection. It was built within the historic period, defined as 1872 to 1929 in the district nomination. The site retains its historic integrity and would be considered eligible for the National Register as part of an updated or amended nomination. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1890¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: Southwest oblique. Camera facing northeast, 2006.

Photo No. 2: North elevation. Camera facing south, 2006.

Photo No. 3: West elevation (primary façade). Camera facing east, 2006.

Photo No. 4: West elevation (primary façade). Camera facing east, 1983.

Photo No. 5: West elevation (primary façade). Camera facing east, c. 1940 tax photo.

¹ Utah State Historical Society, Structure/Site Form, 1984.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

SERIAL NO. RE-APPRAISAL CARD (1940 APPR. BASE)

Owner's Name _____
 Owner's Address _____
 Location _____
 Kind of Building Res Street No. 264 Rossie Hill

Schedule <u>1</u>	Class <u>3</u>	Type <u>1-2-3-4</u>	Cost \$	X	%
Stories	Dimensions	Cu. Ft.	Sq. Ft.	Actual Factor	Totals
<u>1</u>	<u>x x</u>		<u>744</u>	<u>\$ -</u>	<u>\$ 1534</u>
	<u>x x</u>			<u>\$</u>	<u>\$</u>
	<u>x x</u>			<u>\$</u>	<u>\$</u>

No. of Rooms 4 Condition _____

Description of Building	Add	Deduct
Foundation—Stone <u>120' x 120'</u> Conc. <u>None</u> ✓		<u>120</u>
Ext. Walls <u>24 Siding 4-8ft</u>		<u>20</u>
Insulated—Floors _____ Walls _____ Clgs. _____		
Roof—Type <u>Corb.</u> Mat. <u>T.P.</u>		<u>22</u>
Dormers—Small _____ Med. _____ Lg. _____		
Bays—Small _____ Med. _____ Lg. _____		
Porches—Front <u>135' @ .60</u>	<u>81</u>	
Rear _____ @ _____		
Cellar—Basm't— $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ full-floor <u>No</u>		<u>40</u>
Basement Apts.—Rooms Fin. _____		
Attic Rooms _____ Fin. _____ Unfin. _____		
Plumbing— { Class <u>1</u> Tub <u>1</u> Trays _____ Basin _____ Sink <u>1</u> Toilet _____ Urns _____ Ftns. _____ Shr. _____ Dishwasher _____ Garbage Disp. _____	<u>315</u>	
Heat—Stove <u>H. A.</u> Steam _____ S. _____ Blr. _____ Oil _____ Gas _____ Coal _____		
Air Conditioned _____ Incinerators _____		
Radiant—Pipeless _____		
Finish— { Hd. Wd. _____ Floors— { Hd. Wd. _____ Fir. <u>✓</u> { Fir. <u>✓</u> Conc. _____		
Cabinets _____ Mantels _____		
Tile— { Walls _____ Wainscot. _____ Floors _____		
Lighting—Lamp _____ Drops <u>7</u> Fix. _____ <u>Lumber Lined 4 @ 25'</u>		<u>100</u>
Total Additions and Deductions	<u>396</u>	<u>302</u>
Net Additions or Deductions	<u>-302</u>	<u>1534</u>

Age <u>48</u> Yrs. by { Est. <u>✓</u> Owner Tenant Neighbors Records	REPRODUCTION VALUE	\$ <u>1628</u>
	Depr. <u>2-3-4-5-6</u> <u>6/39</u> %	\$ _____
	Reproduction Val. Minus Depr.	\$ <u>635</u>
Remodeled _____ Est. Cost _____	Remodeling Inc. _____ %	\$ _____
Garage—S <u>8</u> C _____ Depr. <u>2%</u> <u>3%</u>	Obsolescence _____	\$ _____
Cars _____ Walls _____	Out Bldgs. _____	\$ _____
Roof _____ Size <u>x</u> Age _____		\$ _____
Floor _____ Cost _____	Depreciated Value Garage _____	\$ _____
Remarks _____	Total Building Value	\$ _____

RECORD OF ASSESSMENT OF IMPROVEMENTS

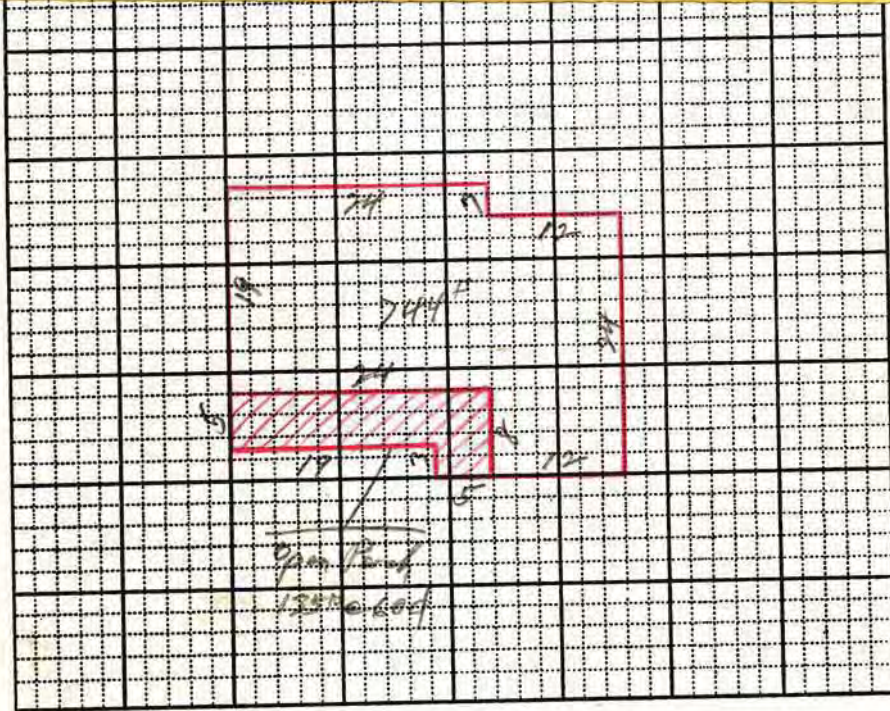
PC 502

Summit COUNTY SERIAL NO. # 179

Ruben Garbett
OWNER'S NAME Savage, Marie % Jim Burke

OWNER'S ADDRESS Park City

LOCATION Lots 14 & 15, Blk 60, P. C. Sur.



OUT BUILDINGS	Age	Size	Area	Factor	Cost	Depr. Value
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				

1987

D0.502

Location Block 60 PC Lots 14+15 (Rossie Hill)
 Kind of Bldg. RES St. No. 264 Ontario Ave
 Class 3 Type 1 2 3(4) Cost \$ X 100%

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		744		\$ 1560
	x x				
	x x				

Gar.—Carport x Fr. — Walls — Cl. —

Description of Buildings	Additions	
Foundation—Stone <u>—</u> Conc. <u>—</u> None <input checked="" type="checkbox"/>		
Ext. Walls <u>Siding</u>		
Insulation—Floors <u>—</u> Walls <u>—</u> Clgs. <u>—</u>		
Roof Type <u>Gab</u> Mtl. <u>Pat</u>		
Dormers—Small <u>—</u> Med. <u>—</u> Large <u>—</u>		
Bays—Small <u>—</u> Med. <u>—</u> Large <u>—</u>		
Porches—Front <u>135^A</u> @ <u>.80</u>	108	
Rear <u>—</u> @ <u>—</u>		
Porch <u>—</u> @ <u>—</u>		
Metal Awnings <u>—</u> Mtl. Rail <u>—</u>		
Basement Entr. <u>—</u> @ <u>—</u>		
Planters <u>—</u> @ <u>—</u>		
Cellar-Bsmt. — $\frac{1}{4}$ $\frac{1}{2}$ $\frac{3}{4}$ Full <u>—</u> Floor <u>—</u>		
Bsmt. Apt. <u>—</u> Rooms Fin. <u>—</u> Unfin. <u>—</u>		
Attic Rooms Fin. <u>—</u> Unfin. <u>—</u>		
Plumbing {	350	
		Class <u>1</u> Tub <u>1</u> Trays <u>—</u>
		Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>
		Wtr. Sfr. <u>—</u> Shr. St. <u>—</u> O.T. <u>—</u>
Dishwasher <u>—</u> Garbage Disp. <u>—</u>		
Built-in-Appliances <u>—</u>		
Heat—Stove <input checked="" type="checkbox"/> H.A. <u>—</u> Steam <u>—</u> Stkr. <u>—</u> Blr. <u>—</u>		
Oil <u>—</u> Gas <u>—</u> Coal <input checked="" type="checkbox"/> Pipeless <u>—</u> Radiant <u>—</u>		
Air Cond. <u>—</u>		
Finish—Fir <input checked="" type="checkbox"/> Hd. Wd. <u>—</u>		
Floor—Fir <input checked="" type="checkbox"/> Hd. Wd. <u>—</u> Other <u>—</u>		
Cabinets <u>1</u> Mantels <u>—</u>		
Tile—Walls <u>—</u> Wainscot <u>—</u> Floors <u>—</u>		
Storm Sash—Wood D. <u>—</u> S. <u>—</u> ; Metal D. <u>—</u> S. <u>—</u>		

Salvage
100
11-1-68
1708

Total Additions		458
Year Built <u>57</u>	Avg. Age	Reproduction Value \$ <u>2018</u>
Inf. by { Owner - Tenant - Neighbor - Record - Est.		Obsol. or Rem. %
Remodel Year	Est. Cost	Bldg. Value
		Depr. Col. <u>2 3 4 5 6</u> <u>30</u> %
		Repr. Val. Minus Depr. \$ <u>605</u>
Garage—Class <u>—</u> Depr. 2% 3% Carport—Factor <u>—</u>		
Cars <u>—</u> Floor <u>X</u> Walls <u>—</u> Roof <u>—</u> Doors <u>—</u>		
Size— <u>—</u> x <u>—</u> Age <u>—</u> Cost <u>—</u> x <u>—</u> %		
Other <u>—</u>		



Property Type:

Historic Preservation Research Office

Structure/Site Information Form

Street Address: 264 Ontario
Park City, Summit County, Utah

UTM: 12 458420 4499000

Name of Structure: Vincent A. Smith House

T. R. S.

Present Owner: Selmer Iverson

Owner Address: 2331 Greenwood, Wilmette, IL 60091

Year Built (Tax Record):
Legal Description

Effective Age:
Kind of Building:

Tax #: PC 502

Lots 14 and 15 Block 60 Park City Survey
Less than one acre.

IDENTIFICATION

STATUS/USE

Original Owner: Unknown Construction Date: c. 1890 Demolition Date:

Original Use: Residence Present Use:

Building Condition: Integrity: Preliminary Evaluation: Final Register Status:

Excellent Site Unaltered Significant Not of the National Landmark District
 Good Ruins Minor Alterations Contributory Historic Period National Register Multi-Resource
 Deteriorated Major Alterations Not Contributory State Register Thematic

DOCUMENTATION

Photography: Date of Slides: 1983 Slide No.: Date of Photographs: 1983 Photo No.:

Views: Front Side Rear Other Views: Front Side Rear Other

Research Sources:

Abstract of Title Sanborn Maps Newspapers U of U Library
 Plat Records/Map City Directories Utah State Historical Society BYU Library
 Tax Card & Photo Biographical Encyclopedias Personal Interviews USU Library
 Building Permit Obituary Index LDS Church Archives SLC Library
 Sewer Permit County & City Histories LDS Genealogical Society Other Census Records

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):
 1900 Census Records, Summit County, Park City Precinct, p. 158-B (Felix Trainor) and p. 178-A (Simm Hilstrom).

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: T/L Cottage by Addition

Description of physical appearance & significant architectural features:
(Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one story frame T/L cottage with a gable roof. It is a T/L cottage by addition. A cross-wing was added to an existing hall and parlor house to form a T/L cottage. This was a common and acceptable method of expanding and at the same time updating a small house. The hall and parlor house, the older folk type, was effectively changed to resemble the popular T/L cottage. The arrangement of openings on the original hall and parlor section has been altered, but it originally had a door centered or slightly off-center between two windows, as was typical of Park City's hall and parlor houses. The door was enclosed, the north window was made into a door, and the south window was expanded from a long narrow double hung sash window to a large horizontal multi-pane window. Although the openings were changed, the house is still easily identifiable as a T/L cottage by addition because the proportions of the stem-wing are more comparable with a hall and parlor house than with an original T/L cottage. The cross-wing was built of the same type of drop siding as the rest of the house. A pair of double hung sash windows topped by a pedimental window head is centered in the gable end of that section. A porch spans the length of the stem-wing and turns at the intersection of the stem-wing and cross-wing. There is a shed extension across the back of the house. In-period rear extensions are part of Park
(See continuation sheet)

Statement of Historical Significance:

Construction Date:

Built c. 1890, the Vincent A. Smith House at 264 Ontario is architecturally significant as one of about 34 extant T/L cottages by addition in Park City, 11 of which are included in this nomination. The T/L cottage was one of three popular Park City house forms that was built in the late nineteenth century. T/L cottages by addition make up 9% of the total number of in-period buildings in Park City, and represent 30% of the total number of houses with T/L plans. The T/L cottage resulted from the addition of a cross-wing to an existing hall and parlor house, and is significant because it documents the most common and acceptable major method of expanding a small mining town cottage.

Judging from its appearance, this house was probably built in the early 1890s. The exact date of its construction and the name of its original owner are not known. The first record of ownership of this property was in 1900, when Vincent A. Smith granted at least a portion of this property, which probably included this house, to Felix Trainor. It is not known how long Smith owned this property, whether or not he built this house, and, if so, whether or not he ever lived here.

Felix Trainor, who had gotten married in 1899, was probably buying his first house when he purchased this property in 1900. He was born in 1873 and immigrated to Utah from his native Iceland in 1890. He worked as a miner in Park City.

At an undetermined date the property was sold to Simon Hillstrom. Uncertainty over the ownership of the property led to the issuance of a warranty deed in 1916 to Simon Hillstrom by the Park City Townsite Corporation as part of their effort to clear up the "extensive property muddle" which had persisted in Park City for over forty years. The property muddle came about because many early settlers opposed the townsite proposal, and refused to follow legal procedures

264 Ontario

Description continued:

City's architectural vocabulary. Although in many cases an extension represents a major alteration of the original house, it usually contributes to the significance of a house because it documents the most common and acceptable method of expansion of the small Park City house. This house was built of single wall construction, having exterior walls 2-3 inches thick, and interior partitions one inch thick. The house does not maintain its original integrity as a hall and parlor house, but judging from the style of the cross-wing, it was altered early within the historic period, probably prior to 1900. It therefore documents a common method of expansion, the change of a hall and parlor house to a T/L cottage by the addition of a cross-wing, and maintains its integrity as a T/L cottage by addition.

History continued:

for owning property. Simon Hillstrom, a native of Finland (b. 1843) who immigrated to the U.S. in 1880, was a "stationary engineer" with one of the mining companies in the Park City area. He and his Finnish wife, Katrina, whom he had married in 1890, had at least four children.





EXHIBIT E



PARK CITY PLANNING DEPT.
APPROVED
 SIGNATURE DATE

RECEIVED
 PARK CITY MUNICIPAL CORP
 JUN 18 2014
 BUILDING DEPT

TOTAL LIVING 2370.0 SQ. FT.
 TOTAL GARAGE 6925 SQ. FT.

1998 SQ. FT.
**LOWER LEVEL
 PLAN**
 1/4" = 1'-0"



APPROVED
 PARK CITY MUNICIPAL CORP
 JUL 18 2014
 BUILDING DEPT

Date 3-17-15
 Scale
 Drawn
 Job 2014 PHT
 Sheet A-2
 OF Sheets

REVISIONS	BY

DAVID G. WHITE, ARCHITECT
 P.O. BOX 1813 - 27005 RESIDENTS OFFICE
 PARK CITY, UT 84302
 (435) 645-0378 Fax: (435) 655-0045
 DAW, david@dgwhite.com



PARK CITY PLANNING DEPT.
APPROVED

 SIGNATURE DATE

1211.5 x 92.1 FT
**MAIN LEVEL
 PLAN**
 1/4" = 1'-0"

APPROVED
 PARK CITY MUNICIPAL CORP
 JUL 18 2014
BUILDING DEPT

RECEIVED
 PARK CITY MUNICIPAL CORP
 JUN 18 2014
BUILDING DEPT

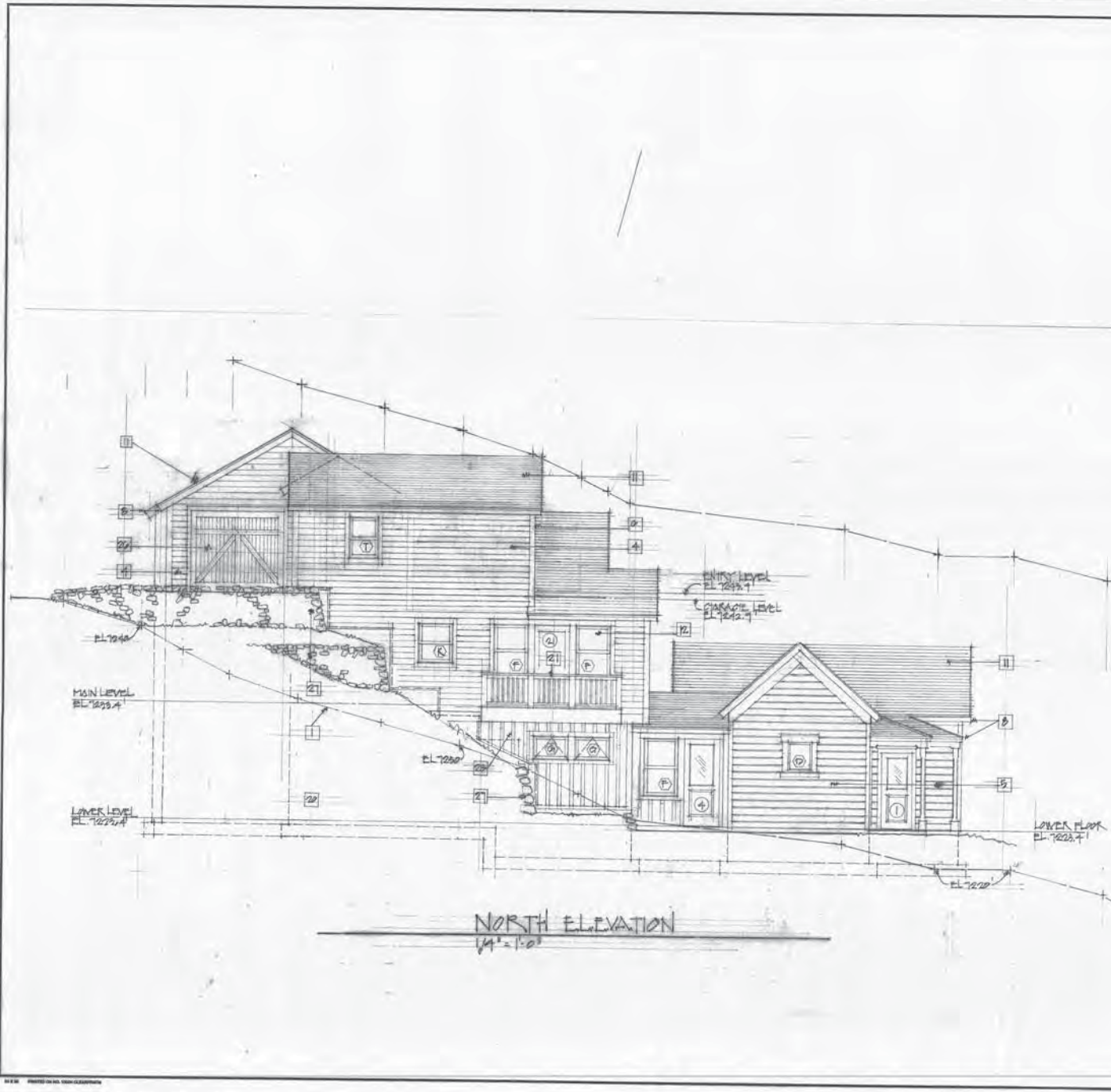


REVISIONS	BY

DAVID G. WHITE, ARCHITECT
 P.O. BOX 1318 7000 REDWOOD DRIVE
 PARK CITY, UTAH 84002
 (435) 648-0375 FAX (435) 655-8045
 DAVID.G.WHITE@GMAIL.COM

MAIN LEVEL PLAN

Date: 7-5-14
 Scale: _____
 Drawn: _____
 Job: 0291917180
 Sheet: A-3
 Of: 5 Sheets



- REFERENCE NOTES**
- Existing grade shown dashed
 - New finish grade
 - Glue-laminated beam- See framing plans. 1" chamfer all exposed ends. All Glue-lam beams to be smooth finish.
 - 1" x6" beveled Cedar siding. (New addition portion)
 - Historic structure- Matching horizontal siding. Replace unusable siding with new siding milled to match existing exactly. See Preservation drawing for exact profile.
 - 2" x Cedar corner trim. (New addition only) All corner, window and door trim that needs to be replaced on Historic building shall be 1" x material.
 - Exterior door and window trim- 2" x Cedar (jamb, 3" x heads and sills for windows and 3" x heads for doors. (New addition structure only).
 - 1" x Cedar fascia. (two pieces) See detail.
 - 1" x6" Cedar soffits with vent.
 - Roof to wall surface- extend ice and water shield over entire roof deck except top twin fella @ ridges. Where vertical walls intersect roof, extend ice and water shield up wall min. 18" behind exterior siding material.
 - Roof Covering- Asphalt shingles, 50 yr rating.
 - Aluminum clad insulated wood windows and doors (New addition portion). Windows in the Historic structure shall be primed wood exterior and interior frames. U= 0.36 or better. See Window and Door Schedule. See also Preservation drawing for existing window schedule.
 - Galvanized metal flashing.
 - 3" x 16" blown and batted insulation. R= 13 min.
 - 5" x 16" blown and batted insulation. R= 19 min.
 - 12" blown and batted insulation. R= 38 min.
 - 10" blown and batted insulation. R= 32 min.
 - Waterproof membrane and drainage mat on all foundation walls protecting footing being cast below grade. Install 6" perforated drain plastic drain wrapped in filter fabric set in gravel. Extend downhill to daylight.
 - 4" concrete slab on 2" rigid insulation. Install 6 mil plastic vapor barrier under rigid insulation. Install conc., insulation and vapor barrier over 4" gravel base.
 - 8" solid. Conc. foundation wall. See structural.
 - Guardrail- see details.
 - Floor joist- see framing plans.
 - Roof joist- see framing plans.
 - See interior finish schedule for floor, wall and ceiling finishes.
 - 4" concrete slab w/ 6#-10/10 wire mesh on 4" gravel base.
 - Wood overhead garage door with electric operator.
 - Some retaining wall. Wall to be hand stacked in dry stack pattern.
 - Cedar board and batten siding (vertical grained). 1"x12" boards with 1"x4" soffits.

PARK CITY PLANNING DEPT.
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 1420 7.24/14
 SIGNATURE DATE

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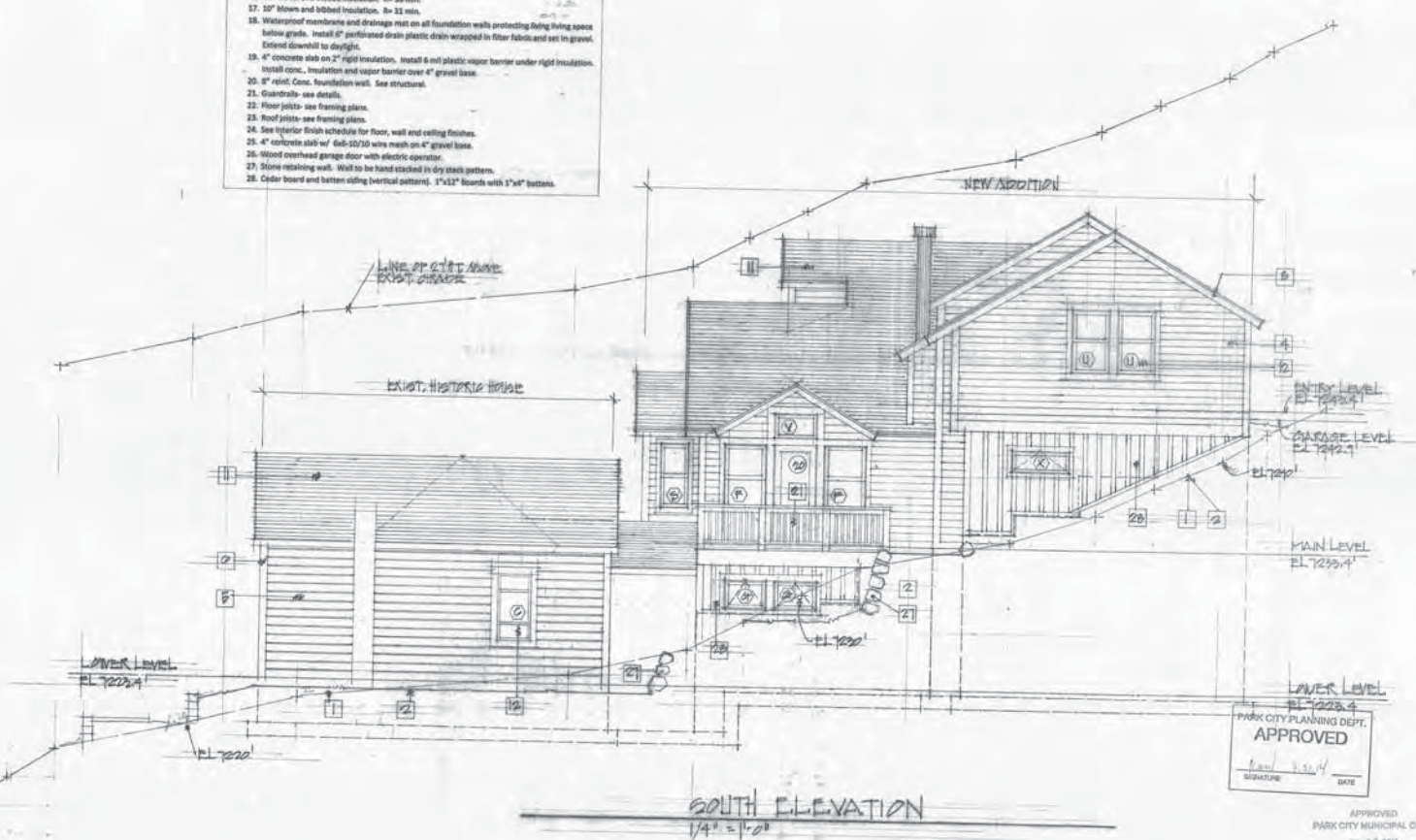
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REVISIONS	BY

DAVID G. WHITE, ARCHITECT
 P.O. BOX 1313 • 2702 EASTVIEW DRIVE
 PARK CITY, UTAH 84302
 PHONE: 435-633-1313
 FAX: 435-633-5855
 EMAIL: arch@dwgwhite.com

Date	2-25-14
Scale	
Drawn	
Job/Zone	041314-00
Sheet	A-6
Of	Sheet

- REFERENCE NOTES
- Existing grade shown dashed
 - New finish grade
 - One horizontal beam-See framing plans. 1" chamfer all exposed ends. All glue-lam beams to be smooth finish.
 - 1"x6" beveled Cedar siding. (New addition portion).
 - Historic structure- Existing horizontal siding. Replace unusable siding with new siding milled to match existing exactly. See Preservation drawing for exact profile.
 - 2" Cedar corner trim. (New addition only). All corner, window and door trim that needs to be replaced on Historic building shall be 1" material.
 - Exterior door and window trim- 2" cedar jambs, 3" heads and sills for windows and 3" heads for doors. (New addition structure only).
 - 1" Cedar fascia. (New piece) See detail.
 - 1"x6" Ca/ or soffit with vent.
 - Roof to wall surface- extend lip and water shield over entire roof deck except top two feet @ ridges. Where vertical walls intersect roof, extend lip and water shield up wall min. 18" behind exterior siding material.
 - Roof Covering: Asphalt shingles, 50 yr rating.
 - Aluminum clad insulated wood windows and doors (New addition portion). Windows in the Historic structure shall be primed wood exterior and interior frames. Use 0.38 or better. See Windows and Door Schedule. See also Preservation drawing for existing window sizes.
 - Galvanized metal flashing.
 - 3" blown and batted insulation. R= 13 min.
 - 5" blown and batted insulation. R= 19 min.
 - 12" blown and batted insulation. R= 38 min.
 - 12" blown and batted insulation. R= 38 min.
 - Waterproof membrane and drainage mat on all foundation walls protecting living space below grade. Install 6" perforated drain plastic drain wrapped in filter fabric and set in gravel. Extend downhill to daylight.
 - 4" concrete slab on 2" rigid insulation. Install 6 mil plastic vapor barrier under rigid insulation. Install stone, insulation and vapor barrier over 4" gravel base.
 - 2" rigid Conc. foundation wall. See structural.
 - Gradoatry- see details.
 - Floor joists- see framing plans.
 - Roof joists- see framing plans.
 - See lighter finish schedule for floor, wall and ceiling finishes.
 - 4" concrete slab w/ 6d-10/10 wire mesh on 4" gravel base.
 - Wood overhead garage door with electric operator.
 - Stone retaining wall. Wall to be hand stacked in dry stack pattern.
 - Cedar board and batten siding (vertical pattern). 1"x12" boards with 1"x4" battens.



PARK CITY PLANNING DEPT.
APPROVED
 Date 3.25.14
 SIGNATURE DATE

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 PARK CITY MUNICIPAL CORP.
 JUN 18 2014
 BUILDING DEPT.

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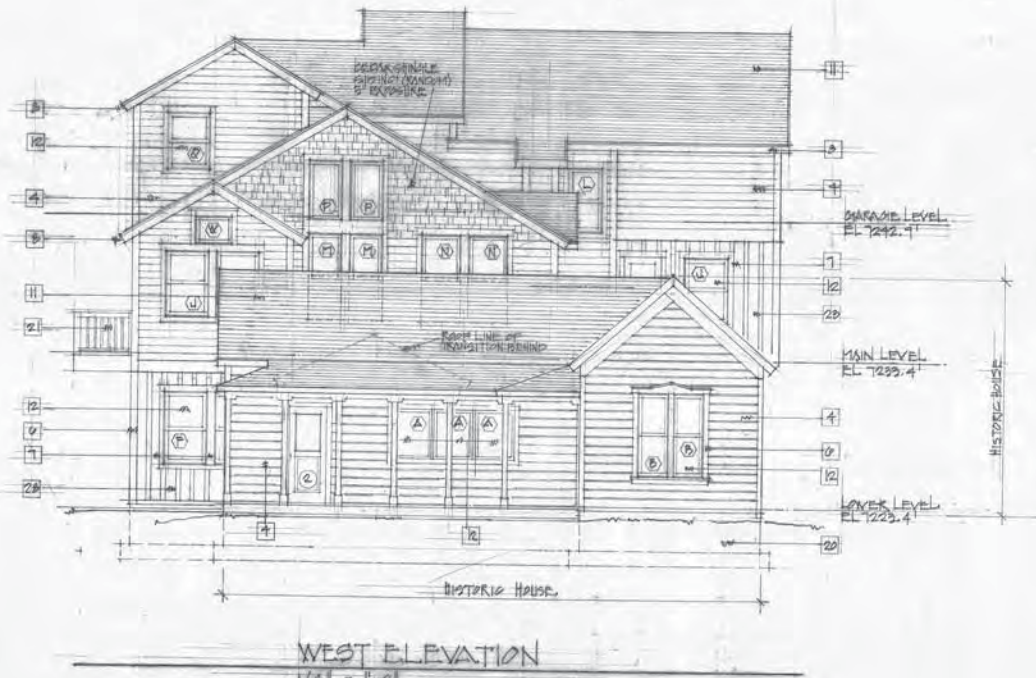
DAVID G. WHITE, ARCHITECT
 P.O. BOX 1313 • 2002 ESTATES DRIVE
 PARK CITY, UTAH 84302
 TEL: 435-637-9379 FAX: 435-635-9445
 EMAIL: davidgwhite@earthlink.net

Date	3-5-14
Scale	
Drawn	
Checked	
Sheet	
Of	

NO.	REVISIONS	BY

DAVID G. WHITE, ARCHITECT
 P.O. BOX 1315 • 2703 EASTWIN DRIVE
 PARK CITY, UTAH 84002
 (435) 649-4579
 Fax: (435) 625-4610
 Email: dwhite@dmson.com

- REFERENCE NOTES
- Existing grade shown dashed
 - New finish grade
 - Glue-laminated beam- See framing plans. 1" chamfer all exposed ends. All Glue-lam beams to be smooth finish.
 - 1"x6" leveled Cedar siding. (New addition portions.) *Handwritten: 1"x6" leveled Cedar siding*
 - Historic windows- Existing horizontal siding. Replace unusable siding with new siding milled to match existing exactly. See Preservation drawing for exact profile.
 - 2"x Cedar corner trim. (New addition only) All corner, window and door trim that needs to be replaced on Historic building shall be 1"x material.
 - Exterior door and window trim- 2"x cedar joints, 3"x heads and sills for windows and 3"x heads for doors. (New addition structure only).
 - 1"x Cedar fascia. (two pieces) See detail *Handwritten: 2x4 120*
 - 1"x6" Cedar soffit with vent.
 - Roof to wall surface- extend ice and water shield over entire roof deck except top two feet @ ridges. Where vertical walls intersect roof, extend ice and water shield up wall min. 18" behind exterior siding material.
 - Roof Covering- Asphalt shingles, 50 yr rating.
 - Aluminum clad insulated wood windows and doors (New addition portions). Windows in the Historic structure shall be primed wood exterior and interior frames. U=0.36 or better. See Windows and Door Schedule. See also Preservation drawing for existing window pieces.
 - Galvanized metal flashing.
 - 3" blown and batted insulation. R=13 min.
 - 5" blown and batted insulation. R=19 min.
 - 12" blown and batted insulation. R=38 min.
 - 10" blown and batted insulation. R=31 min.
 - Waterproof membrane and drainage mat on all foundation walls protecting living spaces below grade. Install 6" perforated drain plastic drain wrapped in fiber fabric and set in gravel. Extend down-wall to daylight.
 - 4" concrete slab on 2" rigid insulation. Install 6 mil plastic vapor barrier under rigid insulation. Install cone, insulation and vapor barrier over 4" gravel base.
 - 8" reinf. Conc. foundation wall. See structural.
 - Grid/raio- see detail.
 - Floor joist- see framing plans.
 - Roof joist- see framing plans.
 - See interior finish schedule for floor, wall and ceiling finishes.
 - 4" concrete slab w/ 6#-10/20 wire mesh on 4" gravel base.
 - Wood overhead garage door with electric opener.
 - Some retaining wall. Wall to be hand placed in dry stack system.
 - Cedar board and batten siding (vertical pattern). 1"x12" boards with 1"x4" battens. *Handwritten: (see side of main)*



PARK CITY PLANNING DEPT.
APPROVED
 KAW 7/31/14
 SIGNATURE DATE

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 PARK CITY MUNICIPAL CORP
 JUL 28 2014
 BUILDING DEPT

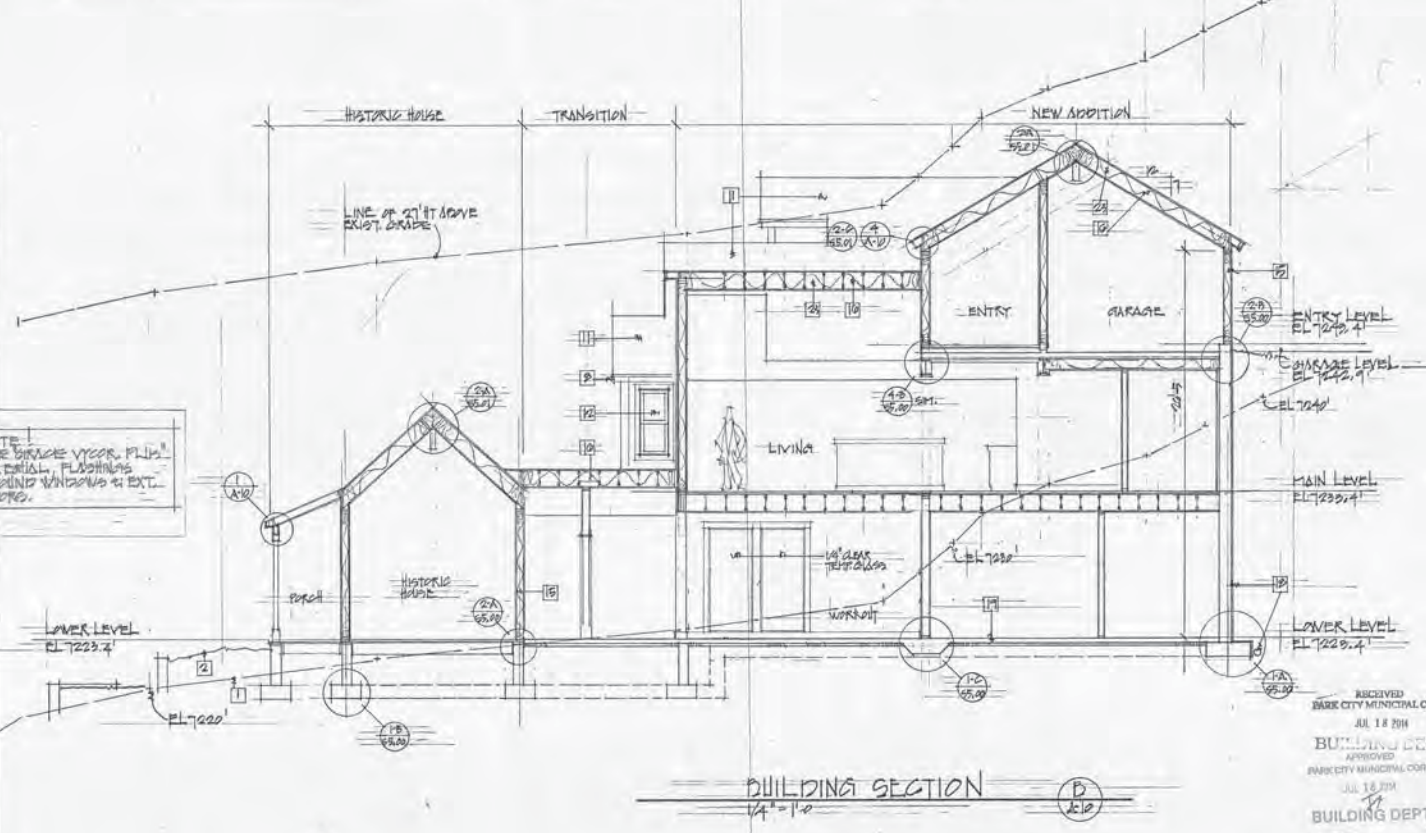
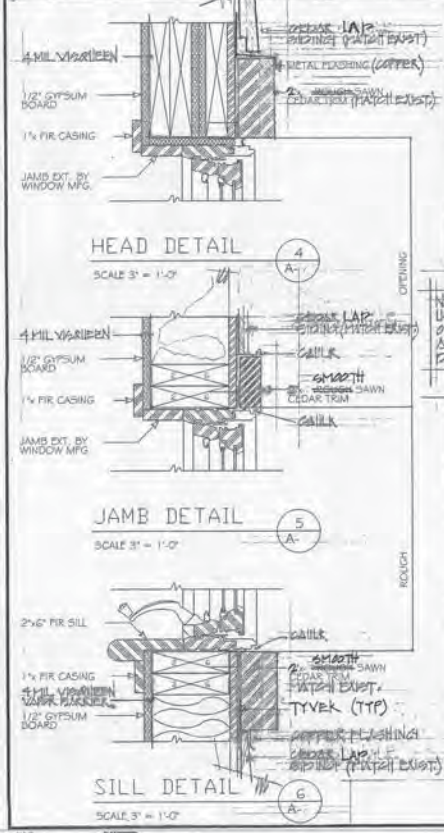
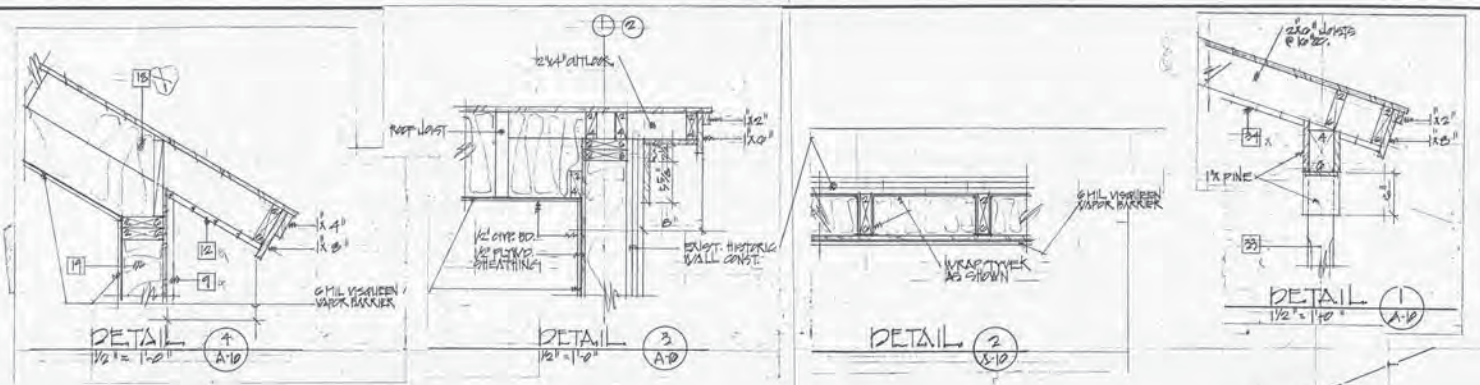
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 JUN 18 2014
 BUILDING DEPT



Date 5-8-14
 Scale
 Drawn
 Job 2014-0014-01
 Sheet
 A-B
 Of Sheets

REFERENCE NOTES

- Existing grade shown dashed
- New finish grade
- Glue-laminated beam- See framing plans. 1" chamfer all exposed ends. All Glue-lam beams to be smooth finish.
- 1" x 4" beveled Cedar siding. (New addition portion).
- Historic structure- Existing horizontal siding. Replace unusable siding with new siding milled to match existing exactly. See Preservation drawing for exact profile.
- 2" x Cedar corner trim. (New addition only) All corner, window and door trim that needs to be replaced on historic building shall be 1" x material.
- Exterior door and window trim- 2" x cedar jambs, 3" x heads and sills for windows and 3" x heads for doors. (New addition structure only)
- 1" x Cedar fascia. (Two piece) See detail
- 2" x 6" Cedar soffits with vents
- Roof to wall surface- extend ice and water shield over entire roof deck except top two feet @ ridges. Where vertical walls intersect roof, extend ice and water shield up wall min. 18" behind exterior siding material.
- Roof Covering- Asphalt shingles, 50 yr rating
- Aluminum clad insulated wood windows and doors (New addition portion). Windows in the historic structure shall be primed wood exterior and interior frames. U= 0.36 or better. See Window and Door Schedule. See also Preservation drawing for existing window sizes.
- Galvanized metal flashing.
- 3" x blown and kibbed insulation. R= 13 min.
- 5" x blown and kibbed insulation. R= 19 min. R= 21"
- 12" blown and kibbed insulation. R= 38 min. R= 41"
- 10" blown and kibbed insulation. R= 31 min.
- Waterproof membrane and drainage mat on all foundation walls protecting living space below grade. Install 4" perforated drain plastic drain wrapped in filter fabric and set in gravel. Extend downhill to daylight.
- 4" concrete slab on 2" rigid insulation. Install 6 mil plastic vapor barrier under rigid insulation. Install conc., insulation and vapor barrier over 4" gravel base.
- 8" reinf. Conc. foundation wall. See structural.
- Guardrails- see details
- Floor joists- see framing plans.
- Roof joists- see framing plans.
- See interior finish schedule for floor, wall and ceiling finishes.
- 4" concrete slab w/ 5/8"-12/18 wire mesh on 4" gravel base.
- Wood overhead garage door with electric operator.
- Stone retaining wall. Wall to be hand stacked in dry stack pattern.
- Cedar board and batten siding (vertical pattern). 1" x 12" boards with 2" w/ battens.

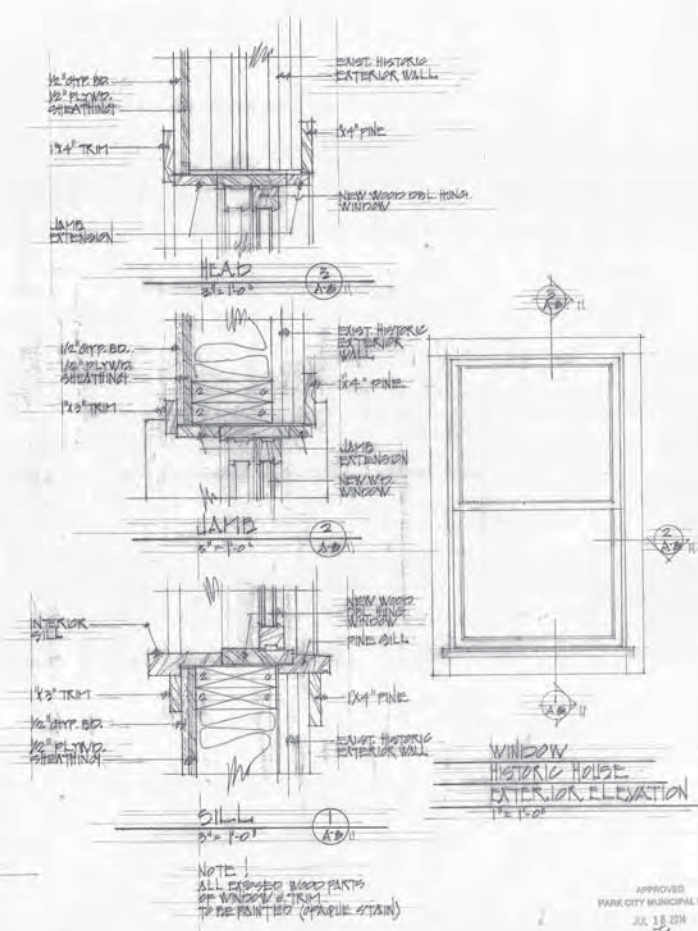
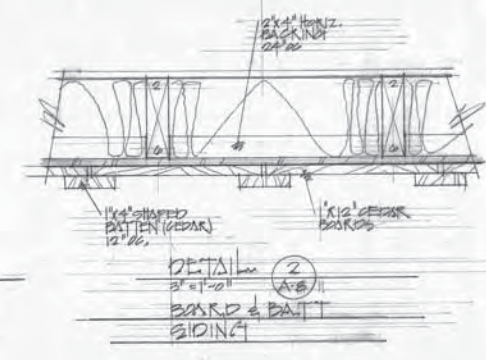
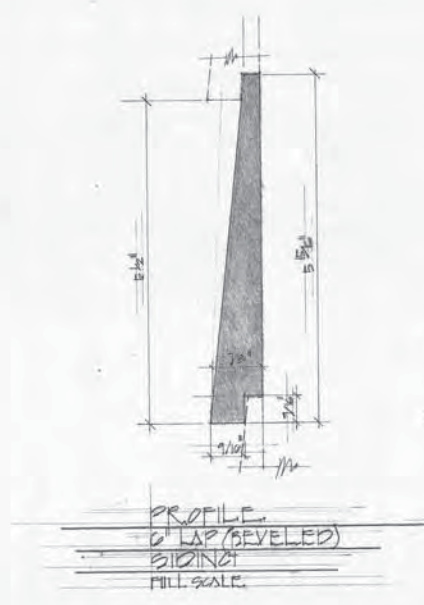


DAVID G. WHITE, ARCHITECT
 P.O. BOX 1513 - 2702 ESTATES DRIVE
 PARK CITY, UTAH 84302
 (435) 649-0370
 FAX: (435) 645-0645
 EMAIL: djwhite@mtmcc.com

REVISIONS	BY

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 JUL 18 2014
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 PARK CITY MUNICIPAL CORP.
 JUL 18 2014
 BUILDING DEPT.
 Mayor of Utah
 David G. White
 Registered Architect
 No. 11375-2011
 1/16/14

DAVID G. WHITE ARCHITECT
 228 25th St. #400
 Salt Lake City, UT 84143
 (801) 464-8878



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Date: 9-15-14
 Scale:
 Drawn: DSW
 Job:
 Sheet: A-11
 Of: Sheets

DOOR SCHEDULE					WINDOW SCHEDULE			
MARK	SIZE	DESCRIPTION	HOW	REMARKS	MARK	SIZE	DESCRIPTION	REMARKS
①					A	MATCH EXIST.	REPLACE EXIST. WINDOWS W/ NEW WOOD WOOD W/INSUL GLASS	MATCH EXIST
②					B			
③	2'-0" x 7'-0" x 13/4"	PK PANEL DOOR / UPPER IS W/UL ALUMINUM (TEMPERED)		MITL. THROUGH WEATHERSTRIP	C	2'-0" x 3'-0"	EXT. ALUM. GLAZED WOOD WINDOW DOUBLE HUNG	
④	2'-0" x 7'-0" x 13/4"				D	2'-0" x 5'-0"		
⑤	2'-0" x 7'-0" x 13/4"	2 PANEL PK			E	2'-0" x 2'-0"	EXT. ALUM. GLAZED WOOD WINDOW SINGLING	
⑥	2'-0" x 7'-0" x 13/4"				F	3'-0" x 4'-0"		
⑦	2'-0" x 7'-0" x 13/4"				G	3'-0" x 2'-0"		
⑧	2'-0" x 7'-0" x 13/4"				H	2'-2" x 4'-0"	EXT. ALUM. GLAZED WOOD WINDOW SINGLING	
⑨	2'-0" x 7'-0" x 13/4"				I	2'-2" x 4'-0"		
⑩	2'-0" x 7'-0" x 13/4"				J	2'-4" x 4'-0"		
⑪	2'-0" x 7'-0" x 13/4"				K	2'-2" x 10'-0"		
⑫	2'-0" x 7'-0" x 13/4"				L	2'-4" x 4'-0"	EXT. ALUM. GLAZED WOOD WINDOW SINGLING	
⑬	2'-0" x 7'-0" x 13/4"				M	2'-2" x 4'-0"		
⑭	2'-0" x 7'-0" x 13/4"				N	2'-4" x 4'-0"		
⑮	2'-0" x 7'-0" x 13/4"				O	2'-4" x 4'-0"	EXT. ALUM. GLAZED WOOD WINDOW DOUBLE HUNG	
⑯	2'-0" x 7'-0" x 13/4"				P	2'-4" x 4'-0"		
⑰	2'-0" x 7'-0" x 13/4"				Q	2'-6" x 4'-0"		
⑱	2'-0" x 7'-0" x 13/4"				R	2'-0" x 4'-0"		
⑲	2'-0" x 7'-0" x 13/4"				S	2'-0" x 3'-0"		
⑳	2'-0" x 7'-0"	FRAMELESS CLEAR GLASS SIDER DOOR (TEMPERED)		POCKET DOOR	T	2'-0" x 4'-0"		
㉑	2'-0" x 7'-0"	WOOD EXT. ALUM. GLAZED FILL GLASS W/ UL W/ INSUL. REIN. GLASS. PRIMO PK		MITL. THROUGH WEATHERSTRIP	U	2'-0" x 1'-0"	EXT. ALUM. GLAZED WOOD WINDOW FIXED TRANOM	
㉒	2'-0" x 7'-0"				V	2'-0" x 1'-0"		
㉓	2'-0" x 7'-0"				W	4'-0" x 1'-0"	EXT. ALUM. GLAZED WOOD WINDOW SINGLING	
㉔	2'-0" x 7'-0" x 13/4"	2 PANEL PK			X			
㉕	2'-0" x 7'-0" x 13/4"				Y			
㉖	2'-0" x 7'-0" x 13/4"				Z			
㉗	2'-0" x 7'-0" x 13/4"				AA			
㉘	PK 2'-0" x 7'-0" x 13/4"				AB			
㉙	2'-0" x 7'-0" x 3/8"	FRAMELESS CLEAR GLASS SIDER DOOR (TEMPERED)			AC			
㉚					AD			
㉛	2'-0" x 7'-0"	WOOD EXT. ALUM. GLAZED DOOR W/ HEAVY SPRINGS WEATHERSTRIP		ELEC. OPERATOR	AE			
㉜	2'-0" x 7'-0" x 13/4"	EXT. WOOD GLASS DOOR BY SWNER			AF			
㉝	2'-0" x 7'-0" x 13/4"	2 PANEL PK - 20 MIN. RATING W/ GLASS			AG			
㉞	2'-0" x 7'-0" x 13/4"				AH			
㉟	PK 2'-0" x 7'-0" x 13/4"	2 PANEL PK			AI			
Ⓐ								

HARDWARE SCHEDULE				

APPLIANCE SCHEDULE										

INTERIOR FINISH SCHEDULE										
ROOM	FLOOR	CEILING	WALLS	REMARKS	ROOM	FLOOR	CEILING	WALLS	REMARKS	
LOWES LEVEL					KITCHEN	HARDWOOD	CEILING	1/2" SHEET	ALUM. BASE	
HOTTER BEDROOM	CARPET	1/2" SHEET VAULTED	1/2" SHEET	GLASS BASE	STAIRWAY	HARDWOOD	CEILING	1/2" SHEET	ALUM. BASE	
HOTTER BEDROOM	TILE	1/2" SHEET	1/2" SHEET		CLOSET 2	TILE	CEILING	1/2" SHEET	ALUM. BASE	
HOTTER BATH	CARPET	1/2" SHEET	1/2" SHEET		CORRIDOR 3	CARPET	CEILING	1/2" SHEET		
HOTTER CLOSET					BATH 3	CARPET	CEILING	1/2" SHEET		
CORRIDOR 1					CLOSET 1					
CORRIDOR 2					CORRIDOR 2					
CORRIDOR 3					LIVING					
CLOSET 1					BATH 2	TILE				
CLOSET 2					HOTTER	CEILING				
CLOSET 3					STAIR					
CLUBROOM					MAIN LEVEL					
CLUBROOM					LIVING	HARDWOOD	CEILING	1/2" SHEET	GLASS BASE	
CLUBROOM					DINING					

ELECTRICAL SCHEDULE										

A TELEPHONE OUTLET B TELEVISION OUTLET C PHOTOGRAPHY CELL D FAX	RECEIVED PARK CITY MUNICIPAL CORP JUN 18 2014 BUILDING DEPT	RECEIVED PARK CITY MUNICIPAL CORP JUN 18 2014 BUILDING DEPT
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REVISIONS	BY

David G. White
Architect
310 ROCKY MOUNTAIN BLVD.
PARK CITY, UTAH 84303
406-833-6278

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SCHEDULES

STAIR NOTES

UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS AND RAMPS, BALCONIES OR PORCHES, WHICH ARE MORE THAN 30 INCHES (762 mm) ABOVE GRADE OR FLOOR BELOW, AND ROOFS USED FOR OTHER THAN SERVICE ON THE BUILDING SHALL BE PROTECTED BY A GUARDRAIL. THE TOP OF THE GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES (1067 mm) IN HEIGHT TO THE TOP OF THE GUARDRAILS IN GROUP 'C'. DIVISION 3 OCCUPANCIES MAY BE 36 INCHES (914 mm) IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES (102 mm) IN DIAMETER CANNOT PASS THROUGH.

THE TOP OF HANDRAILS AND HANDRAIL EXTENSIONS SHALL BE PLACED NOT LESS THAN 34 INCHES (864 mm) OR MORE THAN 38 INCHES (965 mm) ABOVE THE TOPS OF TREADS AND LANDINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND, EXCEPT FOR PRIVATE STAIRWAYS, AT LEAST ONE HANDRAIL SHALL EXTEND IN THE DIRECTION OF THE STAIR RUN NOT LESS THAN 12 INCHES (305 mm) BEYOND THE TOP RISER NOR LESS THAN 12 INCHES (305 mm) BEYOND THE BOTTOM RISER. ENDS SHALL BE RETURNED OR TERMINATE IN NEAT, POINTS OR SAFETY TERMINALS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4 INCHES (31.8 mm) HIGH AND MORE THAN 2 INCHES (51 mm) IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES (38 mm) BETWEEN THE WALL AND THE HANDRAIL. ALL STAIRS, LANDINGS, RAILINGS, GUARDRAILS ETC. SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2012.

PROVIDE A MINIMUM OF THREE 2" x 12" STAIR STRINGERS ON EACH FLIGHT OF STAIRS, IF TREADS ARE MADE OF PARTICLE BOARD.

ELECTRICAL/MECHANICAL/PLUMBING GENERAL NOTES

- PROVIDE EXHAUST FANS CAPABLE OF 3 AIR CHANGES PER HOUR IN ALL BATHROOMS, UTILITY BUILT FANS AND OUTLETS DRAIN TO OUTSIDE.
- PROVIDE 30" CLEARANCE ABOVE RANGE TO COMBUSTIBLE MATERIALS.
- ALL OUTLETS TO BE 12" ABOVE FINISHED FLOOR U.M.O. ALL OUTLETS IN THE GARAGE SHALL BE 18" ABOVE FINISHED FLOOR.
- ALL SWITCHES TO BE 42" ABOVE FINISHED FLOOR U.M.O. ALL OUTLETS @ COUNTERTOPS TO BE 42" ABOVE FINISHED FLOOR.
- ALL SWITCHES AND OUTLETS @ BATHROOM & KITCHEN COUNTERTOPS, GARAGE & EXTERIOR OF BUILDING TO BE G.F.I.A. EQUIPPED.
- ALL SMOKE DETECTORS SHOWN ON PLANS SHALL BE HARDWIRED WITH EMERGENCY BACKUP, AND INTERCONNECTED.
- ALL ELECTRIC PANELS SHALL COMPLY WITH 110 VOLT 60 HZ 1-PHASE 3-WIRE CLEARANCE & 6" CLEAR TO THE HEAD.
- VERIFY ALL ELECTRIC FIXTURES WITH OWNER PRIOR TO ORDER & INSTALLATION. SUBMIT PHOTO TO ARCHITECT FOR APPROVAL.
- ALL ELECTRICAL/MECHANICAL/PLUMBING WORK SHALL COMPLY WITH ALL LOCAL AND NATIONAL CODES, PER LOCAL UTILITY COMPANY.
- PROVIDE COMBUSTION AIR OPENINGS COVERED WITH 1/4" CORROSION RESISTANT SCREEN.
- PROVIDE COMBUSTION AIR FOR ALL GAS APPLIANCES AT A RATE OF 1/2" SQ. PER 1000 BTU. COMBUSTION AIR SHALL BE OBTAINED FROM OUTDOORS OR FROM SPACES FREELY COMMUNICATING WITH THE OUTDOORS. PROVIDE AND DETECTOR COVER FOR ALL OUTLETS OF 1/4" SCREEN. COMBUSTION AIR SHALL BE PROVIDED AS PER ABOVE REQUIREMENTS AND THE INTERNATIONAL MECHANICAL CODE 2012.
2. AIR SUPPLY & RETURN AIR GRILL LOCATIONS INDICATED ARE SCHEMATIC ONLY. MECHANICAL CONTRACTOR SHALL VERIFY ALL AIR SUPPLY & RETURN GRILL LOCATIONS BY ARCHITECT PRIOR TO INSTALLATION. MECHANICAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & CALCULATIONS VERIFYING ALL AIR SUPPLY & RETURN GRILL REQUIRED CAPACITIES.
- PROVIDE A U-FER GROUND E3506.12, NEC 250.50.

- PROPERTY LINE REQUIREMENTS:
VENTING OF APPLIANCES: NOT WITHIN 4' OF PROPERTY LINE.
VENTING OF EXHAUST FANS OR DRYERS: NOT WITHIN 3' OF PROP. LINE.
VENTING OF PLUMBING: NOT WITHIN 3' OF PROP. LINE.
- DRYER VENT DUCT SHALL NOT EXCEED 1/4" RUN TOTAL TO THE EXTERIOR OF THE BLDG. WHO KNOWS: 2012 IRC 503.6.10.1.
- ALL FURNACES OR BOILERS SHALL BE MIN 90% EFFICIENT.
- MECHANICAL CONTRACTOR SHALL SUBMIT HEAT LOSS/GAIN CALC. FOR ARCHITECT/ENGINEER'S OPTICAL REVIEW & APPROVAL PRIOR TO INSTALLATION.
- WATER HEATER TO BE PROVIDED WITH SEISMIC BRACING PER BLDG. OFFICIAL REQUIREMENTS. PROVIDE FLOOR DRAIN ADJACENT TO ALL WASHING MACHINES & WATER HEATERS AND SOFTENERS.
- GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL UTILITY METERS. ALL METERS SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM SNOW & ICE WITH 3" O.M.M. OF SEPARATION DEPTH LOCATION WITH ARCHITECT/ENGINEER'S OPTICAL PRIOR TO INSTALLATION.
- PROVIDE INSULATION @ ALL HEATING TRUNKS AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWL SPACES, ATTICS, GARAGES, ETC.
- ALL WATER CLOSETS SHALL HAVE A FLOW RATE OF 1.6 GALLONS OR LESS PER FLUSH.
- ALL SHOWER HEADS WILL HAVE A FLOW RATE OF 2.5 GALLONS PER MIN. OR LESS.
- PLUMBING VENTS PENETRATING THE ROOF SHALL BE A MINIMUM OF 3" IN DIAMETER.
- ROOF BIRD SHALL BE NON-FREEZE TYPE BACK FLOW PREVENTER.
- COORDINATE THE LOCATION OF A CULINARY WASTE SYSTEM DISPENSER TANK WITH ARCHITECT/ENGINEER'S OPTICAL PRIOR TO ORDER INSTALLATION.
- ALL ELECTRICAL SWITCHES AND OUTLETS SHALL BE "DECORA".
- ALL DOWN LIGHTS TO HAVE A DIMMER CAPABILITY.
- ALL BRANCH CIRCUITS FOR RECEPTACLES IN BEDROOMS SHALL HAVE ARC-Fault PROTECTION, NEC 210-12.

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE OUTLET		SPACE MOUNTED FLUORESCENT CEILING FIXTURE
	DUPLEX RECEPTACLE OUTLET SPLIT WIRED		FORESEEN CLOSET FIXTURE WITH JAMB SWITCH
	RANGE OUTLET 220 VOLTS		FORESEEN UNDER COUNTER FIXTURE
	FLOOR DUPLEX RECEPTACLE OUTLET		JUNCTION BOX
	WEATHER PROOF GROUND FAULT INTERRUPTER		EXHAUST FAN
	WALL SWITCH		SMOKE DETECTOR
	RECESSED CAN FIXTURE		HOSE BIB
	SURFACE MOUNTED CEILING FIXTURE		GAS LINE
	SURFACE MOUNTED WALL FIXTURE		DE-HUMIDISTAT
	VERTICAL MOUNTED BAR LIGHT		PANEL BOX FLUSH MOUNTED
	HORIZONTAL MOUNTED BAR LIGHT		PHONE JACK
	HOT AND COLD HOUSE BIB		CABLE T.V. JACK
	DOOR BELL SWITCH		EXIT SIGN & EMERGENCY LIGHT
	DOOR BELL CHIME		FIRE EXTINGUISHER

DAVID G. WHITE, ARCHITECT
P.O. BOX 1313
Park City, Utah 84060
(435) 649-8379

Specifications

- Excavation:
A. Soil Bearing:
1500 psf granular. All stumps and roots shall be removed from the soil to a depth of at least 12" below surface of the ground in the area to be occupied by the building.
- Foundations:
A. Footings:
5 bag trans mix with reinforcing as called for in the general structural notes.
Min. depth 42" from finish grade to bottom, of footing.
B. Foundation walls:
12" or 12" concrete walls with reinforcing as called for in the structural drawings. Top of foundation walls shall be min. 6" above finished grade.
C. Anchorage:
5# bars and all wood contacting concrete shall be Douglas fir (pressure treated) or redwood. Provide 3/4" diameter x 12" dia. anchor bolts at 24" o.c. unless noted otherwise. Use 3"x3"x1/2" gal. pl. washers. Two bolts per piece min. See shear wall schedule.
3. Exterior walls:
2" x 6" studs no. 2 or better @ 16" o.c.
- Wall Sheathing:
3/4" OSB 40/20 throughout. Nailing as called for in the General Structural Notes or drawings. Plywood shall be placed @ inside face of studs in Historic structure. See Details SH, A-10.
- Moisture Protection:
Use 6 mil. vapor barrier over interior face of exterior studs and roof joists at exterior walls and where ceiling finish is applied directly over roof joists. Use Tyvek house wrap on exterior walls under wood siding where shown. See Details on SH: A-10 for house wrap installation on Historic house. Asphalt multi-layer water proofing on perimeter foundation where conc. is below grade. Use Tuff-n-Dry on conc. walls where living space is below grade. Install perimeter foundation drain surrounded by 12" of gravel. Use 6 mil. vapor barrier under all concrete slabs in living areas.
- Siding:
1"x6" beveled Cedar on new Addition and Transition. Horizontal pattern. Reuse existing siding on Historic portion. Mill new siding as required to match existing.
A. Facia:
1" x cedar- see details. (two piece)
B. Soffits:
1" x cedar T & G (new addition)- see details. 3/4" cedar faced plywood on main Historic roof. 1"x4" fir (butt joint) under porch roof.
C. Misc. Window & Corner trim: 1" x 4" pine.
All exterior wood shall be given 2 coats Cupernil stain (Dyapex). New siding to be pre-stained.
- Floor Framing:
1. 1 7/8" TJI as called for or framing plans. Use double joists under all partitions that parallel joists. Soffit block at all bearing points for floor joists.
- Sub-flooring:
Typical floor construction- 3/4" plywood sub floor over joists installed. Gue and nail as per general structural notes.
See General Structural Notes for floor sheathing and nailing requirements.
- Partition Framing:
Douglas fir No. 2 or better 2"x4" or 2"x6" @ 16" o.c. cross blocked above 8'-0" in height.
- Roof Framing:
T.J.I., 1" joists and/or dimension number Douglas fir No. 2 or better unless noted otherwise. Spacing and nailing as called for on drawings. Block full depth with 2" x blocking both ends and over all supports. Use Simpson H-1 framing anchors at 16'-0" o.c. for joists that bear on exterior walls.
- Roof Sheathing:
See General Structural notes for roof sheathing and nailing requirements.
- Roofing:
Asphalt Single roofing (50 year rating) over new addition and Historic structure and Historic Porch roof. Provide slope.
- Gypsum board:
1/2" gypsum board walls and ceilings finished smooth or textured as per finish schedule requirements. Use water-resist gypsum board in high moisture areas such as around tubs and showers. Use 5/8" fire code gypsum board on garage walls and under stairs. Use 1/2" layer 5/8" fire code gypsum board on ceiling in garage. Shall comply with IRC R309.2
- Decorating:
A. Interior Walls:
One coat P.V.A. primer and one coat semi-gloss or flat paint. Walls to receive wall covering shall have one coat of primer. See finish schedule.
B. Interior floors, base and casing:
See door schedule.
- Windows:
1/2" gypsum board windows, exterior (primed) as called for on the Historic structure. Wood exterior alum. clad window on the new addition. 3/4" insulating glass unless noted otherwise. Glazing shall be tempered where required. See window schedule.
- Shower Doors:
Shower doors shall have anodized aluminum frames and approved safety glass or tempered glass.
- Cabinets:
See owner. Allowance.
- Appliances:
See owner. Allowance.
- Floor coverings:
See finish schedule.
- Heating:
Design-build system by mech. contractor. Gas fired. Radiant in-floor heat. Apply 1 1/2" Light wt. conc. topping to wood floor structure. Provide specs and take layout.
- Electrical:
Provide a U-FER ground. E3506.12, NEC 250.50. Install new outlets, switches and lighting as shown on plans in accordance with latest local and national electrical code. See electrical fixture schedule.
- Insulation:
A. Ceiling: Use blown in batt insulation.
12" Blown in R-49 min.
10" Blown in R-38 min.
B. Walls: 5-1/2" Blown in R= 21 min.
- Decks:
Front Porch to be 1"x4" Fir.
Supports as shown on drawings. Use pressure treated if wood framing is closer than 12" to the ground.
Deck railing to be cedar, match house trim.
- Sprinklers:
Fire suppression system to be design build by sub-contractor. System to be designed to comply with and in accordance with modified NFPA 13-3 code requirements for old town.
- All prefabricated trusses require shop drawings. See Structural.
- Fire block:
Stud spaces @ soffits floor & ceiling gird lines @ 10'-0" vertical & horizontal @ 8' spacing between attic spaces & chimney spaces for factory built chimneys, and other locations not specifically mentioned which could afford passage for flame IRC R602.6

Hand in this to the City Planning Dept. for approval.

CITY PLANNING DEPT.
APPROVED
DATE: 1-31-14

APPROVED
BUILDING DEPT.

RECEIVED
PARC CITY MUNICIPAL CORP.
JUN 18 2014
BUILDING DEPT.

REVISION	BY

DAVID G. WHITE ARCHITECT
P.O. BOX 1313 - 2705 Estates Drive
PARC CITY, UTAH 84060
(801) 649-8379

SPECIFICATIONS
HISTORIC RESTORATION & REAR ADDITION FOR
264 ONTARIO AVENUE
PARC CITY, UTAH 84060

DATE: 2-5-14
SCALE: 1/8"
DRAWN BY: SAAI
JOB: 264 ONTARIO
SHEET:
A-15
OF SHEETS

Part I: Historic District Grant Program

The Historic District Grant Program awards matching grants to assist property owners in maintaining and preserving their historic commercial and residential structures. Grant funds are applied to exterior improvements only, and all work must comply with the Design Guidelines for Historic Districts and Historic Sites. The policy outlines the many ways property owners and the City can work together to preserve Park City's historic sites and structures.

A. Goals

1. Offset the costs of rehabilitation work in the City's two (2) National Register Historic Districts
2. Provide funding to projects that provide a community benefit through historic preservation
3. Inspire greater preservation of Park City's historic sites and structures

B. Objectives

1. Inspire citizen involvement and appreciation for the historic preservation of Park City's sites and structures.
2. Encourage the preservation of historic sites and structures in the City's two (2) National Register Historic Districts.
3. Promote projects that preserve and enhance the historic architecture of Park City.
4. Further projects that meet the Design Guidelines for Historic Districts and Historic Sites

C. General Rules

1. The applicant must apply for a Historic District Grant prior to the start of any construction work. The application must include a written scope of work and specifications, cost estimate, drawings as they apply to the specific work, color photographs, and a brief history of the structure.
2. The Historic Preservation Board (HPB) will review grant applications on a "first come, first serve" basis. The HPB may award grants up to \$25,000. Those grants exceeding \$25,000 will require the HPB to forward a positive recommendation to City Council; these recommendations will be reviewed as part of the City Council consent agenda.
3. Any total grant awards greater than the budgeted amount allocated for the Lower Park Avenue and Main Street RDAs will be approved and adjusted as part of the year-end budget process.
4. Upon completion of the work and final inspections, the grant applicant will submit proof of payment to the Planning Department for disbursement of funds.
5. Following receipt of the grant funds, the grant recipient will sign a Historic Grant Program Agreement and Historic Preservation Agreement.

D. Eligibility

1. Applicant Eligibility
 - a. Houses lived in by primary residents (those houses in which the homeowner or a renter lives full-time) may be awarded up to fifty percent (50%) of their construction costs, while homes which are used as secondary homes or nightly

rental (i.e. not lived in by the primary resident) may be awarded up to forty percent (40%). Commercial property owners will be eligible to receive up to fifty percent (50%) of their construction costs. An additional ten percent (10%) may be awarded to property owners committed to renovating a Significant structure in order to elevate its status to Landmark.

2. Eligible Improvements

- a. Improvements shall be completed in compliance with the Secretary of the Interior's Standards for Rehabilitation and include exterior work such as siding, windows, foundation work, masonry repair, structural stabilization, exterior trim, exterior doors, cornice repair, porch repair, retaining walls, as well as historic steps and stairs. The Historic Preservation Board may identify additional eligible improvements (such as Physical Conditions Reports and Preservation Plans, etc.) as necessary; these improvements shall be noted on the Historic District Grant Application.

John Kenworthy Chair
Historic Preservation Board

Historic Preservation Board Staff Report



Subject: 943 Park Avenue
Author: Anya Grahn, Planner
Date: March 4, 2015
Type of Item: Historic District Grant
Project Number: PL-15-02682

Summary Recommendations

Staff recommends that the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs associated with the renovation of 943 Park Avenue.

Description

Applicant: Cara Goodman & John Hutchings
Location: 943 Park Avenue – Landmark Site
Proposal: Historic Grant
Zoning: Historic Residential (HR-1) District
Adjacent Land Uses: Single-family dwellings, multi-family dwellings
Redevelopment Area: Not located in Main Street or Park Avenue RDA

Background

The house at 943 Park Avenue is a landmark structure constructed c.1900, per Sanborn Fire Insurance Map Analysis. The T-shaped cottage (also known as a “cross-wing”) had a number of side and rear additions constructed prior to 1900 that exist today. Sometime after construction, the house appears to have been modernized with Craftsman details such as the porch columns, low porch wall, and picture window styles depicted in the 1940s tax photograph. Tax cards from 1958 and 1968 indicate that the house was covered in asbestos shingles sometime after the 1940s tax photograph. A 1995 photograph shows the house clad in aluminum siding, an undivided light picture window in the front gable, and the loss of the brick chimney. C. 2000, the house went through an extensive renovation that restored many of the pre-1940s details including the wood siding, double-hung windows on the cross-wing and paneled doors. The house as it exists today retains the details of the last renovation. No additions have been added after the period of historical significance, and the house has retained its Essential Historic Form.

Design. The one-story frame cross-wing remains unchanged from the description provided in the Historic Site Inventory (HSI) form. The house is comprised of a one (1)-story cross-wing plan that was expanded during the Mature Mining Era (1894-1930) with side and rear additions. These additions have gained historical significance in their own right.

Setting. The setting remains unchanged from what is described in the HSI. The house remains on a narrow, flat lot. The most significant change to the site is the post-1995 single-car driveway leading to the front gable.

Workmanship. The physical evidence from the period that defines this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type, the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling. Though altered, the physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries. The changes to the site are minor and do not detract from the historic integrity of the site.

Association. The cross-wing was a common house type built in Utah during the Mature Mining Era (1894-1930).

The house is eligible for the National Register of Historic Places, but is not listed on the National Register of Historic Places. The site retains its historic integrity. Planning Staff has encouraged the current property owner to seek state preservation tax credits as part of this rehabilitation. The applicant would not be eligible for federal preservation tax credits unless the property was income producing.

Analysis

General eligible improvements for historic district grants include, but are not limited to:

- Cladding Repair
- Siding
- Masonry Repair
- Cornice Repair
- Architectural Ornamentation
- Restoration/Repair
- Exterior Trim Repair
- Restoration of Historic Retaining Walls
- Restoration of Historic Windows and Doors
- Weatherization of Historic Windows and Doors
- Porch Repair/Restoration
- Foundation Repair/Restoration
- Structural Stabilization
- Abatement of Hazardous Materials
- Stabilization/Preservation of Industrial Mine Sites
- Physical Conditions Report
- Historic Preservation Plan

The purpose of the grant program is to incentivize property owners to maintain and preserve historic commercial and residential structures in Park City. In 1987, the Park City Historic District Commission and City Council identified the preservation of Park City's historic resources as one of their highest priorities. The grant program has operated continuously since that time with the full support of subsequent City Councils and Preservation Boards. On January 8, 2015, City Council approved changes to the Historic District Grant Program that would incentivize primary residents and provide up to 10% increased funding for those renovation projects that improved a site's

designation from “significant” to “landmark.” The adopted policy is attached as Exhibit D.

The purpose of the grant program is to assist in offsetting the costs of rehabilitation work. Funds are awarded to projects that provide a community benefit of preserving and enhancing the City’s historic architecture. Grants are to be used toward specific rehabilitation projects. Primary residents (either the homeowner or a full time renter) may be awarded up to fifty percent (50%) of total eligible construction costs, while homes which are used as a secondary-home or nightly rental may be awarded up to forty percent (40%) of total eligible construction costs. Commercial property owners are eligible for up to fifty percent (50%) total eligible construction costs. The Historic Preservation Board may award grants up to \$25,000. Grants exceeding \$25,000 will require the Historic Preservation Board to forward a positive recommendation to City Council. City Council will then review the grant application as part of their consent agenda. The grant for 943 Park Avenue will require City Council review prior to approval.

According to the HSI, the building is in “good” condition. The applicant submitted a Historic District Design Review (HDDR) application on October 24, 2014. The HDDR application was deemed complete October 29, 2014, and approved on December 1, 2014. The applicant proposes to renovate the historic one (1) story house, reconfiguring the interior and addressing much needed upgrades as well as adding a small two (2) story rear addition. A financial guarantee will be required at the time of the building permit; the applicant has not yet applied for a building permit.

The applicant has requested grant funds for the following improvements to the historic structure:

Foundation. The applicant’s Physical Conditions Report notes that there is currently no foundation under the home. There are some crumbling concrete footings beneath the rear additions; however, these are failing. The applicant is proposing to construct a new basement foundation in order to improve the structural support of the historic house above.

Structural Stabilization. The structural system of the house was upgraded during the c. 2000 renovation. The stud wall construction and floor framing will be upgraded and replaced, as necessary, in order to meet the International Building Code (IBC). The original skipped sheathing on the roof is overloaded with new plywood and roofing materials; the roof system today is undersized to support snow load requirements. The applicants intend to incorporate additional structural members to the interior of the roof framing in order to meet IBC requirements.

Siding & Trim. All exterior walls are currently clad in wood siding that was installed during the c. 2000 renovation. Though not historic, the wood siding is typical of historic siding profiles in Park City. Door and window frames are also not historic, but are comprised of two inch (2”) trim. The applicant will be

repairing any wood siding and trim damage and repainting the house. Staff finds that preserving the non-historic but period-appropriate wood siding is a sustainable approach, and much less costly than replacing the existing siding with new, custom-milled siding.

Roofing. The roof is asphalt shingle. There are no skylights or chimneys on the roof. The applicant is not proposing to change the form of the roof; however, they will be installing new decking and asphalt shingles after upgrading the roof structure.

Porch. The house features an open wrap-around porch. The concrete foundation of the porch was likely installed as part of the c. 2000 renovation. The porch roof is supported by non-historic pillars. The applicant intends to reconstruct the porch and add three (3) new porch steps to accommodate for the house being lifted two feet (2').

Because of the lifting of the house, the applicant is required to provide a railing on the porch. Staff has approved a simple, wood railing that is consistent in design to those seen historically; the applicant is not requesting grant funds for the new porch railing.

Finally, the applicant is asking for reimbursement on their Physical Conditions Report and Historic Preservation Plan.

The following table shows a breakdown of the eligible rehabilitation expenses related only to the historic structure. The applicants qualify for 50% reimbursement of their eligible expenses as this is their primary residence.

Scope of Work	Owner's Portion (total)	City's Portion	Estimated Total Cost
<u>New Basement Foundation</u>			
Excavation	\$18,995	\$18,995	\$37,990
House Lifting	\$10,000	\$10,000	\$20,000
Foundation	\$9,500	\$9,500	\$19,000
Brace House Lift	\$2,500	\$2,500	\$5,000
<u>Structural Work</u>	\$4,250	\$4,250	\$8,500
<u>Porch Restoration</u>			
Front Porch Rebuild	\$5,000	\$5,000	\$10,000
New Porch Stairs	\$1,100	\$1,100	\$2,200
<u>Siding and Trim Repair</u>			
Repair Siding	\$7,500	\$7,500	\$15,000
Cornice Repair	\$2,750	\$2,750	\$5,500
Paint	\$11,000	\$0*	\$11,000
<u>Roofing</u>	\$8,175	\$8,175*	\$16,350
Physical Conditions Report & Historic Preservation	\$2,585	\$2,585	\$5,170

Plan**			
Total	\$83,355	\$72,355	\$155,710

**Staff finds that painting is maintenance and should not be considered as part of the eligible improvements; however, the substantial amount of work required to repair the roof sheathing and asphalt shingles should be included in the grant.*

***HPB committed to reimbursing these reports up to an amount of \$1,500 per report, or total of \$3,000.*

The Historic District Grant Program states that “funds shall be awarded to projects that provide a community benefit of preserving and enhancing the historic architecture of Park City.” A new foundation and the upgraded structural work will extend the longevity of the structure. Restoring the front porch will improve the historic character of the structure. Repairing the siding, trim, and soffits will also improve the life of the existing exterior wood work. Finally, the applicant is requesting to be reimbursed for the Physical Conditions Report and Historic Preservation Plan submitted as part of their HDDR application.

Total estimated cost of the proposed eligible work is \$155,710, per the cost breakdown submitted by the applicant. As the program is a matching grant program, half (1/2) of the total cost is eligible to be granted. Therefore, the Board can consider granting the applicant one half (1/2) of the proposed cost of the eligible preservation work in the amount of \$72,355 (see table).

This project is not located in neither the Main Street Redevelopment Area (RDA) or Lower Park Avenue RDA. Typically, funding for this neighborhood would be deducted from the CIP General Fund. \$47,000 is put into this fund each fiscal year, beginning in July. If the funds are not used within the fiscal year, they are recycled back into the general fund and a new \$47,000 is awarded. This is a “use it or lose it” fund. The amount available in the budget is currently \$47,136. Any amount in addition to this amount would have to be funded through existing resources within the General Fund.

Staff is supportive of the renovation of this landmark structure. Staff finds that the renovation of this historic house will greatly contribute to the historic character of the neighborhood and continue the use of this property. Awarding a grant in this neighborhood continues to increase awareness of the Historic District Grant program and promotes greater historic preservation efforts.

The largest grant awarded by the Historic District Grant Program was in the amount of \$50,000 to 1280 Park Avenue in 2003; the second largest grant was awarded to 1049 Park Avenue in August 2013, totaling \$42,114.92. This grant request would become the largest grant request received by this matching grant program. In 2013, the HPB provided grants to 343 Park Avenue in the amount of \$30,000 and 1063 Norfolk in the amount of \$28,621. The grant program was on hold from the summer of 2014 through January 2015 due to changes to the program.

Recommendation

Staff recommends the Historic Preservation Board (HPB) review the request for a historic district grant and consider awarding the applicant a portion of the costs up to a

maximum of \$72,355 associated with the restoration work and new foundation for the existing historic structure located at 943 Park Avenue.

Alternatively, the HPB may:

1. Award the applicant the full amount of \$72,355.
2. Award the applicant a portion of the amount to be determined by the HPB upon review of the grant request.
3. Award nothing.

Exhibits

Exhibit A – Grant Proposal (including bids)

Exhibit B – Historic Sites Inventory (HSI) Form

Exhibit C – Approved HDDR

Exhibit D – Approved Historic District Grant Policy

PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE ° PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060



HISTORIC DISTRICT GRANT APPLICATION

For Office Use Only

HISTORIC PRESERVATION BOARD	PROJECT PLANNER	APPLICATION #	<u>PC-15-02682</u>
APPROVED _____	<u>Anya Grahn</u>	DATE RECEIVED	<u>2-5-15</u>
AMOUNT _____		EXPIRATION	_____
DENIED _____		BLDG PERMIT	_____

PROJECT INFORMATION

NAME: Cara Goodman

ADDRESS: PO Box 681408
943 PARK AVENUE PARK CITY, UT 84068

TAX ID: 943-PA-1 OR

SUBDIVISION: 943 PARK AVENUE REPIAT LOT OR

SURVEY: _____ LOT #: 1 LOT 1 BLOCK #: 3
943 PA

APPLICANT INFORMATION

NAME: Cara Goodman

MAILING ADDRESS: PO Box 681408
Park City, UT # 84068

PHONE #: (303) 947-2350 FAX #: () -

EMAIL: Cara.rose.goodman@gmail.com

APPLICANT REPRESENTATIVE INFORMATION

NAME: WASATCH Engineering Contractors, Inc. / David Baglino

PHONE #: (435) 604-0000 cell # 435-640-5806

EMAIL: david.baglino@msn.com, wecadmin@hotmail.com

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.



Application#:

Applicant Name:

Property Address:

Cara Goodman

943 Park Ave, PC UT 84068

BREAKDOWN OF ESTIMATED COSTS

SCOPE OF WORK	OWNER'S PORTION	CITY'S PORTION	ESTIMATED TOTAL COST
Excavation	\$18,994.50	\$18,994.50	\$37,989.00
House Lifting	\$10,000.00	\$10,000.00	\$20,000.00
Foundation	\$9,500.00	\$9,500.00	\$19,000.00
Exterior Windows/Doors	\$9,250.00	\$9,250.00	\$18,500.00
Roofing	\$8,175.00	\$8,175.00	\$16,350.00
Front Porch - Rebuild	\$5,000.00	\$5,000.00	\$10,000.00
Repair Siding	\$7,500.00	\$7,500.00	\$15,000.00
BRACE HOUSE - Lift	\$2,500.00	\$2,500.00	\$5,000.00
Structural Work	\$4,250.00	\$4,250.00	\$8,500.00
Cornice Repair	\$2,750.00	\$2,750.00	\$5,500.00
Rebuild Stairs	\$1,100.00	\$1,100.00	\$2,200.00
Paint Preservation Siding	\$5,500.00	\$5,500.00	\$11,000.00
Physical Condition Report	\$2,584.92	\$2,584.93	\$5,169.85
Historic Preservation Plan			

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.

ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: 

Name of Applicant: Kara Goodman PRINTED

Mailing Address: PO Box 681408
Park City, UT 84068

Phone: (303) 947-2350 Fax: _____

Email: Kara.rose.goodman@gmail.com

Type of Application: Historic District Grant Application


AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: Kara Goodman PRINTED

Mailing Address: PO Box 681408
Park City, UT 84068

Street Address/ Legal Description of Subject Property:
943 Park Avenue
Park City, UT 84060

Signature:  Date: February 3, 2015

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership
4. If a Home Owner's Association is the applicant than the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org.

John Hutchings
Cara Goodman
943 Park Ave
Park City, Utah 84060

Dear Anya Grahn, the Historic Preservation Board, and City Council:

We are the owners and full-time inhabitants of a landmark historic residence located at 943 Park Avenue in Park City. We are planning to undergo a rehabilitation project of this historic residence. For good reason, our home has been identified as one of the most historically significant residences in Park City. It is iconic of the mining era and contributes to Park City's historic character. We appreciate the opportunity to apply for grant funds for the rehabilitation project.

To preserve our home and ensure it continues to contribute to Park City's historic character, the rehabilitation project is necessary for several reasons. First, and perhaps most importantly, our home currently has unsafe radon levels as specified by the Environmental Protection Agency—a fact we discovered only after buying the home and living in it for the past several years. Because our home does not have a foundation (i.e. the home rests directly on the ground), there is no feasible way to mitigate the radon levels without constructing a foundation underneath the home. Next, as is typical of non-rehabilitated historic residences in Park City, our home is structurally deficient. Significant structural work needs to be performed (including building a proper foundation) to the home in order to ensure it stands for years to come.

Receiving grant funds for the project is critical to our ability to perform this rehabilitation project. We greatly appreciate your consideration of the realistic costs of qualifying expenses we have submitted. We respectfully request grant funds for fifty percent, or more at your discretion, of our costs of qualifying expenses – which appears to be typical of grant awards given in the past. Like Park City, our goal in designing the project was to preserve the historical character of the home and so we fully honored the City's Historical Guidelines. Our final plans successfully ensure the home will remain a historical icon in Old Town Park City. We worked closely with the Planning Department and appreciated their efforts and input into the final design.

We believe it is worth emphasizing that we are full-time Park City residents. Unlike most neighboring structures, our house is our home and not an investment property. Our motivation to undergo this significant rehabilitation project is so that we and our young child can live safely in our historic home for the foreseeable future.

Thank you for your close consideration of our grant application. Please don't hesitate to contact us if you require any further information.

Regards:



John Hutchings



Cara Goodman

Home History and Owners

Unfortunately, no one has recorded a complete accounting of the history of 943 Park Avenue—the structure or the owners. However, based on the site inventory, we do know something of the property's history.

-William Reich from Racine, Wisconsin purchased this lot for \$200 circa 1890 from Park City organizer David C. McLaughlin

- Between 1902 and 1969, the property was transferred multiple times, with owners including

- Nan A. Love (1902)

- Sarah Allgood (1904)

- Fannie Stembridge (1907)

- Alfred Baker (1909)

- *Date of construction circa 1911*

- Clemens Morbisraith (1913)

- Julius Frankel (1915)

- Maria Harris (1916)

- Mary R. Hartwell (1917)

- Deal J. Hartwell (1918)

- H.E. Burbridge (1936, obtained a Warranty Deed in 1926)

- Bheron Johnson (1946)

- David and Hortense Eley (1969)

- Dick Peek owned the property and did some work on it around the turn of the 21st century. He sold the house to Jennifer Lewis, and she in turn sold it to John Hutchings and Cara Goodman in 2011.

It is estimated that the property was built around 1911 as an “L” or “T” cottage (one of the three most common house types during the mining era), and has undergone multiple changes since that time. The representative from the Utah Historical Society who visited the home in 2014 concluded that the house had undergone significant additions four times: First, Bedroom #1 and the Living Room were constructed. Second, the Dining Room and Porch were constructed. Third, the Kitchen and Bedroom #2 were constructed, and, last, the Mudroom and Laundry Room were constructed. The dates of these additions are not known.

Efforts were taken in 2006 to recreate porch supports closely resembling those found in the earliest tax photos. According to the site inventory, “Alterations [in 2006] from 1995 are significant and serve to re-establish the site's original character.”









BHW Engineers, L.L.C.

December 31, 2014

Stoker Architecture, Inc.
1733 Sidewinder Drive
Park City, Utah 84060

Re: Building Condition Review
943 Park Avenue
Park City, Utah



Dear Mike,

At your request, I had examined the existing historic home in August prior to the anticipated remodel. The original portion of the building closest to Park Avenue appears to have been added to toward the rear with a one story structure.

Original Building

The original building is one story at the main level with steeply pitched gable roof. Framing generally consists of 2x4 roof joists at 24" o.c. spanning approximately 6 feet to a ridge board. Skipped sheathing is overlaid with plywood or oriented strandboard as a substrate for the asphalt shingles.



The main floor framing was not directly observed however there appears to be an intermittent concrete perimeter foundation.



The exterior porch appears to have a more recent concrete slab and footing which is poured flush with the main floor level. The slab edge appears to be at grade on the face toward Park Avenue.

Exterior grade along the Northwest property line appears to increase toward the rear. This may place the floor framing members below the exterior grade.

Addition

The rear addition framing was not directly observed.

The perimeter flat work appears flush with the floor framing. Concrete curbs were noted in some locations, however they did not appear to be sufficient to provide adequate separation for wood framing members.

Roof framing appears to be longer span, lower sloped members. The valley configuration between the original roof and the addition will produce higher snow loads.

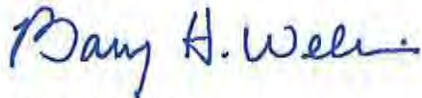
Structural Considerations

As noted above, the original building and addition appears to have inadequate foundation for both support of the structure and separation from the surrounding grade. Additionally, roof framing may be undersized to support the snow load requirements.

Given that the building is subject to significant snow loads and potential wind and earthquake loads, I would recommend that the structure be upgraded to current code level forces. This can be accomplished by use of the provisions of chapter 34 of the 2012 International Building Code or the appropriate chapters in the 2012 International Existing Building Code.

I trust this will provide you with the information you need at this time. Should you have additional questions, please let me know.

Sincerely,



Barry H. Welliver

Structural Engineer





STOKER ARCHITECTURE, INC.

www.stokerarch.com

INVOICE FOR PROFESSIONAL SERVICES RENDERED

INVOICE: 14-95
INVOICE DATE: 11/08/14
PROJECT: 481-1 Goodman- Hutchings Residence
CLIENT: Cara Goodman & John Hutchings
cara.rose.goodman@gmail.com
John.Hutchings@gmail.com
SERVICES FROM: 10/11/14 – 11/07/14

SERVICES:

Architectural Assistant	02.50 Hours @ \$ 50	\$ 125.00
Structural Engineer	00.00 Hours @ \$ 90	\$ 0.00
Principal Architect	31.50 Hours @ \$150	<u>\$4,725.00</u>

SERVICES TOTAL: \$4,850.00

REIMBURSABLE EXPENSES:

Postage	\$ 51.94
High Country Title	\$ 20.00
Supplies	\$ 14.35
Computer Plots	\$ 2.50
Photocopies	\$ 7.90
Reproductions	\$ 43.50
PC Printink	\$ 159.66
Blueprints	<u>\$ 20.00</u>

REIMBURSABLE EXPENSES TOTAL: \$ 319.85

INVOICE TOTAL DUE: \$5,169.85

DUE UPON RECEIPT

PAST DUE IF PAYMENT IS RECEIVED AFTER 12/05/14.

Please remit payment to: Stoker Architecture, Inc.
1733 Sidewinder Drive
Park City, UT 84060

Thank You.

COMMENTS:

- Billing through initial HDDR review submittal.
- To avoid a 2% late fee of \$103.40, payment must be received prior to the past due date.
- Initial retainer payment of \$1,000.00 to be credited to future/final invoices.

1733 Sidewinder Drive, 2nd Floor • Park City, UT 84060 • Phone: (435) 647-5876



HIGH COUNTRY TITLE

Invoice Date: 10/17/2014

*Paid 10-17-2014
#2036 \$20.00*

Invoice # : 26188

File Number: 1000

Property: 943 Park Ave.
UT

Property of:

To:

From:

Michael J. Stoker

HIGH COUNTRY TITLE
1729 SIDEWINDER DRIVE
P.O. BOX 714
PARK CITY, UTAH 84060

(435) 649-8777
(435) 649-4839 Fax

Description	Amount	Qty	Total
Owner/Address Labels	\$20.00		\$20.00
		Grand Total	\$20.00

Thank you!

STOKER ARCHITECTURE INC 12/10
1733 SIDEWINDER DRIVE
SUITE B
PARK CITY, UT 84060

2036

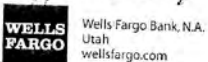
31-297/1240 2798
2885032165

DATE 10-17-2014

PAY TO THE ORDER OF High Country Title
Twenty and no/100

\$ 20.00

DOLLARS



FOR Hitchhiking - labels; Inv. #26188

Catherine M. Stoker MP

⑈000000 2036⑈ ⑆ 2400 297 ⑆ 288503 2165⑈



MICHAEL
 STOKER ARCHITECTURE, INC.
 1733 SIDEWINDER DRIVE
 Park City UT 84060

Phone: (435) 647-5876

PC Printink
 1733 Sidewinder Drive #A
 Park City, UT 84060
 435.649.7400 • fax 435.649.7439
 info@pcprintink.com • www.pcprintink.com

Invoice

49967

No.

10/22/2014

Date:

P.O. No.

Due Date:

QUANTITY	DESCRIPTION	AMOUNT								
3	Hutchings, 24 x 36 Wht Bond-Whiteprint 24 x 36 20#, 17 sheets, copied on 1 side	96.90								
3	Copies, 11 x 17 WHITE Bond-Whiteprint 11x17 20#, 17 sheets, copied on 1 side	51.00								
<p><i>PAID # 2046 \$159.66 11/04/14</i></p> <table border="1" data-bbox="259 1518 792 1753"> <thead> <tr> <th data-bbox="259 1518 524 1574">PROOF</th> <th data-bbox="524 1518 792 1574">PICK-UP</th> </tr> </thead> <tbody> <tr> <td data-bbox="259 1574 524 1630"> </td> <td data-bbox="524 1574 792 1630"> </td> </tr> <tr> <td data-bbox="259 1630 524 1686"> </td> <td data-bbox="524 1630 792 1686"> </td> </tr> <tr> <td data-bbox="259 1686 524 1753"> </td> <td data-bbox="524 1686 792 1753"> </td> </tr> </tbody> </table> <p data-bbox="820 1731 950 1765">Signature:</p>			PROOF	PICK-UP						
PROOF	PICK-UP									
<p>Thank you for being loyal customers. All of us at PC Printink appreciate you.</p>		<table> <tr> <td>SUBTOTAL</td> <td>147.90</td> </tr> <tr> <td>TAX</td> <td>11.76</td> </tr> <tr> <td>TOTAL</td> <td>159.66</td> </tr> <tr> <td>AMOUNT DUE</td> <td>159.66</td> </tr> </table>	SUBTOTAL	147.90	TAX	11.76	TOTAL	159.66	AMOUNT DUE	159.66
SUBTOTAL	147.90									
TAX	11.76									
TOTAL	159.66									
AMOUNT DUE	159.66									

STRUCTURAL
UPGRADES



STOKER ARCHITECTURE, INC.

www.stokerarch.com

INVOICE FOR PROFESSIONAL SERVICES RENDERED

INVOICE: 15-02

INVOICE DATE: 01/03/15

PROJECT: 481-1 Goodman- Hutchings Residence

CLIENT: Cara Goodman & John Hutchings
cara.rose.goodman@gmail.com
John.Hutchings@gmail.com

SERVICES FROM: 12/06/14 – 01/02/15

SERVICES:

Architectural Assistant	05.00 Hours @ \$ 50	\$ 250.00
Structural Engineer	47.00 Hours @ \$ 90	\$4,230.00
Principal Architect	12.25 Hours @ \$150	<u>\$3,337.50</u>

SERVICES TOTAL: \$7,817.50

REIMBURSABLE EXPENSES:

Computer Scans	\$ 30.00
Computer Plots	\$ 7.50
Photocopies	\$ 42.30
Supplies/Reproductions	\$ 111.47
Blueprints	<u>\$ 120.00</u>

REIMBURSABLE EXPENSES TOTAL: \$ 311.27

INVOICE TOTAL DUE:

\$8,128.77

DUE UPON RECEIPT

PAST DUE IF PAYMENT IS RECEIVED AFTER 01/30/15.

Please remit payment to: Stoker Architecture, Inc.
1733 Sidewinder Drive
Park City, UT 84060

Thank You.

COMMENTS:

- To avoid a 2% late fee of \$162.58, payment must be received prior to the past due date.
- Initial retainer payment of \$1,000.00 to be credited to future/final invoices.

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 943 PARK AVE

AKA:

City, County: Park City, Summit County, Utah

Tax Number: 943-PA-1

Current Owner Name: LEWIS JENNIFER R

Parent Parcel(s): SA-16

Current Owner Address: PO BOX 932, PARK CITY, UT 84060-0932

Legal Description (include acreage): SUBD: 943 PARK AVENUE REPLAT LOT: 1LOT 1 943 PARK AVENUE SUBDIVISION; .07 AC

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints:
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers

- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: "L" cottage or "T" cottage

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Number of associated outbuildings and/or structures: accessory building(s), # _____; structure(s), # _____.

General Condition of Exterior Materials:

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November, 08

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Foundation: Cement porch- remainder of foundation is not visible and therefore its materials cannot be verified.

Walls: Drop-novelty wood siding (unable to determine if materials are new, original, or a mix of both)

Roof: Asphalt shingle

Windows/Doors: Unable to determine based on photo alone- likely single hung vinyl windows with full screens. Door is wood with top half panel as glazing.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Structure has retained its essential form since the earliest evidences given in the tax photo, with only material changes being made. Efforts have been taken in 2006 photo to recreate porch supports seen in tax photo that were removed and replaced with metal supports (seen in 1995 photo), although the low porch wall in tax photo was not reconstituted back in. Replacements have been made in window and door materials since the tax photo, but the 2006 materials are still reflective of the original character and style of the structure, and apparently have made efforts to rectify the outer appearance (as seen in the 1995 photo). 1995 photo also displays a possible aluminum siding adjustment that by 2006 has reverted back to the drop-novelty siding appearance. Efforts to restore original characteristics to the structure have been successful. The alterations from the 1995 are significant and serve to re-establish the site's original historic character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Narrow building lot on fairly flat terrain. House is recessed roughly 20 feet from the city roadway, with a planted lawn and vegetation organized throughout the visible landscape. A maturing evergreen tree is evident on the far left side of the front elevation. Most obvious site detail not within historic context (seen as early as the 1995 photo) is the single car driveway that leads up to the front gable end of the structure, distracting from the house's curb appeal and overall appearance. (There is possibility for a driveway width to continue behind structure on the far left of the property's front elevation, allowing for the current driveway setup to be replanted and reinstated as originally intended.)

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The distinctive elements that define this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type ("L" cottage), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): Though the physical elements of the site that convey a sense of life in a western mining town of the late nineteenth and early twentieth century have been altered, the site retains its essential historical form.

Association (Describe the link between the important historic era or person and the property.): The "T" or "L" cottage (also known as a "cross-wing") is one of the earliest and one of the three most common house types built in Park City during the mining era.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1911¹

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. **Persons** (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. **Architecture** (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

- Photo No. 1:** East elevation (primary façade). Camera facing west, 2006.
Photo No. 2: East elevation (primary façade). Camera facing west, 1995.
Photo No. 3: East elevation (primary façade). Camera facing west, tax photo.

¹ Summit County Recorder.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

**SERIAL NO.
RE-APPRAISAL CARD (1940 APPR. BASE)**

Owner's Name _____
 Owner's Address _____
 Location _____
 Kind of Building Res Street No. _____
 Schedule 1 Class 3 Type 1-2-3-4 Cost \$ _____ X _____ %

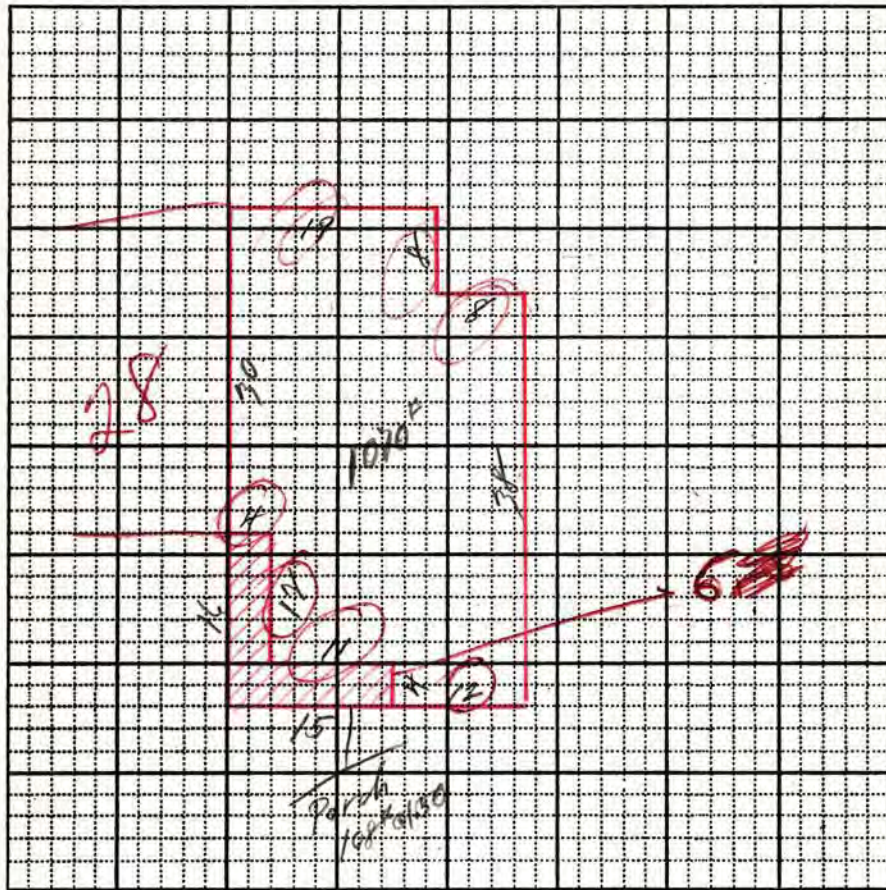
Stories	Dimensions	Cu. Ft.	Sq. Ft.	Actual Factor	Totals
<u>1</u>	x x		<u>1070</u>	\$ -	\$ <u>1884</u>
	x x			\$	\$
	x x			\$	\$

No. of Rooms 5 Condition _____

Description of Building	Add	Deduct
Foundation—Stone Conc. None ✓		<u>146</u>
Ext. Walls <u>Siding</u>		
Insulated—Floors Walls Clgs.		
Roof—Type <u>Gab</u> Mat. <u>Pb Shg</u>		
Dormers—Small Med. Lg.		
Bays—Small Med. Lg.		
Porches—Front <u>108" @ 1.50</u>	<u>162</u>	
Rear @		
Cellar—Basmt— <u>1/4</u> <u>1/2</u> <u>3/4</u> full-floor <u>Dirt</u>		
Basement Apts.—Rooms Fin. —		
Attic Rooms Fin. — Unfin. —		
Plumbing { Class <u>1</u> Tub <u>1</u> Trays <u>1</u> Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u> Urns <u>1</u> Ftns. <u>1</u> Shr. <u>1</u> Dishwasher <u>1</u> Garbage Disp. <u>1</u>	<u>350</u>	
Heat—Stove <u>H. A.</u> <u>Gas</u> <u>Coal</u> <u>Blr.</u>		
Air Conditioned _____ Incinerators _____		
Radiant—Pipeless _____		
Finish—{ Hd. Wd. _____ Floors { Hd. Wd. _____ Fir. <u>✓</u> Conc. _____		
Cabinets <u>1</u> Mantels _____	<u>40</u>	
Tile—{ Walls _____ Wainscot. _____ Floors _____		
Lighting—Lamp _____ Drops <u>✓</u> Fix. _____		
<u>Walbrd & Lumberline - 5 @ 15 =</u>		<u>75</u>
Total Additions and Deductions	<u>552</u> <u>221</u>	<u>1884</u>
Net Additions or Deductions	<u>-221</u>	<u>+331</u>

Age 38 Yrs. by { Est. Owner ✓ REPRODUCTION VALUE \$ 2215
 { Tenant Depr. 1-2-3-4-5-6 51/49 % \$ _____
 { Neighbors Reproduction Val. Minus Depr. \$ 1085
 { Records

Remodeled _____ Est. Cost _____ Remodeling Inc. _____ % \$ _____
 Garage—S 8 C 1 Depr. 2% 3% Obsolescence _____ \$ _____
 Cars 1 Walls Shg Out Bldgs. _____ \$ _____
 Roof Tim Size 16x18 Age 25 _____ \$ _____
 Floor Dirt Cost 153/25 Depreciated Value Garage \$ 38
 Remarks (30 yr old - 1941) **Total Building Value** \$ 1123



OUT BUILDINGS	Age	Size	Area	Factor	Cost	Depr. Value
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				
		x				

Serial No. SA 16

Location Block 3 S.A. Plots 12 + 21 All Lot 11 + 21
 Kind of Bldg. RHS St. No. 943 PARK AVE
 Class 3 Type 1 2 3 4 4 Cost \$ 2016 X — %

Stories	Dimensions	Cu. Ft.	Sq. Ft.	Factor	Totals
1	x x		1070		\$ 2016
	x x				
	x x				

Gar.—Carport — x — Flr. — Walls — Cl. —

Description of Buildings		Additions
Foundation—Stone <u>—</u> Conc. <u>—</u> None <u>✓</u>		
Ext. Walls <u>Asb Shake on Siding</u>		
Insulation—Floors <u>—</u> Walls <u>—</u> Clgs. <u>—</u>		
Roof Type <u>Gable</u> Mtl. <u>Part</u>		
Dormers—Small <u>—</u> Med. <u>—</u> Large <u>—</u>		
Bays—Small <u>—</u> Med. <u>—</u> Large <u>—</u>		
Porches—Front <u>108</u> @ <u>100</u>		108
Rear <u>—</u> @ <u>—</u>		
Porch <u>—</u> @ <u>—</u>		
Metal Awnings <u>—</u> Mtl. Rail <u>—</u>		
Basement Entr. <u>—</u> @ <u>—</u>		
Planters <u>—</u> @ <u>—</u>		
Cellar-Bsmt. — ¼ ½ ¾ Full <u>—</u> Floor <u>—</u>		
Bsmt. Apt. <u>—</u> Rooms Fin. <u>—</u> Unfin. <u>—</u>		
Attic Rooms Fin. <u>—</u> Unfin. <u>—</u>		
Plumbing	Class <u>2</u> Tub <u>1</u> Trays <u>—</u>	350
	Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u>	
	Wtr. Sftr. <u>—</u> Shr. St. <u>—</u> O.T. <u>1</u>	
	Dishwasher <u>—</u> Garbage Disp. <u>—</u>	
Built-in Appliances <u>—</u>		
Heat—Stove <u>—</u> H.A. <u>—</u> Steam <u>—</u> Stkr. <u>—</u> Blr. <u>—</u>		
Oil <u>✓</u> Gas <u>—</u> Coal <u>—</u> Pipeless <u>—</u> Radiant <u>—</u>		
Air Cond. <u>—</u>		
Finish—Fir <u>✓</u> Hd. Wd. <u>—</u>		
Floor—Fir <u>✓</u> Hd. Wd. <u>—</u> Other <u>—</u>		
Cabinets <u>1</u> Mantels <u>—</u>		
Tile—Walls <u>—</u> Wainseot <u>—</u> Plastic Floors <u>—</u>		50
Storm Sash—Wood D. <u>—</u> S. <u>1</u> ; Metal D. <u>1</u> S. <u>—</u>		60
		568

Total Additions			\$ 2584
Year Built <u>—</u>	Avg. <u>47</u>	Current Value	
<u>Ave Age 1949-38</u>	Age <u>—</u>	Commission Adj. <u>—</u> %	
Inf. by <u>Owner - Tenant -</u>		Bldg. Value	
<u>Neighbor - Record - Est.</u>		Depr. Col. <u>1</u> 2 3 4 5 6 <u>40</u> %	
Remodel Year <u>—</u>	Est. Cost <u>—</u>	Current Value Minus Depr.	\$ 1034
Garage—Class <u>—</u> Depr. 2% 3% <u>—</u>	Carport—Factor <u>—</u>		
Cars <u>—</u> Floor <u>—</u> Walls <u>Metal</u> Roof <u>Metal</u> Doors <u>—</u>			
Size— <u>7</u> x <u>5</u> Age <u>1967</u> Cost <u>8300</u> x <u>—</u> %			
Other <u>—</u>			
Total Building Value			\$ 477

Owners Name Park City
 Location Park City
 Kind of Bldg Res St. No. 943 Park Ave
 Class 3 Type 1 2 3 4. Cost \$ 4396 x 104.5%

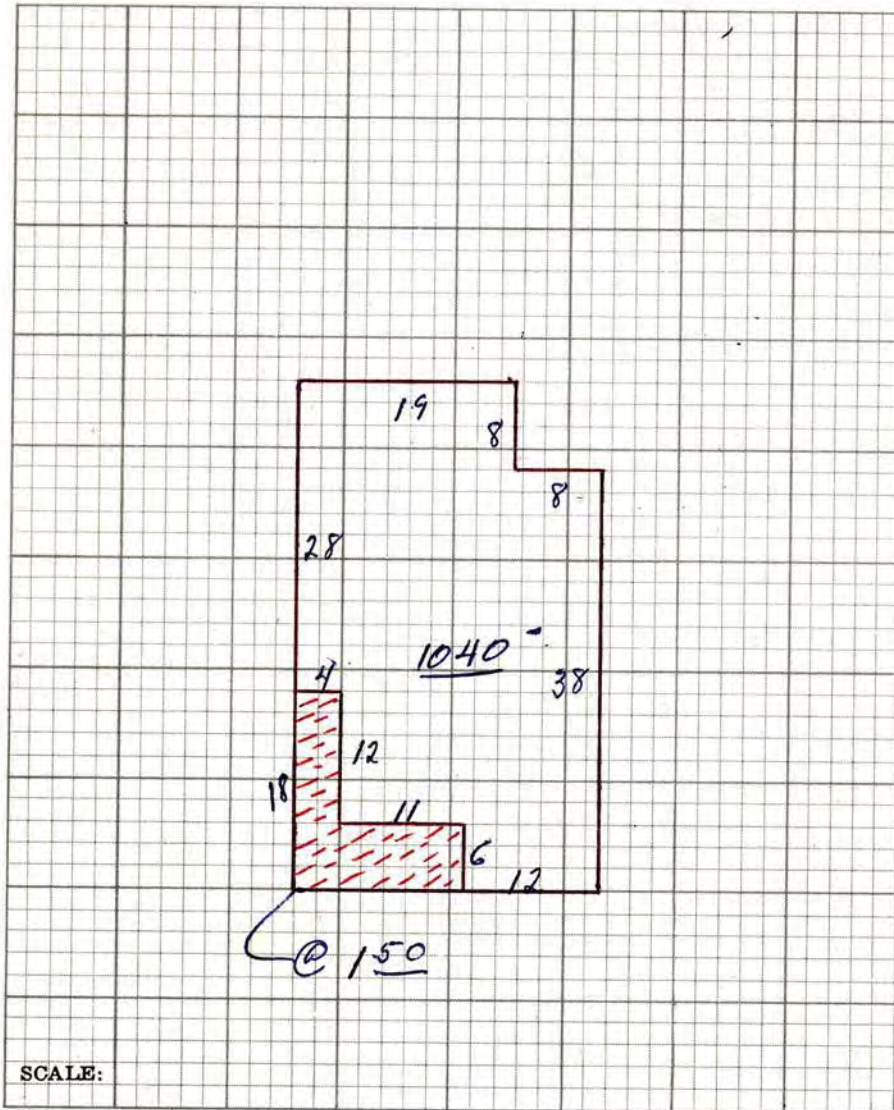
Stories	Dimensions	Sq. Ft.	Factor	Totals	Totals
1	x x	1040		\$ 4593	\$
	x x				
	x x				

Att. Gar. — C.P. Flr. Walls Cl.

Description of Buildings	Additions	Additions	
Foundation—Stone <input type="checkbox"/> Conc. <input type="checkbox"/> Sills <input checked="" type="checkbox"/>			
Ext. Walls <u>FBG Shake (out)</u>			
Roof Type <u>gable</u> Mtl. <u>Part</u>			
Dormers—Small <input type="checkbox"/> Med. <input type="checkbox"/> Large <input type="checkbox"/>			
Bays—Small <input type="checkbox"/> Med <input type="checkbox"/> Large <input type="checkbox"/>			
Porches—Front <u>138 @ 150</u>	<u>207</u>		
Rear <input type="checkbox"/>	@		
Porch <input type="checkbox"/>	@		
Planters <input type="checkbox"/>	@		
Ext. Base. Entry <input type="checkbox"/>	@		
Cellar-Bsmt. — 1/4 1/3 1/2 2/3 3/4 Full <input type="checkbox"/> Floor <input type="checkbox"/>			
Bsmt. Gar. <input type="checkbox"/>			
Basement-Apt. <input type="checkbox"/> Rms. <input type="checkbox"/> Fin. Rms. <input type="checkbox"/>			
Attic Rooms Fin. <input type="checkbox"/> Unfin. <input type="checkbox"/>			
Plumbing <u>est</u> { Class <u>2</u> Tub. <u>1</u> Trays <input type="checkbox"/> Basin <u>1</u> Sink <u>1</u> Toilet <u>1</u> Wtr. Sfr. <input type="checkbox"/> Shr. St. <input type="checkbox"/> O.T. <input type="checkbox"/> Dishwasher <input type="checkbox"/> Garbage Disp. <input type="checkbox"/>	<u>650</u>		
	Heat—Stove <input type="checkbox"/> H.A. <input type="checkbox"/> FA <input checked="" type="checkbox"/> HW <input type="checkbox"/> Stkr <input type="checkbox"/> Elec. <input type="checkbox"/>	<u>393</u>	
	Oil <input type="checkbox"/> Gas <input checked="" type="checkbox"/> Coal <input type="checkbox"/> Pipeless <input type="checkbox"/> Radiant <input type="checkbox"/>		
Air Cond. — Full <input type="checkbox"/> Zone <input type="checkbox"/>			
Finish—Fir. <input type="checkbox"/> Hd. Wd. <input type="checkbox"/> Panel <input type="checkbox"/>			
Floor—Fir. <input type="checkbox"/> Hd. Wd <input type="checkbox"/> Other <input type="checkbox"/>			
Cabinets <input checked="" type="checkbox"/> Mantels. <input type="checkbox"/>			
Tile—Walls <input type="checkbox"/> Wainscot <input type="checkbox"/> Floors <input type="checkbox"/>			
Storm Sash—Wood D. <u>1</u> S.; Metal D. <u>1</u> S.	<u>55</u>		
Awnings — Metal <input type="checkbox"/> Fiberglass <input type="checkbox"/>			

11/14/79 2279
 Reported

Total Additions		<u>1305</u>
Year Built <u>1911</u>	Avg. 1.	Replacement Cost <u>5898</u>
	Age 2.	Obsolescence
Inf. by { Owner - Tenant - Neighbor - Record - Est.		Adj. Bld. Value
		Conv. Factor <u>x.47</u>
Replacement Cost—1940 Base		
Depreciation Column <u>1</u> 2 3 4 5 6		
1940 Base Cost, Less Depreciation		
Total Value from reverse side <u>Shed</u>		<u>103</u>
Total Building Value \$		



RESIDENTIAL OUT BUILDINGS	Age	Size	Area	Fac- tor	Cost	Conv. Cost	Adj. Cost	Depr. Value
<i>Shed</i>	<i>1967</i>	<i>7 x 5</i>	<i>35</i>	<i>30</i>	<i>105</i>	<i>2/47</i>	<i>99%</i>	<i>103</i>
		x				.47		
		x				.47		
		x				.47		
		x				.47		
		x				.47		

Garage — Class _____ Depr. 2% 3% _____

Cars _____ Floor _____ Walls _____ Roof _____ Doors _____

Size _____ x _____ Age _____ Cost _____ x 47% _____

1940 Base Cost _____ x _____ % Depr. _____

Total _____

REMARKS _____



Researcher: Philip F. Notarianni
Date: September, 1978

Site No. _____

Utah State Historical Society Historic Preservation Research Office Structure/Site Information Form

IDENTIFICATION

Street Address: 943 Park Ave. 11-22
Plat SA Bl. 3 Lot S 1/2
12

Name of Structure: T. R. S.

Present Owner: David & Hartense N. eley UTM:

Owner Address: P.O. Box, Park City, Utah 84060 Tax #: SA-16

AGE/CONDITION/USE

Original Owner: _____ Construction Date: @1910 Demolition Date: _____

Original Use: residential

Present Use: _____ Occupants: _____

- | | | |
|---|---------------------------------------|------------------------------------|
| <input checked="" type="checkbox"/> Single-Family | <input type="checkbox"/> Park | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Multi-Family | <input type="checkbox"/> Industrial | <input type="checkbox"/> Religious |
| <input type="checkbox"/> Public | <input type="checkbox"/> Agricultural | <input type="checkbox"/> Other |
| <input type="checkbox"/> Commercial | | |

Building Condition:

- | | |
|---------------------------------------|--------------------------------|
| <input type="checkbox"/> Excellent | <input type="checkbox"/> Site |
| <input type="checkbox"/> Good | <input type="checkbox"/> Ruins |
| <input type="checkbox"/> Deteriorated | |

Integrity:

- | |
|---|
| <input type="checkbox"/> Unaltered |
| <input type="checkbox"/> Minor Alterations |
| <input checked="" type="checkbox"/> Major Alterations |

STATUS

Preliminary Evaluation:

- | |
|--|
| <input type="checkbox"/> Significant |
| <input checked="" type="checkbox"/> Contributory |
| <input type="checkbox"/> Not Contributory |
| <input type="checkbox"/> Intrusion |

Final Register Status:

- | | |
|--|---|
| <input type="checkbox"/> National Landmark | <input type="checkbox"/> District |
| <input type="checkbox"/> National Register | <input type="checkbox"/> Multi-Resource |
| <input type="checkbox"/> State Register | <input type="checkbox"/> Thematic |

DOCUMENTATION

Photography:

Date of Slides: 6/78

Views: Front Side Rear Other

Date of Photographs:

Views: Front Side Rear Other

Research Sources:

- | | | |
|--|---|--|
| <input type="checkbox"/> Abstract of Title | <input type="checkbox"/> City Directories | <input type="checkbox"/> LDS Church Archives |
| <input checked="" type="checkbox"/> Plat Records | <input type="checkbox"/> Biographical Encyclopedias | <input type="checkbox"/> LDS Genealogical Society |
| <input checked="" type="checkbox"/> Plat Map | <input checked="" type="checkbox"/> Obituary Index | <input checked="" type="checkbox"/> U of U Library |
| <input checked="" type="checkbox"/> Tax Card & Photo | <input type="checkbox"/> County & City Histories | <input type="checkbox"/> BYU Library |
| <input type="checkbox"/> Building Permit | <input type="checkbox"/> Personal Interviews | <input type="checkbox"/> USU Library |
| <input type="checkbox"/> Sewer Permit | <input checked="" type="checkbox"/> Newspapers | <input type="checkbox"/> SLC Library |
| <input checked="" type="checkbox"/> Sanborn Maps 1889, 1900, 1907. | <input checked="" type="checkbox"/> Utah State Historical Society Library | <input type="checkbox"/> Other |

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Summit County Records.

Architect/Builder: unknown

Building Materials: wood

Building Type/Style: residential

Description of physical appearance & significant architectural features:

(Include additions, alterations, ancillary structures, and landscaping if applicable)

One story dwelling with a cross gable roof treatment. The front portion of the building consists of a picture window on the gable end (to the north) with a porch that runs to the south and extends around the southern portion of the structure. Two entries exist on the front, one to the north and another to the south, with another picture window between the two entries (windows were originally double-hung). Iron posts now support the porch.

The basic plan appears the same on 1900 and 1907 Sanborn maps.

Statement of Historical Significance:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> Aboriginal Americans | <input type="checkbox"/> Communication | <input type="checkbox"/> Military | <input type="checkbox"/> Religion |
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Conservation | <input checked="" type="checkbox"/> Mining | <input type="checkbox"/> Science |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Education | <input type="checkbox"/> Minority Groups | <input type="checkbox"/> Socio-Humanitarian |
| <input type="checkbox"/> The Arts | <input type="checkbox"/> Exploration/Settlement | <input type="checkbox"/> Political | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Industry | <input type="checkbox"/> Recreation | |

Although altered, with siding and different window treatments, the structure contributes to the rest of Park City's historic residential district both in style and its history of ownership by various Park City merchants and miners.

William Reich acquired the land in 1890 from Park City organizer David C. McLaughlin. In 1902 to Nan A. Love; and in 1904, Sarah Allgood; then Mrs. Fannie Stembidge (Stembudge) in 1907. Alfred Baker acquired the lot in 1909; to Clemens Norbisraith in 1913, who also obtained Lot 22. Norbisraith mortgaged his property in 1915 for \$600 to Julius Frankel, apparently to build the home; however, in 1916 deeded to Mrs. Maria Harris; in 1917 to Mary R. Hartwell, later Harold W. Hartwell; and in 1918 to Deal J. Hartwell. Up for tax sale in 1923, 1930, to H. E. Burbidge in 1936 (redeemed) who had obtained a Warranty Deed in 1926 (H. Eugena Burbidge). Others: Bheron W. Johnson, 1946; and in 1969 David and Hortense Eley.

No information on Alfred Baker or Clemens Norbisraith.







December 1, 2014

John Hutchings and Cora Goodman
PO Box 81408
Park City, UT 84068

CC: Architect Michael Stoker

NOTICE OF PLANNING DEPARTMENT ACTION

<u>Project Address</u>	943 Park Avenue
<u>Description</u>	Historic District Design Review
<u>Date of Action</u>	December 1, 2014
<u>Project #</u>	PL-14-02339

Summary of Staff Action

Staff reviewed this project for compliance with the Historic District Design Guidelines, specifically with Specific Guidelines A. Site Design, B. Primary Structures, C. Park Areas, and D. Additions to Historic Structures. The applicant proposes to temporarily raise and construct a basement addition to the locally designated "Landmark" structure as well as construct a new rear addition. This letter serves as the final action letter and approval for the proposed renovation of 943 Park Avenue, as redlined subject to the following Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. The property is located at 943 Park Avenue.
2. The plat amendment was approved by City Council on September 3, 1998, as Ordinance 98-37. The amended plat created one new 2,813 square foot lot. The property is located in the Historic Residential-1(HR-1) District.
3. The site is a developed parcel with a historic structure, identified on the City's Historic Sites Inventory (HSI) as a "Landmark" site. Per the Historic Site Form, the one-story frame T-shaped cottage has retained its Essential Historical Form, with only alterations to its historic materials. In 2006, the house was renovated and the porch was restored. The 2006 materials are not original, but are reflective of the original character and style of the structure. Windows and doors were also replaced at this time.

4. The structure was built c. 1911 during the Mature Mining Era (1894-1930).
5. The applicant submitted a HDDR application to renovate the house on October 24, 2014. The application was deemed complete on October 29, 2014. A public hearing was held on November 13, 2014.
6. The main building (house) is approximately 1,065 square feet in size; of this, only approximately 909 square feet is the original historic structure.
7. The allowable footprint for a lot this size in the HR-1 Zoning District is approximately 1,201 square feet; however, the applicant is proposing a footprint of 1,195.5 square feet.
8. The required side yard setbacks for a lot this size in the HR-1 Zone is three feet (3'); the applicant is proposing a three foot (3') side yard on the north side and four and one-half on the south side (4'6"). The required front and rear yard setback for a lot this size in the HR-1 Zone is ten feet; the applicant is proposing a sixteen and one-half (16'6") front yard setback and a ten foot (10') rear yard setback.
9. The proposed complies with Historic District Design Guidelines, specifically with Specific Guidelines A. Site Design, B. Primary Structures, C. Park Areas, and D. Additions to Historic Structures.
10. The proposal complies with Universal Design Guideline #1 as the site will be used as it was historically—a residential, single-family home.
11. The proposal complies with Universal Design Guideline #2 as changes to a site or building that have acquired historic significance in their own right will be retained and preserved. The applicant is proposing to remove a non-historic rear addition in order to construct the new addition.
12. The proposal complies with Universal Design Guideline #3 as the historic exterior features of a building will be retained and preserved. The applicant does not intend to alter any of the renovations completed in 2006 that restored the original character of the home.
13. The proposal complies with Universal Guideline #4 as the distinctive materials, components, finishes, and examples of craftsmanship will be retained and preserved. The applicant does not intend to alter any of the renovations completed in 2006 that restored the original character of the home.
14. The proposal complies with Universal Guideline #5 as conditioned.
15. The proposal complies with Universal Guideline #6 as features that do not contribute to the significance of the site or building and exist prior to the adoption of these guidelines, such as incompatible windows, aluminum soffits, or iron porch supports, will be brought into compliance with these guidelines. The windows and doors are not original to the house; however, the applicant is not proposing to change these features.
16. The proposal complies with Universal Guideline #7 as the site will be recognized as a physical record of its time, place, and use. The applicant has not proposed to introduce architectural elements or details that visually modify or alter the original building design when no evidence of such elements or details exists.
17. Universal Guideline #8 is not applicable as the applicant has not proposed any chemical or physical treatments, or any treatments that cause damage to historic materials.

18. The proposal complies with Universal Guideline #9 as the new addition and exterior alterations will not destroy historic materials, features, and spatial relationships that characterize the site or building.
19. The proposal complies with Universal Guideline #10 as the new addition and related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment could be restored. The new addition will be constructed adjacent to a non-historic portion of the house.
20. The proposal complies with Specific Guideline A.1. Building Setbacks & Orientation. The applicant does not intend to relocate the home. The existing front and side yard setbacks will be retained. The applicant will also preserve the original location of the main entry.
21. Specific Guideline A.2. Stone Retaining Walls is not applicable as there are no historic stone retaining walls on the site. The non-historic stone retaining wall in the backyard will be maintained; the applicant has not proposed any changes to it.
22. Specific Guideline A.3. Fences and Handrails is not applicable as there are no historic fences or handrails.
23. Specific Guideline A.4 is not applicable as there are no historic hillside steps.
24. The proposal complies with Specific Guidelines A.5 Landscaping and Site Grading. There are no landscape features that contribute to the character of the site. The applicant has proposed to incorporate landscape treatments for driveways, paths, and the building in a comprehensive, complimentary, and integrated design. The historic character of the site will not be significantly altered by substantially changing the proportion of built or paved area to open space. The landscape plan will balance water efficient irrigation methods and drought tolerant native plant material. The landscape plan will also allow for snow storage from the driveway. A detailed landscape plan that respects the manner and materials used traditionally in the districts has been provided. Landscaped separations between parking areas, drives, and public use areas have been provided. The original grading of the site will be maintained when and where feasible.
25. The proposal complies with Specific Guidelines B.1. Roofs in that the original roof form will be maintained. The applicant does not propose any new roof features such as photovoltaic panels and/or skylights. No gutters or downspouts have been proposed.
26. The proposal complies with Specific Guideline B.2. Exterior Walls. The primary and secondary façade components, such as window/door configuration, wall planes, recesses, porches, and entryways will be maintained as existing. The applicant has not proposed any changes or repairs to the façade or side elevations of the house. The applicant is not proposing any interior changes that will affect the exterior appearance of the façade.
27. Specific Guidelines B.2.3 and B.2.5 are not applicable as the applicant did not propose disassembly of any historic elements or any new substitute materials.
28. The proposal complies with Specific Guideline B.3. Foundations. The new foundation will not raise or lower the historic structure generally more than two

feet (2') from its original floor elevation. The original orientation and grading of the historic building will be retained. The applicant will re-grade the site so that no more than two feet (2') of the new foundation will be visible above finished grade on the primary and secondary facades.

29. The proposal complies with Specific Guideline B.4 Doors. Historic door openings will be maintained, though the historic doors and trim have been lost. The applicant does not propose to change the existing front door, though it is not historic to the house.
30. The proposal complies with Specific Guideline B.5 Windows. Historic window openings will be maintained and restored. No historic windows exist, and no new windows are proposed on the historic house. No storm windows are proposed.
31. The proposal complies as conditioned with Specific Guidelines B.6. Mechanical Systems, Utility Systems, and Service Equipment.
32. The proposal complies as conditioned with Specific Guidelines B.7. Paint & Color.
33. The proposal complies with Specific Guidelines C.1. Off-Street Parking. The applicant has an existing parking pad on the northeast corner of the site that will remain. No new parking areas are proposed. The applicant will plant shrubs on the north and south side of this parking pad to provide a visual buffer from adjacent properties.
34. The proposal complies with Specific Guideline C.2. Driveways. The existing parking pad is twelve feet (12') in width, and no changes to the existing parking pad are proposed at this time.
35. Specific Guidelines C.3. Detached Garages is not applicable as the applicant is not proposing to construct a detached garage.
36. The proposal complies with Specific Guideline D.1. Protection for Historic Structures and Sites. The addition will be visually subordinate to the historic building when viewed from the primary public right-of-way. The addition will not significantly obscure historic material as the addition will be constructed adjacent to an existing non-historic addition.
37. The proposal complies with Specific Guideline D.2. General Compatibility. The addition complements the visual and physical qualities of the historic building. Building components and materials used on the addition will be similar in scale and size to those found on the original building. The window shapes, patterns, and proportions found on the historic building are reflected in the new addition. The applicant has not proposed an in-line addition.
38. The proposal complies with Specific Guidelines D.3. Scenario 1: Residential Historic Sites—Basement Addition without Garage. The addition will not raise the historic structure generally more than two feet (2') from its original elevation. In plan, the basement addition does not extend beyond the wall planes of the historic structure's primary or secondary facades.

Conclusion of Law

1. The proposal complies with the 2009 Park City Design Guidelines for Historic Districts and Historic Sites as conditioned.

2. The proposal complies with the Land Management Code requirements pursuant to the Historic Residential Low Density (HR-1) District (lot size, setbacks, etc.).
3. The proposed building meets the applicable Historic District Design Guidelines for Historic Sites in Park City, as well as applicable Universal Design Guidelines.


Conditions of Approval

1. Receipt and approval of a Construction Mitigation Plan (CMP) by the Building Department is a condition precedent to the issuance of any building permit. The CMP shall consider and mitigate impacts to the existing neighboring structures, and existing infrastructure/streets from the construction. All anticipated road closures shall be described and permitted in advance by the Building Department.
2. Final construction details shall reflect substantial compliance with the Preservation Plan and the Physical Conditions Report stamped in on October 24, 2014, redlined and approved by the Planning Department on November 25, 2014. Any changes, modifications, or deviations from the approved design shall be reviewed and approved by the Planning Director prior to construction. Any changes, modifications, or deviations from the approved work that have not been approved by the Planning and Building Departments may result in a stop work order.
3. The designer and/or applicant shall be responsible for coordinating the approved documents with the approved construction documents. Any discrepancies found among these documents that would cause a change in the approved construction shall be reviewed and approved prior to construction. Any changes, modifications, or deviations from the approved construction that have not been approved by the Planning and Building Departments may result in a stop work order.
4. The City Engineer shall review and approve all appropriate grading, utility installation, public improvements, drainage plans, and flood plain issues, for compliance with City and Federal standards, and this is a condition precedent to building permit issuance.
5. Should the applicant uncover any deteriorated or damaged historic features and elements while renovating the structure, these elements will be addressed in an updated Historic Preservation Plan submitted to the Planning Department. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature, or element will match the original in design, dimension, texture, material, and finish.
6. Roof colors shall be neutral and muted, and materials shall not be reflective.
7. Mechanical equipment and utilities, including heating and air conditioning units, meters, and exposed pipes, shall be located on the rear façade or another inconspicuous location.
8. Ground-level equipment shall be screened from view using landscape elements such as fences, low stone retaining walls, or perennial plant materials.
9. Contemporary communication equipment such as satellite dishes or antennae shall be visually minimized when viewed from the public right-of-way.

10. Original materials such as brick and stone that were traditionally unpainted shall not be painted. Materials that are traditionally painted should have an opaque rather than transparent finish. A weather-protective finish should be applied to wood surfaces that were not historically painted. When possible, low VOC (volatile organic compound) paints and finishes shall be used.
11. Window or egress wells shall not be located on the primary façade, but in a location that is not visible from the primary public right-of-way.
12. Landscape elements shall be used to screen window/egress wells.
13. After construction of the basement, the site shall be re-graded to approximate grading prior to construction and to limit the visibility of the new foundation.
14. Approval of this HDDR was noticed on December 1, 2014, and any approval is subject to a ten (10) day appeal period.
15. If a building permit has not been obtained by December 1, 2015, this HDDR approval will expire, unless an extension is requested prior to the expiration date and granted by the Planning Department.
16. All standard conditions of approval shall apply (see attached).

If you have any questions about this approval, please do not hesitate to contact me. I can be reached at (435) 615-5067, or via e-mail at anya.grahn@parkcity.org.

Sincerely,



Anya E. Grahn
Historic Preservation Planner

PARK CITY MUNICIPAL CORPORATION
STANDARD PROJECT CONDITIONS

1. The applicant is responsible for compliance with all conditions of approval.
2. The proposed project is approved as indicated on the final approved plans, except as modified by additional conditions imposed by the Planning Commission at the time of the hearing. The proposed project shall be in accordance with all adopted codes and ordinances; including, but not necessarily limited to: the Land Management Code (including Chapter 5, Architectural Review); International Building, Fire and related Codes (including ADA compliance); the Park City Design Standards, Construction Specifications, and Standard Drawings (including any required snow storage easements); and any other standards and regulations adopted by the City Engineer and all boards, commissions, agencies, and officials of the City of Park City.
3. A building permit shall be secured for any new construction or modifications to structures, including interior modifications, authorized by this permit.
4. All construction shall be completed according to the approved plans on which building permits are issued. Approved plans include all site improvements shown on the approved site plan. Site improvements shall include all roads, sidewalks, curbs, gutters, drains, drainage works, grading, walls, landscaping, lighting, planting, paving, paths, trails, public necessity signs (such as required stop signs), and similar improvements, as shown on the set of plans on which final approval and building permits are based.
5. All modifications to plans as specified by conditions of approval and all final design details, such as materials, colors, windows, doors, trim dimensions, and exterior lighting shall be submitted to and approved by the Planning Department, Planning Commission, or Historic Preservation Board prior to issuance of any building permits. Any modifications to approved plans after the issuance of a building permit must be specifically requested and approved by the Planning Department, Planning Commission and/or Historic Preservation Board in writing prior to execution.
6. Final grading, drainage, utility, erosion control and re-vegetation plans shall be reviewed and approved by the City Engineer prior to commencing construction. Limits of disturbance boundaries and fencing shall be reviewed and approved by the Planning, Building, and Engineering Departments. Limits of disturbance fencing shall be installed, inspected, and approved prior to building permit issuance.
7. An existing conditions survey identifying existing grade shall be conducted by the applicant and submitted to the Planning and Building Departments prior to issuance of a footing and foundation permit. This survey shall be used to assist

the Planning Department in determining existing grade for measurement of building heights, as defined by the Land Management Code.

8. A Construction Mitigation Plan (CMP), submitted to and approved by the Planning, Building, and Engineering Departments, is required prior to any construction. A CMP shall address the following, including but not necessarily limited to: construction staging, phasing, storage of materials, circulation, parking, lights, signs, dust, noise, hours of operation, re-vegetation of disturbed areas, service and delivery, trash pick-up, re-use of construction materials, and disposal of excavated materials. Construction staging areas shall be clearly defined and placed so as to minimize site disturbance. The CMP shall include a landscape plan for re-vegetation of all areas disturbed during construction, including but not limited to: identification of existing vegetation and replacement of significant vegetation or trees removed during construction.
9. Any removal of existing building materials or features on historic buildings shall be approved and coordinated by the Planning Department according to the LMC, prior to removal.
10. The applicant and/or contractor shall field verify all existing conditions on historic buildings and match replacement elements and materials according to the approved plans. Any discrepancies found between approved plans, replacement features and existing elements must be reported to the Planning Department for further direction, prior to construction.
11. Final landscape plans, when required, shall be reviewed and approved by the Planning Department prior to issuance of building permits. Landscaping shall be completely installed prior to occupancy, or an acceptable guarantee, in accordance with the Land Management Code, shall be posted in lieu thereof. A landscaping agreement or covenant may be required to ensure landscaping is maintained as per the approved plans.
12. All proposed public improvements, such as streets, curb and gutter, sidewalks, utilities, lighting, trails, etc. are subject to review and approval by the City Engineer in accordance with current Park City Design Standards, Construction Specifications and Standard Drawings. All improvements shall be installed or sufficient guarantees, as determined by the City Engineer, posted prior to occupancy.
13. The Snyderville Basin Water Reclamation District shall review and approve the sewer plans, prior to issuance of any building plans. A Line Extension Agreement with the Snyderville Basin Water Reclamation District shall be signed and executed prior to building permit issuance. Evidence of compliance with the District's fee requirements shall be presented at the time of building permit issuance.

14. The planning and infrastructure review and approval are transferable with the title to the underlying property so that an approved project may be conveyed or assigned by the applicant to others without losing the approval. The permit cannot be transferred off the site on which the approval was granted.
15. When applicable, access on state highways shall be reviewed and approved by the State Highway Permits Officer. This does not imply that project access locations can be changed without Planning Commission approval.
16. Vesting of all permits and approvals terminates upon the expiration of the approval as defined in the Land Management Code, or upon termination of the permit.
17. No signs, permanent or temporary, may be constructed on a site or building without a sign permit, approved by the Planning and Building Departments. All multi-tenant buildings require an approved Master Sign Plan prior to submitting individual sign permits.
18. All exterior lights must be in conformance with the applicable Lighting section of the Land Management Code. Prior to purchase and installation, it is recommended that exterior lights be reviewed by the Planning Department.

April 2007

Historic Preservation Plan

1. Project Description: *Summarize the intent of the proposed project and describe the anticipated scope of work. For projects involving Historic Sites, the description should make known any intentions to remove, relocate, reorient, raise, disassemble/reassemble, and/or reconstruct all or part of the Historic Site.*

The project has two aspects. The first is to lift the historic home, excavate, and build a foundation for the house. The second is to construct an addition on the back of the home. The historic portions of the home will not be impacted. In fact, by building a foundation of the home, the home will be preserved for long than it would be without a foundation.

The intent of the project is give the house a foundation, which will preserve the existing historic home. The other intent of the home is to add square footage so the home can accommodate a family. We are full-time residence and recently our first child was born. We would like to stay in the home full-time and need to add square footage.

The house will be raised approximately four feet from during construction. When the house is placed on the foundation, it will be two feet higher than its existing location – which is permitted by the Historic Guidelines. On builder has expresses that it will be very difficult to lift the house with the large roof over the front porch. If that is the case, the roof over the front porch will be removed and reconstructed.

2. Design Issues:

Summarize the impacts the proposed project will have on the site's character-defining features. If the project proposes a negative impact on any character-defining feature, explain why it is unavoidable and what measures are proposed to mitigate the adverse effects.

The project will not have any negative effects on any character-defining feature of the site. In fact, it will help to preserve the historic home. The exterior of the historic home is not be altered in anyway except the raise the house two feet. I mitigate this effect, we have designed to use board form concrete to give the two feet of exposed concrete a wood look. Under the porch we will install vertical boards to keep the miner's cabin look and feel.

Summarize the design of proposed elements. Address compatibility with existing character-defining features and historic materials.

There will be an addition on the back of the home. This addition will not be visible from the front of the home and barely visible from the sites. The separate the historic home from the addition, we have designed clear transitions using different materials. The addition will have vertical siding which will clearly distinguish it from the historic home, which has horizontal siding. All the windows in the addition are in proportions that match the look and feel of Old



Town. We also designed the exterior walls to match existing homes and fit in with the neighborhood. The trim on the addition will have the same look and feel as miner's cabins in Old Town.

Summarize the location and placement of proposed elements. Address visibility from the primary public right of way, impact on historic building/structure, and impact on historic materials and design.

As discussed above, there will be an addition on the back of the house. The addition will not be visible from the front of the house. The addition will be slightly visible from the sides of the house. See above for materials and differentiation of the addition from the historic home. The home will be raised two feet. See above the mitigation measures taken because of the two feet raise.

3. Construction Issues: Following the format of the Physical Condition Report, summarize the work being proposed for each feature. Provide references to or excerpts from the Physical Condition Report if needed to supplement the work summaries. Address treatments being considered and the methods and techniques being proposed.

The treatment being used for all item listed below is **Preservation**.

Site Features

A.1. Topography – we will add a foot of fill to the back yard with the dirt from the basement excavation. We will also grade the property on the sides to mitigate the impact of raising the home two feet.

A.2 Landscaping – the property will be landscaped essentially the same as it is now. There will be grass in the front. There will be a planter in between the front walk and driveway. The front tree will remain. The north side and the south side of the property will have shrubs as it goes now. The back yard will also not change, except that it will be raise one foot.

A.3 – Retaining Walls – there is one retaining wall on the property in the back, which will remain.

A.4 Exterior steps – there will be front steps from the walk to the front porch. These will be wood. Now there is one concrete step and there will be three wood steps because the house will be raised. There will be two exterior steps from the back door to the back yard. These will be wood. Currently there are no steps in the back yard.

A.5 – Fences – There is a fence in the back yard. There is also a fence in north side yard to completely fence in the back yard. This fence will be removed for construction and rebuild.

Main Building

B.1 Roof – There will no change to the existing roof over the historic portion of the home. The non-historic roof will be removed and reconstructed consistent with the addition.

B.2 – B.5 – Exterior Walls – the exterior walls will not change except that the non-historic portion of the home will be removed and reconstructed consistent with the design of the addition.



- B.6 – Foundation – there is no existing foundation. A foundation will be constructed.
- B.8 – Dormer – there are no existing dormers. There will be a dormer constructed on the upper floor of the addition in the master bedroom.
- B.9 – Additions – there are existing additions on the home. An addition will be constructed on the back of the home.
- B.10. Mechanical System – the house currently has forced air heat. After the project is complete, the house will continue to have forced air heat. It is possible that radiant will be installed in the basement.
- B.11 Electric System – the electrical system in the house has been updated. No change is proposed to the existing electrical system.
- B.12 Structural System – no modifications to structure of the existing home are proposed. The house was remodeled approximately 2000, with updated structural systems.
- B.13 Hazardous Materials – there are no known hazardous materials in the home, except possibly lead paint. No modifications to the lead are proposed at this time because they are not currently necessary.

Main Building – Details

- C.1 – Windows – there is no proposed change to existing windows.
- C.2 – Doors – there is no proposed change to existing doors.
- C.3 – Trim – there is no proposed change to existing trim.
- C.4. – Architectural Ornamentation – there is no architectural ornamentation on the existing home.

Accessory Buildings

There are no accessory buildings and no proposed work to accessory buildings.

Structures

There are no other structures not described in this document and no additional proposed work on structures not already described in this document.

4. Project Team:

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

The architect involved in the project is Mike Stoker of Stoker Architecture, Inc. Mike can be contact as indicated below:

Michael J. Stoker, AIA, NCARB - Architect
President, Stoker Architecture, Inc.
1733 Sidewinder Drive
Park City, UT 84060



943 Park Ave, Park City, Utah 84060

435.647.5876

<http://www.stokerarch.com/>

Although we have met with several builders, we have not selected one. We anticipate the contractor will subcontract as necessary. It is not planned that any other individuals will be involved in the project.

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experiences and/or specialized training or skills.

Mike Stoker is a licensed architect and has worked in Park City, including Old Town for over 20 years. He has designed and worked on the historic properties in Old Town very similar to this project.

Mike is extremely qualified to design this project.

All the builders we have met with and are considering have constructed very similar projects on historic homes in Old Town. They have all successfully lifted historic homes, constructed foundations, and returned the homes to the foundations. Some of the builders we are considering are currently working on very similar projects in Old Town right now. They are all licensed contractors by the state of Utah.

5. Site History:

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc...

943 Park Avenue is a landmark historic home. Please see the Historic Site Inventory for a complete history of the home available in Planning Department.

As far as is known, the property has always been used as a residence. Exact dates are not known, but local resident and Park City, City Council member Dick Peek owned the home in the early 2000s. It is believed he restored the home earning it a historical preservation award. After Dick a local resident Jennifer Lewis purchased the home in 2005 and sold it us in 2011. It is believed, but not known, she constructed the current landscaping.

6. Financial Guarantee

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. Describe how you will satisfy the financial guarantee requirements.



943 Park Ave, Park City, Utah 84060

If required by the Planning Department, we will satisfy this requirement by permitting a lien to be placed on the property.



Physical Condition Report

A.1 Topography

The site is flat. There are no known unusual physical conditions.

A.2 Landscaping

The front yard is grass. There is a pine tree in the south-east corner of the lot. There is a planter on the north side of the walkway to the front entrance of the house. There is a planter on the north side of the driveway. There is a planter along the front half of the north side of the house. The backyard contains a flagstone patio and rock planter that outlines that extends the length of the backyard. Currently, there is grass in the backyard planter. There is a tree in the backyard in the northwest corner of the lot. There is an aspen tree near the south west corner of the lot. The south side of the house contains a flagstone walkway in the rear of the house with plants along side of it. The flagstone walkway extends almost to the front of the house there it is set in grass.

A.3. Retaining Walls

There are no retaining walls on the property, other than a small rock retaining wall along the west side of the property in back.

A.4 Exterior Steps

There is one exterior step on the front porch that leads to the front door. It is approximately 3 feet by 10 inches. It is made of concrete and was constructed around the year 2000.

A.5 Fences

There is a fence in the backyard that extends along the west side of the lot approximately 37 feet. There is a fence along the north side of the lot that extends east from the northwest corner of the lot approximate 20 feet. On the north side of the lot, there is a three foot fence that runs north-south beginning 20 feet from the east of the lot and extends until it reaches the house. The construction date of these fences is unknown. They all consist of wood. On the south side of the lot, there is a fence that runs north-south beginning approximately 20 feet from east of the lot and extents approximately 9 feet until it reaches the house. This fence was constructed of wood in 2011.

B1 Roof

The roof is asphalt shingles. There is an east-west roof line that extends the length of the house. There is a north-south roofline that extends the south half of the house. There is a roof over the porch. The date of the roof is unknown.

There are no skylights, or chimneys. There are vents in the center of the east-west roofline.



B2. Exterior Wall –Primary Façade

All exterior walls have siding. All are the same. Although all the siding is not original, it is traditional historic miner’s home siding. The door frames and the window frames are not historic, but have white 2 inch trim.

The date of construction is not known, but exists in the tax photo.

Exterior Wall – Rear Façade

The rear exterior wall is wood. A portion of the rear exterior extends 20 feet north from the south side of the house. This section consists of siding. It has two windows and contains the backdoor of the house.

The second portion of the rear exterior is on the north side and set back 8 feet from the southern portion. This portion contains a window on the main level and a door into the attic. This portion is also constructed of wood siding.

It is unknown then the rear façade was constructed, but it exists in the tax photo.

B.6 Foundation

There is no foundation under the home, that can be observed at this time. In the rear of the house there are some footings, which are crumbling.

B.7 Porch

The house has one wrap around porch on the front of the house. It is not the original porch. It is concrete and have pillars supporting the roof over the porch. The concrete sits on the ground.

Along the front of the house, the porch is approximately 16 feet x 6 feet. Along the side of the south side of the house, the porch is approximately 17 feet x 4 feet. The date of construction is unknown, but probably in the last 10 or 15 years.

B.8 Dormers/Bay

The house does not have dormers or bays.

B.9 Additions

The house was originally built in the 1890s. According to a Utah State historian (Ann, who works as a consultant for the Park City Planning Department), the house was added onto after it was originally build. During a site visit, Ann concluded there has been 5 additions. The original home is the living room and



943 Park Ave, Park City, Utah 84060

bedroom 1. Then the dining room and the porch was added. Then the kitchen and the bedroom 1 closet was added. Then bedroom 2 was added. Last the mudroom and the laundry room was added.

Construction materials are not known. The wood floor is original and Douglas Fir. The dates of construction are also not known. The interior of the house has been remodeled, updated, and is not original.

B.10 Mechanical System

The mechanical system is good. The furnace is approximately 15 years old. The hot water heater is two years old. The plumbing is approximately 10-15 years old. There is no water softener.

B.11 Electrical System

The home was remodeled we estimate 10-15 years ago.

The electrical system has been updated and is approximately 10-15 years old. All these time period are based on the estimated time of the remodel.

B.12 Structural System

From what can be observed, the structural system is typical from the time period the original building (and additions) were constructed. Basic wood stick frame construction has been added where the original barn wood framing and siding existed. The roof appears to be wood rafters as is the main floor framing. The foundation at the perimeter is marginal at best...if it exists at all. The floor framing supports at the interior of the existing house are supported, somewhat, on wood posts with stones serving as footings in the crawlspace.

B.13 Hazardous Materials

There are no known hazardous materials in the home, except lead paint. Lead Paint is only assumed because the home is old. There is no actual known lead paint.

C.1 Windows

The windows are not historical. It is unknown when they were installed, but they are relatively new. There are 9 windows in the house: 1 in the living room (5.5ft x 5ft), 1 in the dining room (4.5ft x 3.5ft), 1 in the kitchen (5.5ft x 3.5 ft), 1 in the laundry room (2ft x 2ft), 1 in the mudroom (5.5ft x 3ft), 2 in bedroom 2 (3.5ft x 3.5ft), and 1 in bedroom 1 (3.5ft x 3.5ft). They are double pain and have 2 inch trim.

C.2 Doors



943 Park Ave, Park City, Utah 84060

The house has three external doors. They are all wood. They all have 2ft x 2ft windows and exterior panels for texture. The date of installation is not known, but probably around the year 2000 – they are not original. The house has five interior doors. The door for bedroom is probably original and it is wood. The door for the bathroom is also probably original and is also wood. The door for bedroom two is not original and is hollow wood. The doors for the mudroom and laundry room are hollow wood and not original. All the doors are approximately 2.5ft x 6.75ft.

C.3 Trim

All the trim on the house is 2 inch trim. This includes corner trim, door trim, and window trim.

C.4 Architectural Ornamentation

There is no architectural ornamentation not described in other sections of this Existing Site Plan.

D.1 Accessory Buildings

There are no accessory buildings

E.1 Structures

There are no other structures on the property

Pictures

Front of the House





North Side of the House





South Side of the House and Porch





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West (back) Side of the House



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943 Park Ave, Park City, Utah 84060



Crawlspace (no foundation) (electrical)



INDEX TO DRAWINGS

SHEET	DESCRIPTION
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SP-2	EXISTING SITE PLAN
SP-3	NEW SITE PLAN
L-1	LANDSCAPE PLAN
H-1	HISTORIC FLOOR PLAN & ELEVATIONS
H-2	STREETSCAPE ELEVATION (1/8"=1'-0")
ED-1	EXISTING/DEMOLITION PLAN
A-1	LOWER LEVEL FLOOR PLAN
A-2	MAIN LEVEL FLOOR PLAN
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A-5	DOOR & WINDOW SCHEDULES & NOTES
A-6	EAST/FRONT ELEVATION
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A-8	WEST/REAR ELEVATION
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GOODMAN-HUTCHINGS RESIDENCE

A Remodel & Addition For:

CARA GOODMAN & JOHN HUTCHINGS

943 PARK AVENUE
HISTORIC OLD TOWN
PARK CITY, UTAH

PARK CITY PLANNING DEPT.
APPROVED
Cynthia Stabin
DATE 10.1.14

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PARK AVENUE STREETScape ELEVATION
1/8" = 1'-0"

GOODMAN-HUTCHINGS RESIDENCE
A REMODEL & ADDITION FOR:
CARA GOODMAN & JOHN HUTCHINGS
943 PARK AVENUE
HISTORIC OLD TOWN - PARK CITY, UTAH

STOKER ARCHITECTURE INC.
3024 BIRCH CIRCLE
MOUNTAIN VIEW, UT 84040
TEL: 435-734-1111
WWW.STOKERARCHITECTURE.COM

REVISIONS:

DATE: 10.1.14

SCALE: 1/8" = 1'-0"

DATE: 10.1.14

DATE: 10.1.14

DATE: 10.1.14

DATE: 10.1.14

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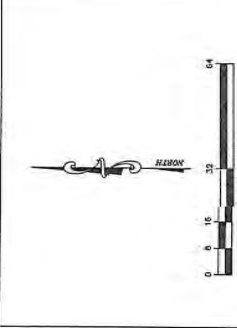
HEAD SURVEYOR: TOM MASON
 PARK CITY, UTAH 84403
 (435) 633-0588

LOT 1
 943 PARK AVENUE REPLAT
 PARK CITY, SUMMIT COUNTY, UTAH

SURVEY PREPARED FOR
 JOHN HUTCHINGS
 H I N G S



PROJECT NO.	000-01
DATE	08/11/14
FILE NO.	1
FILE	1
DATE	08/11/14
FILE NO.	000-01



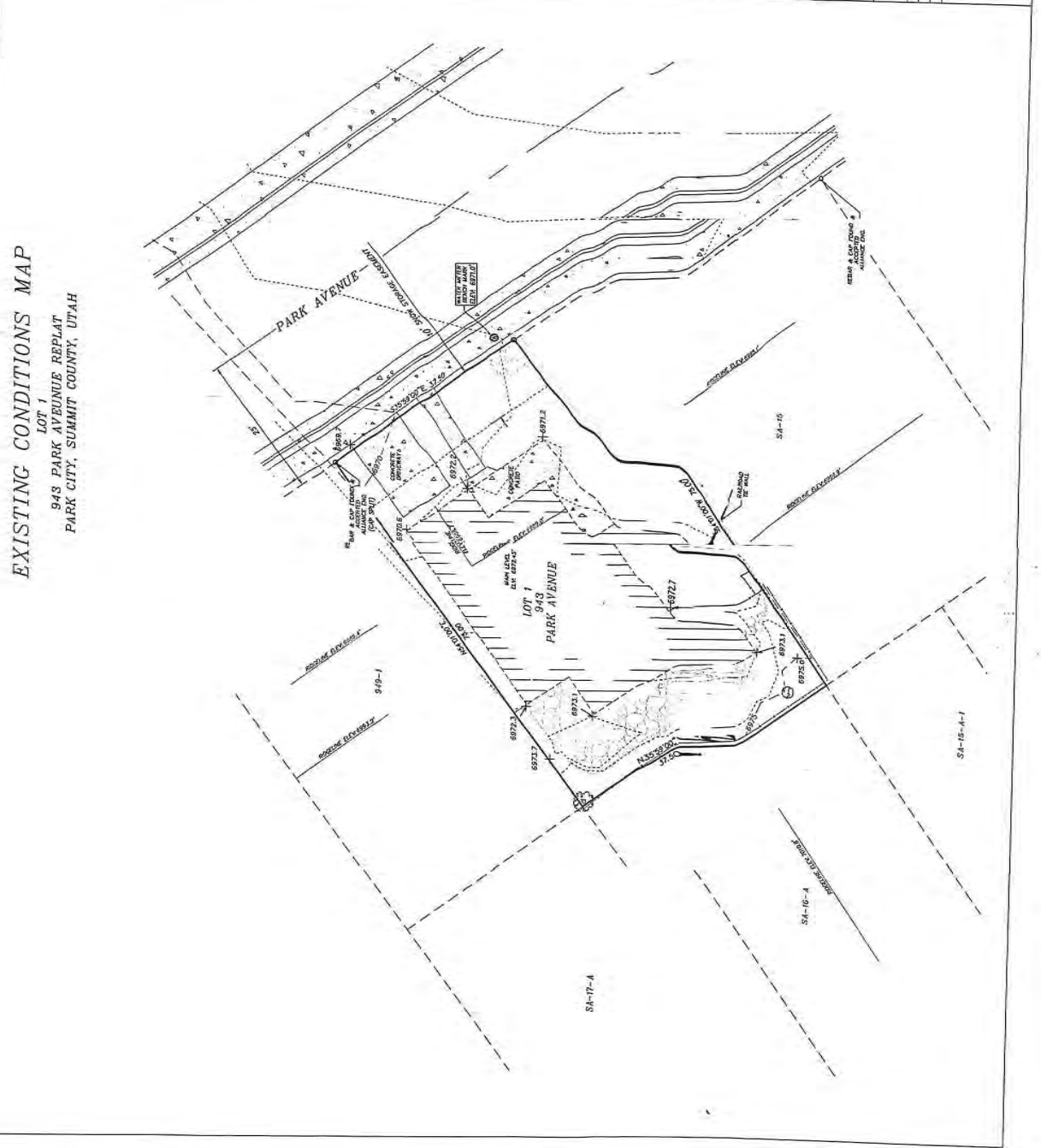
NARRATIVE:
 THIS SURVEY WAS CONDUCTED TO LOCATE THE HOUSE AND STRUCTURES ON LOT 1, 943 PARK AVENUE, PARK CITY, UTAH. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE UTAH SURVEYING ACT AND THE UTAH PROFESSIONAL SURVEYOR'S BOARD RULES. THE SURVEY WAS CONDUCTED ON 08/11/14.

LEGAL DESCRIPTION:
 LOT 1, 943 PARK AVENUE REPLAT, ACCORDING TO THE ORIGINAL PLAT RECORDED IN THE OFFICE OF THE SUMMIT COUNTY RECORDER'S OFFICE.

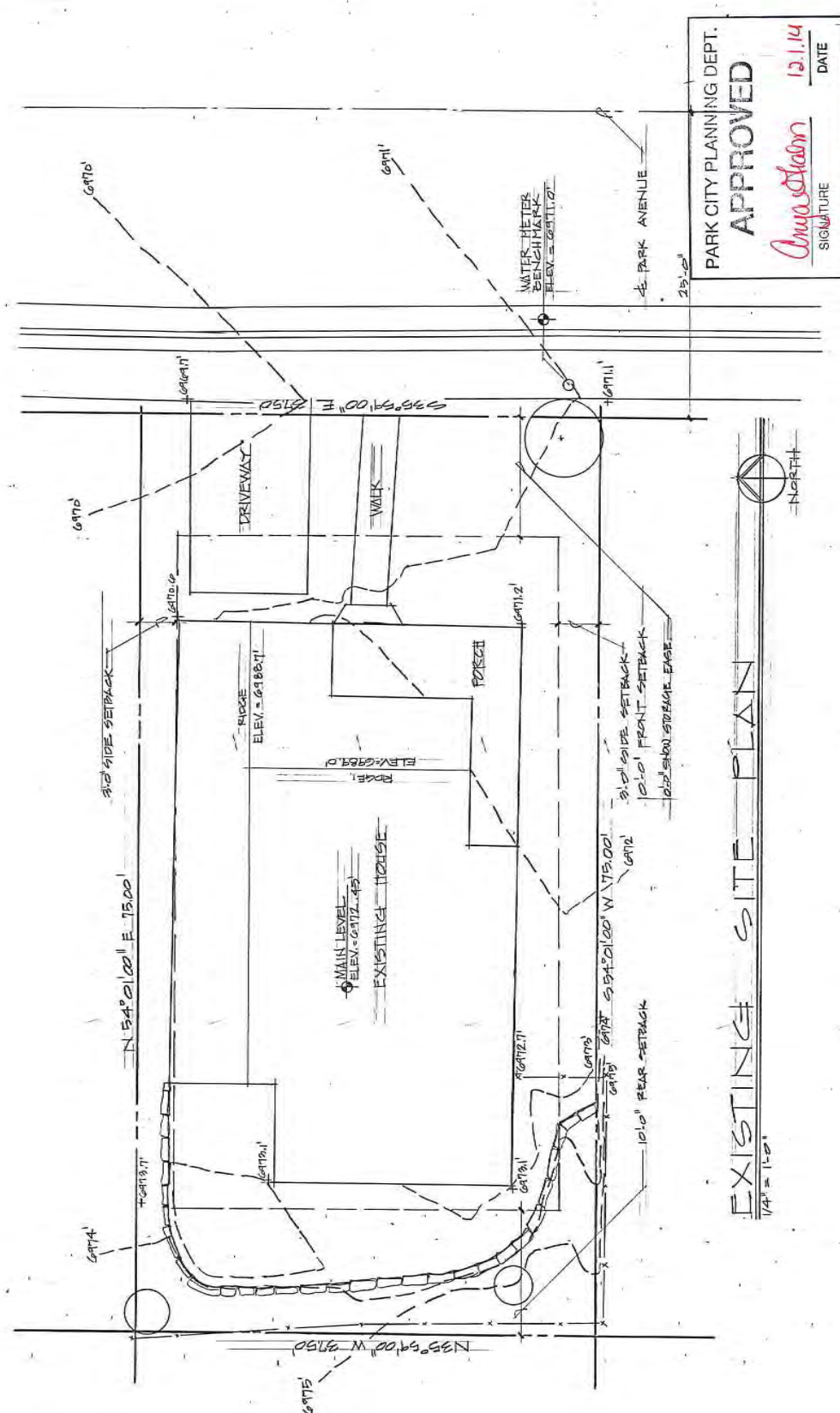


LYING WITHIN SECTION 16, TOWNSHIP 37N, RANGE 12E, EAST 34TH LARSEN BLK, PARK CITY, SUMMIT COUNTY, UTAH

LEGEND	
EXISTING	SELECTED EXISTING
PROPOSED	PROPOSED CONCEPT HOUSE (AS SHOWN)
ROAD CORNER	

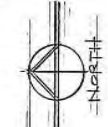


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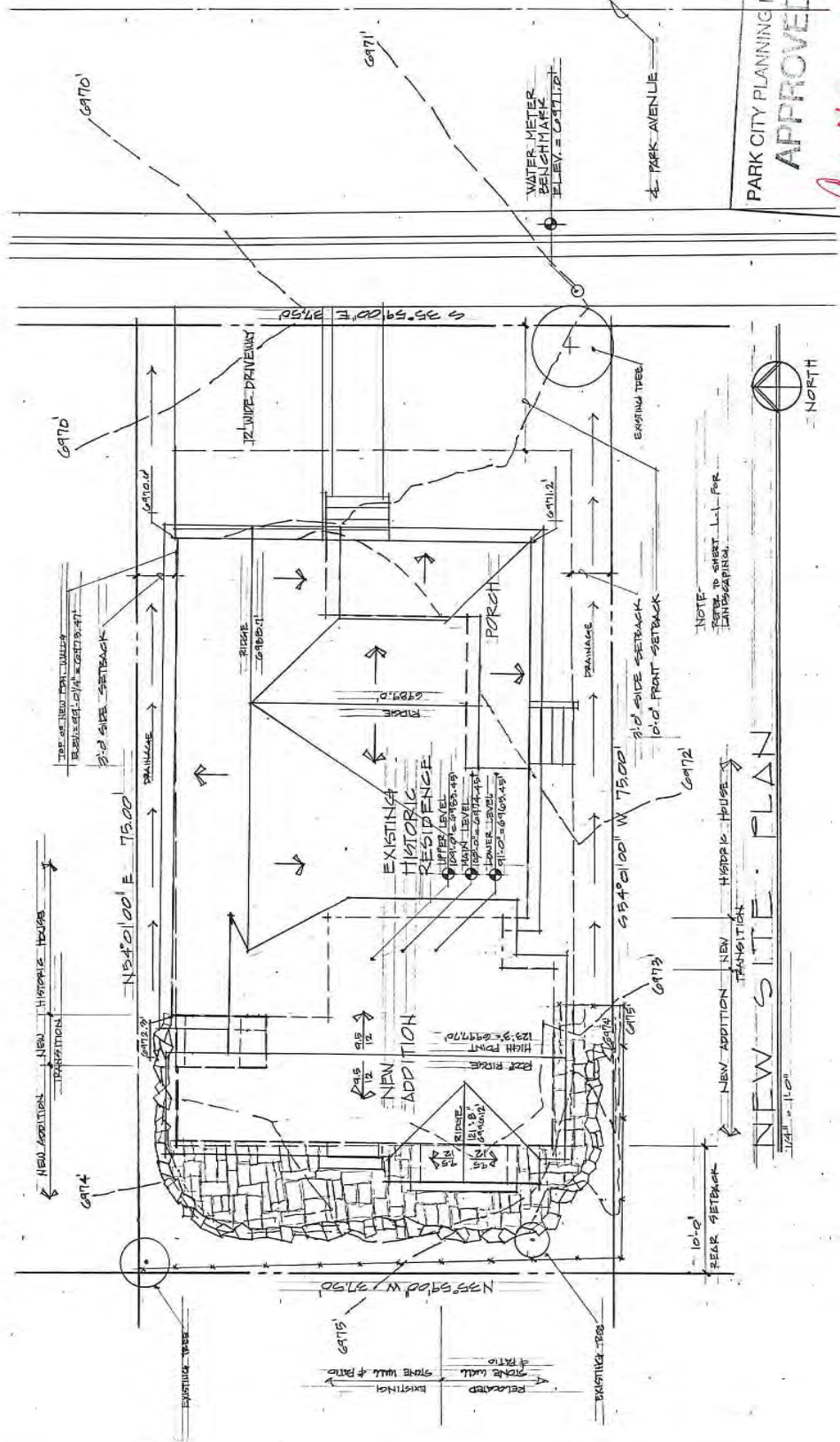


EXISTING SITE PLAN
 1/4" = 1'-0"

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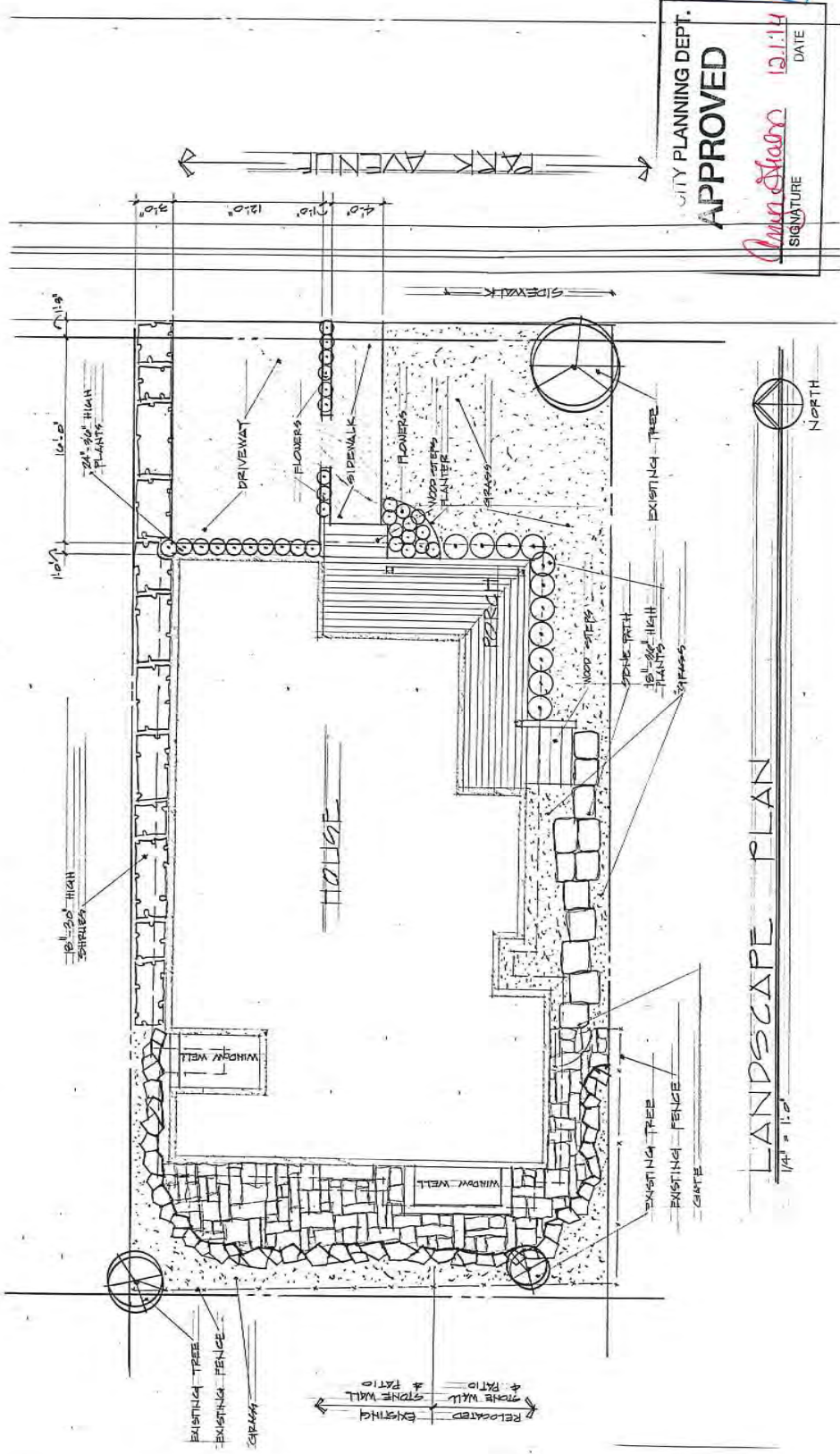
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GODMAN-HUTCHINGS RESIDENCE
 A RENOVEL & ADDITION FOR
 CARA GOODMAN & JOHN HUTCHINGS
 3-13 N. PARK AVENUE
 HISTORIC OLD TOWN - PARK CITY, UTAH
STOKER ARCHITECTURE, INC.
 REGISTERED ARCHITECTS
 1730 S. MAIN ST. SUITE 200
 PARK CITY, UTAH 84302
 435.633.8888

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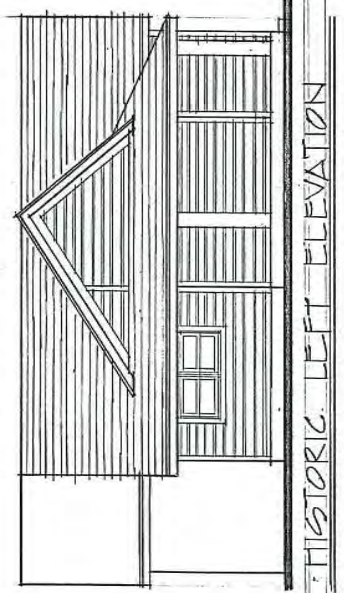
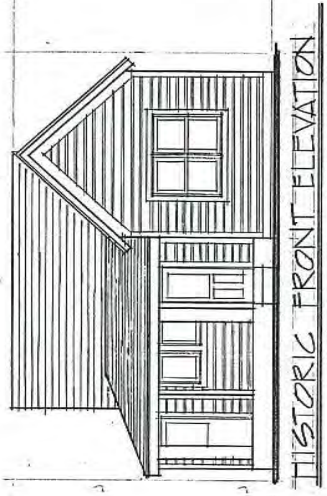
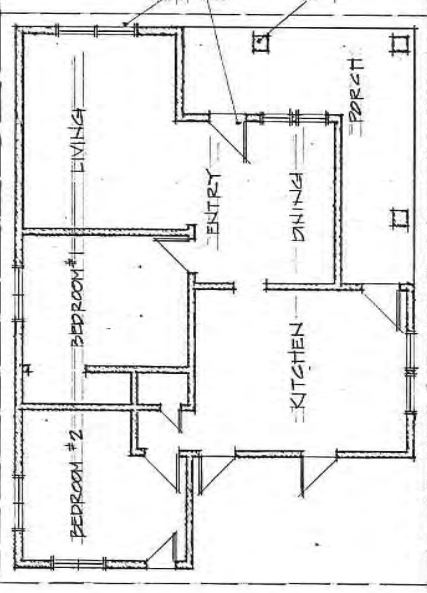
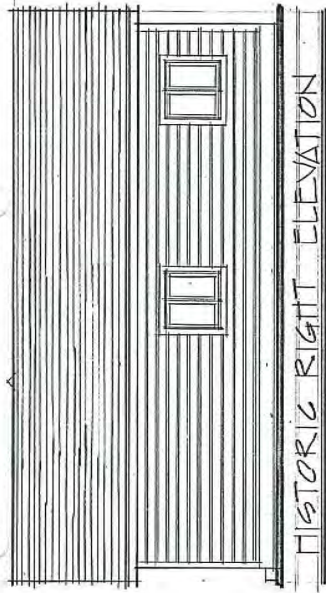
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LANDSCAPING NOTES

1. PRELIMINARY SCHEMATIC LANDSCAPING PLAN. FINAL LANDSCAPE PLAN TO BE SUBMITTED BY CONTRACTOR FOR REVIEW & APPROVAL BY PARK CITY PLANNING DEPARTMENT, PRIOR TO INSTALLATION.
2. PLANTS SHALL BE LIMITED TO PERMITS ALLOWED PLANTS. PLANTS SHALL BE LIMITED TO PERMITS ALLOWED PLANTS. PLANTS SHALL BE LIMITED TO PERMITS ALLOWED PLANTS. PLANTS SHALL BE LIMITED TO PERMITS ALLOWED PLANTS.

THE DRAWING, SPECIFICATIONS AND DETAILS ON THIS SHEET ARE HEREBY
 ACCEPTED AND KNOWN AS SUCH BY THE PROPERTY OWNER.
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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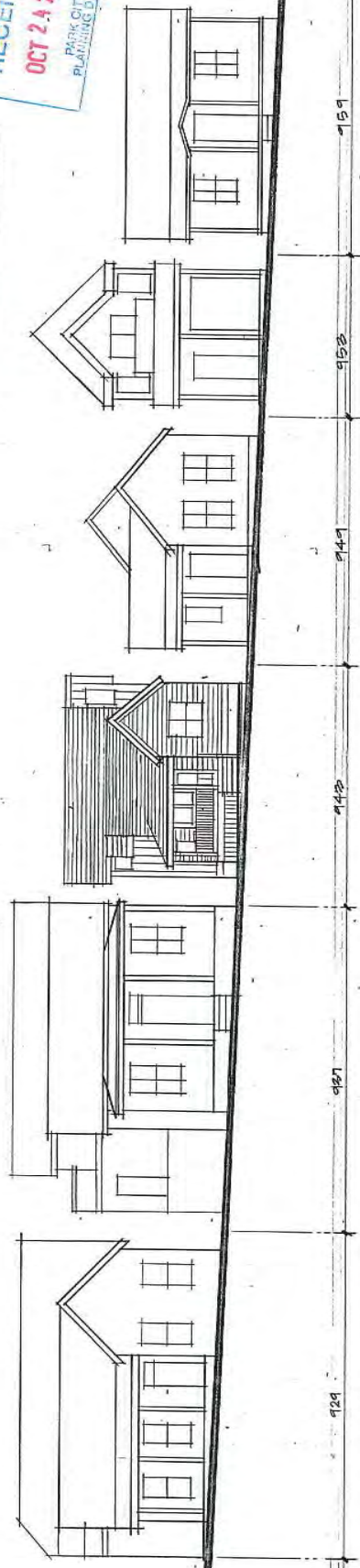
CITY PLANNING DEPT.
APPROVED
Anna Schlabach
 SIGNATURE
 12.1.14
 DATE

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THE CLIENT WARRANTS AND AGREES THAT SHE HAS THE NECESSARY
 RIGHTS AND PERMISSIONS TO DEVELOP THE PROJECT AND TO OBTAIN
 ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE
 AGENCIES AND AGENCIES. THE ARCHITECT ASSUMES NO LIABILITY
 FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT AS A RESULT
 OF SUCH. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE
 DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE
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APPROVED
Amelia Statham
 SIGNATURE
 12.1.14 DATE

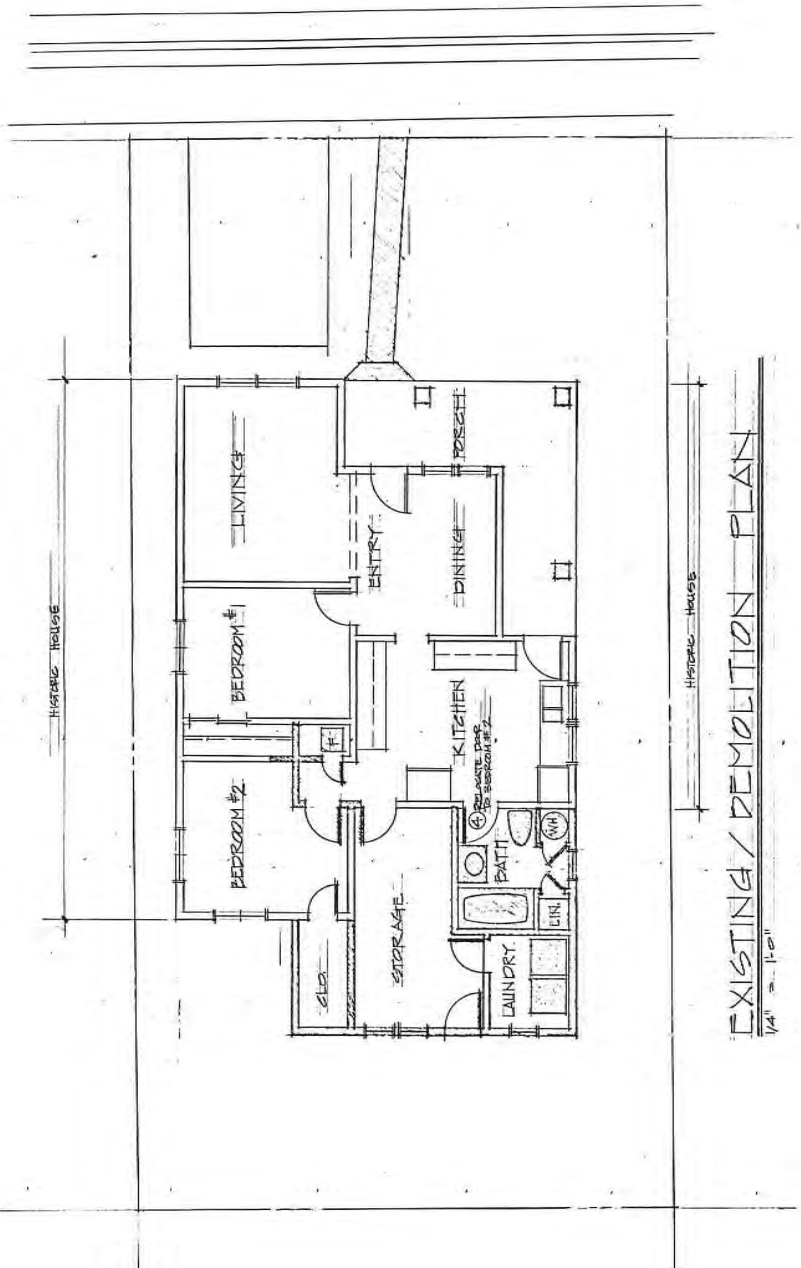
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PARK AVENUE STREETSCAPE ELEVATION
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THE EXISTING WALLS AND OTHER STRUCTURAL ELEMENTS ARE SHOWN AS
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 OTHER STRUCTURAL ELEMENTS ARE SHOWN AS EXISTING UNLESS
 INDICATED OTHERWISE. THE EXISTING WALLS AND OTHER STRUCTURAL
 ELEMENTS ARE SHOWN AS EXISTING UNLESS INDICATED OTHERWISE.

WALL TYPES
 EXISTING WALLS/ELEMENTS
 TO REMAIN
 EXISTING WALLS/ELEMENTS
 TO BE REMOVED



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Angie Strain
 SIGNATURE
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WALL TYPES

NEW 2x4 / 2x6
FOUNDATION WALLS

NEW 2x4 / 2x6
STUD WALLS

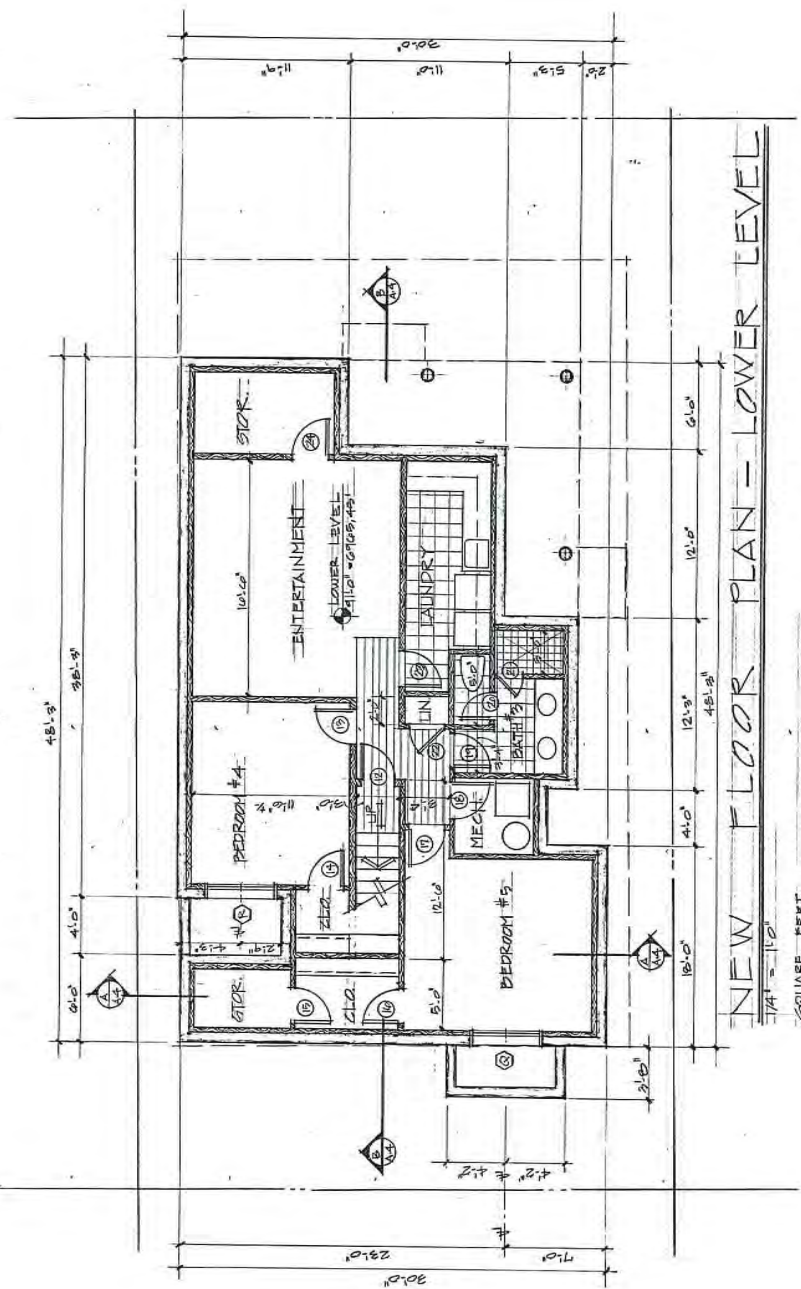
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 1100 REVEREND DRIVE
 PARK CITY, UTAH 84302
 TEL: (435) 799-8888

GOODMAN-HUTCHINGS RESIDENCE
 A REMODEL & ADDITION FOR
 CARA GOODMAN & JOHN HUTCHINGS
 943 PARK AVENUE
 HISTORIC OLD TOWN - PARK CITY, UTAH

REVISIONS	SCALE 1/4" = 1'-0"
	DATE 10/24/14
	SHEET 11B1
	PAGE 10/14

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PARK CITY PLANNING DEPT.
APPROVED
Amara Stahm
 SIGNATURE
 DATE 10.1.14

SQUARE FEET
 NEW ADDITION 11B1

WALL TYPES

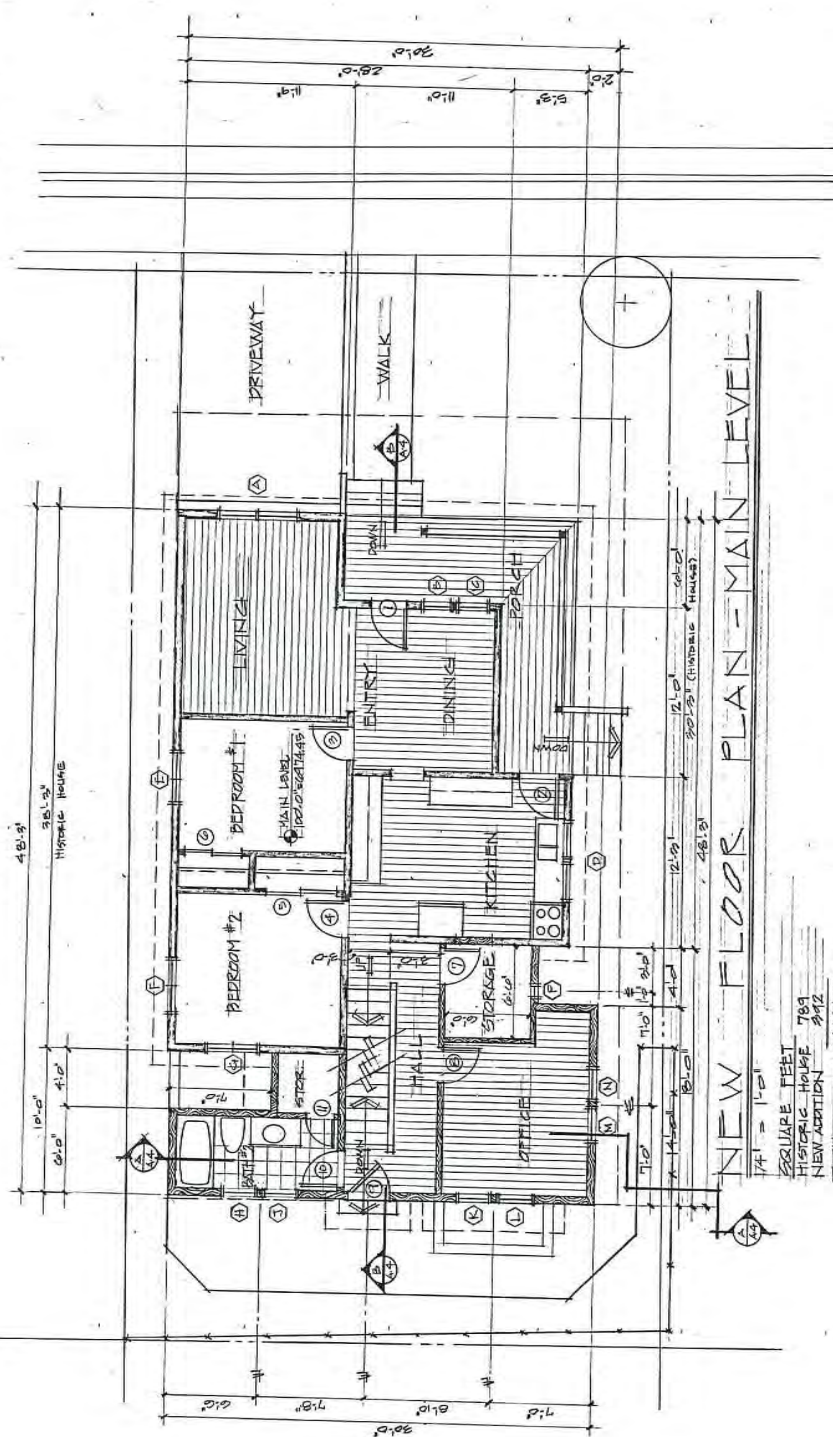
- EXISTING WALLS
- TO-REMAIN WALLS
- NEW 2x4 / 2x6 WOOD STUD WALLS
- NEW 1x4 WOOD PAILING

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GOODMAN-HUTCHINGS RESIDENCE
 A RESIDENCE & ADDITION FOR
 CARA GOODMAN & JOHN HUTCHINGS
 HISTORIC OLD TOWN - PARK CITY, UTAH
 243 WEST AVENUE
 PARK CITY, UTAH 84302

REVISIONS
 SCALE 1/4" = 1'-0"
 DRAWN J.A.S.
 DATE 12/14/14
 SHEET
 AR2



NEW FLOOR PLAN - MAIN LEVEL

1/4" = 1'-0"
 SQUARE FEET
 HISTORIC HOME 769
 NEW ADDITION 342
 TOTAL 1111

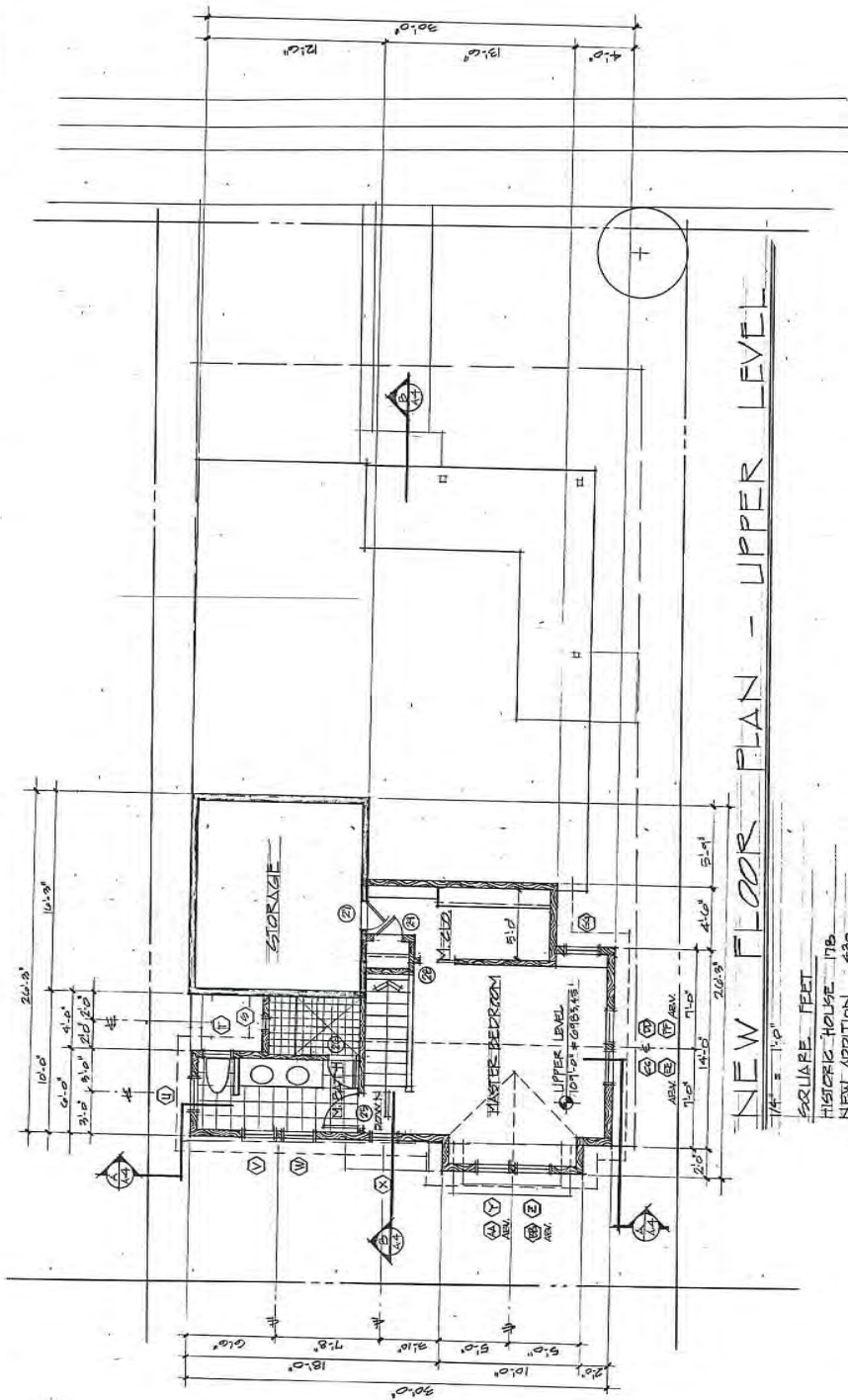
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WALL TYPES

	EXISTING WALLS TO REMAIN
	NEW 2x4/2x6 CONCRETE WALLS
	NEW LOW WALL / PARTITION



NEW FLOOR PLAN - UPPER LEVEL

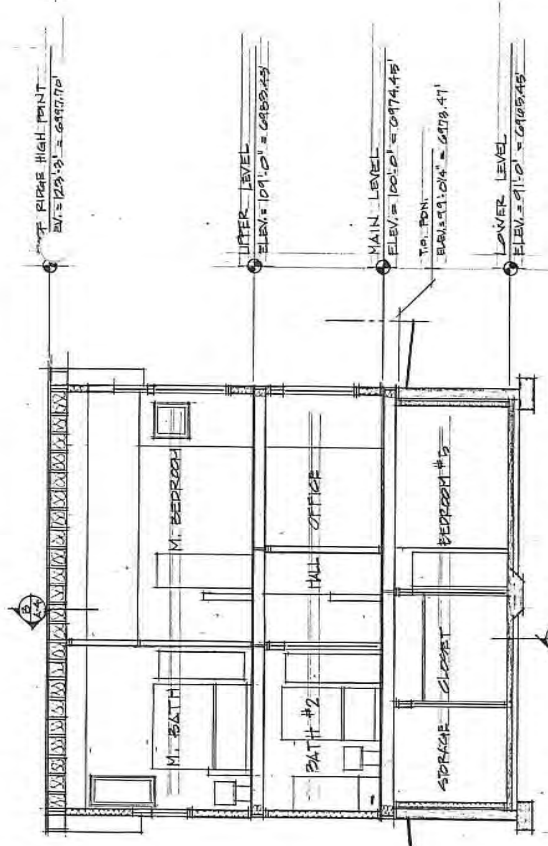
SQUARE FEET

HISTORIC HOUSE	176
NEW ADDITION	432
TOTAL	608

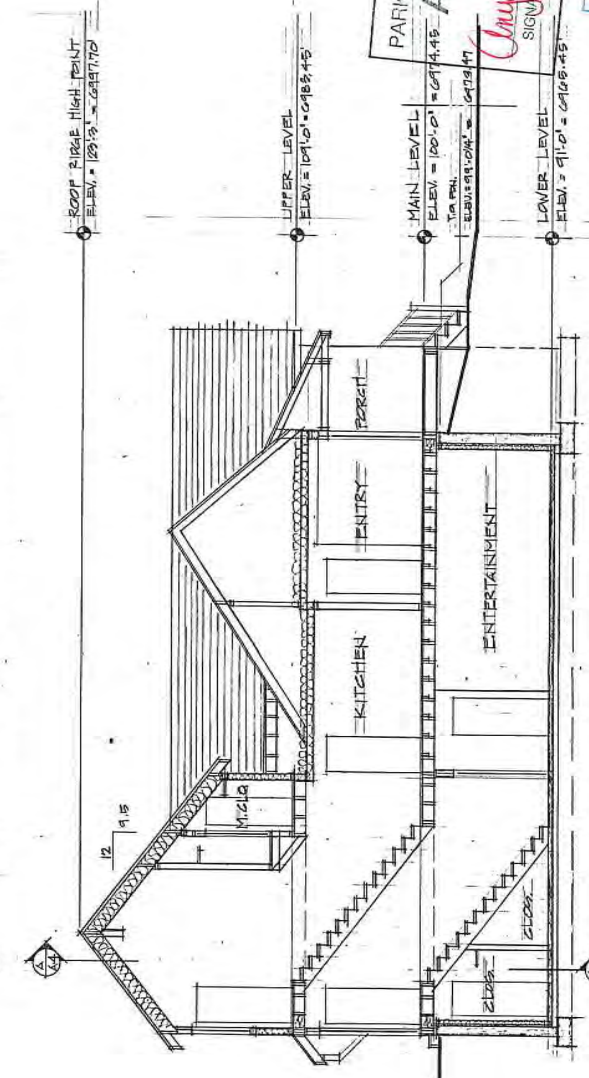
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Christina
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BUILDING CROSS SECTION



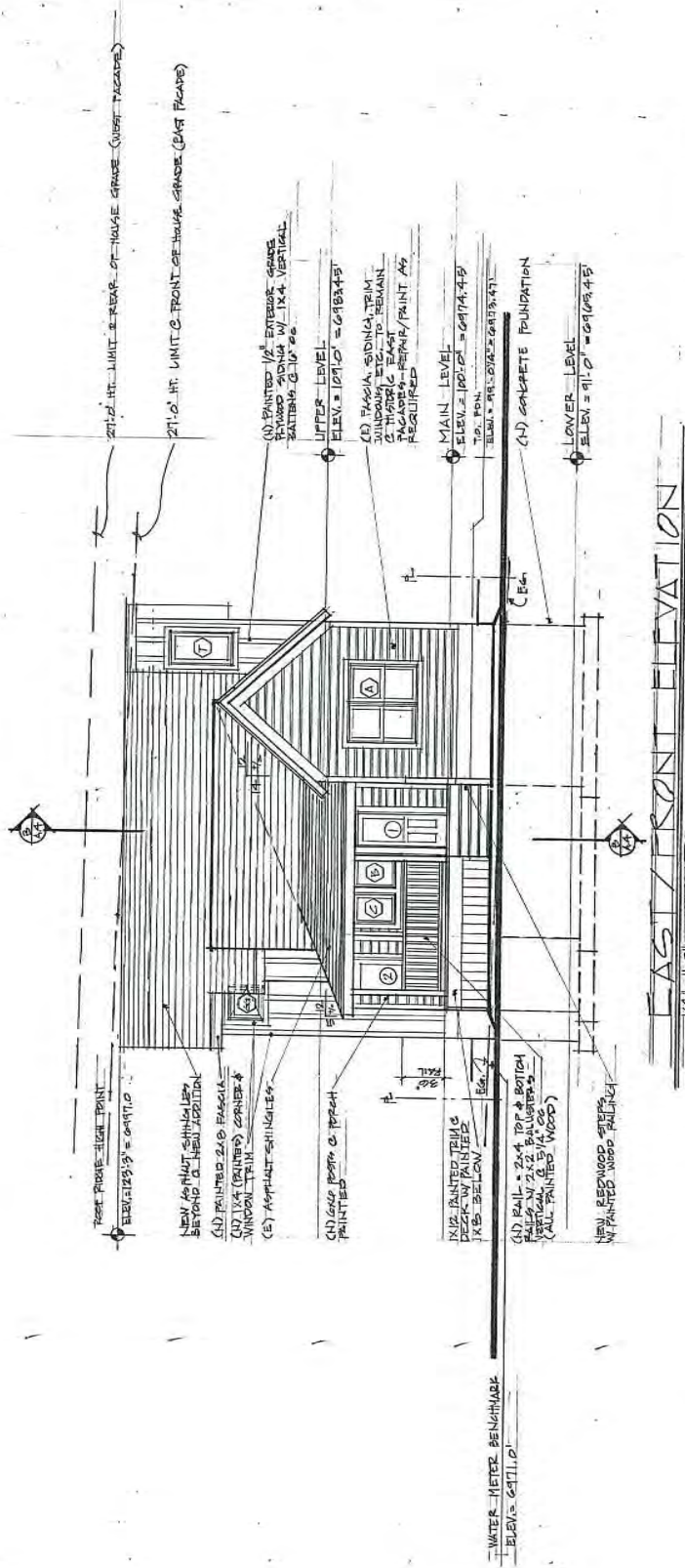
BUILDING LONGITUDINAL SECTION

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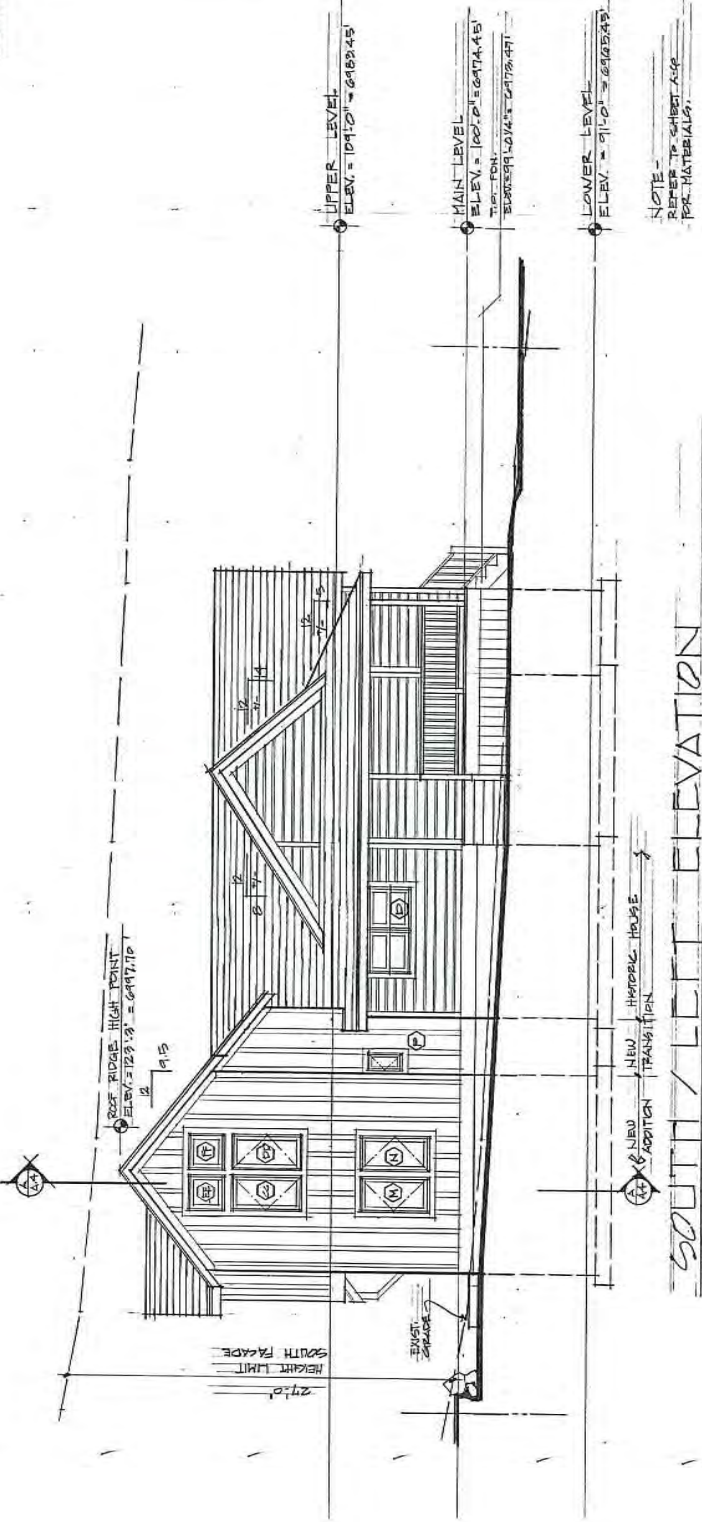
THE OWNER, ARCHITECT, AND DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT AND DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT AND DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

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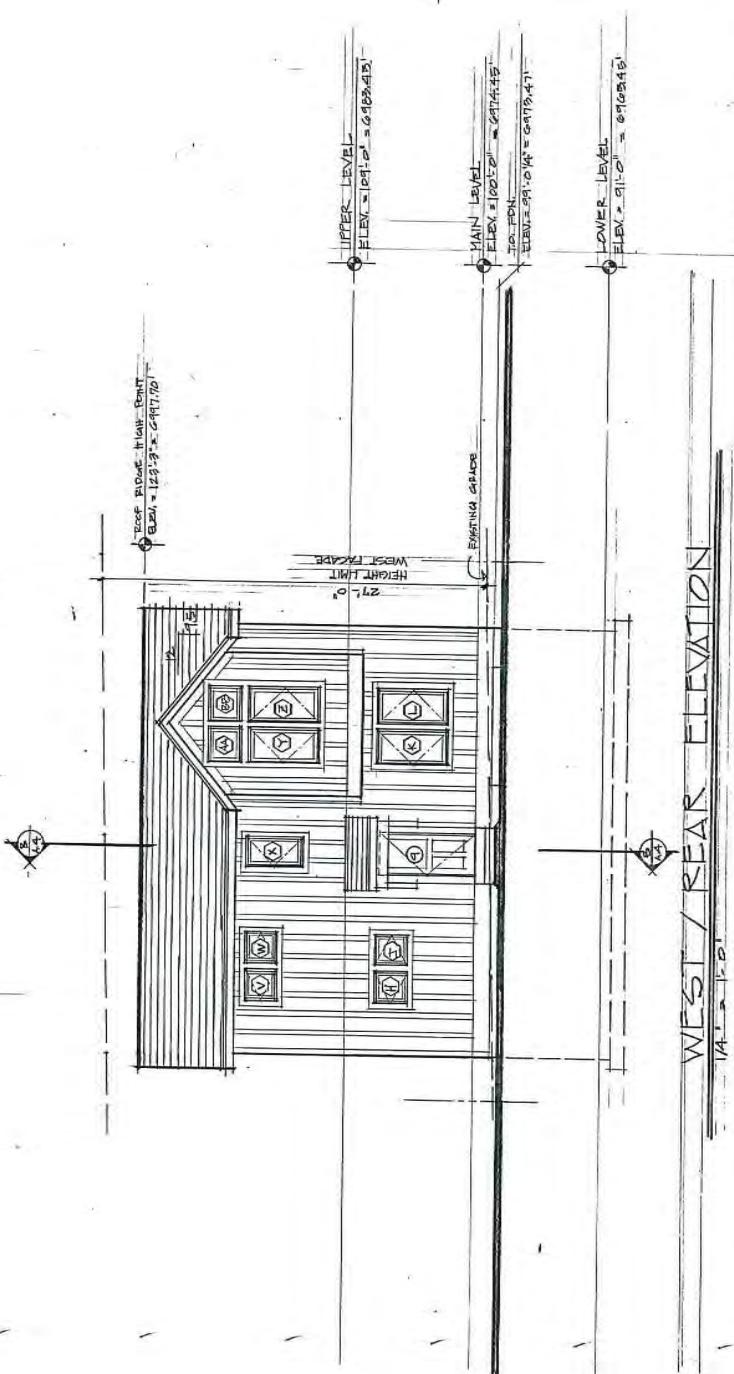


SOUTH LEFT ELEVATION
 1/4" = 1'-0"

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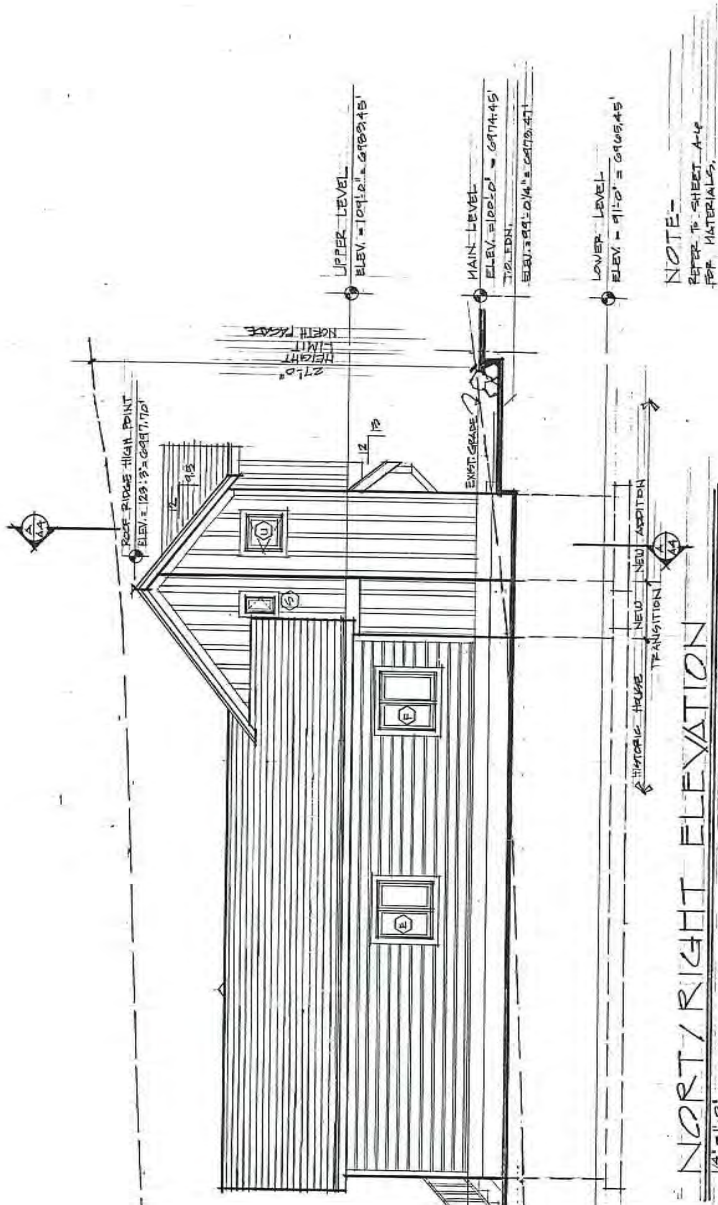


NOTE -
 REFER TO SHEET A-6
 FOR MATERIALS

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NORTH/RIGHT ELEVATION

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Part I: Historic District Grant Program

The Historic District Grant Program awards matching grants to assist property owners in maintaining and preserving their historic commercial and residential structures. Grant funds are applied to exterior improvements only, and all work must comply with the Design Guidelines for Historic Districts and Historic Sites. The policy outlines the many ways property owners and the City can work together to preserve Park City's historic sites and structures.

A. Goals

1. Offset the costs of rehabilitation work in the City's two (2) National Register Historic Districts
2. Provide funding to projects that provide a community benefit through historic preservation
3. Inspire greater preservation of Park City's historic sites and structures

B. Objectives

1. Inspire citizen involvement and appreciation for the historic preservation of Park City's sites and structures.
2. Encourage the preservation of historic sites and structures in the City's two (2) National Register Historic Districts.
3. Promote projects that preserve and enhance the historic architecture of Park City.
4. Further projects that meet the Design Guidelines for Historic Districts and Historic Sites

C. General Rules

1. The applicant must apply for a Historic District Grant prior to the start of any construction work. The application must include a written scope of work and specifications, cost estimate, drawings as they apply to the specific work, color photographs, and a brief history of the structure.
2. The Historic Preservation Board (HPB) will review grant applications on a "first come, first serve" basis. The HPB may award grants up to \$25,000. Those grants exceeding \$25,000 will require the HPB to forward a positive recommendation to City Council; these recommendations will be reviewed as part of the City Council consent agenda.
3. Any total grant awards greater than the budgeted amount allocated for the Lower Park Avenue and Main Street RDAs will be approved and adjusted as part of the year-end budget process.
4. Upon completion of the work and final inspections, the grant applicant will submit proof of payment to the Planning Department for disbursement of funds.
5. Following receipt of the grant funds, the grant recipient will sign a Historic Grant Program Agreement and Historic Preservation Agreement.

D. Eligibility

1. Applicant Eligibility
 - a. Houses lived in by primary residents (those houses in which the homeowner or a renter lives full-time) may be awarded up to fifty percent (50%) of their construction costs, while homes which are used as secondary homes or nightly

rental (i.e. not lived in by the primary resident) may be awarded up to forty percent (40%). Commercial property owners will be eligible to receive up to fifty percent (50%) of their construction costs. An additional ten percent (10%) may be awarded to property owners committed to renovating a Significant structure in order to elevate its status to Landmark.

2. Eligible Improvements

- a. Improvements shall be completed in compliance with the Secretary of the Interior's Standards for Rehabilitation and include exterior work such as siding, windows, foundation work, masonry repair, structural stabilization, exterior trim, exterior doors, cornice repair, porch repair, retaining walls, as well as historic steps and stairs. The Historic Preservation Board may identify additional eligible improvements (such as Physical Conditions Reports and Preservation Plans, etc.) as necessary; these improvements shall be noted on the Historic District Grant Application.



Historic Preservation Board Staff Memo

Subject: Historic Site Inventory
Author: Anya Grahn
Department: Planning Department
Date: February 4, 2015
Type of Item: HPB Update

Summary Recommendations:

Staff recommends that the Historic Preservation Board (HPB) review staff's update on the CRSA Intensive Level Survey (ILS).

Background:

In April 2013, City Council awarded a contract to Cooper Robertson Simonsen Associates (CRSA) to conduct an Intensive Level Survey (ILS) of the historic buildings within our Main Street and Mining Boom Era Residences Thematic National Register Districts. As part of this contract, CRSA will also evaluate any new potential listings for the Historic Sites Inventory (HSI) and nominate two (2) buildings to the National Register of Historic Places. The survey will include approximately four-hundred (400) historic sites and structures.

CRSA will be nominating the Carl Winter School (Park City Library) to the National Register of Historic Places following completion of the renovation. (Projects under construction cannot be listed on the National Register.) CRSA will also be submitting an updated nomination for the Marsac School to Utah State History; this building was already listed on the National Register in 1985 prior to its renovation.

Staff is reviewing CRSA's completed ILSs of the Main Street National Register Historic District, and CRSA is currently working on the Mining Boom Era Residences Thematic National Register District. In an effort to update the existing Historic Sites Inventory (HSI), staff will be reviewing Determination of Significance (DOS) applications with the HPB periodically based on the results of CRSA's survey.

Analysis:

In August 2008, City Council directed staff to modify the historic designation standards in order to designate more structures that contribute to Park City's unique character. This allowed a greater number of structures to be recognized as historic and protected by the Design Guidelines and Land Management Code. As part of this process, the City contracted Preservation Solutions to conduct a reconnaissance level survey of the Historic District. It is unclear if earlier surveys were referenced in an effort to include all historic resources on the reconnaissance level survey. The Historic Sites Inventory (HSI), as it exists today, was the end product of this survey, and it was adopted by the City in 2009.

Reconnaissance vs. Intensive Level Surveys

Reconnaissance level surveys, also known as “windshield surveys,” identify the general distribution, location, and nature of cultural resources within a given area. These surveys identify resources that meet a broad context. A reconnaissance survey identifies the following:

- Boundaries of the surveyed area
- Methods of survey, including the extent of survey coverage
- Categorized types of historic properties that were identified
- Places examined that did not feature historic properties

Unlike a reconnaissance level survey, an intensive level survey (ILS) is much more detailed in its description of the site and its history. Park City’s HSI forms contain a substantial amount of information (more so than the typical windshield survey), and the ILS will continue to build upon previously completed research. In addition to historic photographs, construction date, and National Register eligibility, the ILS will also include historic uses of the property, history of ownership, and an in-depth statement of significance based on the history of the resource, its context, and National Register eligibility.

ILSs typically include the following information:

- Boundaries of the area surveyed
- Method of survey, including an estimate of the extent of survey coverage
- Categorized types of properties identified
- Record of the precise location of all properties identified (typically determined by USGS coordinates)
- Description of the structure and/or site based on appearance, significant, integrity, and boundaries of each property sufficient to permit an evaluation of its National Register eligibility

CRSA’s Intensive Level Survey

In April 2013, City Council awarded a contract to Cooper Robertson Simonsen Associates (CRSA) to conduct an Intensive Level Survey (ILS) of the historic buildings within our Main Street and Mining Boom Era Residences Thematic National Register Districts. As part of the ILS, CRSA is also evaluating new potential listings, and nominating two (2) buildings to the National Register of Historic Places. The ILS includes the over 400 buildings and sites currently listed on the City’s Historic Sites Inventory (HSI).

As one of the goals of the intensive level survey was to ensure that the Planning Department had a comprehensive list of all historic properties in Park City, staff worked with the Park City Museum to identify those properties which had not been included in the 2009 reconnaissance level survey, but were considered to be historic by the Museum. Staff shared this list of properties with CRSA.

The list created by the Planning Department and Park City Museum included the following:

- 84 Daly Avenue
- 569 Park Avenue
- 581 Park Avenue
- 1108 Park Avenue
- 921 Norfolk Avenue
- 1259 Norfolk Avenue
- 135 Sampson Avenue
- 316 Woodside Avenue
- 332 Woodside Avenue

In reviewing this list, staff initially found that the properties at 569 Park Avenue and 921 Norfolk Avenue were included on the Historic Sites Inventory (HSI) in 2009; however, the HPB found that these structures did not meet the criteria for Landmark or Significant designation when reviewed in 2010. As CRSA did not find any new information regarding these properties, the HPB has no authority to change its earlier decision.

Staff also analyzed the history of 84 Daly Avenue and found that the structure did not meet the criteria for Landmark or Significant as outlined in LMC-15-11-10. Upon further research, staff discovered that the existing house was constructed in the exact location and of a similar footprint as the historic structure in 1989, possibly because of a landslide that had severely damaged the historic house in the late-1980s. The existing single-family dwelling is approximately 25 years old and thus not historic. Staff finds that the new house is not a reconstruction of the historic house.



The yellow lines represent the historic roof form in an image overlay of the historic 1941 tax photograph and a current 2014 photograph. Changes in pitch of the main roof of the primary façade were made after the Period of Historic Significance. The cross gable roof form was reconstructed creating three (3) parallel gables

Staff will return to the HPB in April to review the historical significance of 1259 Norfolk Avenue and 332 Woodside. They are not included in this packet due to time constraints.

CRSA has completed the ILSs of the remaining properties which either have not ever been reviewed by the HPB or new evidence regarding the significance of the properties have been found. At the direction of the Planning Director, staff will be periodically reviewing these Determination of Significance (DOS) applications with the HPB.

As CRSA provides staff with completed ILSs, staff will be comparing the new information to the existing HSI produced by the 2009 Reconnaissance Level Survey. Should staff find that a property's evaluation for landmark or significant requires modification; staff will return to the HPB to reevaluate the determination of historic significance.

Summary Recommendations:

Staff recommends that the Historic Preservation Board (HPB) review staff's update on the CRSA intensive level survey.



Planning Department

Historic Preservation Board Staff Report

Author: Hannah Turpen, Planner
Subject: Historic Sites Inventory
Address: 581 Park Avenue
Project Number: PL-14-02551
Date: March 4, 2015
Type of Item: Administrative – Determination of Significance

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing and approve the status of 581 Park Avenue as a Significant Site on the Park City Historic Sites Inventory.

Topic:

Project Name: 581 Park Avenue
Applicant: Park City Municipal Corporation
Owners: Floyd L. and Elaine E. English
Proposal: Determination of Significance

Background:

The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. Since 2009, staff has reviewed Determination of Significance (DOS) applications with the HPB on a case-by-case basis in order to keep the Historic Sites Inventory (HSI) current. One of the goals of the CRSA intensive level survey is to ensure that the Planning Department has a comprehensive list of all historic properties in Park City, and this DOS is for a property that had, for reasons unknown, not been included in the Historic Sites Inventory (HSI) adopted in 2009.

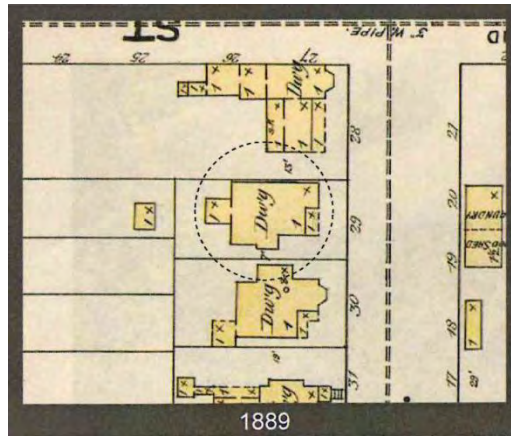
The purpose of this DOS is for the HPB to consider including and designating the house at 581 Park Avenue as “Significant” on the HSI.

There have been a number of past applications for 581 Park Avenue. In 1991, the garage and roof deck addition were added to the front of the house. In 2004, there was a Historic District Design Review (HDDR) for the dormer addition to the roof. In 2014, the applicants received an HDDR waiver in order to make necessary repairs on the garage deck and replace the existing garage door. There are no current applications, except for this DOS, for this property.

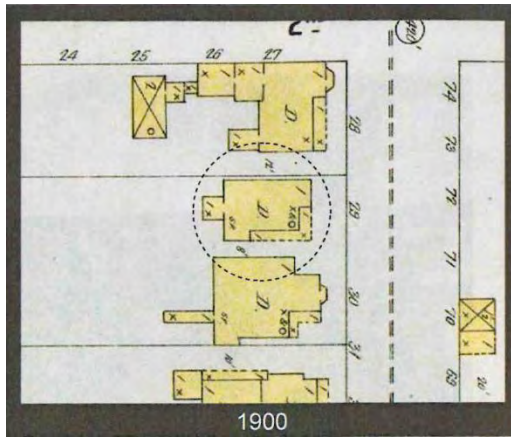
History of the Structure:

The house at 581 Park Avenue was initially constructed circa 1889. It first appears on the 1889 Sanborn Fire Insurance map. According to the Sanborn Fire Insurance maps,

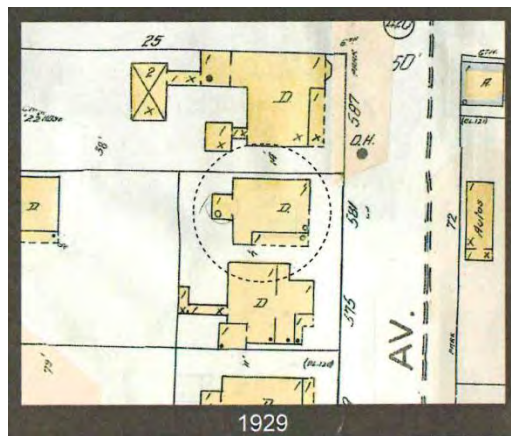
sometime between 1889 and 1900 and again between 1907 and 1929 the house at 581 Park Avenue was slightly altered.



The dashed circle shows the originally documented shape of 581 Park Avenue in 1889.



The dashed circle shows the altered shape of 581 Park Avenue in 1900.

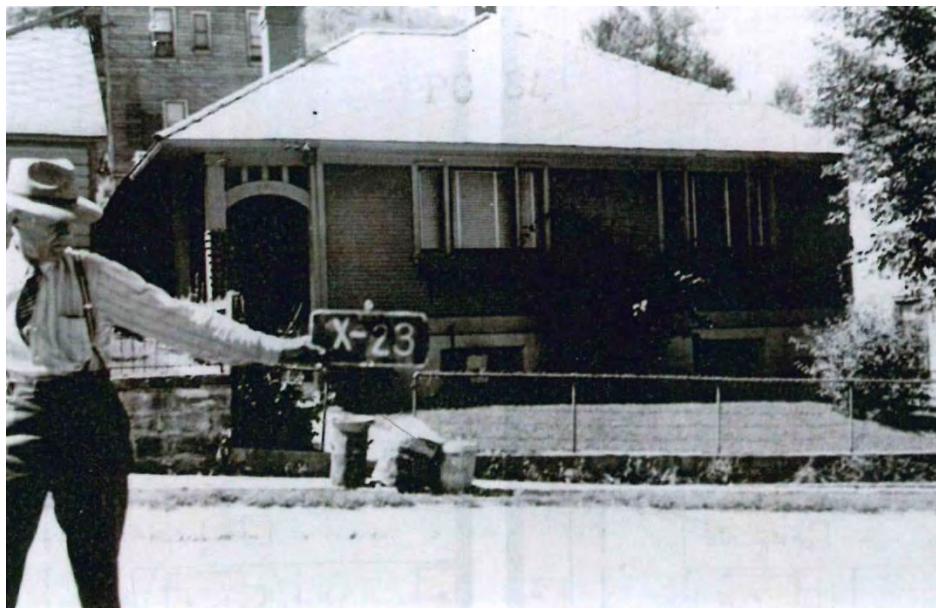


The dashed circle shows the altered shape of 581 Park Avenue in 1929.

The house is a historic pyramid house that has been modified and expanded since its construction circa 1889. Sometime after 1941, a portion of the building that extended to

the rear (west) was removed. The 1941 tax photograph shows an ornamented side entrance passageway, a non-traditional pyramid roof form clad in shingles, horizontal wood clapboard siding, garden level basement windows, a retaining wall, landscaping, and a pair of window configurations that split the front (east) wall plane into thirds. The house has maintained its historic orientation to the street and the location of its main entrance; however, the addition of a two-car garage/roof deck prior to 1991, now dominates the front (east) elevation and has altered the location of the front (east) wall plane. The garage/roof deck addition was made on the front (east) elevation sometime prior to 1991. The railing, balustrades, and posts of the roof deck on the two-car garage respect the scale and proportion of historic railings, balustrades, and posts found in the neighborhood. The portions of the roof deck railing that are filled in with horizontal clapboard siding obstruct the view of the historic window configurations on the original front (east) wall plane. The two-car garage/roof deck addition eliminated the garden level windows, retaining wall, landscaping, and one (1) of the two (2) window configurations, all of which are visible in the 1941 tax photograph. The two (2) historic window configurations have retained their original location; however, one (1) was converted into a door and retained the sidelight windows.

In 2001, two (2) dormers were added to the north and south roof planes, converting the attic into livable space. The historic house has retained horizontal wood clapboard siding and the ornamental decorations but, the roof has been converted from shingles to standing seam metal. The 2014 improvements to the garage door and deck above do not significantly impact the historic character of the house; these changes are currently under construction.



581 Park Avenue 1941 tax photograph.



581 Park Avenue 2014 photograph.

Analysis and Discussion:

The Historic Preservation Board is authorized by Land Management Code (LMC) Section 15-11-5(l) to review and take action on the designation of sites within the Historic Sites Inventory. The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). LMC Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory.

Because the home retains its historic form, the evidence supports the conclusion that the home is “Significant.”

Significant Site. Any buildings (main, attached, detached or public), accessory buildings and/or structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and (...) **Complies**

The structure was originally constructed in 1889, which makes the structure 125 years old.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

(i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any

structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
(ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
(iii) Moving it from its original location to a Dissimilar Location, or
(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. **Complies.**

The house retains its Essential Historic Form. Sometime after 1941, a portion of the building that extended to the rear (west) was removed. This rear (west) portion of the building was present in the 1889 Sanborn Fire Insurance map and appears unaltered in the 1941 Sanborn Fire Insurance map. Although this alteration occurred after the Period of Historic Significance, staff finds that this alteration does not detract from the overall Essential Historic Form.

Two (2) dormers were added to the north and south roof planes, converting the attic into livable space. Staff finds that the pair of dormers did not alter the non-traditional pyramid roof when viewed from the public Right-of-Way.

Staff finds that the garage/roof deck addition on the front (east) elevation does not significantly obscure the Essential Historic Form when viewed from the primary public Right-of-Way because the original historic house still retains much of its historic form and ornamental details.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

(i) An era of Historic importance to the community, or
(ii) Lives of Persons who were of Historic importance to the community, or
(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.**

This structure contributes to our understanding of Park City's Settlement and Mining Boom Era (1868 – 1893). Staff finds that the association to the Settlement and Mining Boom Era has been diluted by the non-historic additions; however, many of the historic elements of the house are still representative of construction techniques typical of that Era. The property is associated with Lucien Simon who bought the property in 1887, which was then purchased by an early Park City undertaker, Jacob Richardson, and his wife Sarah in 1892. Lucien Simon and Sarah and Jacob Richardson are persons who were of Historic importance to the community.

The criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site include:

1. It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and **Complies.**

2. It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and Does not comply.
3. It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:
 - (i) An era that has made a significant contribution to the broad patterns of our history;
 - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or
 - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. **Complies.**

Staff finds that the structure at 581 Park Avenue meets the standards for local “significant” designation, but does not meet the criteria for “landmark” designation. In order for the site to be designated as “landmark,” the structure would have to retain its historic integrity in terms of location, design, setting, materials, workmanship, feeling and association. Moreover, “landmark” designation indicates that it would be eligible for the National Register. Due to the additions, loss of its historic materials and changes in window and door configuration, the structure is no longer eligible for the National Register of Historic Places.

Process:

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the “Criteria for Designating Historic Sites to the Park City Historic Sites Inventory.” The HPB shall review the Application “de novo,” giving no deference to the prior determination. If the HPB finds that the application does not comply with the criteria set forth in LMC Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building and/or structure will be removed from the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice:

On February 21, 2015, Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces. Staff sent a mailing notice to property owners on January 27, 2015 and posted the property on February 23, 2015.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing

for the recommended action was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for 581 Park Avenue described herein and find the structure at 581 Park Avenue meets the criteria for the designation of “Significant” to the Historic Sites Inventory according the draft findings of fact and conclusions of law, in whole or in part.
- Conduct a public hearing and find the structure at 581 Park Avenue does not meet the criteria for the designation of “Significant” to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Significant Impacts:

The garage at 1108 Park Avenue was not included in the 2009 Historic Sites Inventory; however, the house located at 1108 Park Avenue was included on the 2009 Historic Sites Inventory. If designated as “Significant” on the HSI, any alterations must comply with the Design Guidelines for Historic Sites; the site will be eligible for the Historic District Grant Program. Should the structure not be included, then the property owner will be eligible for demolition.

Consequences of *not* taking the Recommended Action:

If no action is taken, no change will occur to the designation of 581 Park Avenue because the house is not currently on the Historic Sites Inventory. The structure will be eligible for demolition.

If the Historic Preservation Board chooses to include this site on the HSI, the structure will be designated a Significant Historic site and not eligible for demolition.

Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and designate the house at 581 Park Avenue as a Significant Site on the Park City Historic Sites Inventory.

Finding of Fact:

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. This site was not included on the 2009 HSI.
2. The house at 581 Park Avenue is within the Historic Residential (HR-1) zoning district.
3. The structure has been in existence at 581 Park Avenue since circa 1889. The structure appears in the 1889, 1900, 1907, 1929, and 1941 Sanborn Fire Insurance maps. The structure appears in a 1941 tax photograph.
4. The structure is not currently designated as a Significant or Landmark site on the 2009 Historic Sites Inventory.

5. The original pyramid house was constructed within the Settlement and Mining Boom Era (1868 – 1893) and is historic. The two (2) later additions were made after the Period of Historic Significance and are non-historic.
6. Though out of period, the garage/roof deck addition added prior to 1991 and the two (2) dormers added in 2001 do not detract from the historic significance of the structure and its Essential Historic Form.
7. The original exterior siding and ornamental detailing above the front entranceway are remaining on the exterior of the house. The roofing materials, concrete foundation, and modern garage door are indicative of alterations outside of the historic period.
8. The front (east) façade retains its original windows with the exception of one (1) non-historic door which replaced a historic window opening.
9. The structure is a pyramid house typical of the Settlement and Mining Boom Era (1868 – 1893).
10. The site meets the criteria as Significant on the City's Historic Sites Inventory.
11. Built circa 1889, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
12. Though the structure's historic integrity has been diminished due to the out-of-period additions and alterations to its historic materials, it has retained its Essential Historical Form. The out-of-period addition to the east elevation of the structure and the dormers on the north and south roof planes of the structure do not detract from its historic significance.
13. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Settlement and Mining Boom Era (1868 – 1893) and it is associated with the lives of Lucien Simon and Sarah and Jacob Richardson who are significant in the history of the community.
14. The site does not meet the criteria as Landmark on the City's Historic Sites Inventory.

Conclusions of Law:

1. The existing structure located at 581 Park Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and
 - (b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:
 - (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
 - (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
 - (iii) Moving it from its original location to a Dissimilar Location, or

- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.
- (c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:
 - (i) An era of Historic importance to the community, or
 - (ii) Lives of Persons who were of Historic importance to the community, or
 - (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.
- 2. The existing house structure located at 581 Park Avenue does not comply with all of the criteria for a Landmark Site as set forth in Land Management Code (LMC) Section 15-11-10(A)(1). The structure does not meet the criteria for landmark designation as it is not eligible for the National Register of Historic Places due to post 1941 alterations that have damaged and obliterated significant character-defining features of the historic structure.

Exhibits:

Exhibit A – Historic Sites Inventory Form, 2014

HISTORIC SITE FORM – HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **House at 581 Park Avenue**

Address: 581 Park Avenue

A.K.A.:

City, County: Park City, Summit County, Utah

Tax Number: 581-PA-1

Current Owner Name: Floyd L. and Elaine E. English (H/W joint)

Parent Parcel(s): PC-84

Current Owner Address: 223 E. Maxan Street #310, Port Isabel, TX 78578

Legal Description (include acreage): LOT 1 581 PARK AVENUE AMENDMENT; ACCORDING TO THE OFFICIAL PLAT ON FILE IN THE SUMMIT COUNTY RECORDERS OFFICE CONT 0.065 AC

2 STATUS/USE

Property Category

- building(s), main
 building(s), attached
 building(s), detached
 building(s), public
 building(s), accessory
 structure(s)

Evaluation*

- Landmark Site
 Significant Site
 Not Historic

Reconstruction

- Date:
 Permit #:
 Full Partial

Use

- Original Use: single dwelling
 Current Use: single dwelling

- *National Register of Historic Places: eligible ineligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo: c. 1941
 prints: Nov. 2014 (6)
 historic:

Drawings and Plans

- measured floor plans
 site sketch map
 Historic American Bldg. Survey
 original plans:
 other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
 tax card
 original building permit
 sewer permit
 Sanborn maps
 obituary index
 city directory/gazetteers
 census records
 biographical encyclopedias
 newspapers
- city/county histories
 personal interviews
 Utah Hist. Research Center
 USHS preservation files
 USHS architects file
 LDS Family History Library
 Park City Hist. Soc./Museum
 university library(ies):
 other:

Bibliographical References (books, articles, interviews, etc.). Attach copies of all research notes and materials
 Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.
 Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.
 National Register of Historic Places. *Park City Main Street Historic District*. Park City, Utah, National Register #79002511.
 Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.
 Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.
 Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

Researcher/Organization: John Ewanowski, CRSA Architecture

Date: Nov. 2014

4 ARCHITECTURAL DESCRIPTION AND INTEGRITY

Building Type and/or Style: modified pyramid house, Victorian Eclectic style *No. Stories:* 1.5

Additions: none minor major (describe below) *Alterations:* none minor major (describe below)

Number of associated outbuilding and/or structures: accessory building(s), # 0; structure(s), # 0.

General Condition of Exterior Materials:

- Good: Well-maintained with no serious problems apparent
- Fair: Some problems are apparent. *Describe the problems:*
- Poor: Major problems are apparent and constitute an imminent threat. *Describe the problems:*
- Uninhabitable/Ruin

Materials:

Foundation: concrete

Walls: clapboard siding

Roof: standing seam metal

Windows/Doors: hinged casement windows (typ.), glazed wooden front door, and glazed patio door with wood trim

Essential Historical Form: retains does not retain

Location: original location moved (date: , original location:)

Design: This is a historic pyramid house that has been modified and expanded significantly over the years. Originally, the main entrance was on the southeast corner of the rectangular house. While the door has remained in this location, a two-car garage constructed towards Park Avenue has diminished the clarity of the original rectilinear volume and now dominates the front elevation. The attic has also been converted into an inhabitable space, with additional space provided through large shed dormers centered on the north and south aspects of the hipped roof. These alterations have been done in a modern style, sometime in the 2000s.

Setting: In a dense residential neighborhood in Old Town Park City, this area is typified by small lots, narrow roads, and development of increasing size. This section of Park Avenue was settled as a residential district in the early days of Park City and was largely developed by the beginning of the twentieth century. Increasing demand for Park City real estate since the 1970s has led to further development. This parcel is composed of one-and-a-half of the original Park City survey lots, making it 37.5' by 75'. It is shaded by a large pine tree on the neighboring lot to the south, and there is a row of short trees on the north edge of the site, which slopes up towards the back (west) edge. The adjacent lot to the north is vacant, with prairie grass cover.

Workmanship: This house utilizes clapboard siding, which was not as common as drop wood siding in Park City but was also used during the historic period. The roofing materials, concrete foundation, and modern windows are indicative of alterations outside of the historic period. The most distinct remaining historic feature is a wooden arch over the front entrance, evidence of the typical Victorian style of historic Park City residences.

Feeling: The historic feel has been diluted substantially by a garage that projects from the front façade of this house and other alterations that have accumulated over the years. The historic integrity that remains in the house is visible from the north elevation, where the original pyramid house volume is apparent. The historic

setting also reinforces this historical integrity, although it will likely be diminished with any future development of the vacant lot to the north.

Association: Built in the early years of Park City, the historic portion of the house is associated with the "Settlement and Mining Boom Era." However, this association has been diluted by subsequent additions and alterations to the original pyramid house, which are related to the development of the ski industry in Park City and the ensuing real estate boom. Lucien Simon was the first person to own the consolidated north half of lot 20 and all of lot 21, which he bought in 1887. Sarah and Jacob Richardson, who was an early Park City undertaker, bought it in 1892 and took out a \$1,000 mortgage on the property. The original house is shown on the 1889 Sanborn Map of Park City, so it was probably built around that time.

5 SIGNIFICANCE

Architect: not known known: (source:)

Date of Construction: c. 1889

Builder: not known known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement and Mining Boom Era (1868-1893)
 Mature Mining Era (1894-1930)
 Mining Decline and Emergence of Recreation Industry (1931-1962)

Description of historic era: While the area around present-day Park City (then called "Parley's Park") was sparsely settled previously as a pastoral ranching and foresting range, the discovery of silver in 1869 led to the establishment of the Park City Mining District. While miners were required to live in company housing above town near the mineshafts, the townsite began to boom with an influx of support industries and services. The Ontario Mine was established in 1872 and soon became one of the leading silver producers in the world, bringing wealth to its investors and the town in general. Other prolific mining companies were started, and Park City claimed almost 3,000 residents in the 1890 Federal Census. Development was concentrated at this time around a mixed-use Main Street; residences along Park, Woodside, and Daly avenues; and industrial structures along the periphery of Old Town.

2. Persons: Lucien Simon (bought property in 1887), Sarah and Jacob Richardson (acquired property and took out \$1,000 mortgage in 1892)
3. Architecture: N/A

6 PHOTOS

Photographs on the following pages (taken by the researcher, unless noted otherwise):

Photo No. 1: Southeast oblique. Camera facing northwest. November 2014.

Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.

Photo No. 3: East elevation. Camera facing west. November 2014.

Photo No. 4: Northeast oblique. Camera facing southwest. November 2014.

Photo No. 5: North elevation. Camera facing south. November 2014.

Photo No. 6: Northwest oblique. Camera facing southeast. November 2014.

Photo No. 7: Southeast oblique. Camera facing northwest. Tax photo, c. 1941. (Summit County)

Photo No. 1: Southeast oblique. Camera facing northwest. November 2014.



Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.



Photo No. 3: East elevation. Camera facing west. November 2014.



Photo No. 4: Northeast oblique. Camera facing southwest. November 2014.



Photo No. 5: North elevation. Camera facing south. November 2014.



Photo No. 6: Northwest oblique. Camera facing southeast. November 2014.

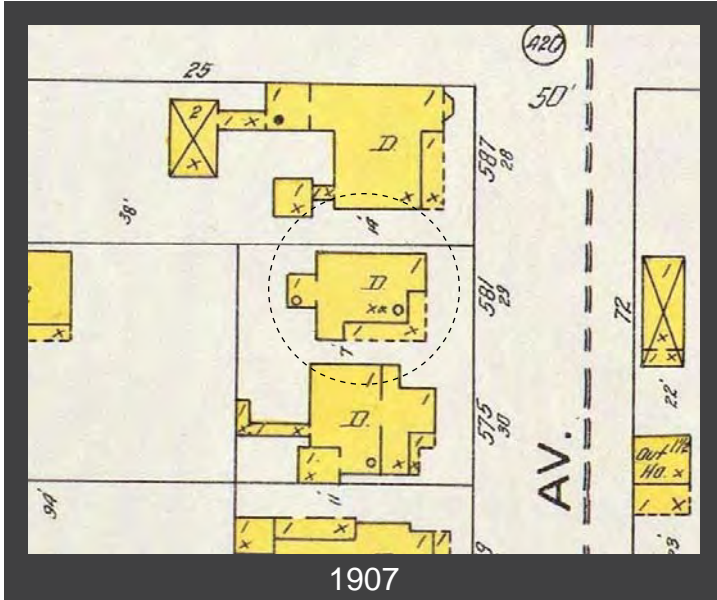
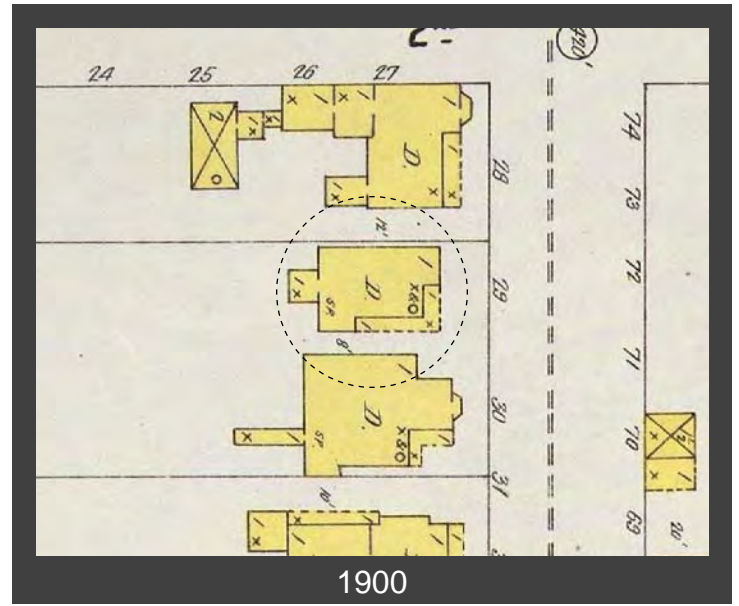
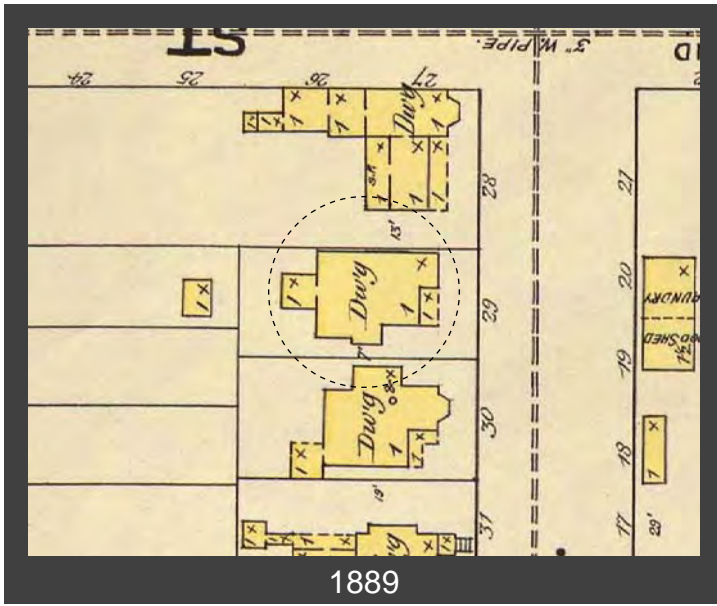


Photo No. 7: Southeast oblique. Camera facing northwest. Tax photo, c. 1941. (Summit County)



581 Park Avenue

Sanborn Map History



PLAT AMENDMENT AND RECORD OF SURVEY
581 PARK AVENUE AMENDMENT

REMARKS: IDENTIFICATION AND DATE OF RECORD
From all maps by these parties, that we, Floyd L. English and Elaine E. English, the owners of the above
described property, hereinafter to be known as 581 Park Avenue, hereby that we have caused this survey
to be made, and that this plat be prepared, and we do hereby submit to the Commissioner, of this survey, and
for amendment.

Floyd L. English
Floyd L. English
Elaine E. English
Elaine E. English

ACKNOWLEDGEMENT
County of Clark
State of Nevada

On this 2nd day of MAY 2008, personally appeared before me, the undersigned notary public, in and
to said State and County, Floyd L. English and Elaine E. English, who after being duly sworn, acknowledged
to me that they are the owners of the herein described property, and that they signed the above named
dedication and consent to record freely and voluntarily.

Shirley A. White
Shirley A. White
My Commission Expires: 08/30/2011, Notary Public, Nevada, U.S.A.
Residing at:



CONVEYANCE DESCRIPTION
The Owners, Donations and Homeowners (HOMES) as provided by the form of the Declaration, and hereby that a
have made a survey of the property herein herein and as described in the notes and legal description herein.

- SUBJECT MATTER:
1. The name of location is as shown.
2. This survey was requested by Donal English.
3. Survey monuments were found or set as shown.
4. This survey was performed on May 2008.
5. [581] - Street address on Park Avenue.

WHERE OBTAINED:
All of Lot 21 and the North Half of Lot 20, Block 25, Clark City Survey, according to the official
plat thereof, recorded in the office of the County Recorder of Nevada County, Utah.



City Attorney
Approved at a Public Hearing of the
City of Clark on this 24th day
of AUGUST 2008.
I, [Signature],
City Attorney

State District
Approved for Commission on Survey
with Basin Survey Improvement
District of Clark on this 24th day
of August 2008.
I, [Signature],
State District

City Engineer
Found to be in accordance with
the information on file at the Park
City Engineers Office on this
24th day of August 2008.
I, [Signature],
City Engineer

City Planning Commission
Approved by the Park City
City Planning Commission on this
24th day of August 2008.
I, [Signature],
Commissioner

City Council
Approved by the Park City Council
on this 24th day of JUNE 2008.
I, [Signature],
Mayor

City Recorder
I, [Signature],
City Recorder

City Clerk
I, [Signature],
City Clerk

City Treasurer
I, [Signature],
City Treasurer

City Auditor
I, [Signature],
City Auditor





Planning Department

Historic Preservation Board Staff Report

Author: Hannah Turpen, Planner
Subject: Historic Sites Inventory
Address: 1108 Park Avenue (Garage)
Project Number: PL-14-02553
Date: March 4, 2015
Type of Item: Administrative – Determination of Significance

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and designate the garage at 1108 Park Avenue as a Significant on the Park City Historic Sites Inventory.

Topic:

Project Name: 1108 Park Avenue
Applicant: Park City Municipal Corporation
Owners: Claudia N. Myres
Proposal: Determination of Significance

Background:

The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. Since 2009, staff has reviewed Determination of Significance (DOS) applications with the HPB on a case-by-case basis in order to keep the Historic Sites Inventory (HSI) current. One of the goals of the CRSA intensive level survey is to ensure that the Planning Department has a comprehensive list of all historic properties in Park City, and this DOS is for a property that had, for reasons unknown, not been included in the Historic Sites Inventory (HSI) adopted in 2009.

The purpose of this DOS is for the HPB to consider including and designating the garage at 581 Park Avenue as “Significant” on the HSI.

There have been very few past applications for 1108 Park Avenue. In 2010, there was an Electrical Permit obtained from the Building Department, however, it is not specified as to whether or not the application affected to the garage or the house. In 2011, there was a Building Inspection for a home office in the house located at 1108 Park Avenue. There are no current applications, except for this DOS, for this property.

History of the Structure:

The accessory structure located at 1108 Park Avenue was initially constructed sometime between 1929 and 1941. It first appears on the 1941 Sanborn Fire Insurance map. According to the Sanborn map, the structure was associated with a historic house located at 1108 Park Avenue and was a simple, one-story gabled-roof garage

constructed of wood framing with sheet metal cladding. The 1941 tax photograph of the modified bungalow house located at 1108 Park Avenue shows the accessory structure located on the southeast corner of the property in the rear of the historic house.



The dashed circle shows the garage at 1108 Park Avenue on the 1941 Sanborn Fire Insurance map.



The 1941 tax photograph shows the simple gabled-roof garage (on the right of the house) in the rear of the historic house.

The simple gabled-roof garage is indicative of vernacular Park City outbuildings which were typically not constructed by skilled craftsman, but rather untrained property owners. Its simple construction and use of scrap lumber and sheet metal are characteristic of outbuildings built during this period because such materials would have been readily available in a mining town. The doors are typical of the Mining Decline and Emergence of Recreation Industry Era (1931 – 1962). The house was owned by Park City pioneer Robert T. Kimball at the time that the garage was constructed. There have been no additions and minimal alterations to the structure since its construction. The alterations that have occurred have mainly been due to necessary repairs.

Analysis and Discussion:

The Historic Preservation Board is authorized by Land Management Code (LMC) Section 15-11-5(l) to review and take action on the designation of sites within the

Historic Sites Inventory. The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). LMC Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory (HSI).

Because the garage does retain its historic form, the evidence supports the conclusion that the garage is “Significant”.

Significant Site. Any buildings (main, attached, detached or public), accessory buildings and/or structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and (...) **Complies**

The structure was originally constructed between 1929 and 1941, making the structure approximately 73-85 years old.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

- (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
- (iii) Moving it from its original location to a Dissimilar Location, or
- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. **Complies.**

The garage retains its Essential Historic Form. Staff finds that no alterations have occurred that detract from the historic significance of the building. There have been no additions or removal of upper stories, relocation, or new additions that obscure the Essential Historic Form when viewed from the primary public Right-of-Way.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

- (i) An era of Historic importance to the community, or
- (ii) Lives of Persons who were of Historic importance to the community, or
- (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.**

This structure contributes to our understanding of Park City’s Mining Decline and Emergence of Recreation Industry (1931-1962). The garage is constructed of

dimensional lumber and sheet metal that would have been readily available during this era of Park City's History. The haphazard design is reminiscent of the type of construction occurring within this period, as many homeowners (rather than trained craftsman) were constructing accessory buildings and additions. The garage was likely built by the homeowners out of necessity because of the broader use of the automobile during this period. The garage conveys a sense of Park City history through its material use and simplicity. The garage is associated with the lives of Robert W. Kimball and Robert T. Kimball who were of Historic importance to the community. William and Melissa Kimball (Robert W.'s parents) moved to Park City in 1860 and became Park City pioneers. Robert W. Kimball and his brothers owned timber claims in the growing mining camp and eventually invested in transportation, buying the Dexter Livery and starting the Kimball Brothers Livery and eventually Kimball's Garage after the proliferation of automobiles.

The criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site include:

- (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and **Complies.**
- (b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; and **Does Not Comply.**
- (c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:
 - (i) An era that has made a significant contribution to the broad patterns of our history;
 - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or
 - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. **Complies.**

Staff finds that the structure at 1108 Park Avenue meets the standards for local "significant" designation, but does not meet the criteria for "landmark" designation. The historic garage is associated with the residential structure located at 1108 Park Avenue which meets the standards for local "significant" designation, but does not meet the criteria for "landmark" designation. Because the garage is an accessory structure for a significant site, staff finds that designating the garage as significant is the most appropriate determination.

Process:

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the "Criteria for Designating Historic Sites to the Park City Historic Sites Inventory." The HPB shall review the Application "de novo," giving no deference to the prior determination. If the HPB finds that the application does not comply with the criteria set forth in LMC Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building and/or structure will be removed from the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice:

On February 21, 2015, Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces. Staff sent a mailing notice to property owners on January 27, 2015, and posted the property on February 23, 2015.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing for the recommended action sites was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for **1108 Park Avenue (Garage)** described herein and find the structure at **1108 Park Avenue (Garage)** meets the criteria for the designation of “Significant” to the Historic Sites Inventory according the draft findings of fact and conclusions of law, in whole or in part.
- Conduct a public hearing and find the structure at **1108 Park Avenue (Garage)** does not meet the criteria for the designation of “Significant” to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Significant Impacts:

There are no significant impacts on the City as a result of designating the existing building described in this report to the Historic Sites Inventory as a “Significant” Structure.

Consequences of *not* taking the Recommended Action:

If no action is taken, no change will occur to the designation of **1108 Park Avenue (Garage)** because the garage is not currently on the Historic Sites Inventory. The structure will be eligible for demolition.

If the Historic Preservation Board chooses to include this site on the HSI, the structure will be a designated historic site and will be subject to the requirement of the Land Management Code regarding historic site which generally means it is not eligible for demolition.

Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and designate the garage at 1108 Park Avenue as a Significant Site on the Park City Historic Sites Inventory.

Finding of Fact:

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. This site was not included on the 2009 HSI.
2. The garage at 1108 Park Avenue is within the Residential-Medium Density (HR-M) zoning district.
3. There is a historic modified bungalow house and a wood-frame gabled-roof garage located at 1108 Park Avenue.
4. The existing house located at 1108 Park Avenue is designated as "Significant" on the 2009 Historic Sites Inventory. The garage was not included in the 2009 Historic Sites Inventory.
5. The existing structure has been in existence at 1108 Park Avenue since between 1929 and 1941. The structure appears in the 1941 Sanborn Fire Insurance maps. A 1941 tax photograph of the house at 1108 Park Avenue demonstrates that the overall form of the structure has not been altered.
6. The garage was built between 1929 and 1941 during the Mining Decline and Emergence of Recreation Industry Era (1931-1962).
7. The garage is constructed of dimensional lumber and sheet metal. The two (2) hinged garage doors and one (1) standard door on the west façade are wood with glazed panels. These materials would have been readily available during the Mining Decline and Emergence of Recreation Industry Era.
8. The structure is a single-cell plan and typical of the accessory structures built during the Mining Decline and Emergence of Recreation Industry Era.
9. The site meets the criteria as Significant on the City's Historic Sites Inventory.
10. Built sometime between 1929 and 1941, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
11. The structure has retained its Essential Historical Form.
12. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Mining Decline and Emergence of Recreation Industry Era (1931-1962). The structure is also associated with the lives of Persons significant in the history of the community, Robert T. Kimball and Robert W. Kimball.
13. The site does not meet the criteria as Landmark on the City's Historic Sites Inventory.

Conclusions of Law:

1. The existing structure located at 1108 Park Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

(i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or

(ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or

(iii) Moving it from its original location to a Dissimilar Location, or

(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

(i) An era of Historic importance to the community, or

(ii) Lives of Persons who were of Historic importance to the community, or

(iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.

2. The existing garage structure located at 1108 Park Avenue does not comply with all of the criteria for a Landmark Site as set forth in Land Management Code (LMC) Section 15-11-10(A)(1). The structure does not meet the criteria for landmark designation as it is not eligible for the National Register of Historic Places due to post 1941 alterations that have damaged and obliterated significant character-defining features of the historic structure.

Exhibits:

Exhibit A – Historic Sites Inventory Form, 2014

Exhibit B – Historic Sites Inventory Form, 2009 (house)

HISTORIC SITE FORM – HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **Garage at 1108 Park Avenue**

Address: 1108 Park Avenue

A.K.A.:

City, County: Park City, Summit County, Utah

Tax Number:

Current Owner Name: Claudia N. Myres (trustee)

Parent Parcel(s):

Current Owner Address: 691 Avenida Sevilla #B, Laguna Woods, CA 92637-3853

Legal Description (include acreage): ALL LOT 2 & S1/2 LOT 3 BLK 56 SNYDERS ADDITION ALSO BEG AT PT ON ELY LN BLK 56 SNYDERS ADDITION TO PARK CITY [...] (see record for complete legal description)

2 STATUS/USE

Property Category

- building(s), main
 building(s), attached
 building(s), detached
 building(s), public
 building(s), accessory
 structure(s)

Evaluation*

- Landmark Site
 Significant Site
 Not Historic

*National Register of Historic Places: eligible ineligible
 listed (date:)

Reconstruction

- Date:
 Permit #:
 Full Partial

Use

Original Use: secondary structure
 Current Use: secondary structure

3 DOCUMENTATION

Photos: Dates

- tax photo: c. 1941
 prints: Nov. 2014 (4)
 historic: date unknown

Drawings and Plans

- measured floor plans
 site sketch map
 Historic American Bldg. Survey
 original plans:
 other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
 tax card
 original building permit
 sewer permit
 Sanborn maps
 obituary index
 city directory/gazetteers
 census records
 biographical encyclopedias
 newspapers
 city/county histories
 personal interviews
 Utah Hist. Research Center
 UHS preservation files
 UHS architects file
 LDS Family History Library
 Park City Hist. Soc./Museum
 university library(ies):
 other:

Bibliographical References (books, articles, interviews, etc.). Attach copies of all research notes and materials
 Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.
 Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.
 National Register of Historic Places. *Park City Main Street Historic District*. Park City, Utah, National Register #79002511.
 Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.
 Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.
 Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

Researcher/Organization: John Ewanowski

Date: Nov. 2014

4 ARCHITECTURAL DESCRIPTION AND INTEGRITY*Building Type and/or Style:* Single-car garage type, vernacular style*No. Stories:* 1*Additions:* none minor major (describe below) *Alterations:* none minor major (describe below)*Number of associated outbuilding and/or structures:* accessory building(s), # 0; structure(s), # 0.*General Condition of Exterior Materials:* Good: Well-maintained with no serious problems apparent Fair: Some problems are apparent. *Describe the problems:* Metal siding and roofing has rusted heavily. Poor: Major problems are apparent and constitute an imminent threat. *Describe the problems:* Uninhabitable/Ruin*Materials:*

Foundation: not verified

Walls: sheet metal over wood frame

Roof: sheet metal

Windows/Doors: wood panel door with fixed casement glazing, wood trim; wood panel double garage doors (hinged) with three-over-three glazing, wood trim

Essential Historical Form: retains does not retain*Location:* original location moved (date: , original location:)*Design:* Simple gabled-roof garage constructed of wood framing with sheet metal cladding. Both glazed doors are on the west façade, with no fenestration on the other three facades. The garage has had minimal alterations or additions since original construction.*Setting:* Situated to the rear (east) of and accessed from a driveway running on the south side of the house at 1008 Park Avenue. The garage is in the southeast corner of the lot. Typical of Park City residential neighborhoods, with relatively high density single-family housing. A gravel alley runs immediately east of the garage, adjacent to the lot line. The setting has changed minimally over time.*Workmanship:* Constructed of dimensioned lumber and sheet metal, this garage is indicative of vernacular Park City outbuildings, which were often built by the homeowner with little or no consultation and with materials at hand. Lumber and sheet metal scraps would have been readily available in the mining town, and the doors are period appropriate.*Feeling:* The garage conveys a sense of Park City history through its material use and simplicity. Panelized, glazed doors are reminiscent of the Victorian sentiment that was pervasive in early twentieth century Park City.*Association:* The house was owned by Park City pioneer Robert Taylor Kimball, although he rented it out while living on Woodside Avenue (for example, the 1930 census lists Hiram and Zilla Cossey and their five children as occupants). Robert W. Kimball, son of Robert T. Kimball, inherited the house and moved in with his wife Elizabeth and three children at some point in the 1930s. The Kimballs owned this house at the time the garage was constructed, so it is associated with one of the most important Park City pioneering families. Moving to Park City in 1860, William and Melissa Kimball (parents of Robert W.) established the Kimball Stage Stop along the Overland Trail, in an area now known as Kimball's Junction. Robert W. Kimball and his brothers owned

timber claims in the growing mining camp and eventually invested in transportation, buying the Dexter Livery and starting the Kimball Brothers Livery and eventually Kimball's Garage after the proliferation of automobiles.¹

5 SIGNIFICANCE

Architect: not known known: (source:)

Date of Construction: 1929-1941

Builder: not known known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement and Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline and Emergence of Recreation Industry (1931-1962)

Description of historic era: Dropping silver prices through the 1920s and the Great Depression took a toll on Park City that it did not recover from until the 1960s emergence of the ski industry. Silver was in low demand after World War I and continued to decline through the 1920s, although Park City continued mining through the 1960s to a small degree. With decreased mining activity and the Great Depression, the population slowly decline amidst dwindling resources, and it was barely above 1,000 by the 1970 United State Census. Recreation, especially in the form of the ski industry, led to a revival of the Park City economy and a rebound of the community that continues to this day.

2. Persons: Robert W. Kimball and Robert T. Kimball.

3. Architecture: N/A

6 PHOTOS

Photographs on the following pages (taken by the researcher, unless noted otherwise):

Photo No. 1: Southeast oblique. Camera facing northwest. November 2014.

Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.

Photo No. 3: Northeast oblique. Camera facing southwest. November 2014.

Photo No. 4: West elevation. Camera facing east. November 2014.

Photo No. 5: Southwest oblique. Camera facing northwest. Tax photo, c. 1941. (Summit County)

Photo No. 6: Portrait of Robert T. Kimball. Date unknown. (ancestry.com)

¹ Hampshire, *et al*, 121-2.

Photo No. 1: Southeast oblique. Camera facing northwest. November 2014.



Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.



Photo No. 3: Northeast oblique. Camera facing southwest. November 2014.



Photo No. 4: West elevation. Camera facing east. November 2014.



Photo No. 5: Southwest oblique. Camera facing northwest. Tax photo, c. 1941. (Summit County)



Photo No. 6: Portrait of Robert T. Kimball. Date unknown. (ancestry.com)



1108 Park Avenue (garage)

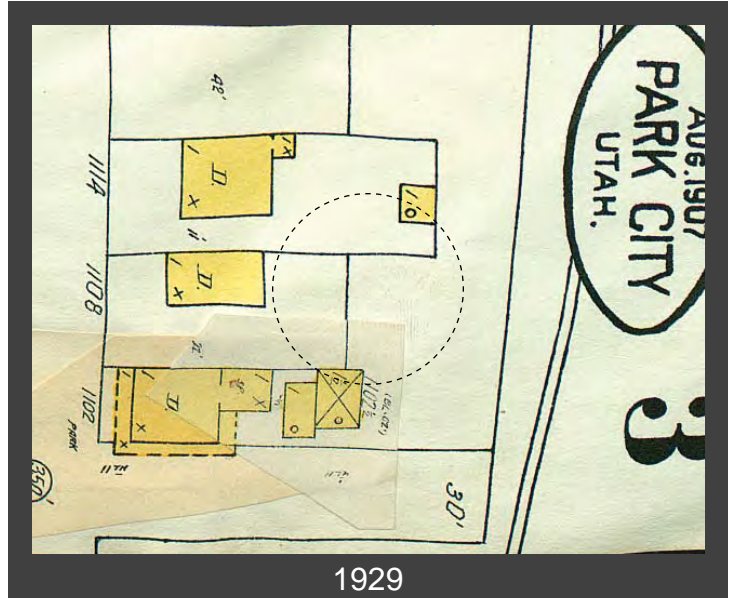
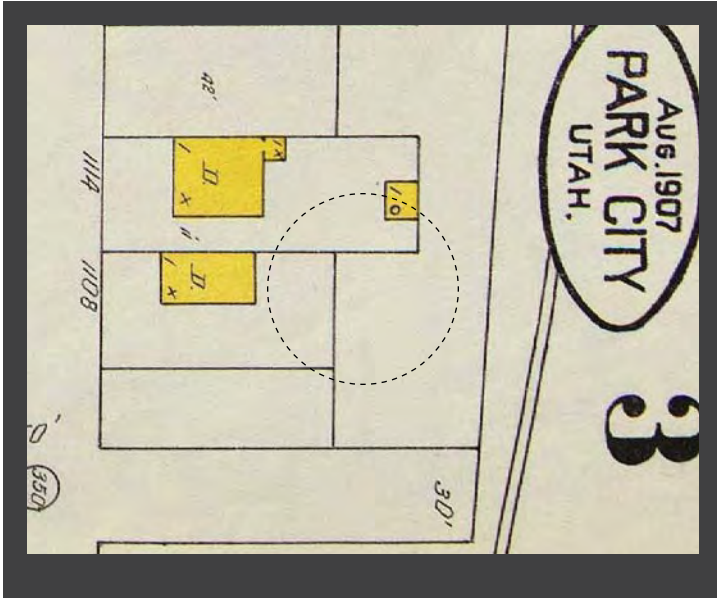
Sanborn Map History

(outside of 1889 Sanborn boundary)

1889

(outside of 1900 Sanborn boundary)

1900



1929



1941

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property:

Address: 1108 Park Avenue

AKA:

City, County: Park City, Summit County, Utah

Tax Number: SA-361

Current Owner Name: Claudia Myres

Parent Parcel(s):

Current Owner Address: 31276 West Nine Drive, Laguna Niguel, CA 92677

Legal Description (include acreage): All LOT 2 & S1/2 LOT 3 BLK 56 SNYDERS ADDITION. ALSO BEG AT PT ON E'LY LN BLK 56 SNYDERS ADDITION TO PARK CITY, SD PT BEING S 35*59' E 15.30 FT FR N MOST COR LOT 3 SD BLK TH N 54*01' E 36 FT TO PT ON W'LY LN UNIMPROVED RD, TH S 22*04'37" E ALG SD W'LY LN 37.45 FT; TH S 54*01' W 27 FT TO PT ON E'LY LN BLK 56; TH N 35*59' W 36.35 FT TO BEG; 0.09 ACRES.

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date:
- Permit #:
- Full
 - Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ineligible eligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: 1995 & 2006
- historic: c.

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn Maps
- obituary index
- city directories/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS Preservation Files
- USHS Architects File
- LDS Family History Library
- Park City Hist. Soc/Museum
- university library(ies):
- other:

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
 Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
 McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
 Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
 Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Central block type

No. Stories: 1

Additions: none minor major (describe below) Alterations: none minor major (describe below)

Researcher/Organization: Dina Blaes/Park City Municipal Corporation

Date: November, 08

Number of associated outbuildings and/or structures: accessory building(s), # __1__ ; structure(s), # _____.

General Condition of Exterior Materials:

- Good (Well maintained with no serious problems apparent.)
- Fair (Some problems are apparent. Describe the problems.):
- Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: 290 sq foot frame garage located at the southeast corner of the lot.

Foundation: Cement

Walls: Aluminum siding

Roof: Unable to determine based on photos provided- likely asphalt shingle.

Windows: Casement and sliding aluminum windows.

Essential Historical Form: Retains Does Not Retain, due to:

Location: Original Location Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): Form of structure has remained fairly intact, although material replacements of aluminum siding and windows have created a distraction from the unity of its original character. The changes are significant and diminish the site's original character.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): Narrow building lot on fairly flat terrain, with a minor downward slope towards the left of the property. The house is recessed roughly 15 feet from the city roadway, with a minimal front yard consisting of grass and some planted vegetation. A narrow one-car width driveway is seen on the right of the front elevation leading to a garage in the back of the property.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): Though the distinctive elements that define the typical Park City mining era home- simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type (modified bungalow), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes- have been altered, the building retains its essential historical form.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, do not effectively convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The central block was a common house type built in Park City during the mining era; however, the extent of the alterations to the main building diminishes its association with the past.

The extent and cumulative effect of alterations to the site render it ineligible for listing in the National Register of Historic Places.

5 SIGNIFICANCE

Architect: Not Known Known: (source:)

Date of Construction: c. 1905¹

¹ A rectangular, one-story dwelling appears at this location on the 1907 Sanborn Insurance Map, though the recessed porch is not indicated on the map; Summit County Recorder indicates date of construction as 1911.

Builder: Not Known Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement & Mining Boom Era (1868-1893)
- Mature Mining Era (1894-1930)
- Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

Photo No. 1: West elevation (primary façade). Camera facing east, 2006.

Photo No. 2: Southwest oblique. Camera facing northeast, 1995.

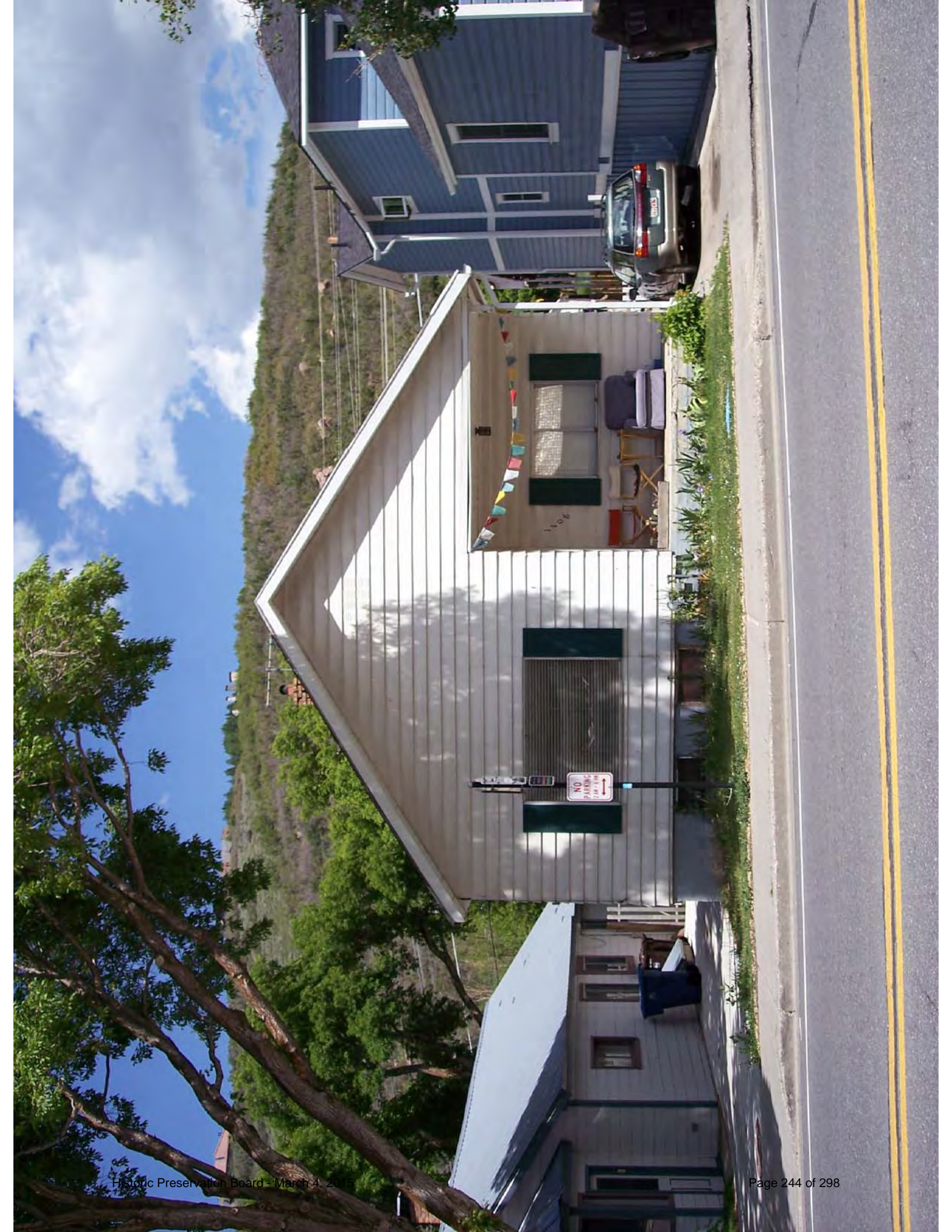
Photo No. 3: West elevation (primary façade). Camera facing east, tax photo.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.



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Planning Department

Historic Preservation Board Staff Report

Author: Anya Grahn, Historic Preservation Planner
Subject: Historic Sites Inventory
Address: 135 Sampson Avenue (Garage)
Project Number: PL-14-02557
Date: March 4, 2015
Type of Item: Administrative – Determination of Significance

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and approve the status of the garage at 135 Sampson Avenue as a Significant Site on the Park City Historic Sites Inventory.

Topic:

Project Name: 135 Sampson Avenue
Applicant: Park City Municipal Corporation
Owners: Robert K Sletta
Proposal: Determination of Significance

Background:

The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. Since 2009, staff has reviewed Determination of Significance (DOS) applications with the HPB on a case-by-case basis in order to keep the Historic Sites Inventory (HSI) current. One of the goals of the CRSA intensive level survey is to ensure that the Planning Department has a comprehensive list of all historic properties in Park City, and this DOS is for a property that had, for reasons unknown, not been included in the Historic Sites Inventory (HSI) adopted in 2009.

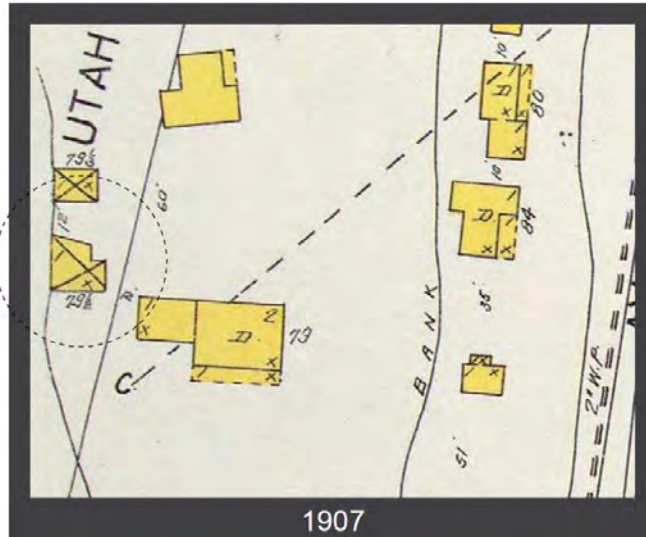
The purpose of this DOS is for the HPB to consider including and designating the garage at 135 Sampson Avenue as Significant on the HSI. The associated house is not historic; it was constructed in 1979, per Summit County records, and extensively renovated in 1996.

There have been a number of past applications for 135 Sampson Avenue. In 1996, the applicants completed a plat amendment in order to subdivide six (6) lots into two (2) lots of record. That same year, the current homeowner completed extensive renovations to an existing home. There are no current applications, except for this DOS, for this property.

History of the Structure:

The accessory structure constructed at 135 Sampson Avenue was initially constructed circa 1900; however, it first appears on the 1907 Sanborn Fire Insurance map. Prior to

this time, the structure was located outside of the Sanborn Fire Insurance map boundary. According to the Sanborn map, the structure was associated with a historic house at 79 Utah Avenue and was a one-story wood frame stable. A c. 1904 photograph also shows that the structure has a shed roof, facing downhill and sloping away from the road.



The dashed circle shows the shape of 79-1/2 Utah Avenue, now the garage at 135 Sampson Avenue.



C. 1904 photograph showing the shed roof sloping away from Utah Avenue.

By 1929, the house at 79 Utah Avenue had been lost, and a portion of the shed structure had been demolished to create a smaller square shape. This is the shape that exists today. The 1941 Sanborn Map shows the site unchanged.



By 1929, the associated house had been demolished and the shape of the stable had been altered to create a garage.

The garage is a simple, wood frame shed-roof structure. The only opening is the hinged double-door on the south façade. The garage is indicative of vernacular Park City outbuildings which were typically not constructed by skilled craftsman, but rather untrained property owners. Further, the metal cladding and dimensional lumber used in its construction would have been readily available in a mining town. Finally, the doors are typical of the Mature Mining Era (1894-1930).

Analysis and Discussion:

The Historic Preservation Board is authorized by Land Management Code (LMC) 15-11-5(l) to review and take action on the designation of sites within the Historic Sites Inventory (HSI). The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). Land Management Code Section 15-11-10(A) sets forth the criteria for designating sites to the Park City HSI.

Because the garage does retain its historic form, the evidence supports the conclusion that the garage is “Significant”.

Significant Site. Any buildings (main, attached, detached or public), accessory buildings and/or structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and (...) Complies

The structure was originally constructed circa 1900, making the structure approximately 115 years old. Alterations to the structure occurred between 1907 and 1929, making these alterations between 85 to 107 years old.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

- (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
- (iii) Moving it from its original location to a Dissimilar Location, or
- (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. **Complies.**

The garage retains its Essential Historic Form. Between 1907 and 1929, a portion of the garage was demolished in order to create the square shaped structure that exists today. Staff finds that this early alteration occurred during the Period of Historic Significance and does not detract from the historical significance of the building. There have been no additions or removal of upper stories, relocation, or new additions that obscure the Essential Historical Form when viewed from the primary public right-of-way.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

- (i) An era of Historic importance to the community, or
- (ii) Lives of Persons who were of Historic importance to the community, or
- (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.**

This structure contributes to our understanding of Park City's Mature Mining Era (1894-1930). The garage is constructed of dimensional lumber and sheet metal that would have been readily available during this era of Park City's History. The haphazard design is reminiscent of the type of construction occurring within this period, as many homeowners (rather than trained craftsman) were constructing accessory buildings and additions. The garage conveys a sense of Park City history through its material use and simplicity.

The criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site include:

- (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; **Complies**
- (b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places; **Does Not Comply**

- (c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:
- (i) An era that has made a significant contribution to the broad patterns of our history;
 - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or
 - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. **Complies**

Staff finds that the accessory (garage) structure at 135 Sampson Avenue meets the standards for local “significant” designation, but does not meet the criteria for “landmark” designation. In order for the site to be designated as “landmark,” the structure would have to be eligible for the National Register of Historic Places. Staff finds that much of the historic integrity of the garage’s setting and location has been lost. Historically, the garage was associated with a house, surrounded by open space. Staff finds that the loss of the house and later development has altered the physical environment of the historic property, including changing the relationship between original buildings and open space. These changes have transformed the neighborhood, and the setting is no longer representative of the broad development patterns that characterized Park City during the era of historical significance.

Process:

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the “Criteria for Designating Historic Sites to the Park City Historic Sites Inventory.” The HPB shall review the Application “de novo,” giving no deference to the prior determination. If the HPB finds that the application does not comply with the criteria set forth in LMC Section 15-11-10(A)(1) or Section 15-11-10(A)(2), the Building and/or structure will be removed from the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice:

On February 21, 2015, Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces. Staff sent a mailing notice to property owners on January 27, 2015, and posted the property on February 23, 2015.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for **135 Sampson Avenue (Garage)** described herein and find the structure at **135 Sampson Avenue (Garage)** meets the criteria for the designation of “Significant” to the Historic Sites Inventory according the draft findings of fact and conclusions of law, in whole or in part.
- Conduct a public hearing and find the structure at **135 Sampson Avenue (Garage)** does not meet the criteria for the designation of “Significant” to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Significant Impacts:

There are no significant impacts on the City as a result of retaining the existing building described in this report to the Historic Sites Inventory as a “Significant” Structure.

Consequences of *not* taking the Recommended Action:

If no action is taken, no change will occur to the designation of **135 Sampson Avenue** on the Historic Sites Inventory and the structure will continue to not be included on the HSI.

Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and designate the garage at 135 Sampson Avenue as a Significant Site on the Park City Historic Sites Inventory.

Finding of Fact:

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. This site was not included on the 2009 HSI.
2. The garage and house at 135 Sampson Avenue are within the Residential-Low Density (HR-L) zoning district.
3. The house at 135 Sampson Avenue is not historic; it was constructed in 1979, per Summit County records, and extensively renovated in 1996.
4. There is wood-frame shed-roof garage structure at 135 Sampson Avenue.
5. The existing garage structure has been in existence at 135 Sampson Avenue since circa 1900. The structure appears in the 1907, 1929, and 1941 Sanborn Fire Insurance maps. A 1904-1904 tax photo of Park City also demonstrates that the overall form of the structure has not been altered.
6. The garage was built c. 1900 during the Mature Mining Era (1894-1930). Between 1907 and 1929, a portion of the garage was demolished to create a square-shaped structure. Staff finds that these changes have gained historical significance in their own right, and that the garage is historic. The existing structure is in disrepair and is not habitable in its current dangerous condition.

7. The garage is constructed of dimensional lumber and sheet metal. The two (2) hinged garage doors on the south façade are corrugated metal. These materials would have been readily available during the Mature Mining Era.
8. The structure is a single-cell plan and typical of the accessory structures built during the Mature Mining Era.
9. The site meets the criteria as Significant on the City's Historic Sites Inventory.
10. Built circa 1900, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
11. Though the structure has lost its historic integrity due to extensive changes to its setting, it has retained its Essential Historical Form.
12. The structure is important in local or regional history because it is associated with an era of historic importance to the community, the Mature Mining Era (1894-190).

Conclusions of Law

1. The existing accessory structure located at 135 Sampson Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and
 - (b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:
 - (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
 - (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
 - (iii) Moving it from its original location to a Dissimilar Location, or
 - (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.
 - (c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:
 - (i) An era of Historic importance to the community, or
 - (ii) Lives of Persons who were of Historic importance to the community, or
 - (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.
2. The garage house structure located at 135 Sampson Avenue does not comply with all of the criteria for a Landmark Site as set forth in Land Management Code (LMC) Section 15-11-10(A)(1). The structure does not meet the criteria for landmark designation as it is not eligible for the National Register of Historic Places because much of the historic integrity of the garage's setting and location has been lost.

Exhibits:

Exhibit A – Historic Sites Inventory Form, 2014

HISTORIC SITE FORM – HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **Garage at 135 Sampson Avenue**

Address: 135 Sampson Avenue

A.K.A.:

City, County: Park City, Summit County, Utah

Tax Number: PC-710-C

Current Owner Name: Thomas J. McAdam and Jill D. Schwartz

Parent Parcel(s): PC-710

Current Owner Address: 140 Franklin St. Apt. 4C, New York, NY 10013

Legal Description (include acreage): A TRACT WEST OF LOTS 28 & 29 BLK 77 MILLSITE RESERVATION TO PARK CITY & GARAGE [...] (see record for complete legal description)

2 STATUS/USE

Property Category

- building(s), main
 building(s), attached
 building(s), detached
 building(s), public
 building(s), accessory
 structure(s)

Evaluation*

- Landmark Site
 Significant Site
 Not Historic

Reconstruction

- Date:
 Permit #:
 Full Partial

Use

- Original Use: secondary structure
 Current Use: secondary structure

- *National Register of Historic Places: eligible ineligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
 prints: Nov. 2014 (3)
 historic: 1904-5

Drawings and Plans

- measured floor plans
 site sketch map
 Historic American Bldg. Survey
 original plans:
 other: survey (5/30/1997)

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
 tax card
 original building permit
 sewer permit
 Sanborn maps
 obituary index
 city directory/gazetteers
 census records
 biographical encyclopedias
 newspapers
 city/county histories
 personal interviews
 Utah Hist. Research Center
 USHS preservation files
 USHS architects file
 LDS Family History Library
 Park City Hist. Soc./Museum
 university library(ies):
 other:

Bibliographical References (books, articles, interviews, etc.). Attach copies of all research notes and materials
 Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.
 Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.
 National Register of Historic Places. *Park City Main Street Historic District*. Park City, Utah, National Register #79002511.
 Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.
 Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.
 Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

Researcher/Organization: John Ewanowski, CRSA Architecture

Date: Nov. 2014

4 ARCHITECTURAL DESCRIPTION AND INTEGRITY*Building Type and/or Style:* Single-car garage type, vernacular style*No. Stories:* 1*Additions:* none minor major (describe below) *Alterations:* none minor major (describe below)*Number of associated outbuilding and/or structures:* accessory building(s), # 0; structure(s), # 0.*General Condition of Exterior Materials:* Good: Well-maintained with no serious problems apparent Fair: Some problems are apparent. *Describe the problems:* Hinged garage doors are very crooked due to rusting hinges. Exterior sheet metal is heavily rusted and crinkled. Poor: Major problems are apparent and constitute an imminent threat. *Describe the problems:* Uninhabitable/Ruin*Materials:*

Foundation: not verified

Walls: sheet metal, clapboard over wood frame

Roof: sheet metal over wood frame

Windows/Doors: sheet metal over wood frame

Essential Historical Form: retains does not retain*Location:* original location moved (date: , original location:)*Design:* Simple shed-roof garage constructed of wood framing with sheet metal cladding on three sides. The fourth (north) side is clad in wooden clapboard siding. The only opening into the garage is a hinged double-door on the south façade which is clad in corrugated metal.*Setting:* This small garage is situated between Sampson Avenue and the adjacent house. A driveway leads from the street north to the garage, and the neighboring driveway sits immediately north of the garage. It is within a dense neighborhood of single-family houses on a steep, east-facing hillside. The neighboring house at 135 Sampson is a large two-story residence of little historic value.*Workmanship:* Constructed of dimensioned lumber and sheet metal, this garage is indicative of vernacular Park City outbuildings, which were often built by the homeowner with little or no consultation and with materials at hand. Lumber and sheet metal scraps would have been readily available in the mining town, and the doors are typical of the era.*Feeling:* The garage conveys a sense of Park City history through its material use and simplicity. Its historic feeling has been diminished by neglect, which has left the garage in a state of decay.*Association:* There is photographic evidence of a garage in this location that was also depicted on the 1907 Sanborn Map. This garage was larger than the current one, but it is possible that part of the original garage was dismantled, leaving the current structure. This could potentially explain the material usage on the garage, with wood clapboard on the original exterior and tin used to patch openings that had been exposed when the larger portions were removed. Either way, the structure was smaller by the 1929 Sanborn Map and was probably being used as an automobile garage or other outbuilding.

5 SIGNIFICANCEArchitect: not known known: (source:)

Date of Construction: c. 1900

Builder: not known known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement and Mining Boom Era (1868-1893)
 Mature Mining Era (1894-1930)
 Mining Decline and Emergence of Recreation Industry (1931-1962)

Description of historic era: Mature Mining Era (1894-1930): By the 1890s, Park City was a bona fide mining town, with a railroad station, post office, fire department, and growing school system. While individuals lost and gained jobs based on fluctuating silver prices, the mining industry was relatively stable in Park City through the 1920s. The Great Fire of 1898 proved the strength of the town: while Main Street was almost completely levelled and sustained over \$1,000,000 in damages, most of the buildings were rebuilt by 1900. Unlike other fire ravaged western mining towns, which often went permanently bust over similar blazes, the demand for Park City silver caused a rapid rebuilding of the business district. Park City survived the Spanish Flu Epidemic, World War I, and Prohibition mostly unscathed, boasting over 4,000 residents in the 1930 United States Census.

2. Persons: N/A

3. Architecture: N/A

6 PHOTOS

Photographs on the following pages (taken by the researcher, unless noted otherwise):

Photo No. 1: Northwest oblique. Camera facing southeast. November 2014.

Photo No. 2: West elevation. Camera facing east. November 2014.

Photo No. 3: Southwest oblique. Camera facing northeast. November 2014.

Photo No. 4: Northeast oblique. Camera facing west. 1904 or 1905. (Park City Historical Society & Museum)

Photo No. 5: Detail of northeast oblique (Photo No. 4). Camera facing west. 1904 or 1905. (Park City Historical Society & Museum)

Photo No. 1: Northwest oblique. Camera facing southeast. November 2014.



Photo No. 2: West elevation. Camera facing east. November 2014.



Photo No. 3: Southwest oblique. Camera facing northeast. November 2014.



Photo No. 4: Northeast oblique. Camera facing west. 1904 or 1905. (Park City Historical Society & Museum)



Photo No. 5: Detail of northeast oblique (Photo No. 4). Camera facing west. 1904 or 1905. (Park City Historical Society & Museum)



135 Sampson Avenue

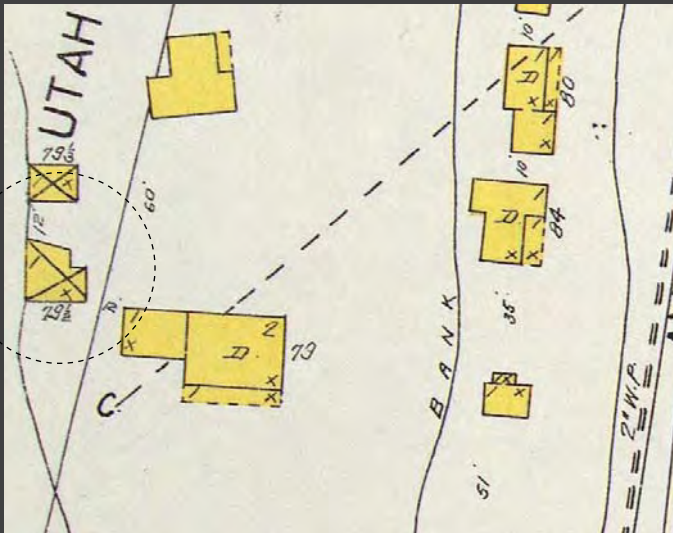
Sanborn Map History

(outside of 1889 Sanborn boundary)

1889

(outside of 1900 Sanborn boundary)

1900



1907



1929

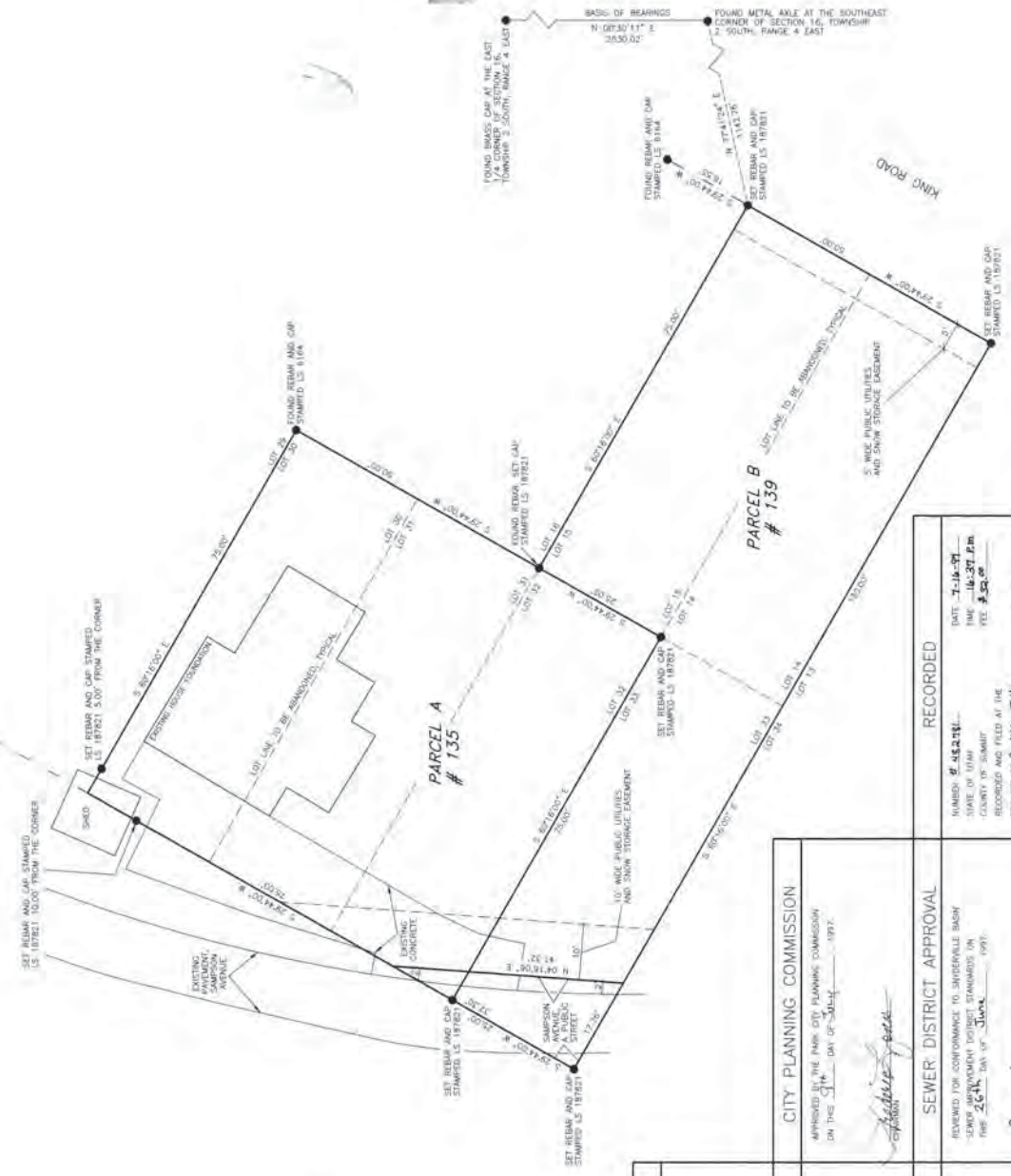


1941

**SLETTA PLAT AMENDMENT
A PLAT AMENDMENT AND
RECORD OF SURVEY
LOTS 14, 15, 30, 31, 32, AND 33, BLOCK 77, PARK CITY**



135 = STREET ADDRESS



OWNER'S CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT WE, ROBERT K. SLETTA AND CAROL ANN SLETTA, THE OWNERS OF THE ABOVE DESCRIBED PROPERTY, DO HEREBY CERTIFY THAT WE HAVE CAUSED THIS SURVEY TO BE MADE AND THE PLAT TO BE PREPARED AND RECORDED IN ACCORDANCE WITH THE PROVISIONS OF THE PLAT ACT, AND WE HEREBY AUTHORIZE THE AMENDMENT AND SIGN THESE FURTHER OFFER TO REDEVELOP ALL STREETS AND EASEMENTS SHOWN ON THIS PLAT TO PARK CITY MUNICIPAL CORPORATION IN ACCORDANCE WITH AN IRREVOCABLE LETTER OF RESIGNATION.

ROBERT K. SLETTA
CAROL ANN SLETTA

ACKNOWLEDGEMENT

STATE OF UTAH
COUNTY OF KANE
I, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, ROBERT K. SLETTA AND CAROL ANN SLETTA, WHO AFTER BEING DULY SWORN, PERSONALLY APPEARED BEFORE ME AND THEY SIGNED THE ABOVE OWNERS' CONSENT TO RECORD FREELY AND VOLUNTARILY.



SURVEYOR'S CERTIFICATE

I, JANE DAWSON, CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THE SURVEY WAS MADE AND RECORDED IN ACCORDANCE WITH THE PROVISIONS OF THE PLAT ACT OF UTAH, AND THAT I HAVE MADE SURE OF THE PRECISION, SHOWN HEREON AND AS DESCRIBED IN THE NOTES AND LEGAL DESCRIPTION BELOW.

- NOTES**
1. BASIS OF BEARINGS FOR THIS SURVEY IS AS SHOWN.
 2. SURVEY MONUMENTS WERE FOUND OR SET AS SHOWN.
 3. THE PURPOSE OF THIS SURVEY IS FOR PLAT AMENDMENT AND BOUNDARY.
 4. THIS SURVEY WAS REQUESTED BY ROBERT SLETTA.
 5. THE OWNER OF THIS PROPERTY SHOULD BE AWARE OF ANY IDEAS ATTACHED TO THE PROPERTY THAT MAY APPEAR IN A TITLE INSURANCE REPORT, THE RECORDS OF THE COUNTY CLERK, OR RECORDS OF THE COUNTY ENGINEER, OR ENCUMBRANCES ON THE PROPERTY SURVEYED, EXCEPT AS DRAWN OR SHOWN ON THIS PLAT.
 6. ALL BEARINGS AND DISTANCES SHOWN WERE MEASURED AND ARE EQUIVALENT TO THE RECORD BEARINGS AND DISTANCES, EXCEPT WHERE OTHERWISE SHOWN.

LEGAL DESCRIPTIONS

PARCEL A: LOTS 14, 15, AND 33 OF BLOCK 77 OF THE MILLSTE RESERVATION TO THE ALL OF CORNER 1, 2, 3 AND 4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 8 EAST, SALT LAKE BASIN AND PARCEL A CONTAINS 0.13 ACRES.

PARCEL B: LOTS 30, 31, AND 32 OF BLOCK 77 OF THE MILLSTE RESERVATION TO THE ALL OF CORNER 1, 2, 3 AND 4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 8 EAST, SALT LAKE BASIN AND PARCEL B CONTAINS 0.13 ACRES.

5-30-97
DATE



Jane Dawson
SURVEYOR

SURVEYED BY:
ON THE MAP
LAND SURVEYING
P.O. BOX 3084
PARK CITY, UTAH 84302

CITY COUNCIL APPROVED BY THE PARK CITY COUNCIL ON THIS 17th DAY OF November, 1997. MAYOR: [Signature] CITY RECORDER: [Signature]	CITY ENGINEER APPROVED BY THE PARK CITY ENGINEER ON THIS 9th DAY OF July, 1997. [Signature] ENGINEER	CITY ATTORNEY APPROVED AS TO FORM BY THE PARK CITY ATTORNEY ON THIS 9th DAY OF June, 1997. [Signature] CITY ATTORNEY
CITY PLANNING COMMISSION APPROVED BY THE PARK CITY PLANNING COMMISSION ON THIS 31st DAY OF July, 1997. [Signature]	SEWER DISTRICT APPROVAL REVIEWED FOR CONFORMANCE TO UNDERWALL BASIN SEWER IMPROVEMENT DISTRICT STANDARDS ON THIS 26th DAY OF June, 1997. [Signature]	RECORDED NUMBER 454241 STATE OF UTAH COUNTY OF SAMMIT RECORDED AND FILED AT THE REQUEST OF Doretha Tille DATE 7-14-97 TIME 10:27 AM FEE \$50.00 Doretha Tille COUNTY RECORDER



Planning Department

Historic Preservation Board Staff Report

Author: Anya Grahn, Historic Preservation Planner
Subject: Historic Sites Inventory
Address: 316 Woodside Avenue
Project Number: PL-14-02555
Date: March 4, 2015
Type of Item: Administrative – Determination of Significance

Summary Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and designate the house at 316 Woodside Avenue as a Significant Site on the Park City Historic Sites Inventory.

Topic:

Project Name: 316 Woodside Avenue
Applicant: Park City Municipal Corporation
Owners: Marlene Thibault and Monique D. Abbott
Proposal: Determination of Significance

Background:

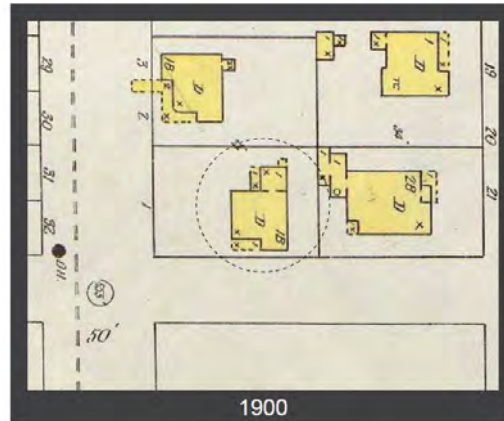
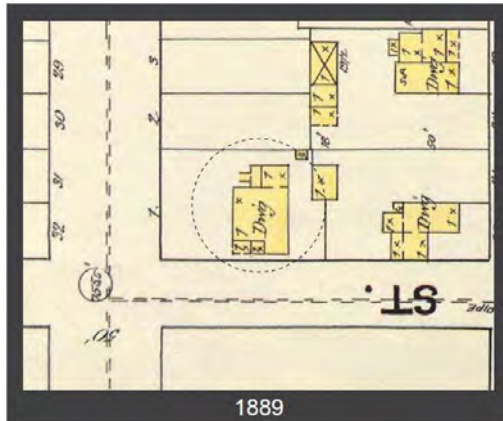
The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. Since 2009, staff has reviewed Determination of Significance (DOS) applications with the HPB on a case-by-case basis in order to keep the Historic Sites Inventory (HSI) current. One of the goals of the CRSA intensive level survey is to ensure that the Planning Department has a comprehensive list of all historic properties in Park City, and this DOS is for a property that had, for reasons unknown, not been included in the Historic Sites Inventory (HSI) adopted in 2009.

The purpose of this DOS is for the HPB to consider including and designating the house at 316 Woodside as Significant on the HSI.

There have been a number of past applications for 316 Woodside Avenue. In 2001, the owners were granted an Administrative Lot Line Adjustment to combine Lots 31 and 32 of Block 3 of the Park City Survey. Between 2001 and 2002, a new foundation and basement renovation occurred. In March 2010, Planning Department staff denied an Administrative Conditional Use Permit (CUP) for a proposed parking pad. In addition to land use applications, the property has also received several historic preservation grants: \$2,500 in 1989; \$3,700 in 1997; and \$15,400 in 2001. There are no current applications, except for this DOS, for this property.

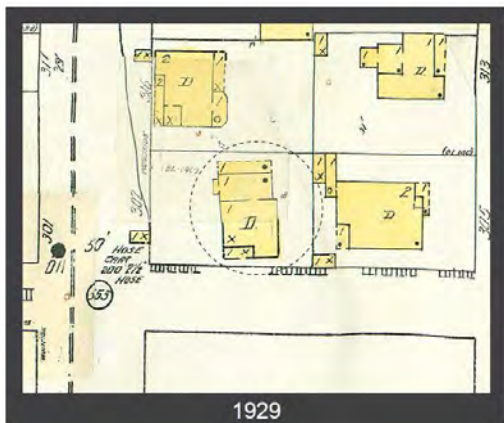
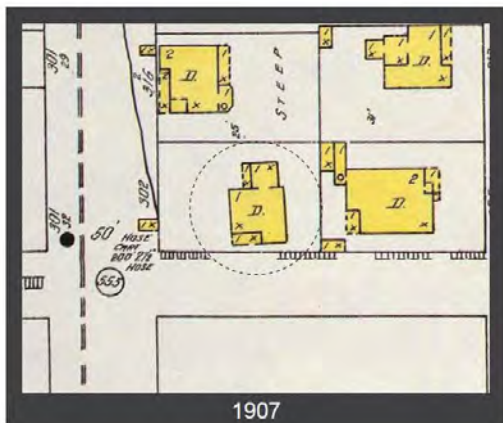
History of the Structure:

The residential structure constructed at 316 Woodside Avenue was initially constructed c. 1889 by Martin Prisk, an employee of the Marsac Company. Prisk took out a \$150.00 mortgage on the property from Frank Andrews on June 8, 1889. The structure was originally built as a T-shaped cottage.



The structure remained largely unchanged between 1889 and 1900. There is a small rear addition with side porch as well as a front porch across the end of the T-shaped cottage.

Between 1900 to 1907, it appears that the front porch, facing the south, was screened in. An addition was also added to the rear wing of the structure to create an addition that expanded across the rear elevation between 1907 and 1929.



Between 1907 and 1929, the front porch appears to have been screened in. The original rear addition was replaced between 1907 and 1929 with a new addition that expanded across the length of the structure.

After 1941, the house was remodeled to restore the front porch. A rear porch also appears to have been enclosed.



Analysis and Discussion:

The Historic Preservation Board is authorized by Land Management Code (LMC) 15-11-5(l) to review and take action on the designation of sites within the Historic Sites Inventory. The Historic Preservation Board may designate sites to the Historic Sites Inventory as a means of providing recognition to and encouraging the preservation of historic sites in the community (LMC 15-11-10). Land Management Code Section 15-11-10(A) sets forth the criteria for designating sites to the Park City Historic Sites Inventory (HSI).

Because the house does retain its Essential Historic Form, the evidence supports the conclusion that the house is “Significant”.

Significant Site. Any buildings (main, attached, detached or public), accessory buildings and/or structures may be designated to the Historic Sites Inventory as a Significant Site if the Planning Department finds it meets all the criteria listed below:

*(a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and (...) **Complies***

The structure was originally constructed circa 1889, making it as much as 126 years old.

(b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:

- (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or*
- (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or*
- (iii) Moving it from its original location to a Dissimilar Location, or*

(iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way. **Complies.**

The house retains its Essential Historic Form. Additions made between 1907 and 1929 were constructed within the Mature Mining Era (1894 to 1930). These additions represent the need for Parkites to expand their homes as families began to grow and occupy these homes. Further, these additions have gained historical significance in their own right. The post-1941 addition has altered the historic roof form, but it does not change the pitch of the main roof of the primary façade.

(c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:

- (i) An era of Historic importance to the community, or
- (ii) Lives of Persons who were of Historic importance to the community, or
- (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period. **Complies.**

This structure contributes to our understanding of Park City's Settlement and Mining Boom Era (1868-1893). Like many houses of this era, the site is associated with an era of substantial growth in Park City as the town was experiencing its initial boom before the Panic of 1893 and the Great Fire of 1898. The materials used in the original construction—drop novelty wood siding, simple door and window trim—were commonly used during this era. The house's fronting of Third Street also speaks to the patterns of development seen in Park City historically.

The criteria for designating sites to the Park City Historic Sites Inventory as a Landmark Site include:

- (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community. **Complies.**
- (b) It retains its Historic Integrity in terms of location, design, setting, materials, workmanship, feeling and association as defined by the National Park Service for the National Register of Historic Places. **Does Not Comply.**
- (c) It is significant in local, regional or national history, architecture, engineering or culture associated with at least one (1) of the following:
 - (i) An era that has made a significant contribution to the broad patterns of our history;
 - (ii) The lives of Persons significant in the history of the community, state, region, or nation; or
 - (iii) The distinctive characteristics of type, period, or method of construction or the work of a notable architect or master craftsman. **Complies.**

Staff finds that the structure at 316 Woodside Avenue meets the standards for local "significant" designation, but does not meet the criteria for "landmark" designation. In order for the site to be designated as "landmark," the structure would have to be eligible for the National Register of Historic Places and retain a high level of integrity. The National Register evaluates later additions based on their assessment of the effect an

addition has on the property's historic integrity. It is staff's professional opinion that the post-1941 addition and changes to the rear roof form has damaged and obliterated significant character-defining features from the historic character of the original house, making it ineligible for the National Register. These later modifications do not contribute to the historical significance of the historic house.

Process:

The HPB will hear testimony from the applicant and the public and will review the Application for compliance with the "Criteria for Designating Historic Sites to the Park City Historic Sites Inventory." The HPB shall review the Application "de novo," giving no deference to the prior determination. If the HPB finds that the application does not comply with the criteria set forth in Land Management Code 15-11-10(A)(1) or Land Management Code 15-11-10(A)(2), the Building and/or structure will be removed from the Historic Sites Inventory. The HPB shall forward a copy of its written findings to the Owner and/or Applicant.

The Applicant or any party participating in the hearing may appeal the Historic Preservation Board decision to the Board of Adjustment. Appeal requests shall be submitted to the Planning Department ten (10) days of the Historic Preservation Board decision. Appeals shall be considered only on the record made before the HPB and will be reviewed for correctness.

Notice:

On February 21, 2015, Legal Notice of this public hearing was published in the Park Record and posted in the required public spaces. The property owner was notified of this DOS on January 27, 2015.

Public Input:

A public hearing, conducted by the Historic Preservation Board, is required prior to adding sites to or removing sites from the Historic Sites Inventory. The public hearing for the recommended action was properly and legally noticed as required by the Land Management Code. No public input was received at the time of writing this report.

Alternatives:

- Conduct a public hearing to consider the DOS for the house at **316 Woodside Avenue** described herein and find the house at **316 Woodside Avenue** meets the criteria for the designation of "Significant" to the Historic Sites Inventory according the draft findings of fact and conclusions of law, in whole or in part.
- Conduct a public hearing and find the house at **316 Woodside Avenue** does not meet the criteria for the designation of "Significant" to the Historic Sites Inventory, and providing specific findings for this action.
- Continue the action to a date uncertain.

Significant Impacts:

The structure at 316 Woodside Avenue was not included in the 2009 Historic Sites Inventory. If designated as "Significant" on the HSI, any alterations must comply with

the Design Guidelines for Historic Sites; the site will be eligible for the Historic District Grant Program. Should the structure not be included, then the property owner will be eligible for demolition.

Consequences of *not* taking the Recommended Action:

If no action is taken, no change will occur to the designation of **316 Woodside Avenue** on the Historic Sites Inventory and the structure will continue to not be included on the HSI.

Recommendation:

Staff recommends the Historic Preservation Board review the application, conduct a public hearing, and designate the house at 316 Woodside Avenue as a Significant Site on the Park City Historic Sites Inventory.

Finding of Fact:

1. The Park City Historic Sites Inventory (HSI), adopted February 4, 2009, includes 405 sites of which 192 sites meet the criteria for designation as Landmark Sites and 213 sites meet the criteria for designation as Significant Sites. This site was not included on the 2009 HSI.
2. The house at 316 Woodside Avenue is within the Historic Residential-1 (HR-1) zoning district.
3. There is wood-frame T-shaped cottage at 316 Woodside Avenue.
4. The existing house structure has been in existence at 316 Woodside Avenue since circa 1889. The structure appears in the 1889, 1907, 1929, and 1941 Sanborn Fire Insurance maps. A 1904-1904 tax photo of Park City also demonstrates that the overall form of the structure has not been altered.
5. The house was built c. 1889 during the Settlement and Mining Boom Era (1868-1893) by Martin Prisk, an employee of the Marsac Company. Between 1907 and 1929, a rear addition was constructed to fill-in the wing of the T-shape cottage. Staff finds that these changes have gained historical significance in their own right, and that the house is historic. A later, post-1941 addition was also constructed across the rear of the house.
6. The house is clad in drop novelty siding, simple wood trim, and Victorian-inspired details reminiscent of the Settlement and Mining Boom Era.
7. The structure is T-shape plan and typical of the types of residential structures built during the Settlement and Mining Boom Era. Further, T-shape cottages were part of a national Romantic movement towards the picturesque and dynamic plans in Victorian art and architecture.
8. The site meets the criteria as Significant on the City's Historic Sites Inventory.
9. Built circa 1889, the structure is over fifty (50) years old and has achieved Significance in the past fifty (50) years.
10. Though the post-1941 addition to the house has altered the rear roof form, the structure has retained its Essential Historical Form. The Land Management Code defines the Essential Historical Form as the physical characteristics of a Structure that make it identifiable as existing in or relating to an important era in the past.

11. The house structure is important in local or regional history because it is associated with an era of historic importance to the community, the Settlement and Mining Boom Era (1868-1893)

Conclusions of Law

1. The existing house structure located at 316 Woodside Avenue meets all of the criteria for a Significant Site as set forth in LMC Section 15-11-10(A)(2) which includes:
 - (a) It is at least fifty (50) years old or has achieved Significance in the past fifty (50) years if the Site is of exceptional importance to the community; and
 - (b) It retains its Essential Historical Form, meaning there are no major alterations that have destroyed the Essential Historical Form. Major alterations that destroy the Essential Historical Form include:
 - (i) Changes in pitch of the main roof of the primary façade if 1) the change was made after the Period of Historic Significance; 2) the change is not due to any structural failure; or 3) the change is not due to collapse as a result of inadequate maintenance on the part of the Applicant or a previous Owner, or
 - (ii) Addition of upper stories or the removal of original upper stories occurred after the Period of Historic Significance, or
 - (iii) Moving it from its original location to a Dissimilar Location, or
 - (iv) Addition(s) that significantly obscures the Essential Historical Form when viewed from the primary public Right-of-Way.
 - (c) It is important in local or regional history, architecture, engineering, or culture associated with at least one (1) of the following:
 - (i) An era of Historic importance to the community, or
 - (ii) Lives of Persons who were of Historic importance to the community, or
 - (iii) Noteworthy methods of construction, materials, or craftsmanship used during the Historic period.
2. The existing house structure located at 316 Woodside Avenue does not comply with all of the criteria for a Landmark Site as set forth in Land Management Code (LMC) Section 15-11-10(A)(1). The structure does not meet the criteria for landmark designation as it is not eligible for the National Register of Historic Places due to post 1941 alterations that have damaged and obliterated significant character-defining features of the historic structure.

Exhibits:

Exhibit A – Historic Sites Inventory Form, 2014

HISTORIC SITE FORM – HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **House at 316 Woodside Avenue**

Address: 316 Woodside Avenue

A.K.A.:

City, County: Park City, Summit County, Utah

Tax Number: THBLT-A

Current Owner Name: Marlene Thibault and Monique D. Abbott (joint)

Parent Parcel(s): PC-50

Current Owner Address: PO Box 2573, Park City, UT 84060-2573

Legal Description (include acreage): LOT A THIBAUT PLAT AMENDMENT; ACCORDING TO THE OFFICIAL PLAT ON FILE IN THE SUMMIT COUNTY RECORDERS OFFICE CONT 0.09 AC 1532-540 1751-1884-1909

2 STATUS/USE

Property Category

- building(s), main
- building(s), attached
- building(s), detached
- building(s), public
- building(s), accessory
- structure(s)

Evaluation*

- Landmark Site
- Significant Site
- Not Historic

Reconstruction

- Date: _____
 Permit #: _____
 Full Partial

Use

- Original Use: single dwelling
 Current Use: single dwelling

- *National Register of Historic Places: eligible ineligible
 listed (date:)

3 DOCUMENTATION

Photos: Dates

- tax photo:
- prints: Nov. 2014 (3)
- historic: c. 1905

Drawings and Plans

- measured floor plans
- site sketch map
- Historic American Bldg. Survey
- original plans:
- other:

Research Sources (check all sources consulted, whether useful or not)

- abstract of title
- tax card
- original building permit
- sewer permit
- Sanborn maps
- obituary index
- city directory/gazetteers
- census records
- biographical encyclopedias
- newspapers
- city/county histories
- personal interviews
- Utah Hist. Research Center
- USHS preservation files
- USHS architects file
- LDS Family History Library
- Park City Hist. Soc./Museum
- university library(ies):
- other:

Bibliographical References (books, articles, interviews, etc.). Attach copies of all research notes and materials
 Carter, Thomas and Peter Goss. *Utah's Historic Architecture, 1847-1940*. Salt Lake City: Center for Architectural Studies, Graduate School of Architecture, University of Utah and Utah State Historical Society, 1988.
 Hampshire, David, Martha Sonntag Bradley and Allen Roberts. *A History of Summit County*. Coalville, UT: Summit County Commission, 1998.
 National Register of Historic Places. *Park City Main Street Historic District*. Park City, Utah, National Register #79002511.
 Peterson, Marie Ross and Mary M. Pearson. *Echoes of Yesterday: Summit County Centennial History*. Salt Lake City: Daughters of Utah Pioneers, 1947.
 Randall, Deborah Lyn. *Park City, Utah: An Architectural History of Mining Town Housing, 1869 to 1907*. Master of Arts thesis, University of Utah, 1985.
 Thompson, George A., and Fraser Buck. *Treasure Mountain Home: Park City Revisited*. Salt Lake City: Dream Garden Press, 1993.

4 ARCHITECTURAL DESCRIPTION AND INTEGRITY*Building Type and/or Style:* L-cottage type, Victorian Eclectic style*No. Stories:* 1*Additions:* none minor major (describe below) *Alterations:* none minor major (describe below)*Number of associated outbuilding and/or structures:* accessory building(s), # 0; structure(s), # 0.*General Condition of Exterior Materials:* Good: Well-maintained with no serious problems apparent Fair: Some problems are apparent. *Describe the problems:* Poor: Major problems are apparent and constitute an imminent threat. *Describe the problems:* Uninhabitable/Ruin*Materials:*

Foundation: concrete

Walls: drop wood siding, fishscale wood shingles in gable end

Roof: standing seam metal

Windows/Doors: double-hung windows (typical), paneled wood doors, and French doors with wooden trim.

Essential Historical Form: retains does not retain*Location:* original location moved (date: , original location:)

Design: This is a modified version of the T-cottage type house that has been added onto in the northern direction. The historic house also had an extension to the north, which has been expanded since to fill in the northwest corner of the volume. This was accomplished by extending the original hipped roof structure, creating an asymmetrical profile when viewed from the west (on Woodside Avenue). Patios have been added to the east and west sides of the house since its historic period.

Setting: Set on an east-facing hillside in Old Town Park City. The site overlooks historic Main Street and is on a double-wide 50'x75' lot within the original Park City survey. With small lots, maximized construction, and narrow streets, the neighborhood is relatively dense for a single-family zoned area.

Workmanship: This house utilizes typical materials and assemblies of a Park City residence built during the early twentieth century. Namely, drop wood siding was the preferred wall material of this era and most houses are topped with asphalt shingle roofs. The subtle window and door trim, as well as the patio post and bracket details convey a sense of Victorianism, which was popular at the time of construction.

Feeling: Retains its historic integrity despite the addition of patios on the east and west sides. Originally, access was through the existing covered porch on the southwest side, typical of T-cottage houses. This house also had a west-facing covered porch into the northern extension, which has been removed and replaced with an addition in the northwest corner of the house. The setting has been changed little, as the house is still accessed from public stairs on Third Street, which is now pedestrian-only.

Association: T-cottages were popular in Park City through the 1880s and 1890s, when the town was growing rapidly as one of the leading silver mining camps in the United States.¹ Unlike most of the previous housing

¹ Randall, 83.

types, which encouraged symmetry and understatedness, T-cottages were part of a national Romantic movement towards the picturesque and dynamic plans in Victorian art and architecture. Like most houses of this type, 316 Woodside is associated with an era of substantial growth in Park City as the town was experiencing its initial boom before the Panic of 1893 and the Great Fire of 1898 slowed development in the following decade. Martin Prisk took out a \$150.00 mortgage on the property from Frank Andrews on June 8, 1889, indicating a probable date of construction.²

5 SIGNIFICANCE

Architect: not known known: (source:)

Date of Construction: c. 1889

Builder: not known known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- Settlement and Mining Boom Era (1868-1893)
 Mature Mining Era (1894-1930)
 Mining Decline and Emergence of Recreation Industry (1931-1962)

Description of historic era: While the area around present-day Park City (then called "Parley's Park") was sparsely settled previously as a pastoral ranching and foresting range, the discovery of silver in 1869 led to the establishment of the Park City Mining District. While miners were required to live in company housing above town near the mineshafts, the townsite began to boom with an influx of support industries and services. The Ontario Mine was established in 1872 and soon became one of the leading silver producers in the world, bringing wealth to its investors and the town in general. Other prolific mining companies were started, and Park City claimed almost 3,000 residents in the 1890 Federal Census. Development was concentrated at this time around a mixed-use Main Street; residences along Park, Woodside, and Daly avenues; and industrial structures along the periphery of Old Town.

2. Persons: Martin Prisk, probable owner at time of construction.

3. Architecture: N/A

6 PHOTOS

Photographs on the following pages (taken by the researcher, unless noted otherwise):

Photo No. 1: Southwest oblique. Camera facing northeast. November 2014.

Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.

Photo No. 3: West elevation. Camera facing east. November 2014.

Photo No. 4: Overall view of Park City from Masonic Hill. Camera facing west. 1904-1905. (Park City Historical Society & Museum)

Photo No. 5: Detail of Photo No. 4, overall view of Park City from Masonic Hill. Camera facing west. 1904-1905. (Park City Historical Society & Museum)

² From title abstracts in the Summit County Recorder's Office, Coalville, UT.

Photo No. 1: Southwest oblique. Camera facing northeast. November 2014.



Photo No. 2: Southeast oblique. Camera facing northwest. November 2014.



Photo No. 3: West elevation. Camera facing east. November 2014.



Photo No. 4: Overall view of Park City from Masonic Hill. Camera facing west. 1904-1905. (Park City Historical Society & Museum)

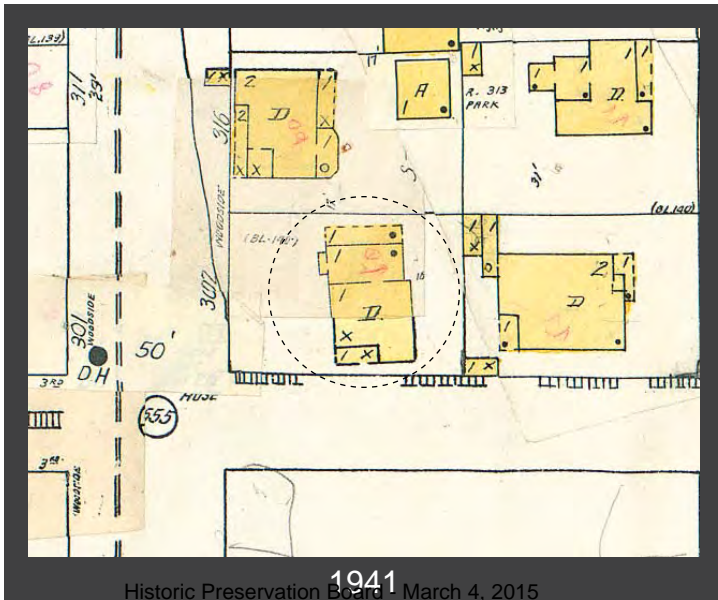
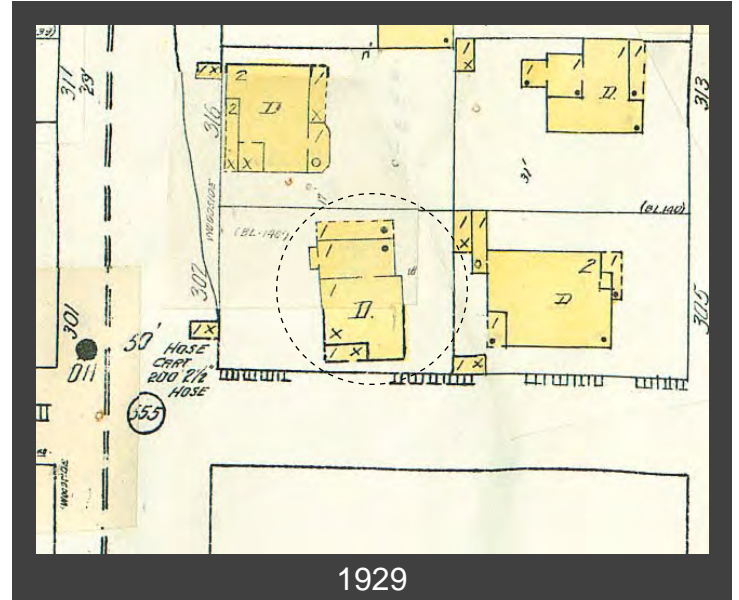
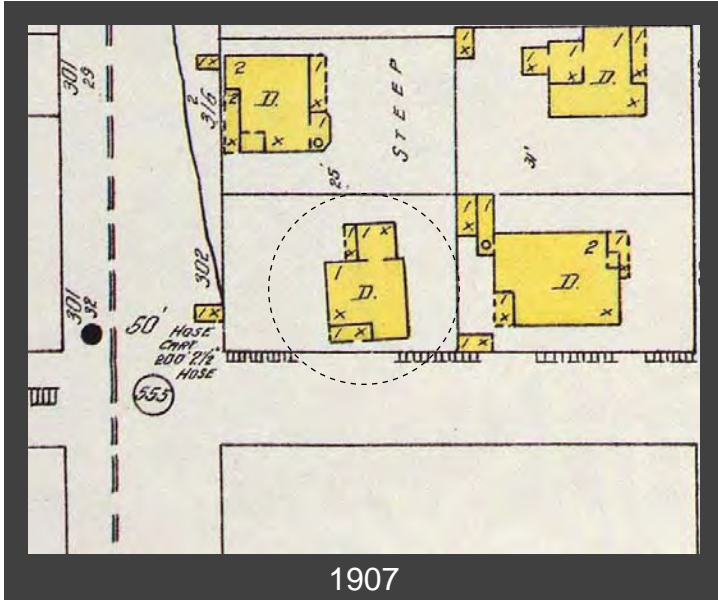
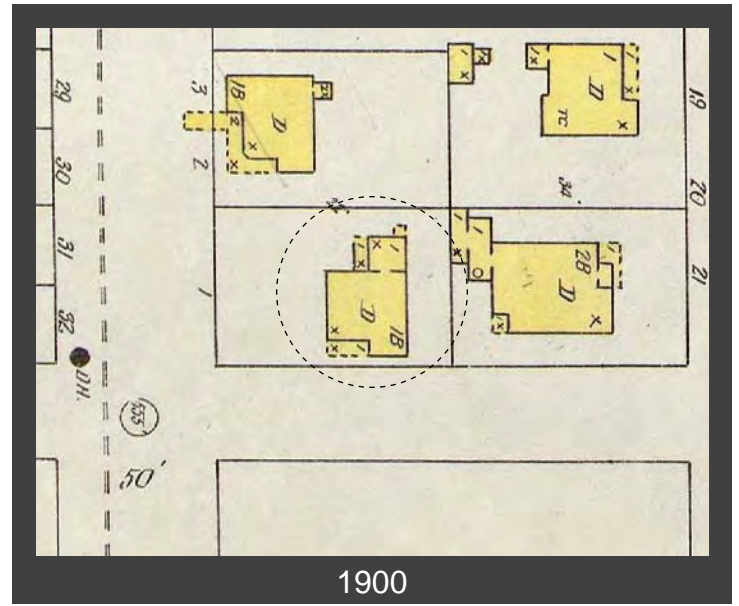
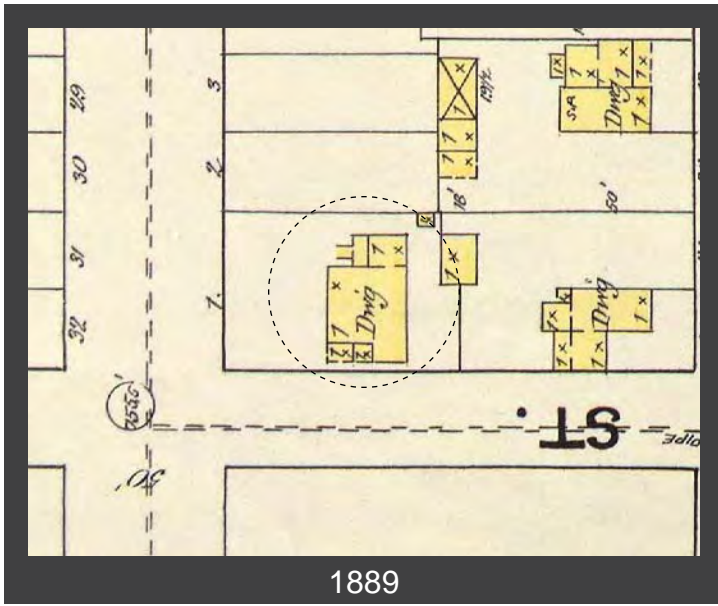


Photo No. 5: Detail of Photo No. 4, overall view of Park City from Masonic Hill. Camera facing west. 1904-1905.
(Park City Historical Society & Museum)



316 Woodside Avenue

Sanborn Map History



Death of Martin Prisk

Charles T. Prisk received the sad intelligence Tuesday last that his father had passed away following the recent stroke of paralysis. Mr. Prisk left on the afternoon train for the home of his parents at Ely, Minnesota, to attend the funeral. Mr. Martin Prisk with his wife made their home in Park City for many years, deceased being a trusted employe of the Marsac company for a long time. Mr. and Mrs. Prisk left here about sixteen years ago, for a time making their home in Michigan, later moving to Ely, Minn., where Mr. Prisk was employed by the U. S. Steel company. He was in his sixty-sixth year, and is survived by his widow and three sons, Martin, John and Charles T. and to these The Record extends sympathy in their loss.



Historic Preservation Board Staff Report

Subject: Temporary Winter Balcony Enclosures
Author: Anya Grahn, Historic Preservation Planner
Department: Planning Department
Date: March 4, 2015
Type of Item: Work Session

Summary Recommendations:

Staff recommends the Historic Preservation Board (HPB) review staff's analysis of the proposed balcony enclosures over the Main Street right-of-way during the winter months (November through April) as well as proposed Design Guidelines, and the HPB make recommendations to City Council.

Topic/Description:

The Riverhorse on Main wishes to construct a temporary, seasonal enclosure on their balcony that would provide additional restaurant space during the winter months (November 1st through April 30th). They believe other restaurants on Main Street would also benefit by having the ability to enclose their balconies, and the Riverhorse has proposed that City Council develop a seasonal program similar to Street Dining on Main—the dining deck program.

Background:

On September 18, 2014, Seth Adams of the Riverhorse presented to City Council his concept for a winter balcony enclosure program. The applicant requested that property owners be permitted to enter into a lease agreement with the City for the enclosure of balcony space above the City right-of-way (ROW). This program would be similar to Street Dining on Main's summer dining decks. Staff met with City Council on November 13, 2014, to discuss this program and expressed their concern for these balcony enclosures; City Council directed staff to meet with the HPB for feedback on this program.

The HPB briefly discussed their interest in seasonal balcony enclosures during the January 7, 2015 meeting, and expressed interest in discussing the topic further during their next meeting.

There are approximately twenty-one (21) balconies on Main Street that extend over the City ROW. Of these, seven (7) are constructed on historic buildings, but only one (1) balcony is historic (361 Main Street). Land Management Code (LMC) 15-2.6-3 requires that no balcony projecting over City ROW may be erected, re-erected, located or relocated, enlarged, or structurally modified without first receiving approval from City Council. LMC 15-2.6-3(D) specifically states that "Balconies . . . may not be enclosed." Should City Council decide to pursue a seasonal balcony enclosure program, the LMC will need to be amended to allow for temporary balcony enclosures. Property owners are required to provide insurance for their balconies.

Outdoor dining is a conditional use in the Historic Commercial Business (HCB) District for restaurants. Any outdoor dining must be approved through an Administrative Conditional Use Permit (Admin-CUP). Riverhorse and Wahso both have Admin-CUPs for their outdoor dining for summertime balcony dining. No other restaurants currently have approvals.

The following chart outlines the location, historic designation, and existence of Admin-CUPs for the existing balconies:

Business Name:	Address:	Use:	Historic Designation:	Admin CUP for Outdoor Dining
TMI	255 Main St	Multiple	Not Historic	No
Red Banjo Pizza	322 Main St	Restaurant	Landmark	No
Berkshire Hathaway Home Services	354 Main St	Real Estate	Significant	No
Burns Cowboy Shop	361 Main St	Retail	Landmark	No
Woodbury Jewelers	421 Main St	Retail	Not Historic	No
Flannagans	438 Main St	Restaurant	Landmark	No
Robert Kelly Home	449 Main St	Retail	Significant	No
501 on Main	501 Main St	Restaurant	Not Historic	<i>Under review</i>
The Expanding Heart	505 Main St	Retail	Not Historic	No
The Cunningham Building	537 Main St	Office	Not Historic	No
River Horse	530-540 Main St	Restaurant	Landmark (Balcony is on the addition)	Yes
Quicksilver	570 Main St	Retail	Not Historic	Yes
Wahso	577 Main St	Restaurant	Not Historic	Yes
Gaucha/Above Condo	591 Main St	Retail/Residential	Significant	No
Destiny	608 Main St	Retail	Not Historic	No
Montgomery Life Fine Art	608 Main St	Retail	Not Historic	No
Condos	613 Main St	Residential (2 nd level)	Not Historic	No
Condos	614 Main St	Residential (2 nd level)	Not Historic	No
Summit Sotherby's International Realty	625 Main St	Residential/Realty	Not Historic	No
Bahnof Sport	639 Main St.	Retain	Not Historic	No
Town Lift Condominiums	693 Main St	Commercial/Residential	Not Historic	No
Caledonian Hotel	751 Main St	Commercial	Not Historic	No

Analysis:

A balcony is a platform that projects from the wall of a Building and is enclosed by a railing, parapet, or balustrade. It typically does not have a roof. Usually, balconies are incorporated into the design of a building for functional and aesthetic reasons. In some cases, the balcony offsets the massing of the commercial building while embellishing the façade of the structure with additional architectural detailing. The balcony is one of the most visible elements of the building and significantly contributes to the style, appearance, and relationship of the structure to the streetscape.

Balconies traditionally serve as open-air spaces. They are an extension of the interior yet provide a clear transitional space between the private interior spaces and public exterior spaces of the building. Balconies are an outside room during warm weather and provide a covered entrance to the lower level during adverse weather conditions.

Staff's professional opinion is that the enclosure of this space—even temporarily during the winter months—changes the historic character of the Main Street district as a whole. The enclosure of balcony spaces substantially alters the architectural design of the building, light and shade of the building design, and the rhythm and pattern of the streetscape. The visual character of the original building (historic or non-historic) will be substantially altered due to changes in its overall shape, roof design, projections, recesses, and solid-to-void ratio. On historic structures, the balcony enclosure would obscure and detract from historic details of the balcony and the corresponding historic building. In other cases, balconies that were not originally designed to meet the requirements of interior spaces and enclosures may require substantial structural changes and reconstruction.

Design Guidelines for Historic Districts and Historic Sites

Staff does not believe that the seasonal enclosures of balconies over Main Street complies with the current *Design Guidelines for Historic Sites and Structures*.

The Design Guidelines specify that new additions on historic buildings be visually subordinate to the historic building from the primary public right-of-way, including incorporating rooftop additions that are not visible from the street. The guidelines also recommend that the new addition does not obscure or significantly contribute to the loss of historic materials. Staff finds that these balcony enclosures are a very visible addition to the existing structure, conceal historic building facades, and threaten historic materials.

Staff is concerned that the annual construction and removal of the balcony enclosures will be detrimental to historic building materials. Nails, screws, sealants, and other materials used at connections will leave behind holes, scratches, stains, and other signs of damage on the historic materials that will need to be patched and repaired annually when the enclosure is removed. Staff finds that this will intensify normal wear and tear on historic materials and cause the materials to deteriorate faster.

Staff also finds that the proposed balcony enclosures will visually modify or alter the original building design. The majority of historic buildings with existing balconies already have second-level doors accessing the balcony; however, these doors are not original to the building. Most buildings would not be permitted to add a new door to access their non-historic balcony. As new doors and balconies would not be permitted to be constructed without a Historic District Design Review (HDDR) approval and permission from City Council to construct over the public right-of-way, staff finds that only a limited number of balcony enclosures would be permitted for those decks already existing.

Staff has met with the Legal, Building, Finance, and Engineering Department to identify other issues that will need to be addressed in order to establish this program. These include:

- The applicant must submit a full architectural and engineering plan to the Building Department that addresses energy efficiency, structural loads on the cantilevered deck, emergency egress plans, seating plan, weather proofing, electrical plans, etc. Additional electrical upgrades must be permanent and electrical outlets will need to be concealed from the view of the public right-of-way.
- The applicant will also need to provide a snow shed plan. Snow will need to be retained on the roof and the applicant shall show how the melted snow will be diverted to the public way without draining across the sidewalk.
- Building permits will be required for the assembly and disassembly of the seasonal balcony enclosures.
- Increased water and sewer impact fees will require Snyderville Basin Water Reclamation District sign-off.
- There will be increased fees for business licensing due to the additional square footage.
- Additional fire safety requirements will require approval by Park City Fire District.
- The applicant will assume all liability for the seasonal enclosures and need to provide insurance for the balcony and enclosure.

Does the HPB wish to see balcony enclosures on both historic and non-historic buildings? Or, would the HPB prefer that the new enclosures be limited to non-historic structures only so as not to increase annual wear and tear on historic materials?

Developing a program similar to summer dining decks

In order to accommodate such a program, the Design Guidelines and the Land Management Code (LMC) will need to be amended in order to allow for the temporary, seasonal enclosure of the balconies. LMC 15-2.6-3(D) Balconies should be amended to state:

(D) BALCONIES. No Balcony may be erected, enlarged, or altered over a public pedestrian Right-of-Way without the advance approval of the City Council. Balcony supports may not exceed eighteen inches (18") square and are allowed no closer than thirty-six inches (36") from the front face of the curb. Balconies must provide vertical clearance of not less than ten feet (10') from the sidewalk and may not be enclosed permanently. Temporary seasonal balcony enclosures may be appropriate on some structures. With reasonable notice, the City may require a Balcony be removed from City property without compensating the Building Owner.

If City Council supports temporary balcony enclosures, than Staff recommends altering the following guidelines to specify that these guidelines are not impacted by temporary structures:

Design Guidelines for Historic Sites in Park City:

MSHS1. The proposed project must not cause the building or district to be removed from the National Register of Historic Places. Temporary structures are not subject to review of the National Register of Historic Places.

MSHS8. Temporary winter balcony enclosures are reviewed by the program's criteria and are not addressed by these Specific Design Guidelines.

Design Guidelines for New Construction in Park City's Historic Districts

MSNC1. New construction in the Main Street National Register Historic should be approved only after it has been determined by the Planning Department that the proposed project will not jeopardize the integrity of the surrounding Historic Sites. Temporary structures are not subject to review of the National Register of Historic Places.

MSNC9. Temporary winter balcony enclosures are reviewed by the program's criteria and are not addressed by these Specific Design Guidelines.

Should the HPB believe such enclosures are appropriate along Historic Main Street, staff finds that there need to be some basic guidelines in order to protect the historic integrity of the Main Street Historic District. Staff is recommending that the HPB review and provide feedback on the following proposed guidelines for balcony enclosures:

General Requirements for Balcony Enclosures

1. The enclosure must be constructed on a balcony on Main Street.
2. There may be times when it is not appropriate to enclose a balcony due to the unique historic character and architectural detailing of the historic building.
3. The applicant must demonstrate that the temporary enclosure will not damage the existing façade and/or side walls with repeated attachment and detachment.
4. The enclosure and balcony should respect the architectural style of the building.
5. The enclosure should retain existing railings in order to achieve a design consistent with open balconies and maintain the character of the original building.
6. The existing exterior wall may not be removed seasonally in order to accommodate the balcony enclosure.
7. The enclosure must not block existing door and window openings on neighboring buildings.
8. Enclosures should consist of clear glazing set in window frames that generally match the mass, scale, and material as those used for the glazing frames of the building.
9. Draperies, blinds, and/or screens must be located in a traditional manner above doors and windows. Draperies, blinds, and/or screens should not be used within the

balcony enclosure if they increase the bulk appearance of the enclosure. The use of these must blend with the architecture of the building and should not detract from it. Materials should be high-quality, colorfast, and sunfade resistant.

10. The balcony must be situated so as not to interfere with pedestrian movement on the sidewalk.
11. The enclosure must have direct access to the restaurant's dining area.
12. The design must address snow shedding.
13. Any changes to the exterior façade of the building, proposed changes to the existing balcony, or construction of a new balcony shall be reviewed by staff as part of the Historic District Design Review. New balconies extending over the City right-of-way will require the approval of City Council.
14. The construction of any temporary tents should be approved through an Administrative Conditional Use Permit for up to fourteen (14) days. Free-standing tents will not be considered the same as balcony enclosures.
15. Any new signage will require a Sign Permit application.

Does the Historic Preservation Board approve of these proposed Design Guidelines for Balcony Enclosures? Are there any other Design Guidelines that should be incorporated?

Recommendation:

Staff recommends the Historic Preservation Board (HPB) review staff's analysis of the proposed balcony enclosures over the Main Street right-of-way during the winter months (November through April) as well as proposed Design Guidelines, and the HPB make recommendations to City Council.

Exhibits:

Exhibit A – City Council Staff Report and Minutes

Exhibit B – HPCA input for balcony enclosures

Exhibit C – Additional renderings of proposed enclosure at Riverhorse



City Council Staff Report

Subject: Temporary Winter Balcony Enclosures
Author: Anya Grahn, Historic Preservation Planner
Department: Planning Department
Date: November 13, 2014
Type of Item: Work Session

Summary Recommendations:

Staff recommends City Council review staff's analysis of the proposed balcony enclosures over the Main Street right-of-way during the winter months (November through April). If City Council wishes to pursue a winter balcony enclosure program similar to the summer Street Dining on Main program, then City Council should provide direction to staff for moving forward.

Topic/Description:

The Riverhorse on Main wishes to construct a temporary, seasonal enclosure on their balcony that would provide additional restaurant space during the winter months (November 1st through April 30th). They believe other restaurants on Main Street would also benefit by having the ability to enclose their balconies, and the Riverhorse has proposed that City Council develop a seasonal program similar to Street Dining on Main—the dining deck program.

Background:

Riverhorse on Main submitted a Conditional Use Permit (CUP) application on September 13, 2013, to construct a "temporary" six (6) month structure that would enclose their balcony over the City right-of-way during the winter months. Staff found that though the structure would only be up during the winter months, the enclosure of balcony space over city-owned property detracted from the historic character of Main Street and would have recommended to the Planning Commission denial of a temporary structure that would be in place longer than fourteen (14) days and more than five (5) times per year. The applicant and staff agreed to defer the hearing before the Planning Commission in order to get direction from Council on this larger policy discussion.

On September 18, 2014, Seth Adams of the Riverhorse presented to City Council his concept for a winter balcony enclosure program (see Exhibit A for meeting minutes). The applicant requested that property owners be permitted to enter into a lease agreement with the City for the enclosure of balcony space above the City right-of-way (ROW). This program would be similar to Street Dining on Main's summer dining decks.

There are approximately twenty-one (21) balconies on Main Street that extend over the City ROW. Of these, seven (7) are constructed on historic buildings, but only one (1) balcony is historic (361 Main Street). Land Management Code (LMC) 15-2.6-3 requires

that no balcony projecting over City ROW may be erected, re-erected, located or relocated, enlarged, or structurally modified without first receiving approval from City Council. Finally, LMC 15-2.6-3(D) specifically states that “Balconies . . . may not be enclosed.”

Additionally, the LMC requires that the property owner submit a certificate of insurance or continuous bond protecting the owner and the City against all claims for personal injuries and/or property damage. Should the balcony encroach over the Public ROW, the owner is required to enter into an encroachment agreement with the City Engineer. Currently encroachment agreements exist for only two (2) balconies—255 and 530 Main Street. (City Engineer Matt Cassel has been diligent about obtaining encroachment agreements as they come up. It is unclear why they were not consistently attained in the past.)

Outdoor dining is a conditional use in the Historic Commercial Business (HCB) District for restaurants. Any outdoor dining must be approved through an Administrative Conditional Use Permit (Admin-CUP). Riverhorse and Wahso both have Admin-CUPs for their outdoor dining for summertime balcony dining. No other restaurants currently have approvals.

The following chart outlines the location, historic designation, and existence of Admin-CUPs for the existing balconies:

Business Name:	Address:	Use:	Historic Designation:	Admin CUP for Outdoor Dining
TMI	255 Main St	Multiple	Not Historic	
Red Banjo Pizza	322 Main St	Restaurant	Landmark	No
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Burns Cowboy Shop	361 Main St	Retail	Landmark	No
Woodbury Jewelers	421 Main St	Retail	Not Historic	No
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Montgomery Life Fine Art	608 Main St	Retail	Not Historic	No
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Bahnhof Sport	639 Main St.	Retail	Not Historic	No
Town Lift Condominiums	693 Main St	Commercial/Residential	Not Historic	No
Caledonian Hotel	751 Main St	Commercial	Not Historic	No

Analysis:

Design Guidelines for Historic Districts and Historic Sites

Staff does not believe that these seasonal enclosures of balconies over Main Street complies with the *Design Guidelines for Historic Sites and Structures* and conflicts with our goals for historic preservation.

Planning Staff’s professional opinion is that the enclosure of the balconies detracts from the historic “western” appearance of our Mining Era Main Street. The appearance of balconies over the sidewalks adds appeal and interest to the rhythm and patterning of the Main Street historic district. These enclosures would change the massing of the structure and create the perception of the second floor extending beyond the plane of the façade and over the City right-of-way. By extending beyond the front plane of the façade, these seasonal balcony enclosures would also be blocking the views of neighboring historic buildings when looking up Main Street. Park City’s Main Street is characterized by in-line facades with limited breaks in their massing. Staff finds that building over the balconies would break the well-articulated street wall along the sidewalk and will greatly disrupt the continuity of the street wall.



Scenario 1. *The balcony projects over Main Street adding interest to the street wall overall, but the balcony is also transparent and does not impede the view of the neighboring historic buildings.*



Scenario 2. *The seasonal enclosure extends over the city right-of-way. On the second level, the enclosure disrupts the continuity of the street wall and blocks the view of the Park City Museum.*

These balcony enclosures also threaten the historic integrity of historic commercial buildings. Staff finds that the proposed enclosures do not meet the *Design Guidelines for Historic Sites*. The construction of the enclosures would require the enclosure to be constructed atop historic exterior materials. Depending on the materials and the

connection, this construction could severely impact and damage the historic materials, components, finishes, and examples of craftsmanship.

Staff also finds that the proposed balcony enclosures will visually modify or alter the original building design. The majority of historic buildings with existing balconies already have second-level doors accessing the balcony; however, these doors are not original to the building. Flannigan's at 435 Main Street, for instance, would not be permitted to add a new door to access their balcony.

As will be discussed further in the next section, the Building Department will require the temporary enclosures to be constructed as permanent structures. Not only will this cause substantial damage to the historic building materials, but it will also require extensive restoration work to patch any damage made while connecting the new enclosure to the historic building. This may threaten the historic integrity of the building.

Should City Council wish to pursue the seasonal enclosures, staff would need to revise the Design Guidelines; however, staff believes that these seasonal enclosures conflict with our goals to preserve the historic character of Main Street. Should staff deny an individual application for a balcony enclosure HDDR because it does not meet the Design Guidelines, the applicant could appeal staff's determination to the Historic Preservation Board (HPB).

Land Management Code & International Building Code

The Land Management Code (LMC) was revised to address the duration of temporary structures in 2009. At that time, there were several temporary structures located on hotel properties in town that had been approved as temporary structures, but were left standing in virtual perpetuity. To ensure this trend would not continue, new duration parameters were adopted in 2009.

The LMC defines a temporary improvement as a structure built or installed, and maintained during the construction of a development, or during a special event or activity and then removed prior to release of the performance guarantee. Staff finds that the proposed balcony enclosures meet the definition of a temporary improvement, BUT extend beyond the duration of construction activity or a special event or activity as currently allowed by code. The winter season is not a special event.

The LMC stipulates that:

- All temporary structures greater than 200 square feet in floor area must submit structural calculations, wind load information, fire ratings, etc.
- A building permit is required for temporary structures greater than 200 square feet in area, or as determined by the Chief Building Official upon review of size, materials, location, weather, and proposed use.
- Temporary structures, such as tents, in no case may be installed for a duration longer than 14 days and for more than five (5) times per year on the same property or site, unless a longer duration or greater frequency is approved by the

Planning Commission consistent with the Conditional Use Criteria or as approved by City Council as part of a Master Festival.

*There have been instances where a temporary structure has been approved to stay up for greater than 14 days. Most recently, in 2013, the Planning Commission approved a Conditional Use Permit (CUP) at the Montage to allow for the construction of temporary structures for up to 15 times per year of which 4 structures would be allowed for a maximum of 60 days due to the high frequency of weddings and outdoor parties. The yurt at Park City Hotel was approved in 2007 for an extended duration for the benefit it provide to cross-country skiers, and the tent at the Yarrow Hotel was also approved to for up to twice (2) per year and a maximum of 180 days (i.e. the tent could be up 180 days consecutively, up to two (2) times per year)

The intent of this provision in the code was to allow events to run together if necessary, but each 14 day period would count toward the total allowed amount of five (5) times per year, or 70 days total. This limits temporary structures, such as tents, from standing indefinitely by allowing them to stand for only 70 days per year. The Planning Commission, however, may approve a longer duration or greater frequency through a Conditional Use Permit (CUP).

Permits have been issued in the past to permit temporary tent structures in order to allow restaurants additional tempered space on its balcony and permit wintertime use during special events, such as Sundance. During these special events and Master Festivals, tents have been approved through Administrative Conditional Use Permits (Admin-CUP). Tents are typically held in place on the balcony by water ballasts, heated by propane, and lit internally to meet the International Building Code (IBC). The duration of the tent has not exceeded fourteen (14) days.

Riverhorse hopes to imitate the success of their tent's use during special events by constructing a temporary 180-day enclosure on the balcony from approximately November 1st through April 30th that would promote winter-time use. The temporary enclosure would add approximately 350 square feet of restaurant space on the balcony and seat approximately twenty (20) patrons, or about five (5) tables of four (4). Given the duration of the proposed enclosure (180 days), staff finds that such a structure would be a permanent fixture during the winter season and should comply with the Historic District Design Guidelines.

As previously noted, LMC 15-2.6-3 (D) specifies that Balconies may not be erected, enlarged, or altered over a public pedestrian Right-of-Way without the advance approval of City Council. It goes on to specify that "Balconies...may not be enclosed." Staff finds that this proposal is in direct opposition to the current LMC. The LMC does not make exception for temporary, seasonal structures. The LMC would need to be amended in order to allow for balcony enclosures.

International Building Code

The International Building Code (IBC) defines temporary as less than 180 days. In reviewing the Riverhorse's proposal, the Building Department found the following requirements will impact temporary winter balcony enclosures:

- Fire sprinklers
- Exits within fifty feet (50')
- Lighting and ventilation
- Engineering for live loads, wind, roof capacity
- Fire separation on windows and roofing
- Snow shedding on public right-of-way (Main Street)
- Energy efficiency

Any temporary structure greater than 200 square feet in area would require a building permit. The balcony enclosure would have to be constructed as a permanent structure in order to meet the International Building Code, making it difficult and costly to construct and take down seasonally.

Other Concerns

In meeting with our Development Review Committee—comprised of the Building, Engineering, Public Works, Water, Legal, Snyderville Water Reclamation District (SBWRD), Fire District, and Sustainability Departments—the group identified other potential issues such as:

- Increased use of sewer and water
- Parking demands generated by additional tables within enclosures
- Increased strain on city resources for reviewing and monitoring enclosures
- Encroachment agreements for construction over city right-of-way
- Insurance and liability

Developing a program similar to summer dining decks

Riverhorse has suggested that the winter balcony enclosures could be approved through a program similar Summer Dining on Main. Overall, staff is not in support of the balcony enclosures; however, if City Council wished to pursue the balcony enclosures, staff has compared and contrasted the two programs and has found:

- The Summer Dining on Main program was developed to promote street activity and outdoor dining on Main Street. Though the dining decks are not subject to a complete Historic District Design Review application, the Design Guidelines are applicable to the project. The dining decks are required to complement the style of the existing building with which they are associated.
- Similar to the dining deck program which operates six (6) months from May through October, the proposed winter balcony enclosure program could operate approximately six (6) months from November through April.

- Currently, the dining deck program charges \$550 per parking space of 20 feet. This was calculated based upon the loss amount of funds generated by the parking space during the summer season. Staff finds that it would be appropriate to request a rental rate similar to that of commercial square footage as the seasonal enclosure would expand the gross floor area of the commercial space. This is roughly \$42-\$60 per square foot annually, before Common Area Maintenance (CAM) fees. (This equates to approximately \$3.50 to \$5 per square foot monthly, before CAM fees.) Using the Riverhorse as an example, the rental income generated for the City would be approximately \$1,225 to \$1,750 per month for a balcony enclosure that is roughly 350 square feet in area.
- Currently, the dining decks are only permitted to those restaurants that serve lunch and dinner seven (7) days a week as long as the structure exists in the right-of-way (ROW). This promotes activity on the street. Staff finds that the balcony enclosures do not promote street activity and thus, there would be no need to limit the enclosures to only restaurants or to only businesses that are open seven (7) days per week.
- The Dining Deck Program requires the City to give a minimum of 72 hour notice to dining deck owners so that the decks may be removed to allow for street improvements. Staff finds that it is unlikely that any street improvements would be occurring during the winter months; however, in case of such an instance, it may be difficult to remove the balcony enclosure on such short notice if it is constructed as a “temporary” permanent feature. Such a provision could be part of the standard contract language.
- The code does not allow any improvements or permanent alterations to be made to City property without City Council consent. Staff finds that many of the existing balconies would need to be restructured in order to carry the load of a seasonal balcony enclosure. This would require City Council review and consent.
- No signs are permitted on the dining decks, except as approved by the Planning Department. Staff finds that no existing signs would be obstructed by the balcony enclosures; however, any new signs would be approved through a Sign Permit.
- Insurance is required for the dining decks, and the LMC stipulates that property owners insure their balconies. The enclosures would also require insurance.
- Snow shed issues onto sidewalk or parking areas on Main Street must be resolved prior to construction and approved by the Chief Building Official.
- The Design Guidelines and the Land Management Code will need to be amended in order to allow for the temporary, seasonal enclosure of the balconies.





In summary, staff has created a following chart to document the pros and cons of such a wintertime program:

Pros:	Cons:
<ul style="list-style-type: none"> • Rental income generated by balconies up to \$3.50-\$5.00 per square foot per month. • Expansion of Main Street businesses during peak occupancy during the winter • Extended use of balconies during the winter season 	<ul style="list-style-type: none"> • Does not comply with the Design Guidelines for New Construction as the new enclosures will disrupt the rhythm and patterning of the street wall. • Does not comply with the Design Guidelines for Historic Sites as the construction of the enclosure will likely damage historic, exterior building materials • It will be difficult to design an aesthetically-pleasing enclosure that meets the International Building Code’s requirements for fire safety, live loads, etc. • Snow shed issues will have to be addressed to avoid shedding onto sidewalks and parking areas. • Increased use of sewer and water • Increased parking demands • Increased strain on city resources and staff time for reviewing and monitoring the enclosures • The Design Guidelines and Land Management Code would need to be amended to allow for balcony enclosures.

Significant Impacts:

Staff finds that the enclosure of the balconies during the winter months would have a significant impact on the historic integrity of Main Street. In addition to opposing the enclosures due to aesthetic values, staff finds that the enclosures would require

additional inspections by the Building Department, cause greater water demands, and etc.

	World Class Multi-Seasonal Resort Destination (Economic Impact)	Preserving & Enhancing the Natural Environment (Environmental Impact)	An Inclusive Community of Diverse Economic & Cultural Opportunities (Social Equity Impact)	Responsive, Cutting-Edge & Effective Government
Which Desired Outcomes might the Recommended Action Impact?	<ul style="list-style-type: none"> ~ Varied and extensive event offerings + Accessibility during peak seasonal times ~ Multi-seasonal destination for recreational opportunities 	<ul style="list-style-type: none"> - Effective water conservation program - Reduced municipal, business and community carbon footprints - Enhanced conservation efforts for new and rehabilitated buildings 	<ul style="list-style-type: none"> - Preserved and celebrated history; protected National Historic District ~ Cluster development while preserving open space ~ Shared use of Main Street by locals and visitors ~ Community gathering spaces and places - Primarily locally owned businesses 	<ul style="list-style-type: none"> ~ Fiscally and legally sound ~ Streamlined and flexible operating processes
Assessment of Overall Impact on Council Priority (Quality of Life Impact)	Neutral 	Negative 	Neutral 	Neutral 
Comments:				

Consequences of not taking the recommended action:

Should City Council find that they would like to pursue this topic further, staff recommends that they receive input from the Historic Preservation Board (HPB) regarding compliance with the Design Guidelines. If the HPB supported the enclosures, staff would then return to City Council with a proposed lease agreement and policy for the program as well as a summary of the HPB's comments.

Recommendation:

Staff recommends that City Council support staff's decision that the seasonal enclosure of balconies above Main Street is not appropriate for our historic Main Street given the health and safety issues, demands on staff time, as well as the look and feel of our commercial core.

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Council member Beerman has attended many Mountain Accord meetings. Stated that the December 3rd Community Outreach meeting has been postponed until early January. Live PC Give PC killed it and he is very proud of the community for raising over a million dollars.

2015 Legislative Update

Matt Dias spoke to the Council gearing up to the upcoming Legislative session. Spoke to the platform he created in the staff report discussing transportation, land use. Mayor and Council feel that the framework is a great idea and feel comfortable with the outline presented to Council. Dias stated that he did not want to look into the crystal ball but feels that there will be a push for transportation as well as the usual hot topics of clean air, health care. Discussed a proposed resolution that he will be bringing back to Council next week. Council member Beerman stated that he got a preview of the proposed transportation tax stating that it will be a very broad definition of transportation with this bill. He inquired about what the tax would mean to Park City. Dias stated that he will have a better number next week following the kickoff meeting. Council member Simpson inquired if this money will stay within our City. Dias stated that a city-wide option is available and he will have more information next week as well. Simpson inquired if there is any LGBT movement this time as the door was closed on those bills last year awaiting the Supreme Court ruling. Dias stated that anything is possible. Dias will be bringing back updates at each Council meeting until the close of the session.

Temporary Winter Balcony enclosure discussion

Planner Grahn stated that in September 2013 the Riverhorse approached the City regarding winter balcony enclosures. Staff is not in favor of the temporary winter enclosures as they would interrupt the view along Main Street as well as cause possible damage to the historic structures. Grahn outlined the LMC and International Building Code that would be against permitting these temporary enclosures. John Allen, Building Department, stated that he can agree that there is not a desire for the tent structures, as well as being unsightly they have energy efficiency deficits. Mayor Thomas feels that this winter program would be redesigning Main Street for the winter season and he agrees with Staff.

Council member Matsumoto stated that she does not have a problem with the dining decks and stated that there are only 5 restaurants with decks and they may not all want to participate and would be inclined to a shorter period of time. She also thanked staff for the wonderful report but does not see this as a negative aspect. Council member Peek stated that he feels that it will change the architectural pattern of Main and feels with the snow load impacts would be too great. Council member Henney stated he agrees with Matsumoto and would like to think that staff could make certain adjustments to make this work. Council member Simpson agrees with the Mayor. Council member Beerman agrees with Matsumoto and Henney and feels that there is not an impact and feels that during the summer there are large umbrellas up that interrupt the vibe and flow and also remembers the hurdles we had with the summer decks. Allison Butz spoke for the HPCA stating that they do not have a problem with adding square footage to the restaurants during the winter season.

Mayor Thomas spoke to the structural design and snow load issues of the property. Allen stated that each deck would have to go through a design review. Mayor Thomas stated that even with

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a pilot program it would still impact the character of Main Street. Council member Simpson stated that she feels that this will be a lot of pain for not a lot of gain. Council member Matsumoto stated that she does not feel it should be allowed up year-round and looks at health and safety as a paramount issue and would suggest the HPCA take a look at this item but is still in favor. Sintz suggested a compromise that would allow the restaurants to keep the tents up for longer than the currently allowed 14 days to allow for more seating during the winter season. Council agreed that the proposed enclosures looked nicer than the tents. Mayor and Peek spoke again to the architectural load.

Seth Adams, Riverhorse, stated that he has worked with architects and have looked at the snow load and fire codes. They are looking at just adding time through the ski season and would like to give a different perspective to our visitors. Spoke to the impact to the adjacent buildings as well as the process of taking the structure up and down.

Kasey Crawford, business owner, spoke to the tent structure stating that it detracts from the appeal of Main Street.

Mike Sweeny took this from a perspective as a business owner and stated that he supports creative and innovative ideas to bring people into Main Street.

Mayor Thomas expressed his continued concern regarding this item. Foster spoke to the items staff will bring back a proposed lease agreement and a policy program as well as a read from the HPCA and the Historic Preservation Board as well as building guidelines.

Main Street Employee Parking Initiative

Blake Fonesbeck, Public Works Director; Brian Anderson, Transportation and Allison Butz, HPCA spoke to the parking initiative stating that this has been an evolving plan to better serve our parking issues. Fonesbeck stated that the Task Force that included HPCA members as well as staff looking at peak hour/peak day data to develop a final recommendation for Council. Fonesbeck recognized the parking problem apparent in Park City. Outlined the recommendations stating that they looked at China Bridge proposing 6 hours per vehicle instead of the current 6 hours per space where they have identified spot jumping in the garage.

Council member Henney thanked staff for looking at resolving actual parking issues. Fonesbeck outlined the changes for the China Bridge Pass with increased fee and restrictions on Friday and Saturday reserving the current restrictions during Sundance and Arts Fest. Council member Simpson stated her concerns with the transferrable pass and will exacerbate the problem. Council member Peek stated that in his mind the goal is to free up parking for visitors and feels that if there are problems then the task force should be able to change those restrictions. Council member Henney stated that he feels this is an appropriate step to help mitigate the issue. Fonesbeck outlined the transportation system that will help encourage people to use the bus routes and the shuttle service. Mayor Thomas thanked staff and looks forward to the item coming back in a future meeting.

Introduction of new Park City Mountain Resort Chief Operating Officer Bill Rock

Mike Gore introduced Bill Rock as the Chief Operating Officer of Park City Mountain Resort sharing that the Council and Community will find his involvement outstanding. Gore asked the record to reflect that Bill brought the snow storm this evening. Rock thanked Gore for the great introduction and is very excited to be in the Community. Stated that his family is so excited to



December 19, 2014

Anya Grahn
Park City Municipal Planning Department
445 Marsac Avenue,
PO Box 1480
Park City, UT 84060

RE: Riverhorse on Main Balcony Enclosure

Dear Anya:

The Historic Park City Alliance reviewed Riverhorse on Main's request to seasonally enclose their balcony to provide additional restaurant space during the winter months (November 1st through April 30th). The HPCA Board reviewed the submitted visuals showing the deck from both north and south perspectives, with and without the enclosure, at their December Board Meeting.

At the meeting, the HPCA Board unanimously supported the seasonal enclosure of the Riverhorse's deck. Puggy Holmgren abstained from the vote due to her role on the HPB Board. Support was also given generally for deck enclosures on non-historic buildings with restaurant uses.

We thank you for the opportunity to provide input on this item.

Best regards,

A handwritten signature in black ink, appearing to read "Alison Butz", written in a cursive style.

Alison Butz
Executive Director

